

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0309	Issue Date: PERMIT ISSUED	URL: 062 B001001
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Location of Construction: 144 Pine St	Owner Name: <i>The Design Co.</i> Barr Peter L & <i>284-5504</i>	Owner Address: 144 Pine St	Phone: <i>772-0276</i>
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: <i>R6</i>

Past Use: Single family	Proposed Use: Single family interior renovations w/2 dormer extensions, reframe and resize side steps, and rebuild existing roof deck	Permit Fee: \$2,271.00	Cost of Work: \$250,000.00	CEO District: 2
Proposed Project Description: interior renovations w/2 dormer extensions, reframe and resize side steps, and rebuild existing roof deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SF</i>	
		Signature: <i>JMB 5/26/05</i>		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: dmartin	Date Applied For: 03/25/2005	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 5/26/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB 5/25/05</i>
	<i>OK to remain SF home</i>		

Condition letter enclosed

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

PERMIT ISSUED

Permit Number: ~~04302~~ 7 2005

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Barr Peter L & *NO DOOR* has permission to interior renovations ~~and door~~ *exterior* reframe and resize the steps, and rebuild existing roof deck AT 144 Pine St L 062 B001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

Janice Burke 5/26/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	062 8001001
Location	144 PINE ST
Land Use	SINGLE FAMILY
Owner Address	BARR PETER L & CONSTANCE H BARR JTS 144 PINE ST PORTLAND ME 04102
Book/Page	20393/256
Legal	62-B-1 PINE ST 144 NEAL ST 73-79 2200 SF

Current Valuation Information

Land	Building	Total
\$60,380	\$191,840	\$252,220

New Estimated Valuation Information

Land	Building	Total	Phase-In Value
\$188,000	\$254,900	\$442,900	\$347,560

Property Information

Year Built 1866	Style Old Style	Story Height 3	Sq. Ft. 3359	Total Acres 0.051		
Bedrooms 3	Full Baths 2	Half Baths 2	Total Rooms 7	Attic None	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
10/01/2003	LAND + BLDING	\$555,000	20393-256
08/29/2000	LAND + BLDING	\$375,000	15689-151
04/01/1996	LAND + BLDING	\$175,000	12426-266
07/01/1995	LAND + BLDING	\$168,000	11999-186

Picture and Sketch

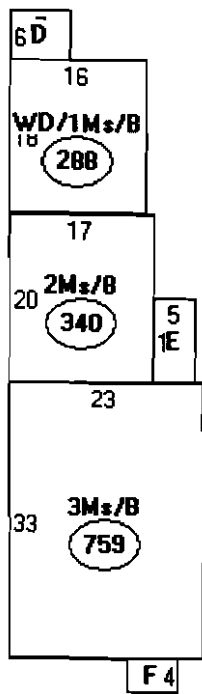
<u>Picture</u>	<u>Sketch</u>	<u>Tax Map</u>
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[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[Click here](#) to view comparable sales or below to view by:





Descriptor/Area

A: 3Ms/B
759 sqft

B: 2Ms/B
340 sqft

C: WD/1Ms/B
288 sqft

D: 1Ms/B
42 sqft

E: OFP
50 sqft

F: 3sMB/B
24 sqft

CITY OF PORTLAND, MAINE

HISTORIC PRESERVATION BOARD

Cordelia Pitman, Chair
John Turk, Vice Chair
Marc Belanger
Kimberley Geyer
Edward Hobler
Steve Sewall
Susan Wroth

May 10, 2005

Peter Barr
144 Pine Street
Portland, Maine 04102

Re: Exterior Alterations – 144 Pine Street

Dear Mr. Barr:

On May 10, 2005, this office reviewed and approved your request for a Certificate of Appropriateness for a comprehensive program of exterior alterations and repairs at 144 Neal Street. Staff approval is granted for all of the alterations itemized in your application, *with the exception of the proposed new dormer on the third floor (rear elevation)*. The dormer addition will require Historic Preservation Board approval.

Approval is subject to the following conditions:

- Large window on Neal Street elevation: The replacement sash shall consist of three double-hung sash. The center window should equal the width of the upper floor sash on this façade, with the remaining width made up by two narrower double-hungs. This treatment is consistent with what would have been seen historically. The center sash should be 2/2 and the flanking sash 1/1.
- Repair/replacement of architectural trim: All original trim and architectural details, if deteriorated beyond repair, is to be replaced in kind. No substitution of standard stock items shall be allowed unless approved by staff. This requirement applies to side porch posts, balusters and skirting; wood brick moulds around windows; etc.
- Side porch: Please submit drawing or catalogue cut for new (lower) balusters. Railing height not to exceed 36", not 42" as proposed. (For historic properties, standard height requirements can be waived.)
- Back stairs/entrance: Detailing on treads/risers to follow attached specification. Railing height not to exceed 36".
- Hood/privacy screen at rear entrance: Hood and lattice screening to be eliminated as part of reconstruction. The hood obscures the door lintel and cornice details of the ell. Also, when reduced in width as proposed, the enclosure will appear excessively narrow.
- Neal Street edging: If granite edging is used, height of granite to extend no higher than standard curbing.
- Fence: Detail of proposed fencing to be provided.

All improvements shall be carried out as shown on the plans and specifications submitted as part of your application, except as to comply with the conditions above. Changes to the approved plans and specifications and any additional work which may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,

A handwritten signature in black ink that reads "Deborah G. Andrews". The signature is written in a cursive style with a large, stylized "B" at the end.

Deborah G. Andrews
Historic Preservation Program Manager

cc: Approval File

City of Portland, Maine - Building or Use Permit

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Permit No: 05-0309	Date Applied For: 03/25/2005	CBL: 062 B001001
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Location of Construction: 144 Pine St	Owner Name: Barr Peter L &	Owner Address: 144 Pine St	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single family interior renovations, reframe and resize side steps, and rebuild existing roof deck	Proposed Project Description: interior renovations, reframe and resize side steps, and rebuild existing roof deck
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Dept: Historical **Status:** **Reviewer:** Deborah Andrews **Approval Date:** **Ok to Issue:**

Note:

Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 05/26/2005 **Ok to Issue:**

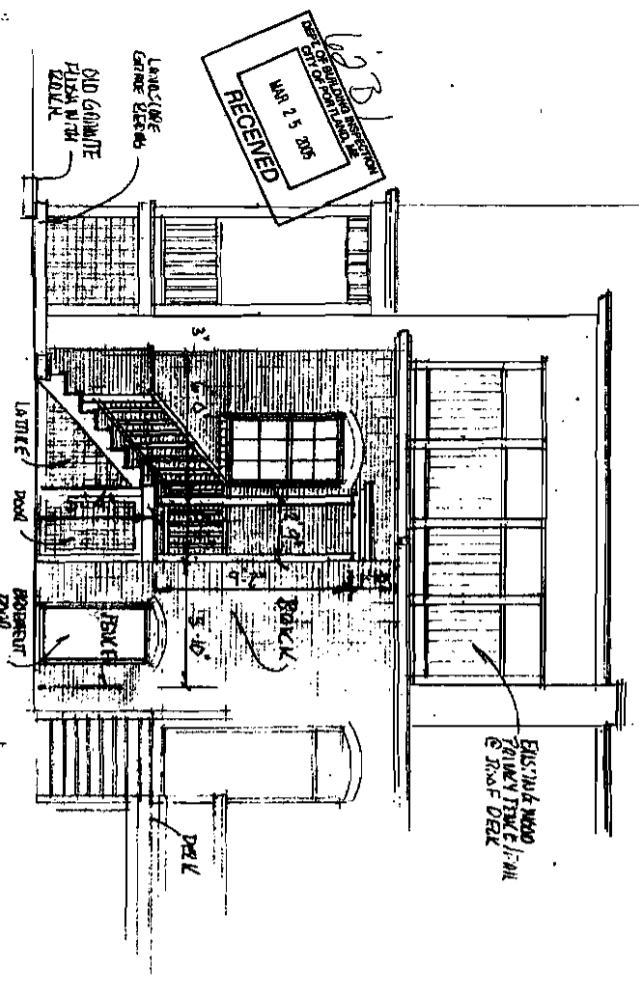
Note:
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 05/26/2005 **Ok to Issue:**

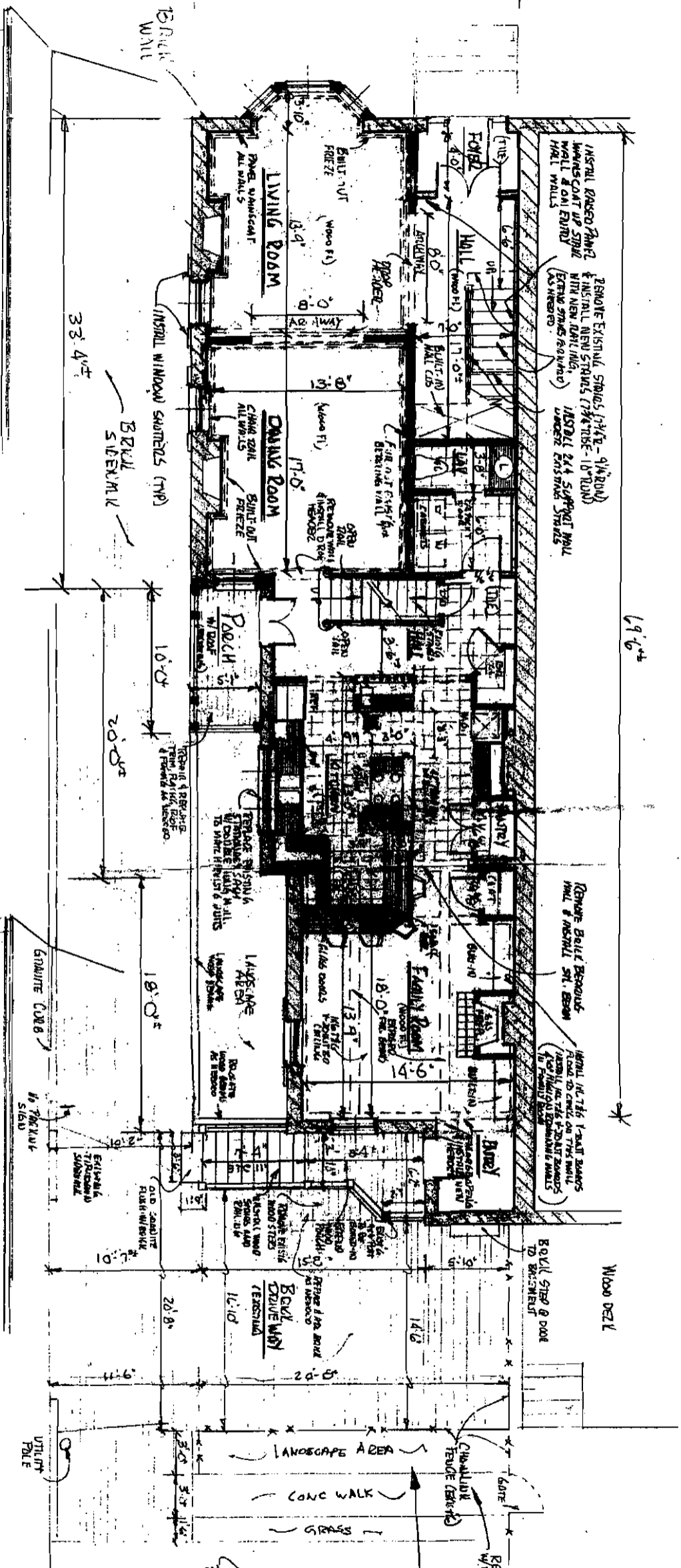
Note: 5/25/05 Spoke w/Design Co. To verify the scope of the work. The large plans reflect work approved on permit #04-0034. I put them w/that permit. They will submit large & reduced plans for the new phase which includes a dormer.
5/26 Peter B. Came in with plans that he had taken earlier from Deb in historic.

1) The design load spec sheets for any engineered beam(s) must be submitted to this office.
2) Separate permits are required for any electrical, plumbing, or heating.

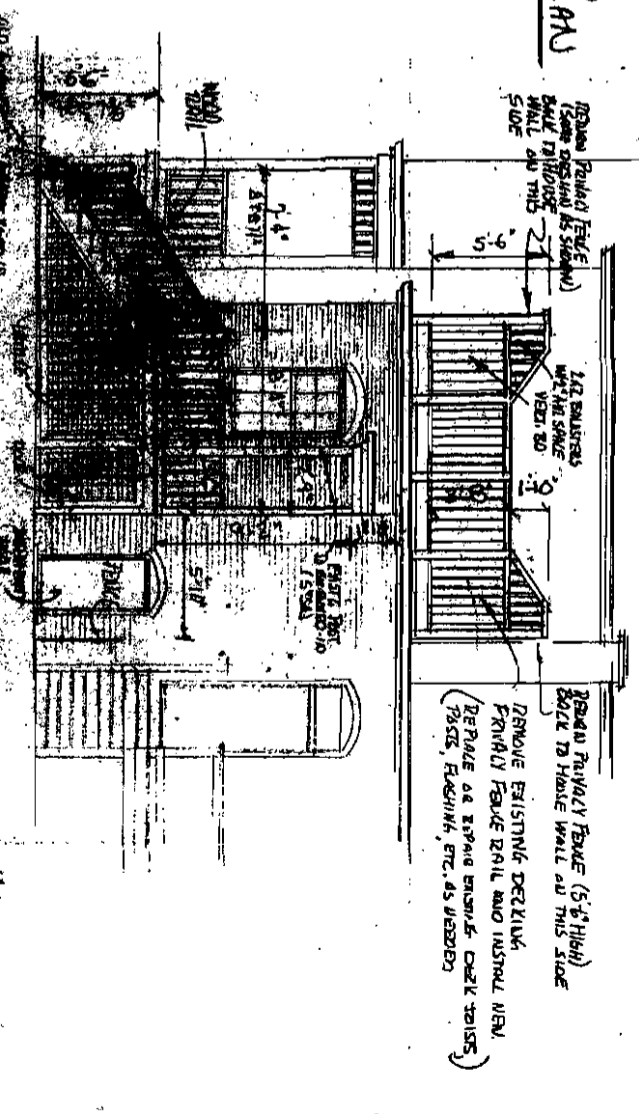
EXISTING ELEVATION
1/4" = 1'-0" (SIDE ENTRY)



FIRST FLOOR PLAN
1/4" = 1'-0" (PROPOSED)



PROPOSED ELEVATION
1/4" = 1'-0" (SIDE ENTRY FROM EXTERIOR)



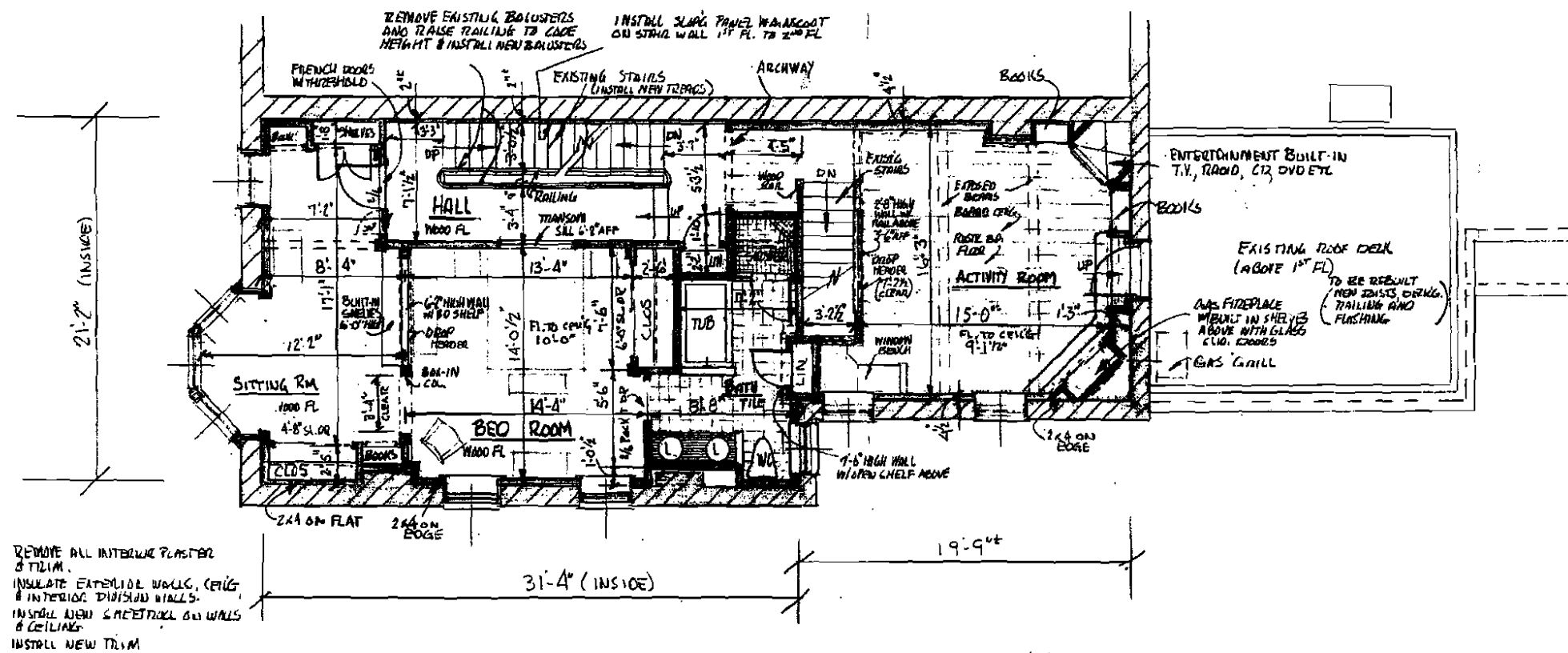
RECEIVED
MAY 26 2005
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

Received from [unclear] per [unclear] in [unclear]

DATE	5/26/05
BY	RECORDED
PROJECT	1916
OWNER	1916
ADDRESS	1916
CITY	1916
STATE	1916
COUNTY	1916
RECORDING OFFICE	1916
RECORDING FEE	1916
TOTAL FEE	1916

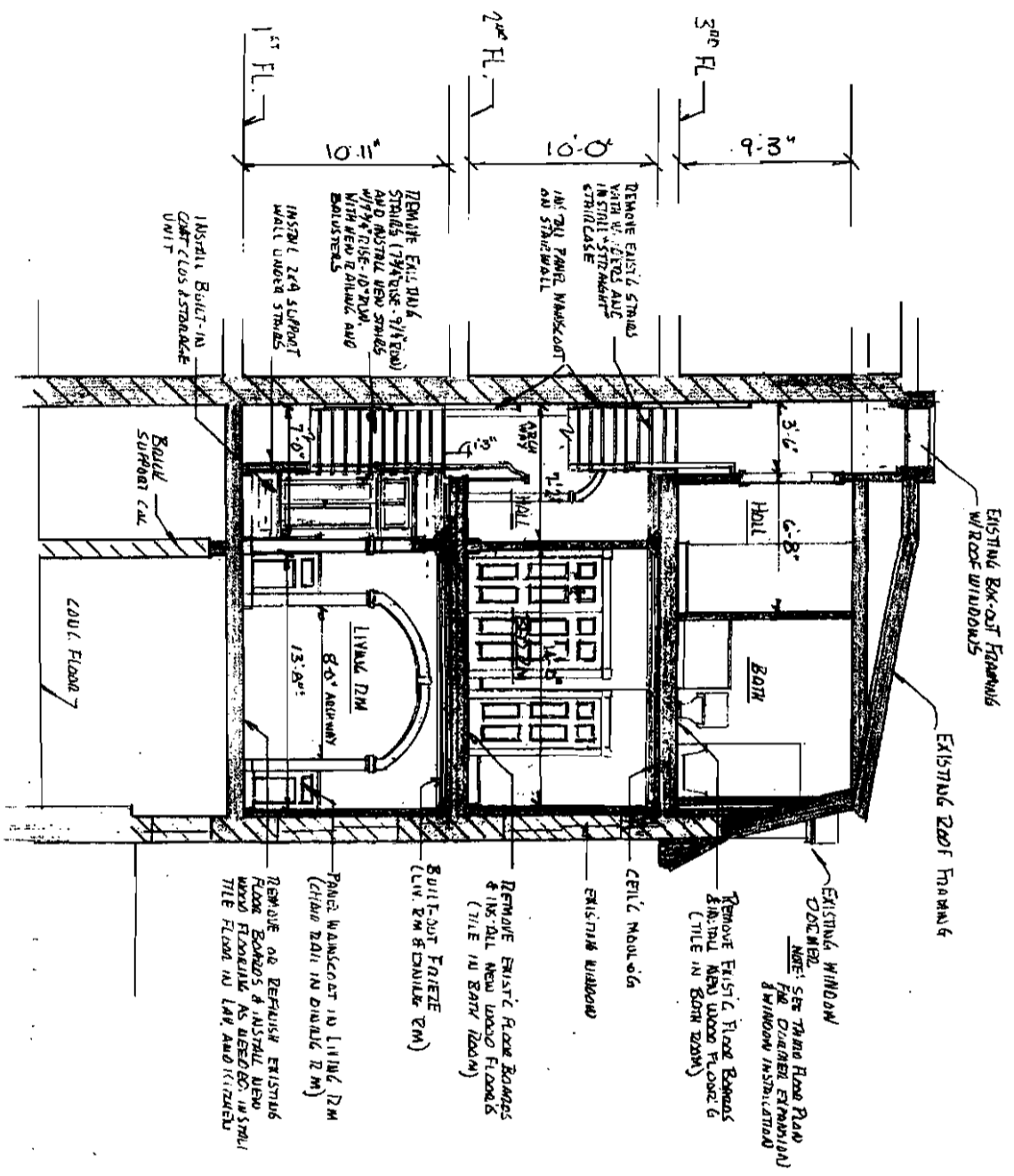
SEE FIRST FLOOR PLAN DATED 5-24-04 FOR EXISTING SIDE ENTRY PORCH'S AND LANDSCAPE AREA CONDITIONS.

1916



SECOND FLOOR
 1/4" = 1'-0" (PROPOSED)

DESIGNED FOR CARLIE BARR - PORTLAND, ME.	DATE 3-10-05	SCALE 1/4"
BY THE DESIGN COMPANY INC.	PROJECT 100, Box 188	PLAN NO. 2/4
ADDRESS 100, Box 188	PHONE 207-884-8804	DATE 2/4
REMODEL		



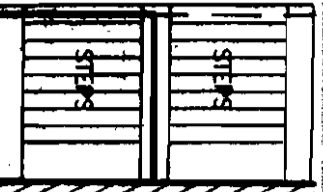
SECTION
V4-1-6

- GENERAL NOTES:**
1. REMOVE ALL PARTIAL WALLS & CEILING (ALL FLOOR)
 2. REFRAME & RELOCATE INTERIOR WALLS AS PER PROPOSED FL. PLANS (ALL FLOORS)
 3. INCLUDE ALL FLOOR SYSTEMS, EXTERIOR WALLS AND ALL INTERIOR EXAM. PERIMETER WALLS.
 4. APPLY SHEETROCK ON WALLS & CEILING. (ALL FLOORS)
 5. APPLY NEW 7/8" MINUTE WALLS DOORS, VANES, AND AND BUILT-INS (ALL FLOORS)
 6. INSTALL NEW ELECTRICAL PANELS AND HEATING SYSTEMS (ALL FLOORS)
 7. ALL WINDOWS TO BE REMOVED AND REBUILT AS REQUIRED

DATE	3-10-65	BY	W. E. W.
DATE	3-24-65	BY	W. E. W.
PROJECT	CONVICT CAMP - FORT MONROE		
CLIENT	THE DENISON COMPANY INC.		
ADDRESS	P.O. Box 108 Fort Monro, Virginia 22034-0108		
SCALE	1/4" = 1'-0"		
NO.	4		
DESIGNER	R. STANLEY		

PINE STREET
(PAVED PUBLIC 60' WIDE)

S71°17'00"W
22.00'



GRANITE WALL

GRANITE CURB

NEAL STREET
(PAVED PUBLIC 60' WIDE)

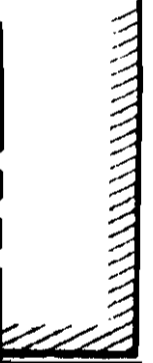
BRICK SIDEWALK

PORCH

2 STORY

100.00' LANDSCAPED
S18°30'50"E RR TIES

1 STORY
W/ROOF
DECK



CHAIN LINK FENCE

21.67'
N71°17'00"E

PAVED PARKING

LEGEND:

- ▲ UTILITY POLE
- OVERHEAD WIRES
- PROPERTY LINE



NOTES:

1. OWNER OF RECORD: PETER L. & CONSTANCE BARR
20393/256
2. LOCAS IS SHOWN ON CITY OF PORTLAND ASSESSORS MAP
62 BLOCK B LOT 1.

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS SURVEY IS THE BEST AND THE RESULT OF AN ON THE GROUND SURVEY TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF IN ACCORDANCE WITH THE CURRENT STANDARDS OF PRACTICE FOR PROFESSIONAL SURVEYORS.

DATE **3-4-04**



BOUNDARY SURVEY
ON THE
111 PINE STREET, PORTLAND, OREGON
FOR
CONSTANCE BARR
111 PINE STREET, PORTLAND, OREGON
OWEN HASKELL, INC.
111 PINE STREET, PORTLAND, OREGON
TEL: 503-253-1234