

061-F-006

26-36 Storer

Waynelete Art Center

Waynelete Arts Center



# Waynflete School Master Plan Update

May 09, 2006

# PUBLIC NOTICE

### TOWN OF WHINDHAM

MEETING  
TOWN OFFICE in Conference Room 1, 7:00 pm  
Monday, July 9, 2007

There are no public hearings scheduled for this meeting.

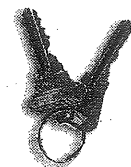
### PUBLIC NOTICE

INVITATION TO BID  
PORTLAND WATER DISTRICT  
PORTLAND, MAINE  
TITTLE ROAD and FORESIDE PUMP STATION CONTROL PANELS

Sealed bids for the Tittle Road and Tuttle Road Pump Station Control Panels will be received by the District Office at 225 Douglass Street, Portland, Maine, prevailing local time, July 23, 2007 and then publicly opened and read aloud. Bids submitted after the closing time will be rejected. Each bidder must submit a single sealed envelope, the outside of which must be marked with the name of the bidder and the Tuttle Road and Foreside Pump Station Control Panels.

**Maine Real Estate**  
Where people look first.

791-6100



### PUBLIC NOTICE

The monthly workshop meeting of the Board of Portland Water District will be held at 6:30 P.M. Monday, July 9, 2007 in the Jeff P. Nixon Training Center, at the general office of the District, 225 Douglass Street, Portland, Maine. The Workshop will be preceded by meetings of the Finance Committee of the Board at 5:30 p.m.

Domna M. Katsifakas  
Cordoba 2923965

### Visit our Website!

www.prestitelid.com/decena

### PUBLIC NOTICE

Notice is hereby given that in accordance with the judgment of foreclosure and sale entered March 15, 2007 in the action entitled HSBC Bank USA, National Association, Plaintiff vs. C. Morin et al., by the Hon. Judge W. Day, District Court, Department Nine, No. 06-240, wherein the foreclosure of the mortgage granted by Royal Bank of Canada to the Plaintiff and by the Defendant C. Morin et al., was confirmed, the Plaintiff has acquired a public sale of the property described in the mortgage will be conducted on Thursday, July 19, 2007 commencing at 9:30 A.M. at the Law Office of Shapiro & Morley, LLP, 75 Market Street, Portland, ME 04101.

The sale will be by public auction. All bidders for the property will be required to make a deposit of \$5,000.00 in cash, certified or bank check at the time of the public sale. Bids are to be payable to Shapiro & Morley, LLP, which deposit is non-refundable as to the highest bidder. The balance of the purchase price shall be paid within thirty (30) days of the public sale. The event of HSB Bank USA, Plaintiff vs. C. Morin et al., is not present at the time and place stated in this notice, no sale shall be deemed to have occurred and all rights reserved. Additional terms will be announced at the public sale.

HSBC Bank USA, Plaintiff vs. C. Morin et al., by the Plaintiff's attorney, Shapiro & Morley, LLP, 75 Market Street, Suite 505, Portland, Maine 04101.  
207-775-6223

### PUBLIC NOTICE

Notice is hereby given that in accordance with the judgment of foreclosure and sale entered March 15, 2007 in the action entitled HSBC Bank USA, National Association, Plaintiff vs. C. Morin et al., by the Hon. Judge W. Day, District Court, Department Nine, No. 06-240, wherein the foreclosure of the mortgage granted by Royal Bank of Canada to the Plaintiff and by the Defendant C. Morin et al., was confirmed, the Plaintiff has acquired a public sale of the property described in the mortgage will be conducted on Thursday, July 19, 2007 commencing at 9:30 A.M. at the Law Office of Shapiro & Morley, LLP, 75 Market Street, Portland, ME 04101.

The property is located at 57 US Route 1, Scarborough, Maine, reference Town of Scarborough tax map #R 44, lot #23 C.

The sale will be by public auction. All bidders for the property will be required to make a deposit of \$5,000.00 in cash, certified or bank check at the time of the public sale. Bids are to be payable to Shapiro & Morley, LLP, which deposit is non-refundable as to the highest bidder. The balance of the purchase price shall be paid within thirty (30) days of the public sale. The event of HSB Bank USA, Plaintiff vs. C. Morin et al., is not present at the time and place stated in this notice, no sale shall be deemed to have occurred and all rights reserved. Additional terms will be announced at the public sale.

HSBC Bank USA, Plaintiff vs. C. Morin et al., by the Plaintiff's attorney, Shapiro & Morley, LLP, 75 Market Street, Suite 505, Portland, Maine 04101.  
207-775-6223

### NOTICE OF HEARING

The Maine State Harness Racing Commission ("Commission") will conduct a hearing under the authority of 8 M.R.S.A. §§ 263-A, 268 and 27(17) on July 19, 2007 at 12:30 PM in the Conference Room, Gambling Control Board, Department of Public Safety, 45 Commerce Drive, Augusta, ME, to determine whether the horse supply in the State has been adequate for the number of dashes conducted on assigned race dates.

Any contract or contracts awarded under the provisions of the law shall be funded in part by a loan from the Maine Department of Environmental Protection.  
Contract/Scott Firmin at (207) 774-5961 x-2077.

2926788

The hearing will be held in accordance with the applicable provisions of the Maine Administrative Procedure Act, 5 M. R. S. A. & 9051-9064 and Chapter 21 of the Maine State Harness Racing Commission rules. You have the right to be represented by counsel and you may review reports and other relevant data in Commission files that may be of help to you while you prepare for the Commission hearing. You may present evidence, call witnesses and present oral or written testimony and arguments to the Commission. Applications for intervention pursuant to 5 M. R. S. A. 9054 will be accepted until the commencement of the hearing. Failure to appear at this scheduled hearing may result in a disposition by default. Any such default may be set-aside for good cause shown. Should you have any questions regarding this matter, please call me. Any questions or inquiries should be directed to: Henry W. Jackson, Executive Director, Maine State Harness Racing Commission, 28 State House Station, Augusta, ME 04333-0028 or call (207) 287-3221

PROJECT USER: Waynflete School  
PROJECT LOCATION: 560 Spring St., Portland, ME 04101  
DESCRIPTIVE STATEMENT OF THE PROJECT: The project involves the renovation of the existing building, including the expansion and equipment financing of the renovation. Total estimated cost of approximately 12,000 square feet. Bond proceeds will be used to advance the project. The project will be used to advance the school's regular annual capital expenditures over the fiscal year 2008. The school board is seeking approval for the financing of the project. The school board is seeking approval for the financing of the project.

PROJECT USER: National Association, by its attorney, Shapiro & Morley, LLP, 75 Market Street, Suite 505, Portland, Maine 04101.  
207-775-6223

### CERTIFICATE OF NEED

The following notice is provided in accordance with the Maine Certificate of Need Act (22 M.R.S.A. c.103-A)

A preliminary staff assessment by the Certificate of Need Unit in reference to Maine Medical Center's application to expand their research facility in Scarborough, Maine is now available to the public.

The application and all written materials within the record compiled to date can be viewed at the Certificate of Need Unit, Augusta, Maine.

The record will close 10 days from the date of this advertisement. The public and all interested parties may submit written comments to the address noted below. All comments must be received no later than 5pm on that date. If the 10th day falls on a weekend the following Monday will be the last day.  
Copies are available on our web site at: <http://www.maine.gov/dhhs/dlfr/> or contact Doris Pointer at 287-5005, TDD (800) 606-0215, FAX (207) 287-5807. Copies are available at a reasonable price.

Interested members of the public are invited to attend the hearing. The Authority staff will be available for questions relative to the project and proposed financing and invite questions from persons attending. In addition, the Authority will have an opportunity to make a brief statement regarding the project or the financing. Bids are to be submitted to the Authority in writing no later than July 16, 2007.

The application will be filed for public inspection at the Department of Environmental Protection, Regional Office, 312 Canco Road, Portland, Maine 04103.

Written public comments may be sent to the Department of Environmental Protection, Regional Office, 312 Canco Road, Portland, Maine 04103.

Public Information Meeting is scheduled for Thursday, July 5th at 7 p.m. at the Cape Elizabeth Town Hall, 320 Cape Elizabeth, Maine 04109.

Interested members of the public are invited to attend the hearing. The Authority staff will be available for questions relative to the project and proposed financing and invite questions from persons attending. In addition, the Authority will have an opportunity to make a brief statement regarding the project or the financing. Bids are to be submitted to the Authority in writing no later than July 16, 2007.

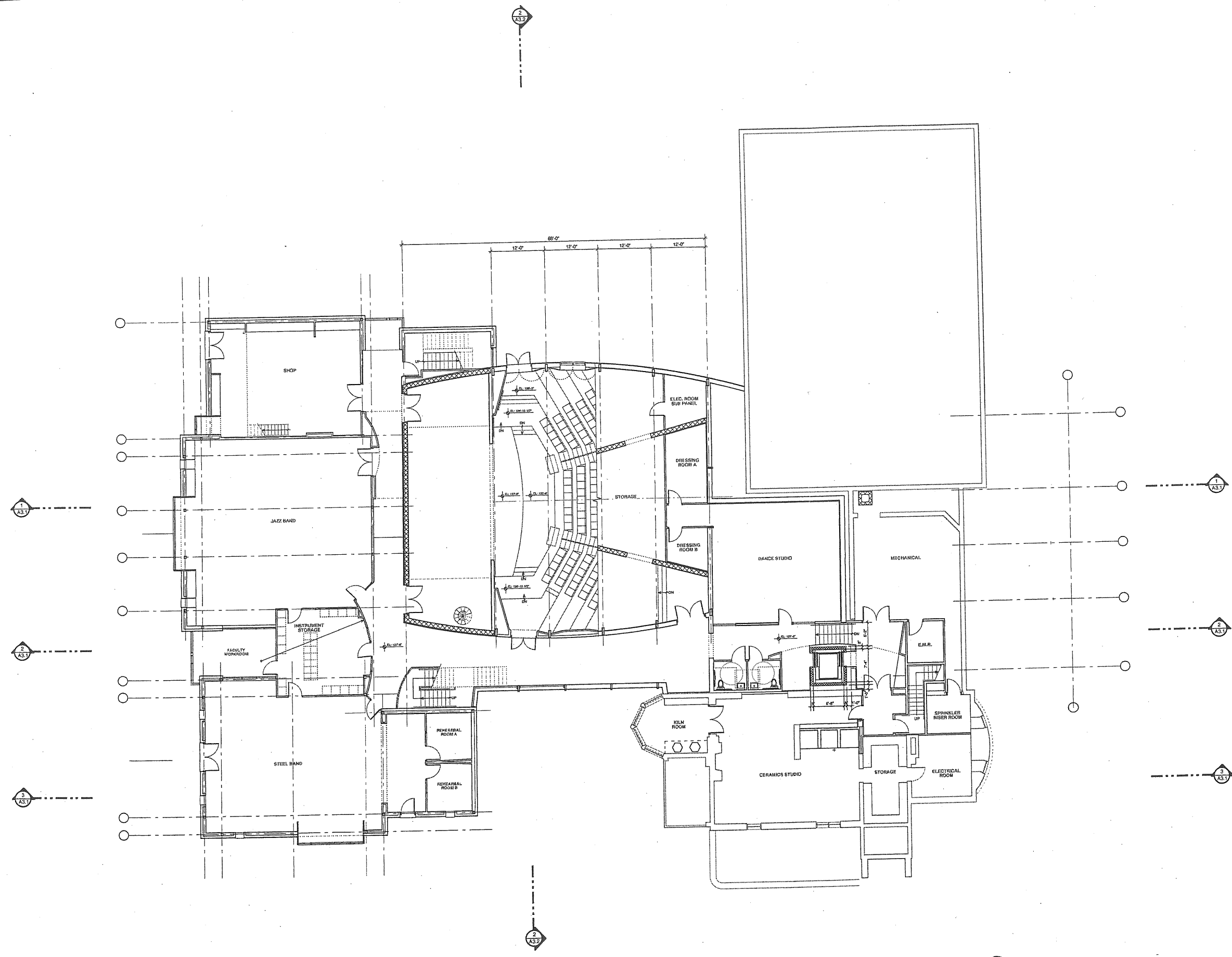
The application will be filed for public inspection at the Department of Environmental Protection, Regional Office, 312 Canco Road, Portland, Maine 04103.

Written public comments may be sent to the Department of Environmental Protection, Regional Office, 312 Canco Road, Portland, Maine 04103.

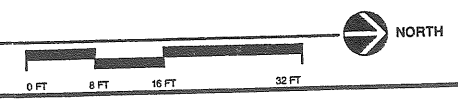
Public Information Meeting is scheduled for Thursday, July 5th at 7 p.m. at the Cape Elizabeth Town Hall, 320 Cape Elizabeth, Maine 04109.



Coa



GROUND FLOOR PLAN



PROJECT  
**WAYNFLETE SCHOOL**  
 360 SPRING STREET  
 PORTLAND, ME  
 Progress Print  
 January 30, 2001

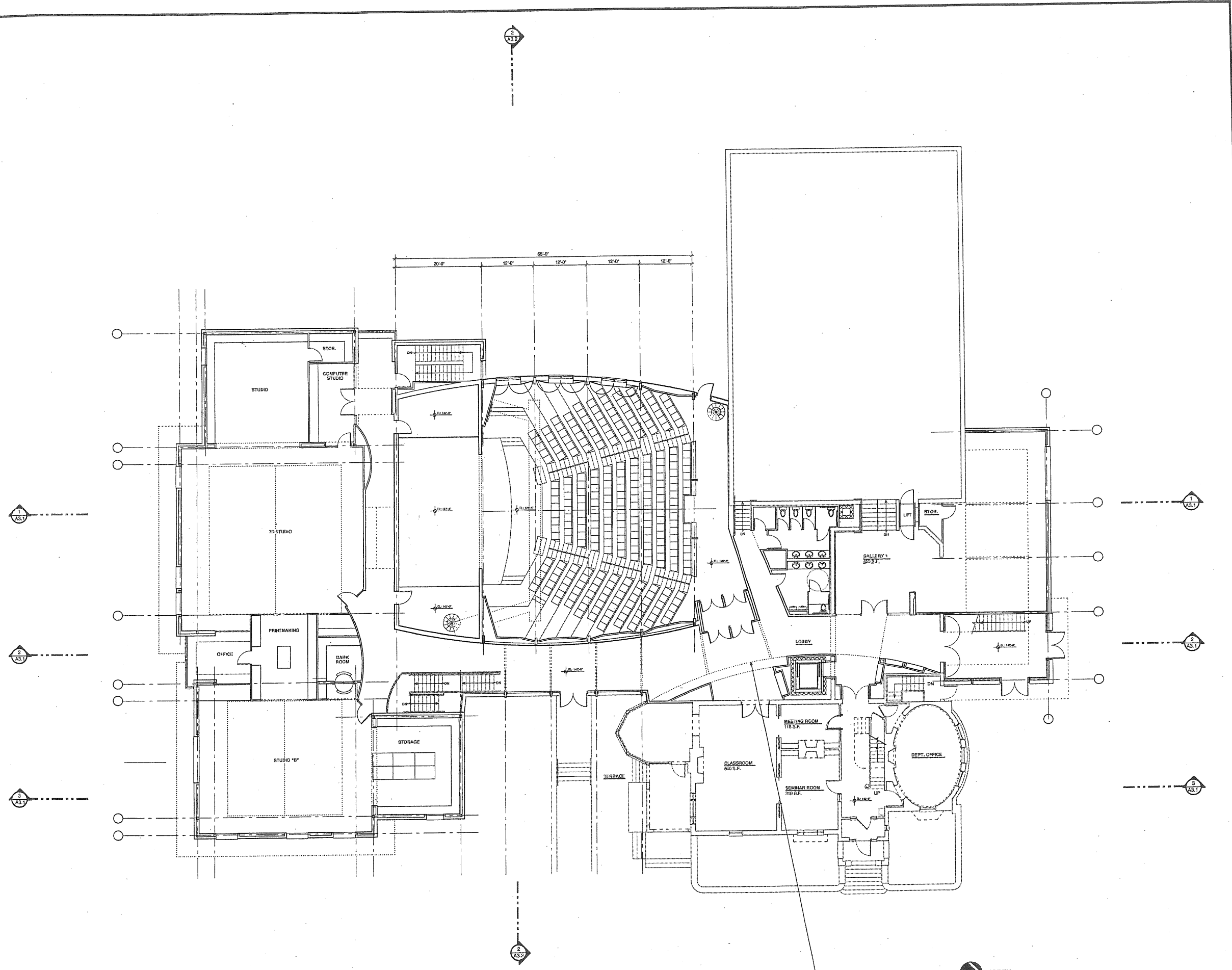
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STATUS: **DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**

DATE: 01.30.01	REVISION/DATE:
SCALE: 1/8" = 1'-0"	
PROJECT NO. 00116.00	
DRAWN BY:	

DWG NO. **A-1.1**

66b



FIRST FLOOR PLAN

**SSA**  
Scott Simone Architects  
15 Franklin Street Art  
Portland, Maine 04101  
phone 207.772.4604  
fax 207.728.4888

PROJECT  
**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME  
Progress Print  
January 30, 2001

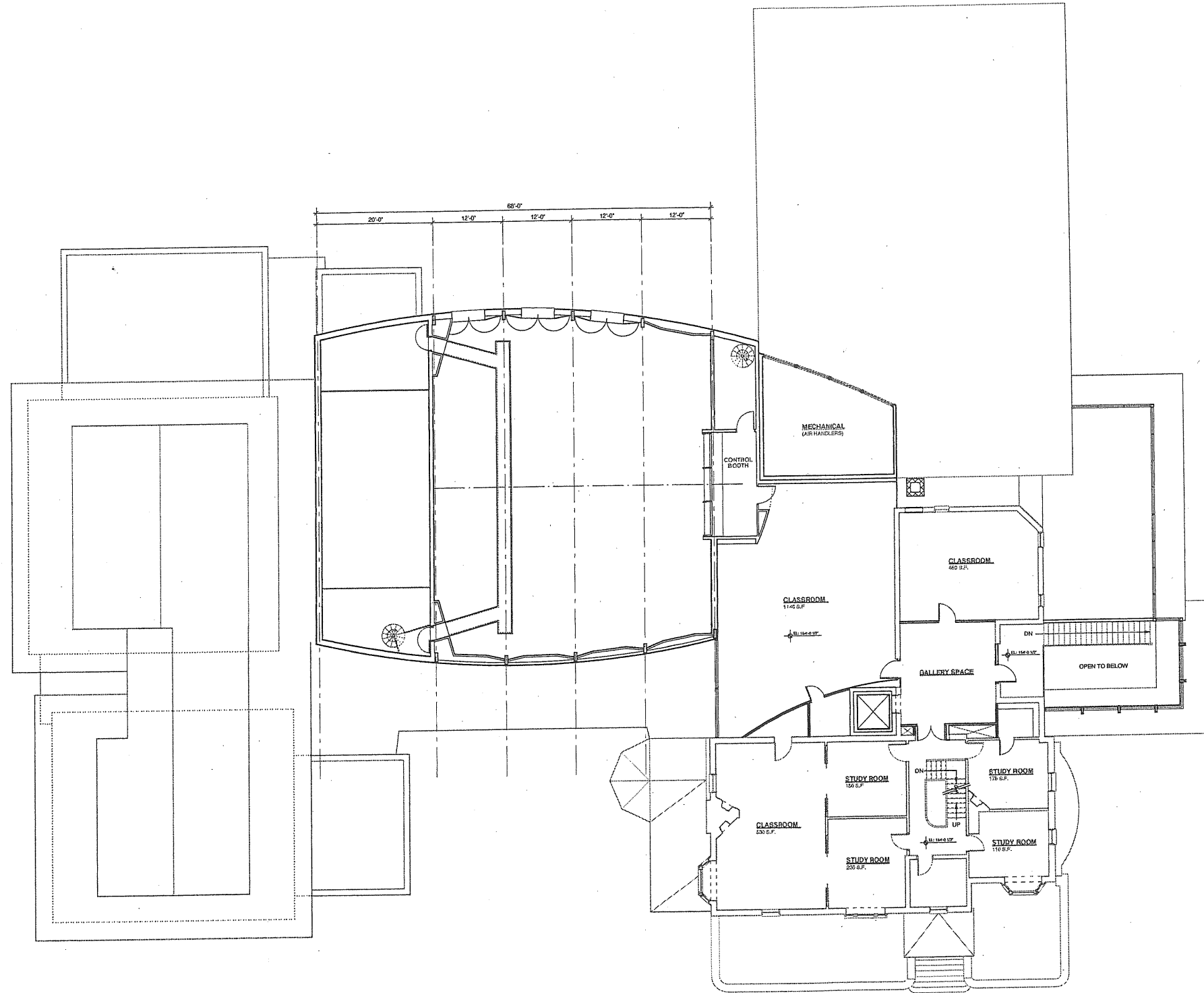
TITLE  
**1ST FLOOR PLAN**  
Progress Print  
January 22, 2001

STATUS: **DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**

DATE: 01.20.01	REVISION DATE:
SCALE: 1/8" = 1'-0"	
PROJECT NO. 00118.00	
DRAWN BY:	2001 © Scott Simone Architects

DWG NO. **A-1.2**

66



SECOND FLOOR PLAN



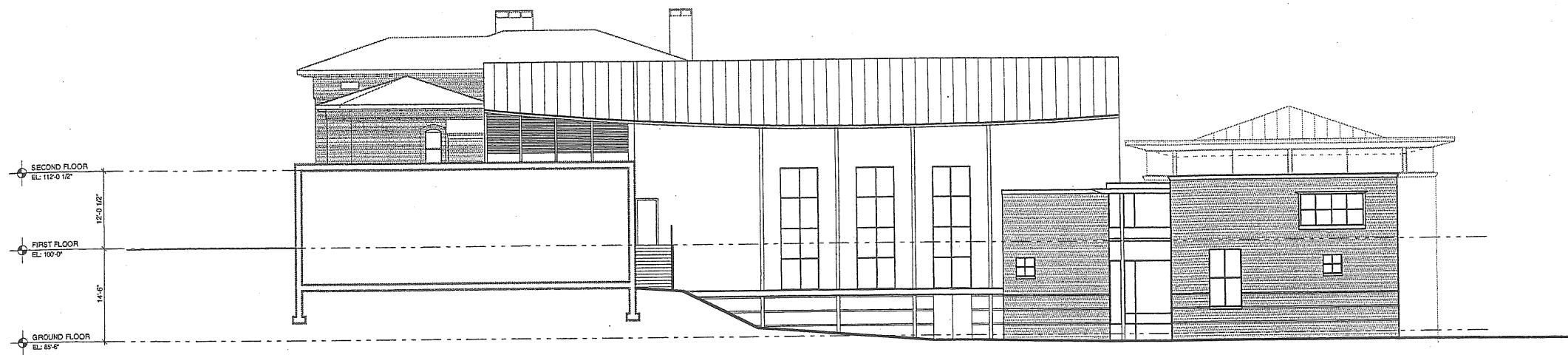
PROJECT  
**WAYNFLETE SCHOOL**  
 360 SPRING STREET  
 PORTLAND, ME  
 Progress Print  
 January 30, 2001

TITLE  
**SECOND FLOOR PLAN**

STATUS: **DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**

DATE: 01.30.01	REVISION (DATE):
SCALE: 1/8" = 1'-0"	
PROJECT NO. 00116.00	
DRAWN BY:	2001@ Scott Simons Architects

DWG NO. **A-1.3**



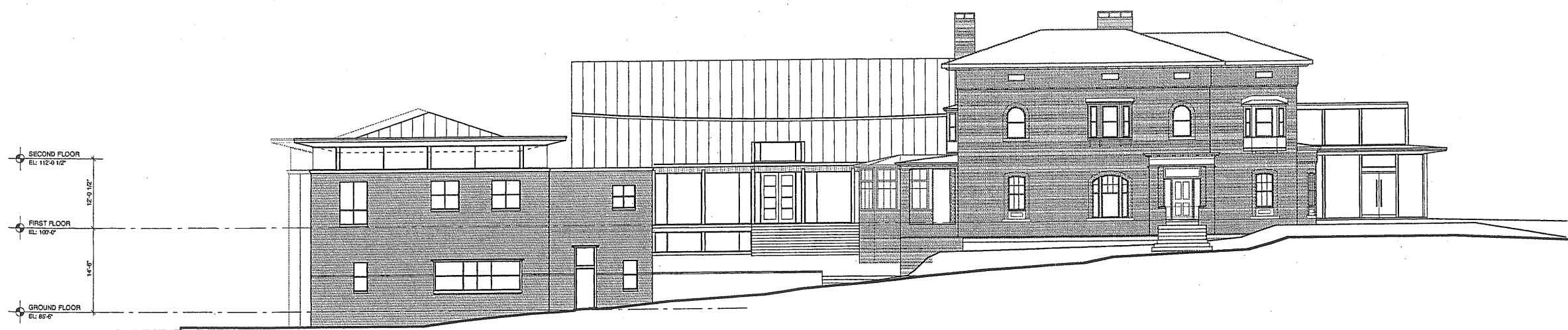
1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



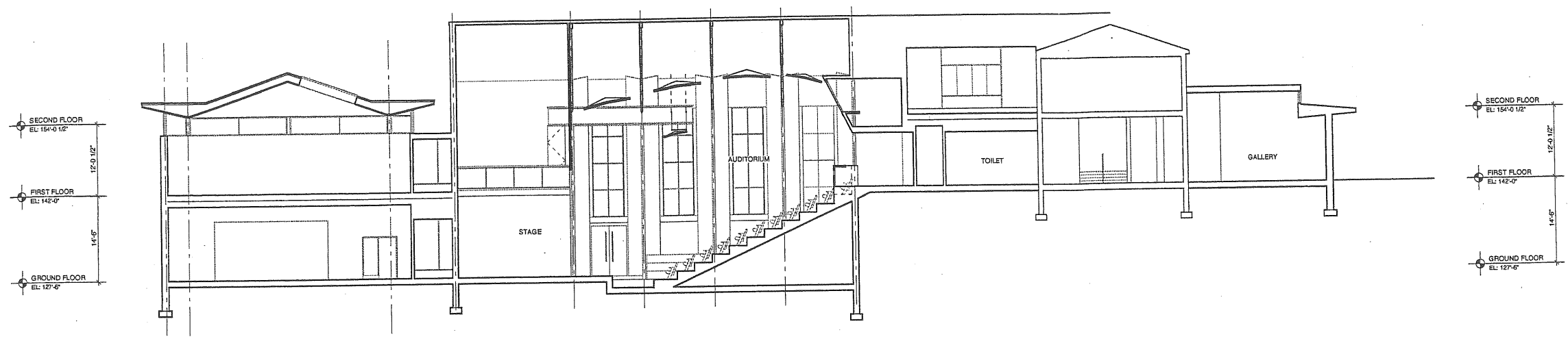
PROJECT  
**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME  
Progress Print  
January 30, 2001

TITLE  
**ELEVATIONS**

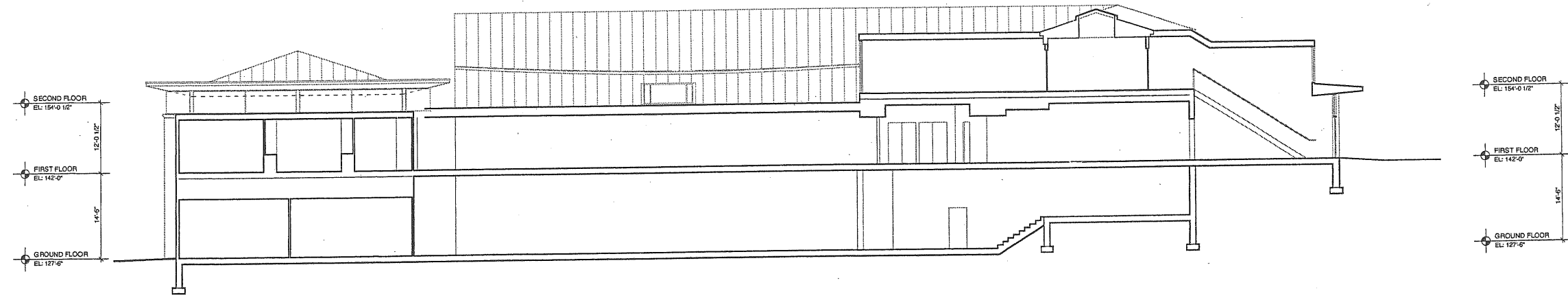
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**NOT FOR CONSTRUCTION**

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PROJECT NO.: 00116.00  
DRAWN BY: 2001 © Scott Simone Architects  
DWS NO. **A-2.1**

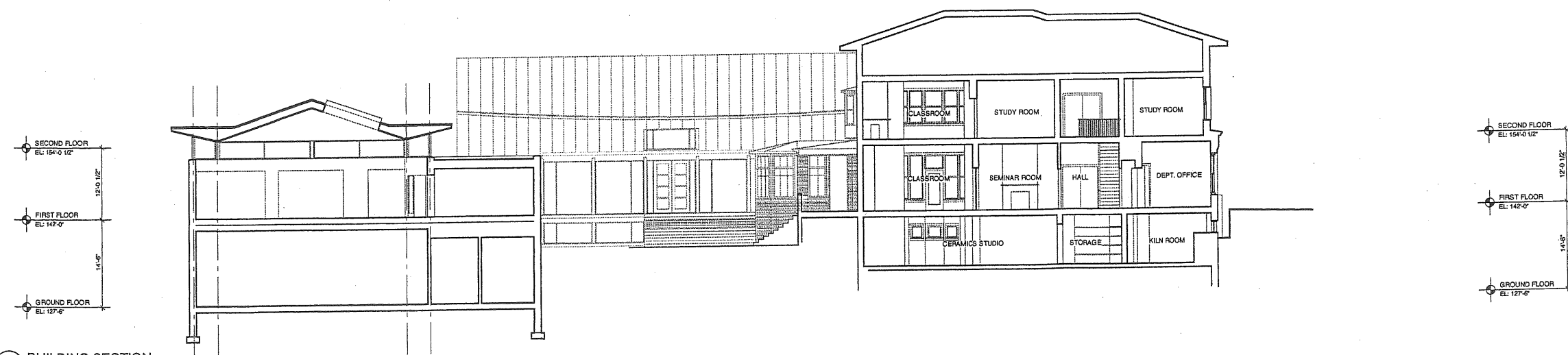




1 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



3 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



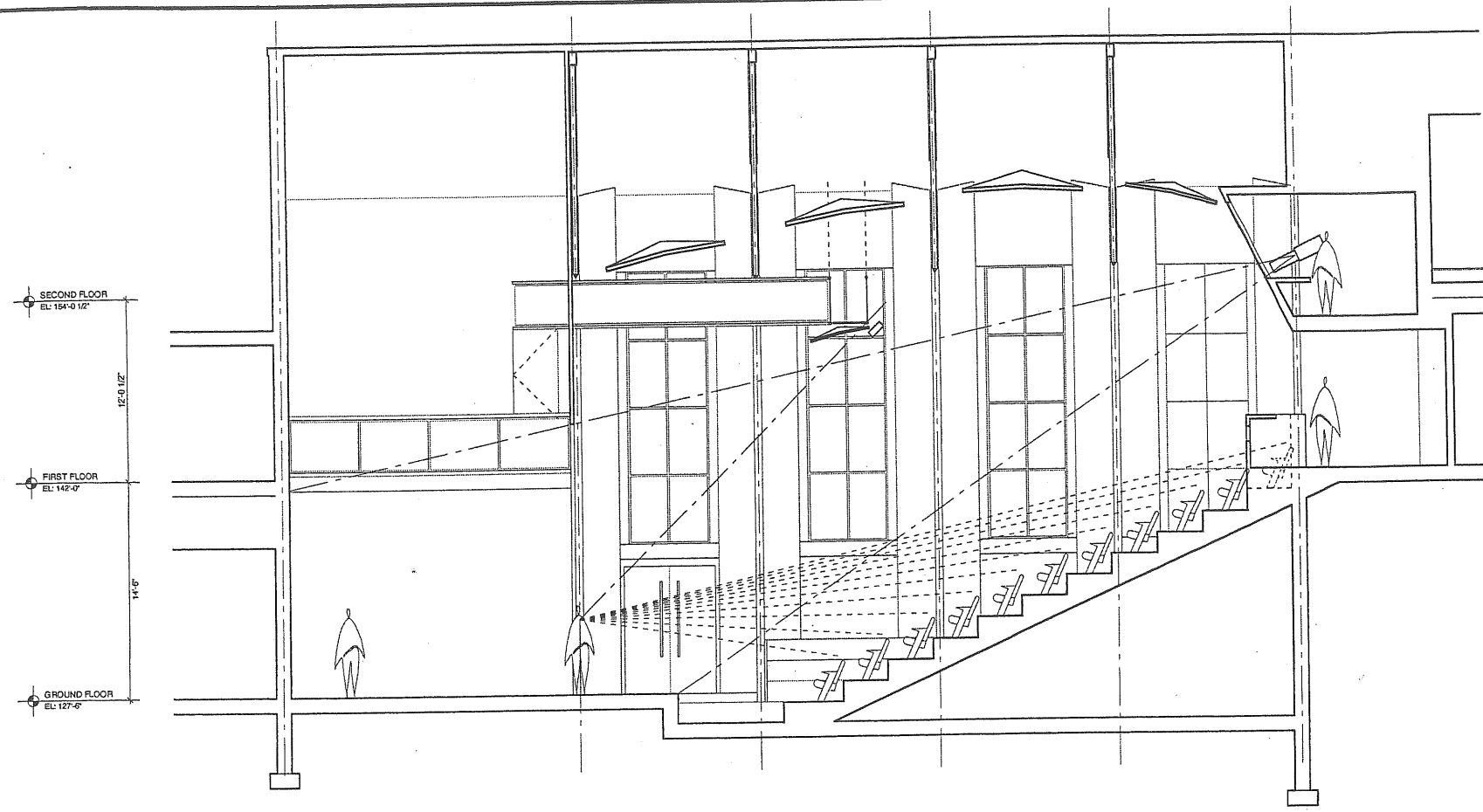
Scott Simons Architects  
12 Franklin Street 4th  
Portland, Maine 04101  
Phone 207 773 4600  
Fax 207 524 4556

PROJECT  
**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME

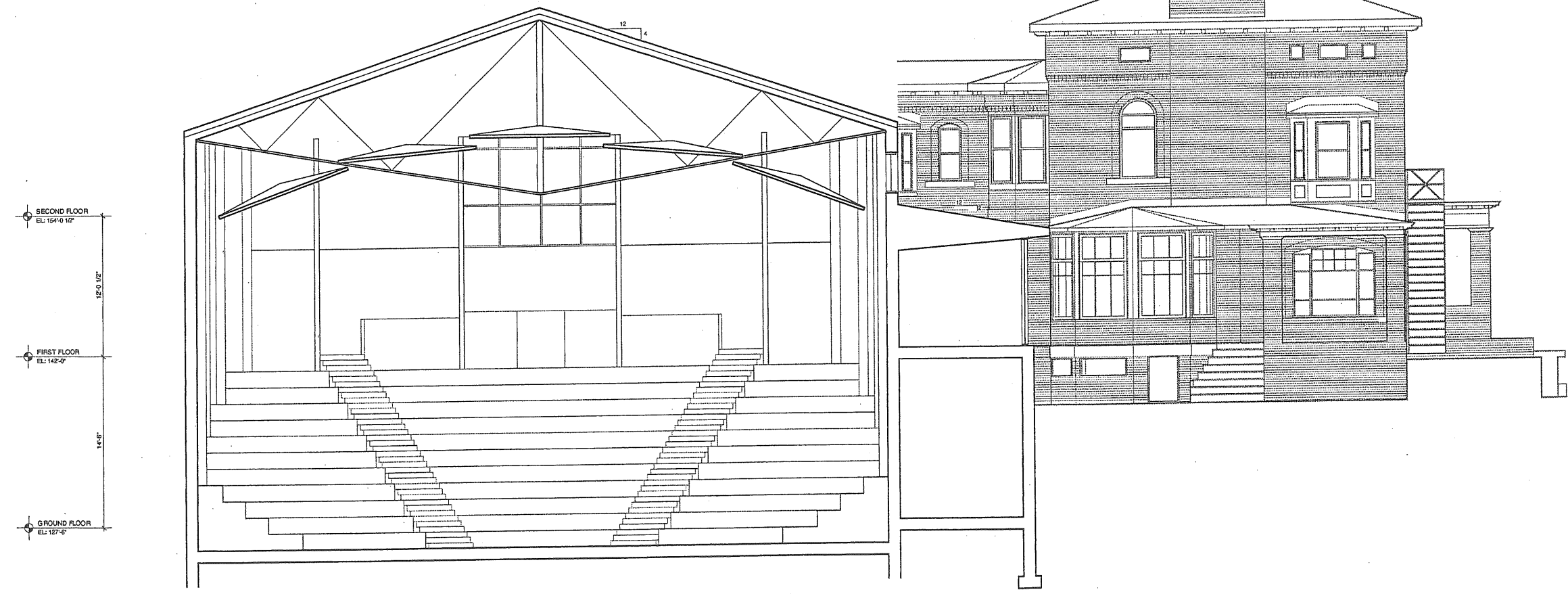
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**BLDG SECTIONS**

STATUS: **DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**

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PROJECT NO. 01001.00	
DRAWN BY:	2001© Scott Simons Architects
DWG NO.	<b>A-3.1</b>



1 AUDITORIUM SECTION  
SCALE: 1/4" = 1'-0"



2 AUDITORIUM SECTION  
SCALE: 1/4" = 1'-0"



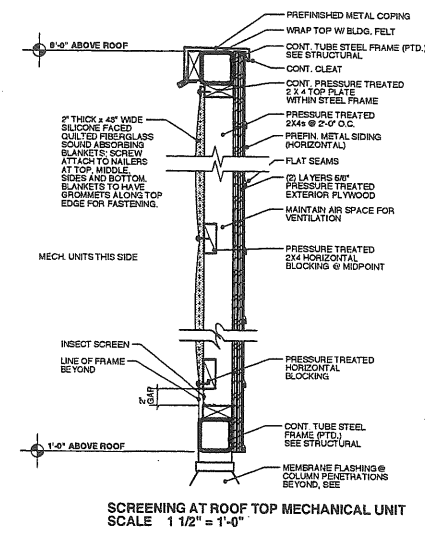
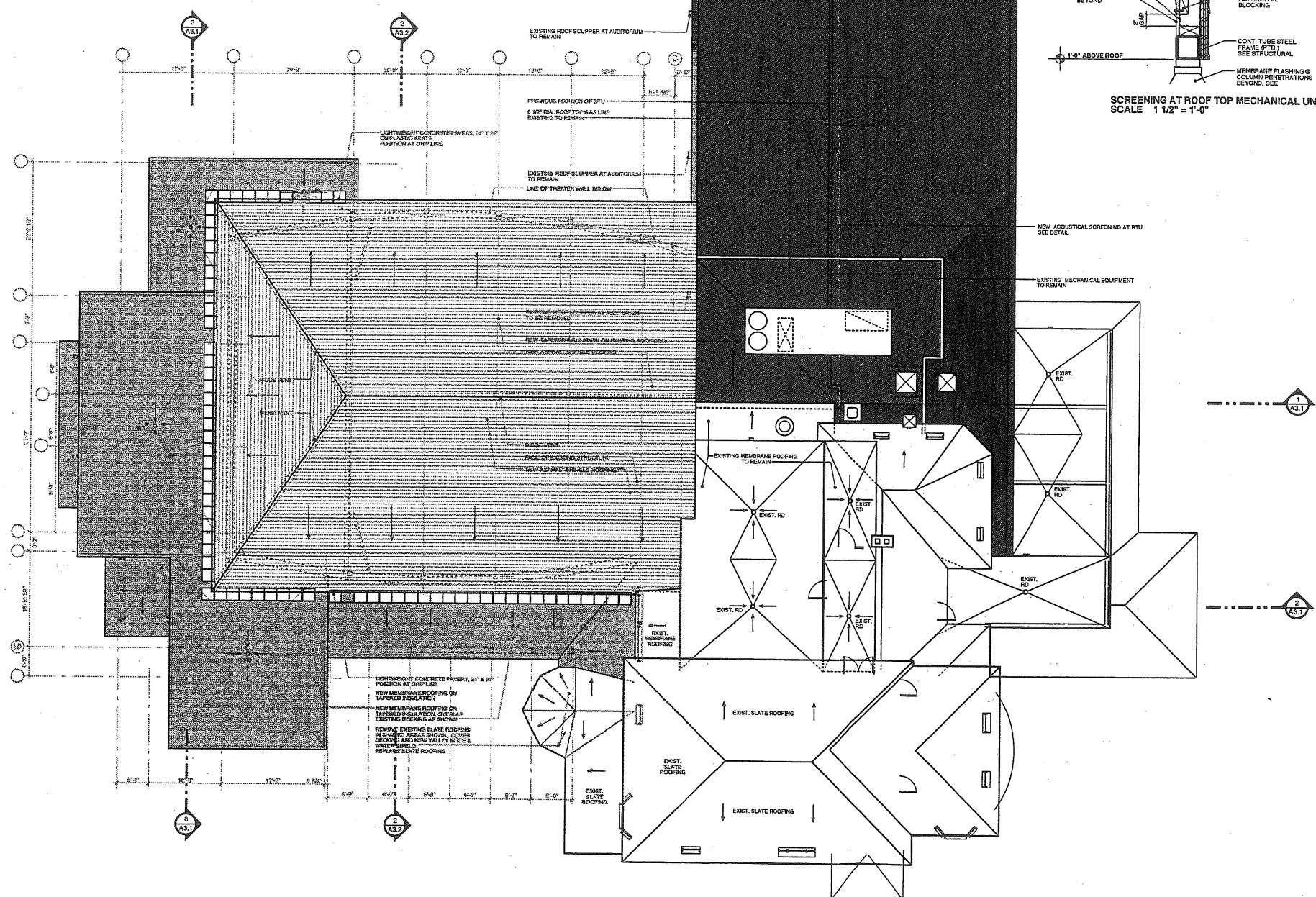
PROJECT  
**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME  
Progress Print  
January 30, 2001

TITLE  
**AUDITORIUM SECTION**

STATUS: **DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**


DATE: 01.30.01	REVISION / DATE:
SCALE: 1/4" = 1'-0"	
PROJECT NO. 00116.00	
DRAWN BY:	2001@ Scott Simons Architects

DWG NO. **A-x.x**



1 ROOF PLAN  
SCALE: 1/8" = 1'-0"



  
 Scott Emerson Architects  
 76 York Street  
 Portland, Maine 04101  
 Phone: 603 777 4000  
 Fax: 207 829 4858

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 SCOTT EMERSON ARCHITECTS  
 AND IS NOT TO BE COPIED OR  
 REPRODUCED IN PART OR WHOLE.

PROJECT  
**WAYNFLETE ARTS CENTER  
 PHASE TWO**  
 ■ ADDITION/RENOVATION  
 360 SPRING STREET  
 PORTLAND, ME

TITLE  
**ROOF PLAN**

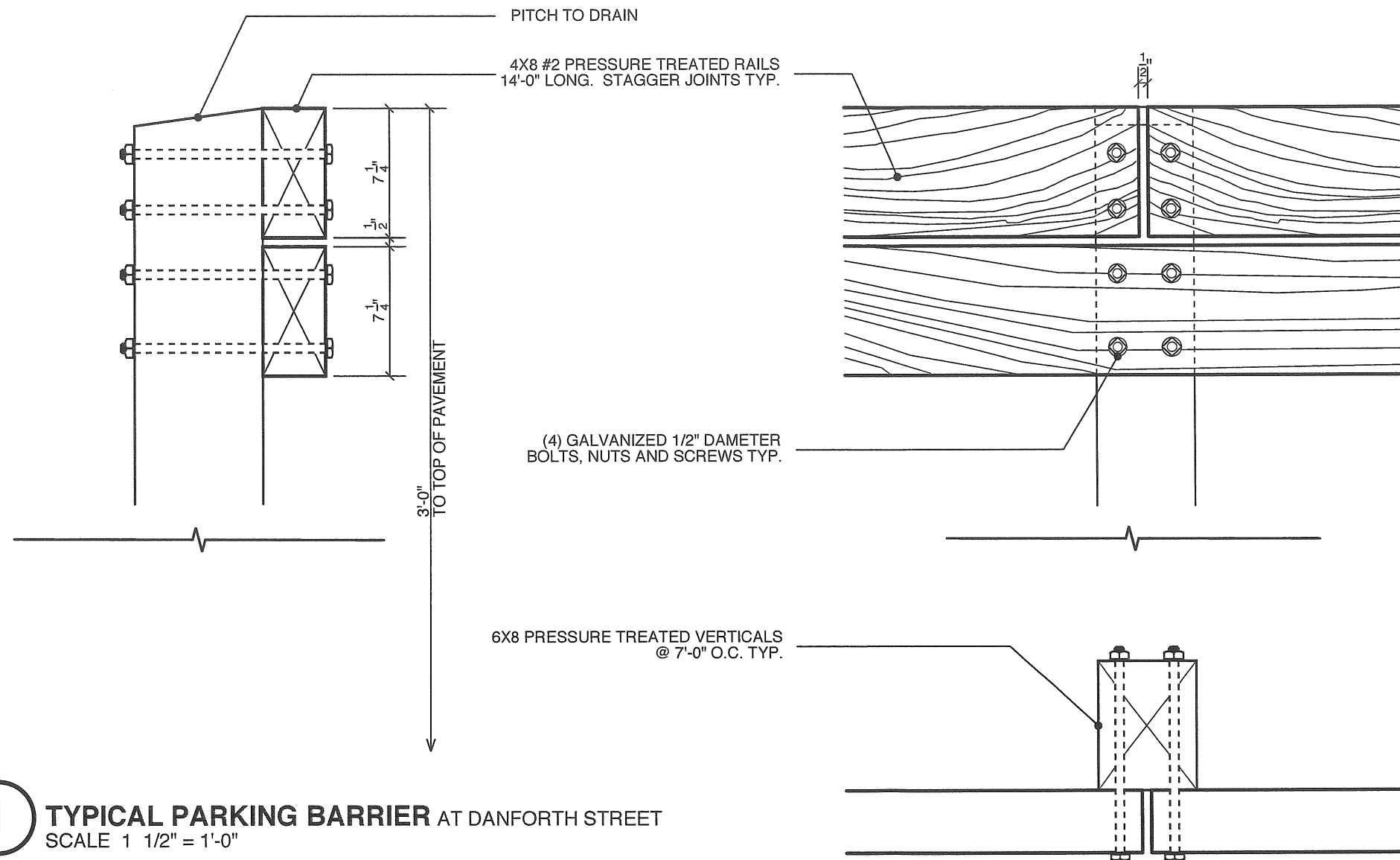
STATUS:  
**PLANNING BOARD SUBMISSION**  
 NOT FOR CONSTRUCTION

DATE: 07.02.2007      REVISION DATE:

PROJECT NO.  
 2003-0040.00


DRAWN BY:      2007 © Scott Emerson Architects

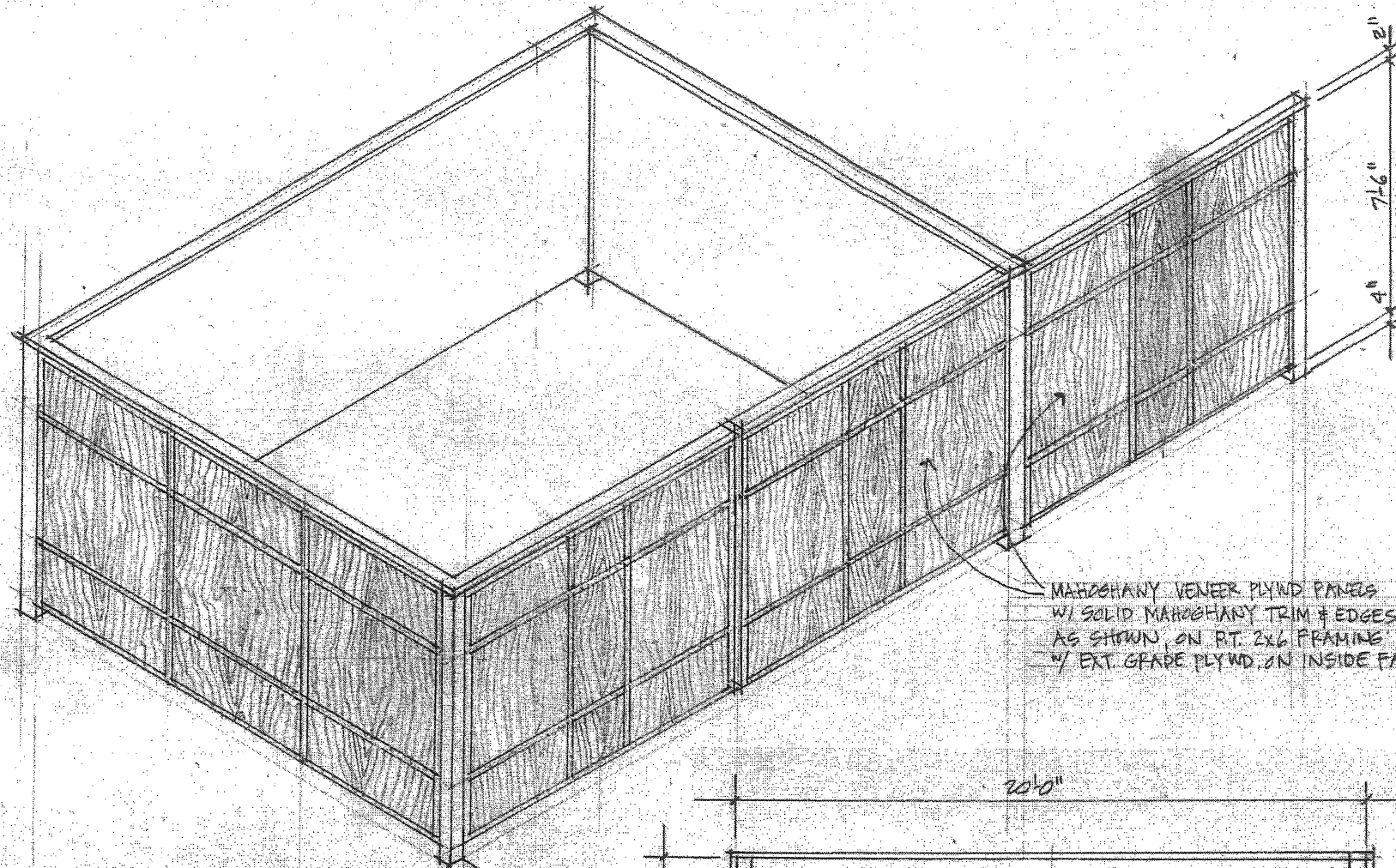
DWG. NO. **A-1.4**



**1** TYPICAL PARKING BARRIER AT DANFORTH STREET  
 SCALE 1 1/2" = 1'-0"

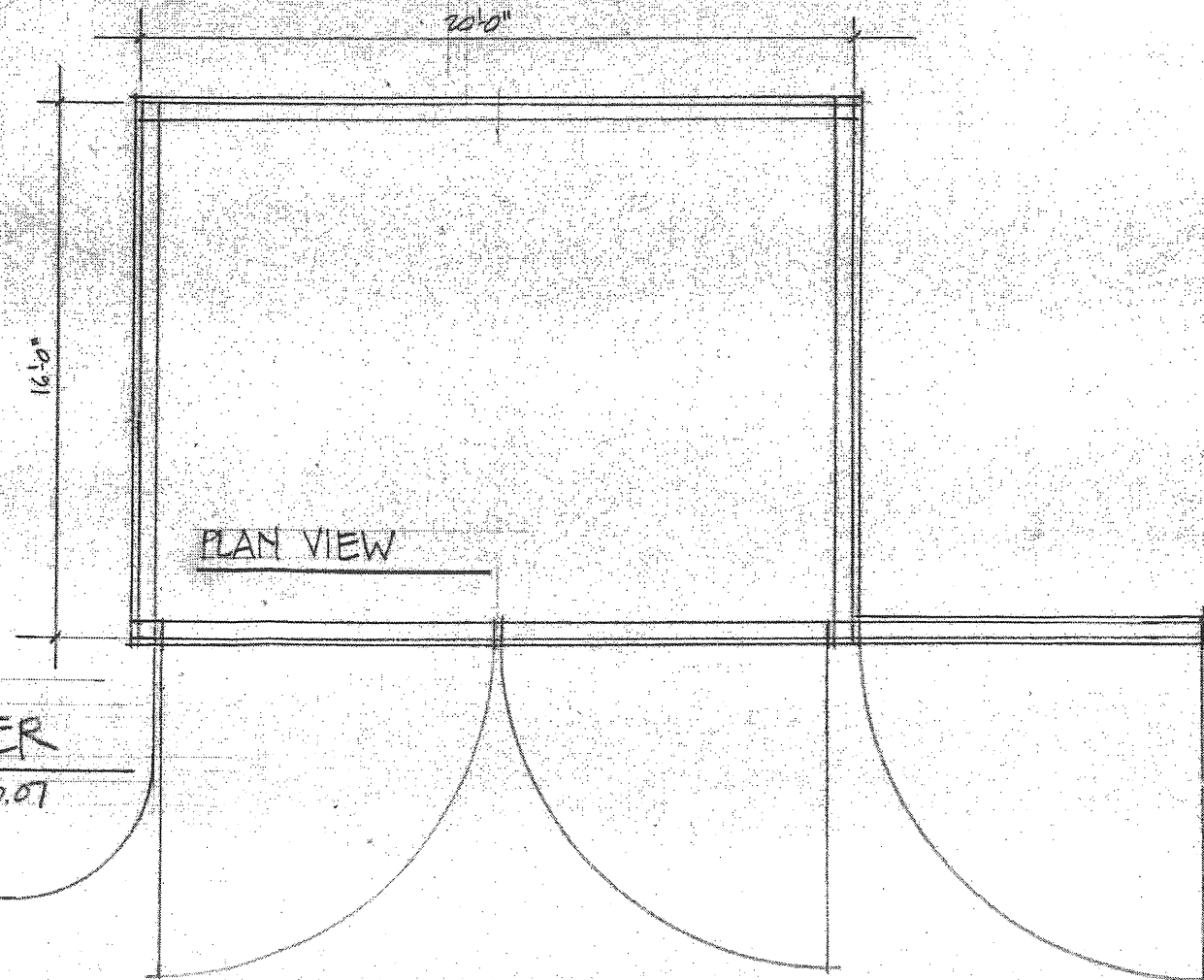
AS AGREED UPON WITH MIKE FARMER OF PORTLAND PUBLIC WORKS ON 7.25.07

 Scott Simons Architects 75 York Street Portland, Maine 04101 phone 207.772.4656 fax 207.829.4656	
THIS DRAWING IS THE PROPERTY OF SCOTT SIMONS ARCHITECTS AND IS NOT TO BE COPIED OR REPRODUCED IN PART OR WHOLE.	
PROJECT <b>WAYNFLETE ARTS CENTER PHASE TWO</b> 360 SPRING STREET PORTLAND, MAINE	
TITLE	
PARKING BARRIER	
STATUS: <b>PLANNING BOARD</b> JULY 31, 2007	
DATE: 7.31.07	△ REVISION /DATE:
SCALE:	
PROJECT NO. 2003-0040.00	
DRAWN BY:	2007 © Scott Simons Architects
DWG NO.	



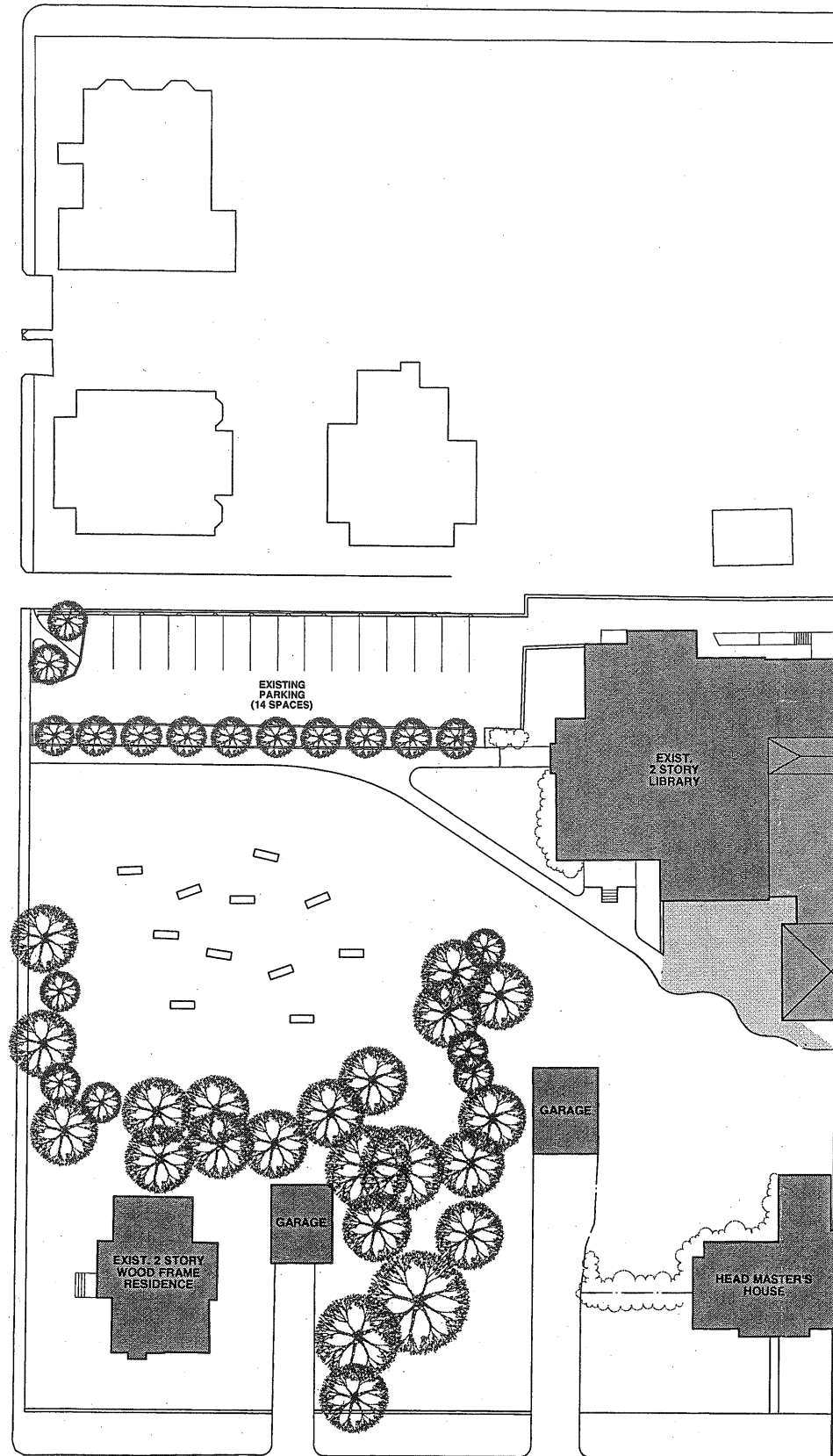
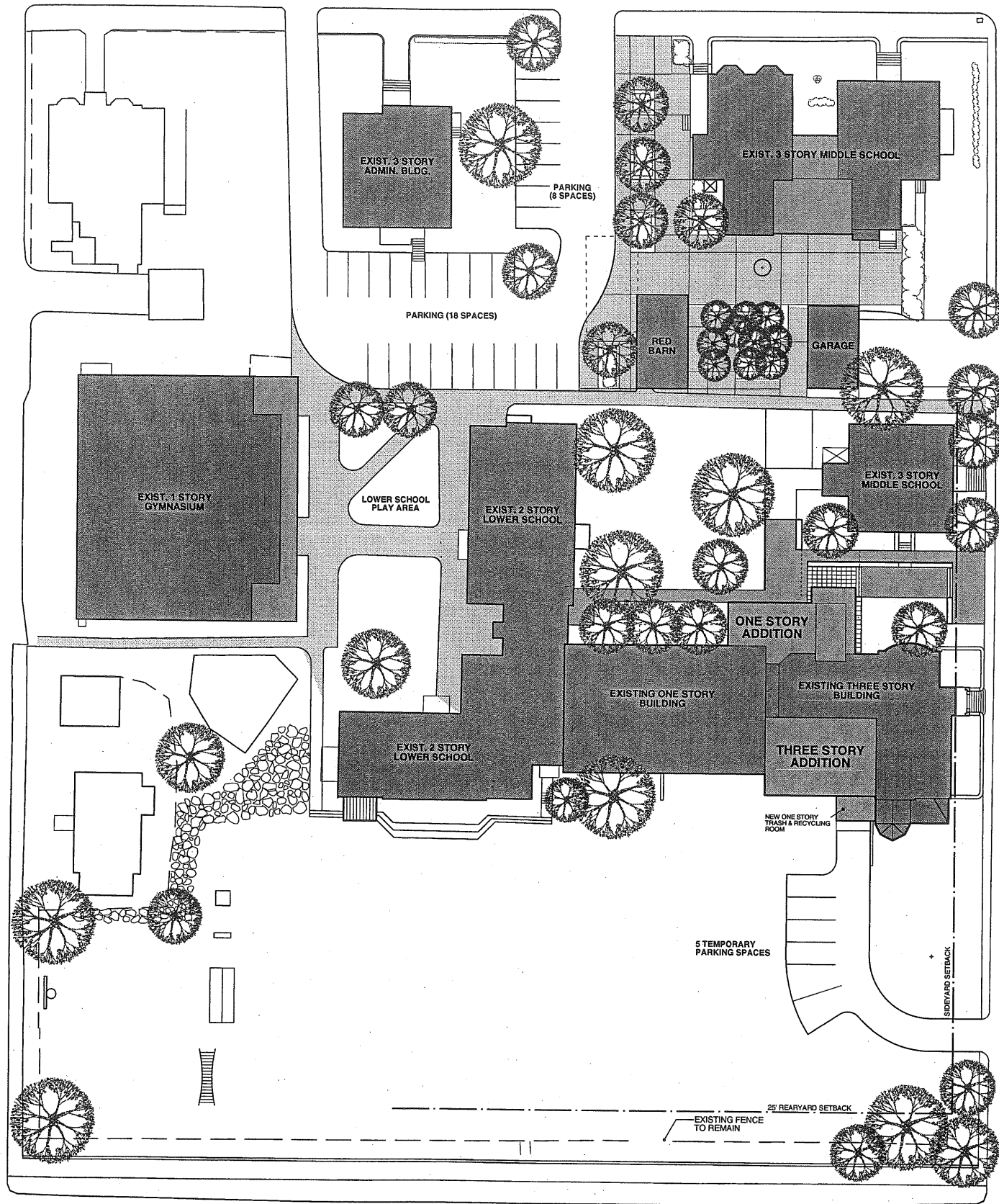
MAHOOGANY VENEER PLYND PANELS  
W/ SOLID MAHOOGANY TRIM & EDGES  
AS SHOWN ON RT. 2x6 FRAMING  
1/4" EXT. GRADE PLYND ON INSIDE FACE, TYP.

ISOMETRIC VIEW




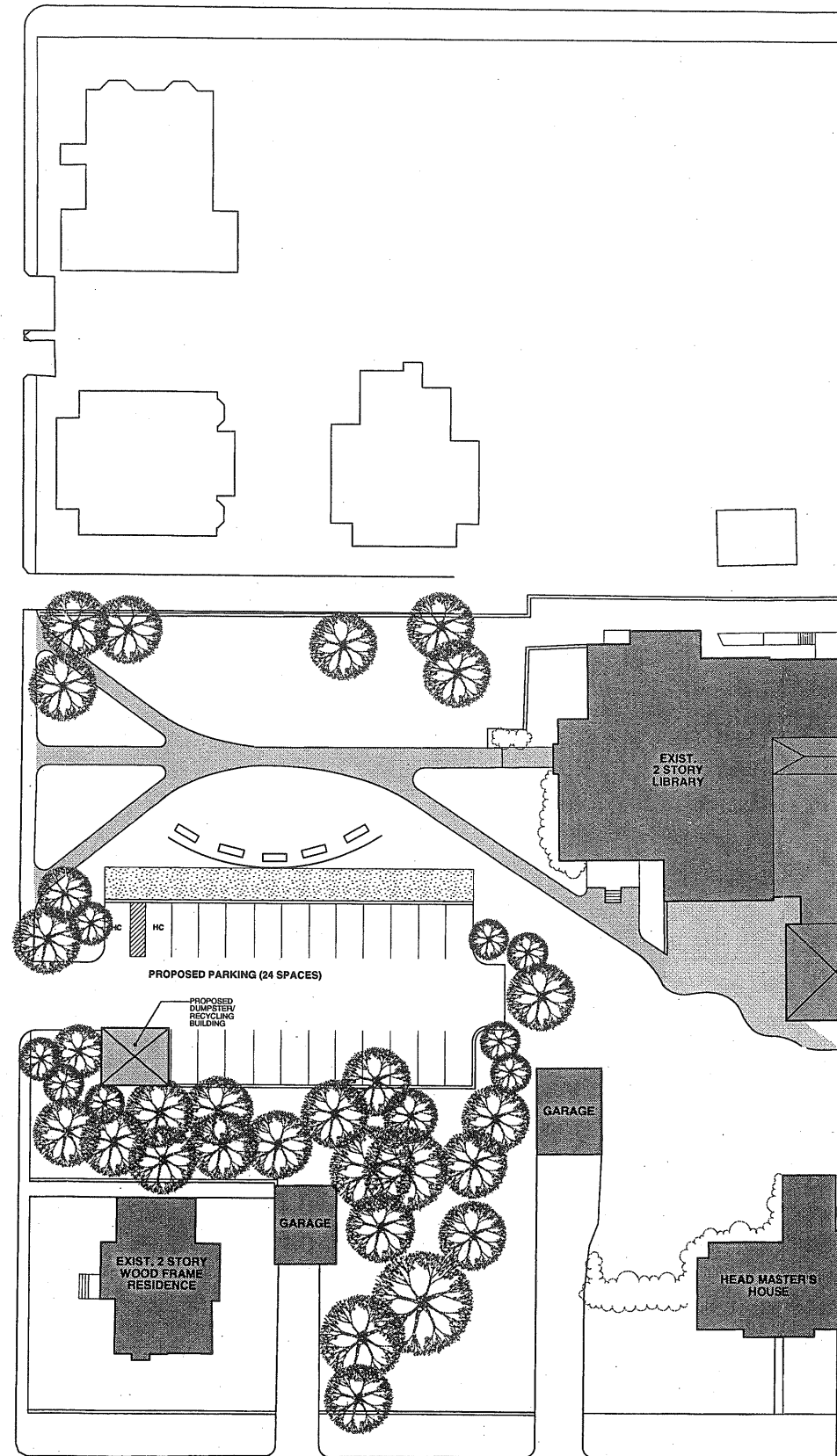
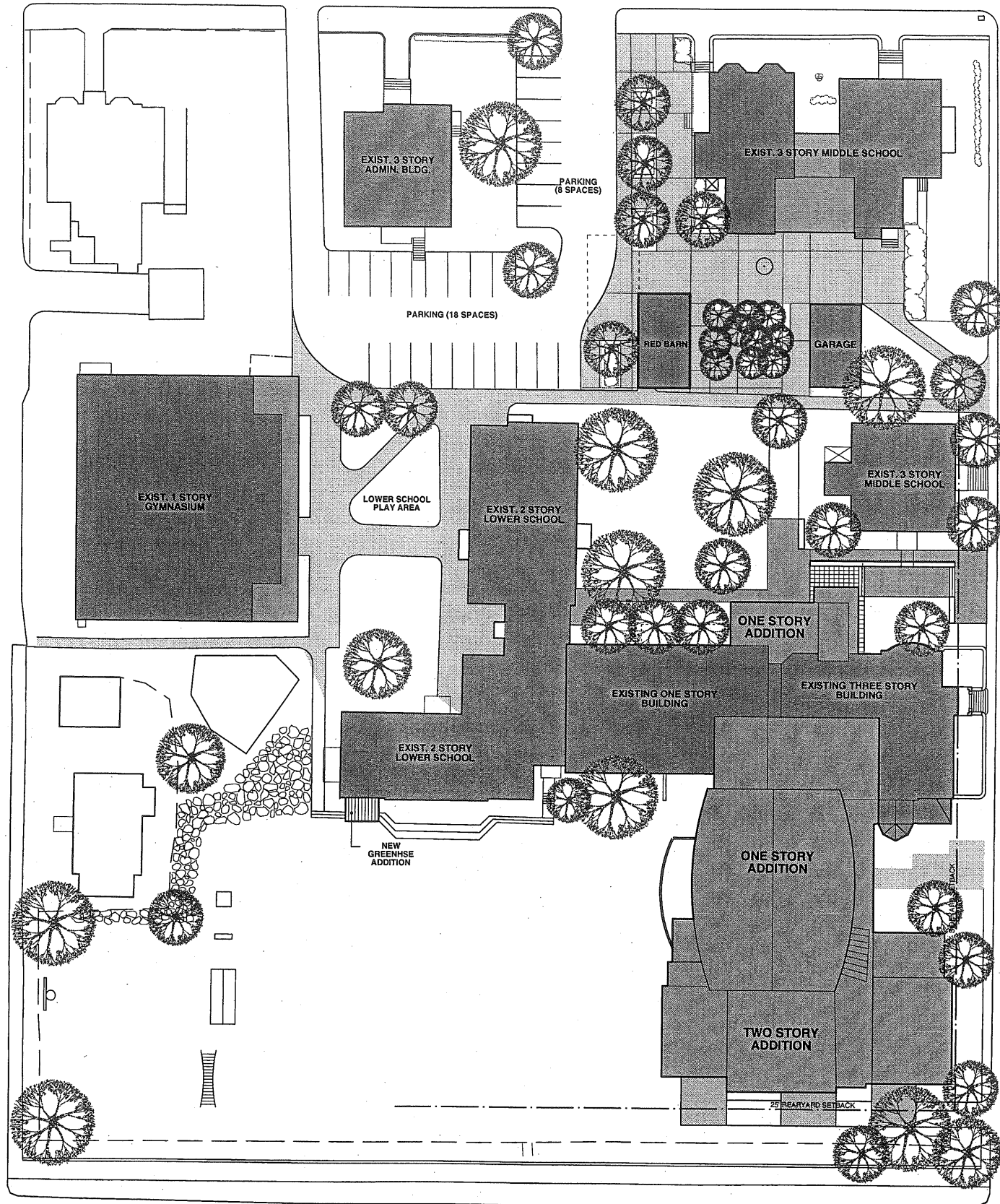
PLAN VIEW

DUMPSTER ENCLOSURE FOR  
WAYNFLETE ARTS CENTER  
SCOTT SIMONS ARCHITECTS 07.23.07



SCALE: 1" = 20'-0"  
 20 0 20 40  
 SCALE IN FEET

 Scott Simons Architects 15 Franklin Street Art Portland, Maine 04101 phone 207.772.4668 fax 207.626.4866	
PROJECT	<b>WAYNFLETE ARTS CENTER          PHASE ONE</b> 360 SPRING STREET PORTLAND, ME  Revised May 18, 2001
TITLE	<b>SITE PLAN          PHASE ONE</b>
STATUS:	<b>DESIGN DEVELOPMENT          NOT FOR CONSTRUCTION</b>
DATE: 04.25.01	REVISION DATE:
PROJECT NO. 001142	SCALE 20'-0"
DRAWN BY:	2001 © Scott Simons Architects
DWG NO.	<b>MP-1.1</b>



SCALE: 1" = 20'-0"

0 20 40

SCALE IN FEET



PROJECT

**WAYNFLETE ARTS CENTER  
PHASE TWO**  
360 SPRING STREET  
PORTLAND, ME

Revised May 18, 2001

TITLE

**SITE PLAN  
PHASE TWO**

STATUS: **DESIGN DEVELOPMENT  
NOT FOR CONSTRUCTION**

DATE: 04.30.01	REVISION DATE:
SCALE: 1" = 20'-0"	
PROJECT NO. 00116.00	
DRAWN BY:	2001© Scott Simone Architects
DWG NO.	<b>MP-1.2</b>

SPRING STREET

Att. 1

THOMAS HOUSE

COOK HYDE HOUSE

MORRILL HOUSE

ADMINISTRATION EXPANSION

16 PARKING SPACES

MIDDLE SCHOOL ADDITION

NEW MAINTENANCE FACILITY

NEW LOOP ROAD

GYMNASIUM

FOUNDERS HALL

HURD HOUSE

LOCKER ROOMS

FINE ARTS ADDITION

EMERY BUILDING

LIBRARY ADDITION

UPPER SCHOOL EXPANSION

HEWES WING

SILLS HALL

DAVEIS HALL

LOWER SCHOOL EXPANSION

PERFORMING ARTS ADDITION

30 PARKING SPACES

OVERFLOW PARKING  
22 SPACES

10 PARKING SPACES

FLETCHER STREET

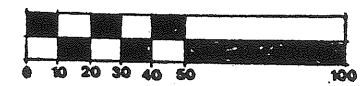
STORER STREET

EMERY STREET

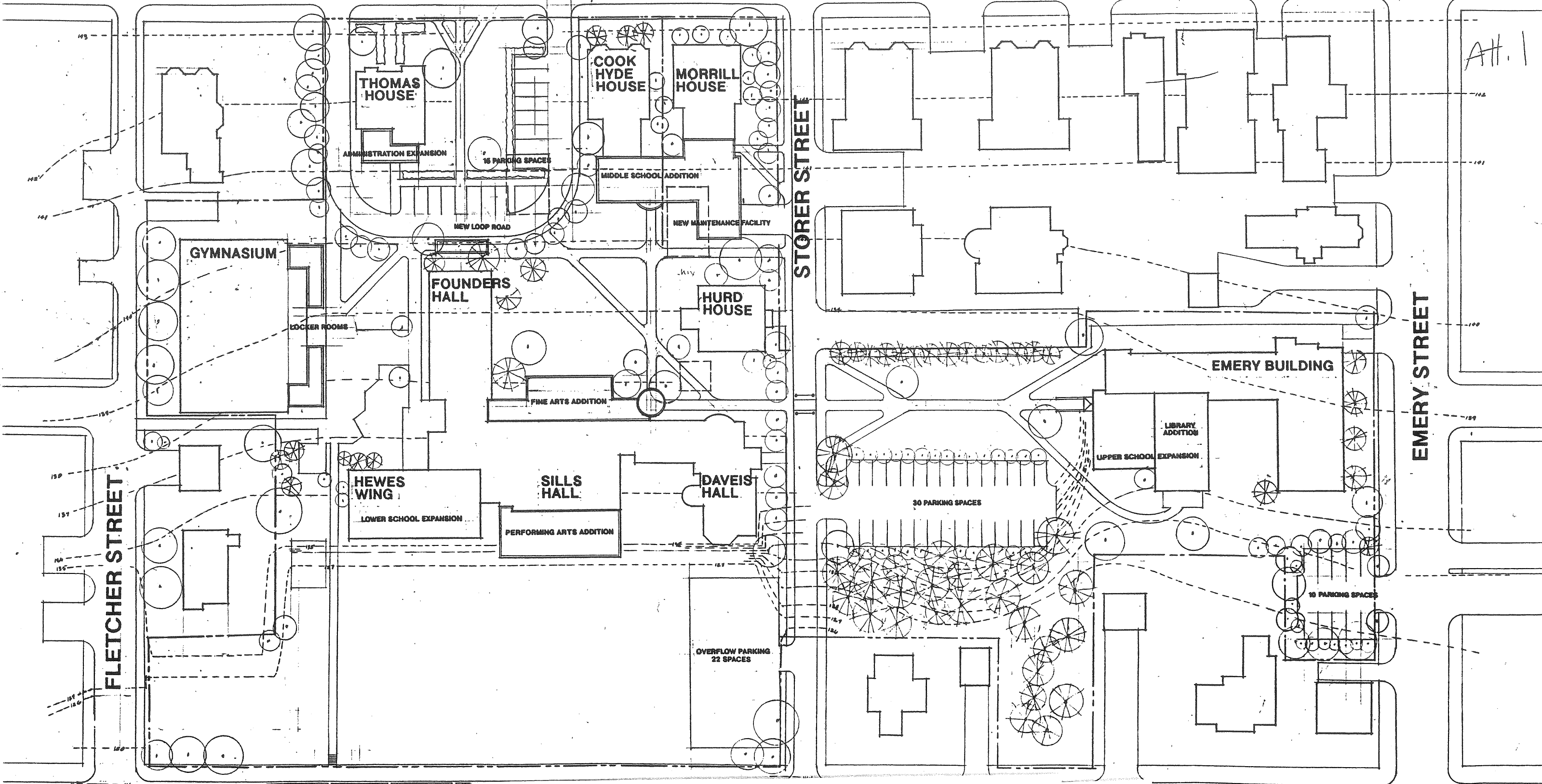
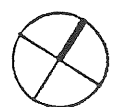
DANFORTH STREET

# 1995 CAMPUS MASTER PLAN

## The Waynflete School Portland, Maine



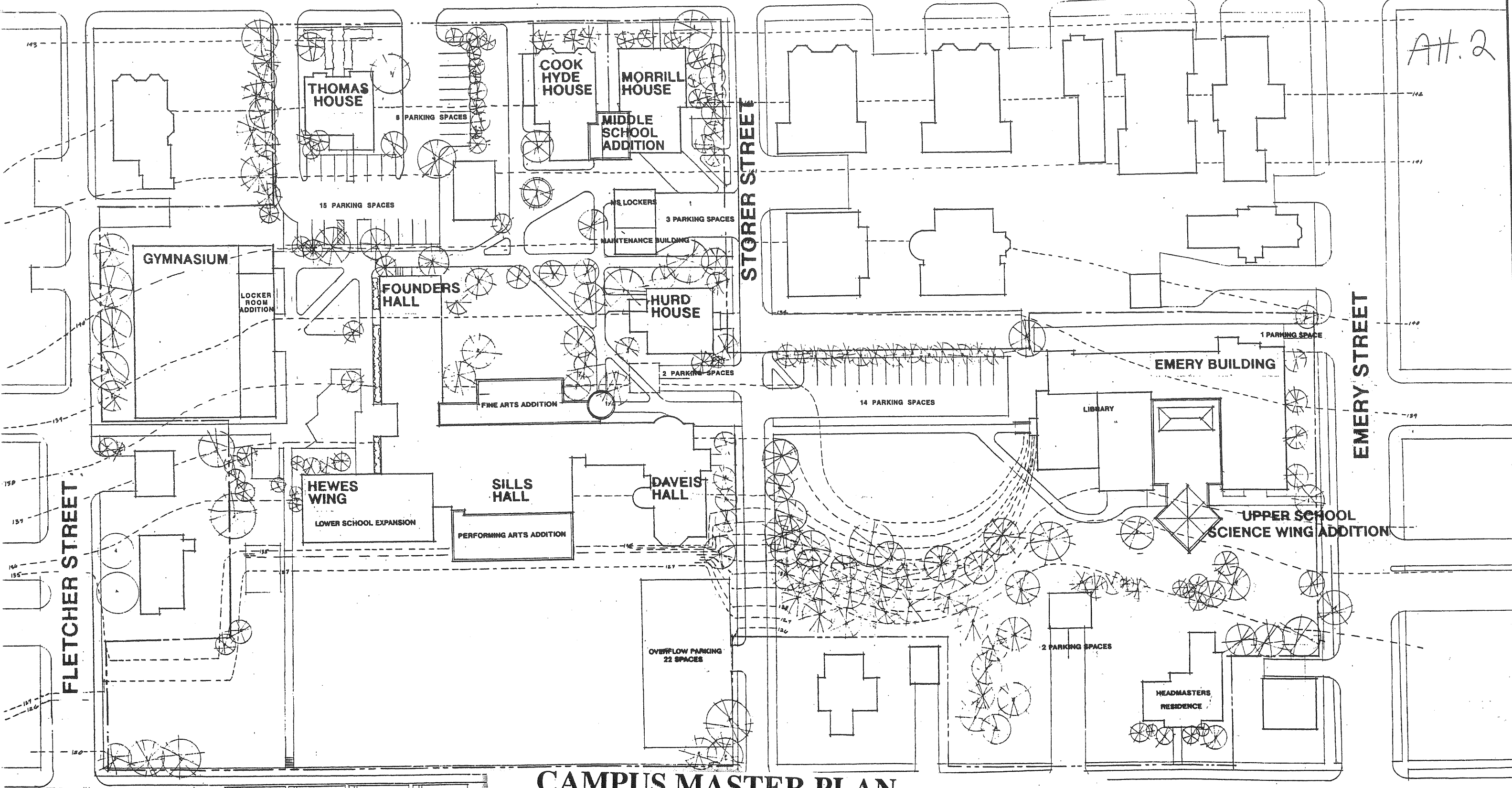
PROPERTY LINE  
EXSTG. CONTOURS





SPRING STREET

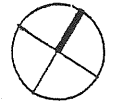
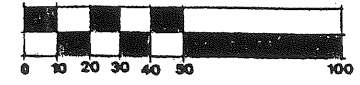
Att. 2



# CAMPUS MASTER PLAN

The Waynflete School  
Portland, Maine

REVISED: MAY 12, 1999



PROPERTY LINE  
EXSTD. CONTOURS

DANFORTH STREET

FLETCHER STREET

STOROR STREET

EMERY STREET

THOMAS HOUSE

COOK HYDE HOUSE

MORRILL HOUSE

MIDDLE SCHOOL ADDITION

15 PARKING SPACES

FOUNDERS HALL

HURD HOUSE

EMERY BUILDING

HEWES WING

SILLS HALL

DAVEIS HALL

UPPER SCHOOL SCIENCE WING ADDITION

OVERFLOW PARKING 22 SPACES

HEADMASTERS RESIDENCE

GYMNASIUM

LOCKER ROOM ADDITION

MAINTENANCE BUILDING

3 LOCKERS

FINE ARTS ADDITION

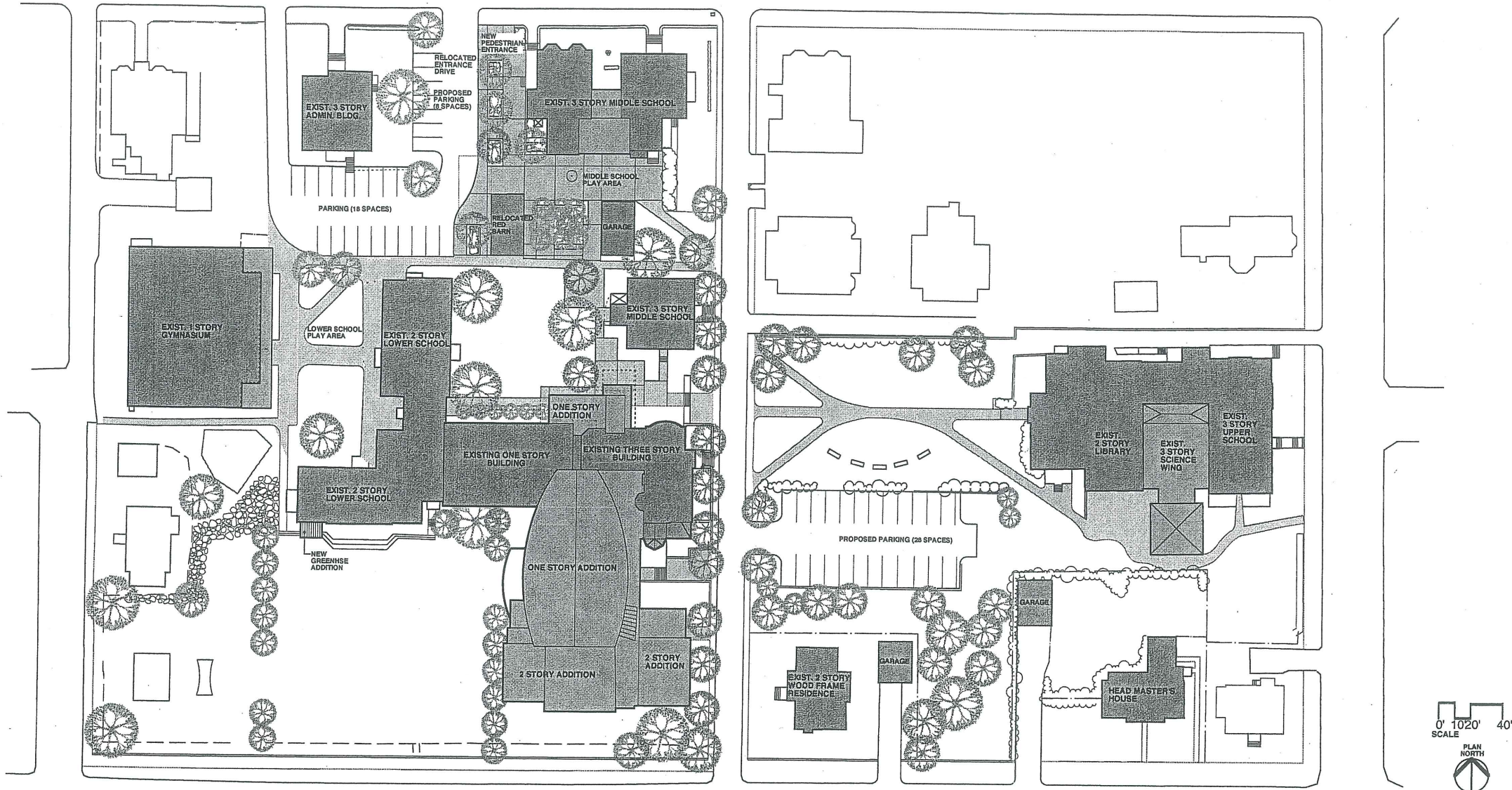
2 PARKING SPACES

14 PARKING SPACES

LIBRARY

1 PARKING SPACE

2 PARKING SPACES



*Progress Print*  
*January 30, 2001*

# Waynflete Arts Center

360 Spring Street, Portland, Maine



PROJECT  
**WAYNFLETE SCHOOL**  
 360 SPRING STREET  
 PORTLAND, ME  
 Progress Print  
 January 30, 2001

TITLE  
**REVISED CAMPUS  
 MASTER PLAN**  
 01.10.01

STATUS:  
**DESIGN DEVELOPMENT**  
*NOT FOR CONSTRUCTION*

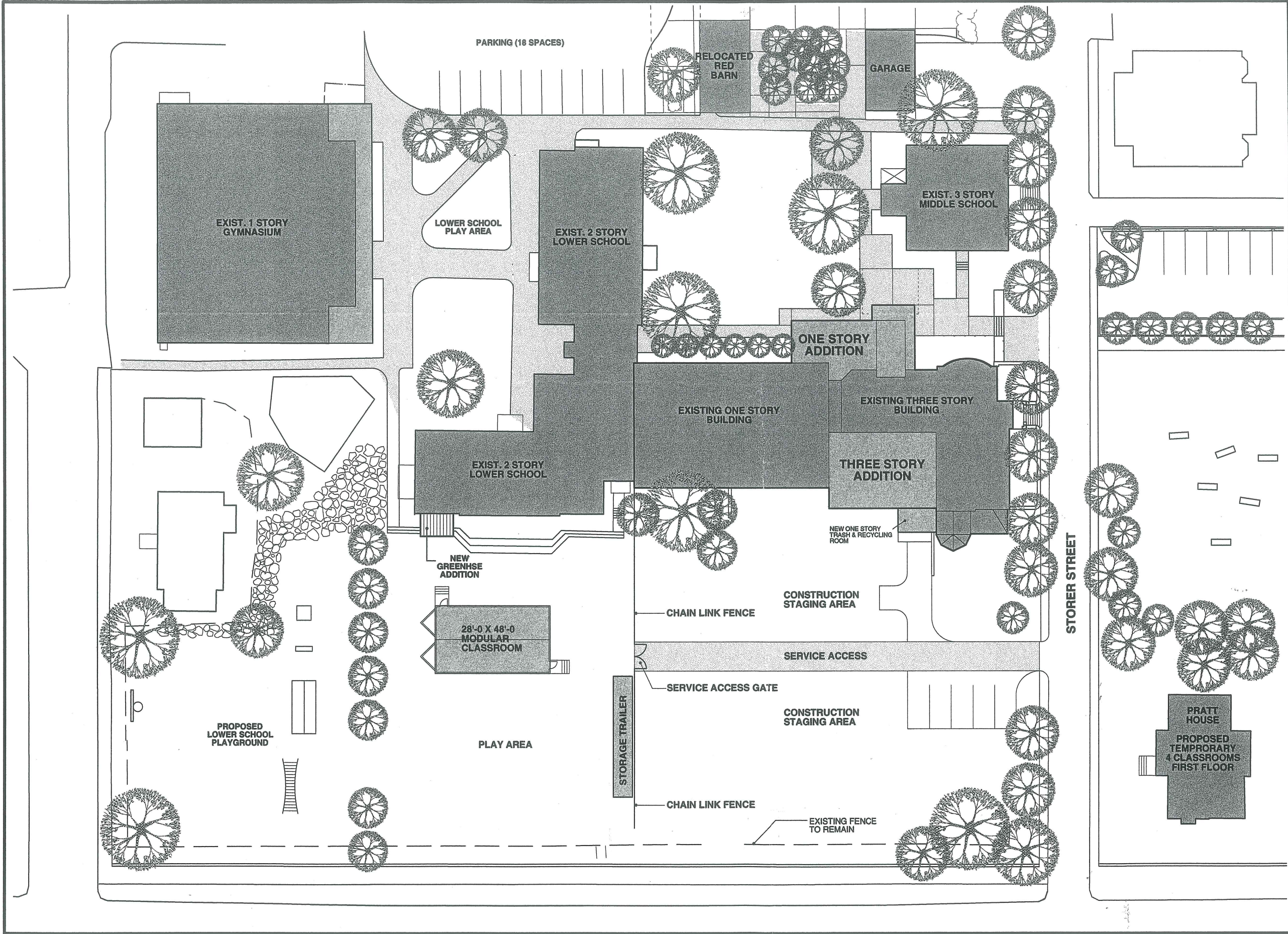
DATE: 01.30.01	REVISION /DATE:
PROJECT NO. 0016.00	
DRAWN BY: 2001@ Scott Simons Architects	
DWG NO.	

061-F-006

26-36 Storers

Waynelete Art Center

Waynelete Arts Center



**SSA**  
 Scott Simons Architects  
 15 Franklin Street Art  
 Portland, Maine 04101  
 phone 207 772 4656  
 fax 207 628 4656

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PROJECT  
**WAYNFLETE SCHOOL  
 TEMPORARY TRAILER**  
 STORER STREET  
 PORTLAND, ME

TITLE  
**SITE PLAN  
 W/ TEMPORARY  
 CLASSROOM &  
 STORAGE TRAILER**

STATUS:  
**PLANNING BOARD REVIEW**

DATE: 07.08.01	REVISION / DATE:
SCALE: 1"=40'	
PROJECT NO. 00116	
DRAWN BY:	2001© Scott Simons Architects

DWG NO. **A-1**

Planning Board Submission

April 26, 2001

Renovations and Additions for

# Waynflete Arts Center

360 Spring Street, Portland, Maine

## Phase One

**Architects:**

Scott Simons Architects  
15 Franklin Street Art  
Portland, Maine 04101  
phone 207 772-4656  
fax 207 828-4656  
e-mail  
austin@simonsarchitects.com

**Structural Engineers:**  
Becker Structural Engineers  
19 Commercial Street  
Portland, Maine 04101  
phone 207 879-1838  
fax 207 879-1822  
e-mail  
beckerse@gwi.net

**Specifications:**  
Lowell Specifications, Inc.  
50 Fernald Road  
Freeport, Maine 04032-6611  
phone 207 865-4518  
fax 207 781-1136  
e-mail  
lowspecs@suscom-maine.net

**Landscape Architect:**

Michael Boucher Landscape Architecture  
4 South Street  
Freeport, Maine 04032  
phone 207 865-1080  
fax 207 865-1455  
e-mail  
michael@boucherlandscape.com

**Electrical Engineers:**

Neill and Gunter  
Scarborough Court, 482 Payne Road  
Scarborough, Maine 04074  
phone 207 883-3355  
fax 207 883-3376  
e-mail  
rnadeau@nginc.com

**Civil Engineers**

Pinkham & Greer Consulting Engineers  
170 U.S. Route One  
Falmouth, Maine 04105  
phone 207 781-5242  
fax 207 781-4245  
e-mail  
pgce@maine.rr.com


**Mechanical Engineers & Contractor**

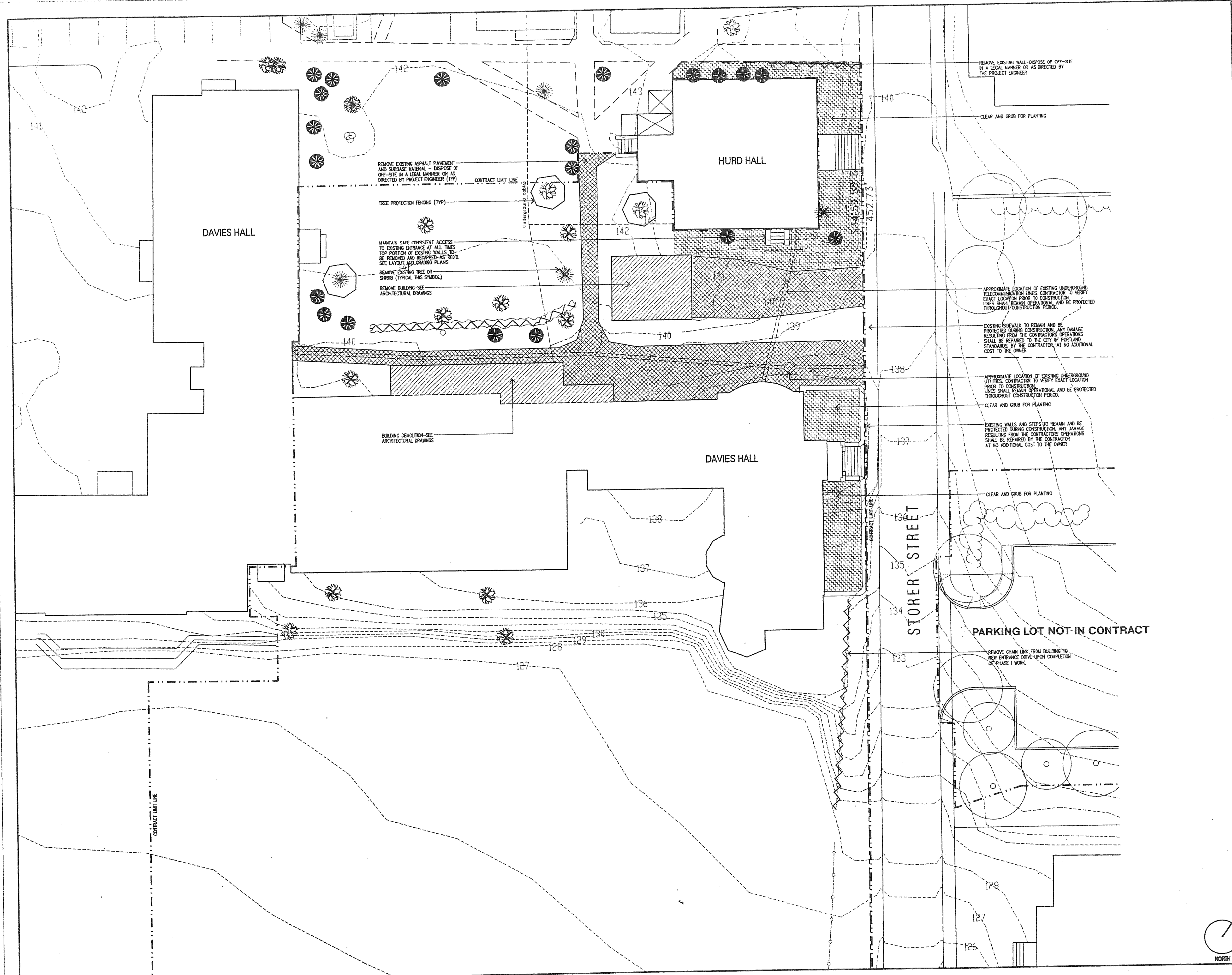
Johnson & Jordan, Mechanical Contractors  
18 Mussey Road  
Scarborough, Maine 04074  
phone 207 883-8345  
fax 207 883-8619  
e-mail  
mike@johnsonandjordan.com

### List of Drawings

- Cover Cover Sheet
- Survey Overall Site Survey
- PHASE ONE
- MP-1.1 Master Site Plan-Phase One
- L-1.0 Demolition & Removals Plan
- L-2.0 Layout & Materials Plan
- L-3.0 Grading & Drainage Plan
- L-4.0 Planting Plan
- L-5.0 Drainage Details
- L-5.1 Site Details
- A-1.0 Ground Floor Plan-Phase One
- A-1.1 First Floor Plan-Phase One
- A-1.2 Second Floor Plan-Phase One
- A-2.1 Exterior E/N Elevations-Phase One
- A-2.2 Exterior W/S Elevations-Phase One
- A-3.1 Building Sections-Phase One
- A-4.1 Wall Sections
- A-4.2 Wall Sections
- E.2 Site Lighting Plan
- C-1.0 Site Drainage Plan

Att. 1.a

 <small>Scott Simons Architects 15 Franklin Street Art Portland, Maine 04101 phone 207 772 4656 fax 207 828 4656</small>	
PROJECT <b>WAYNFLETE ARTS CENTER</b>  360 SPRING STREET PORTLAND, ME  Planning Board Submission April 26, 2001	
TITLE  <b>COVER SHEET</b>	
STATUS: <b>DESIGN DEVELOPMENT NOT FOR CONSTRUCTION</b>	
DATE: 04.26.01	REVISION (DATE):
PROJECT NO. 0011E.00	
DRAWN BY:	2001 © Scott Simons Architects
DWG NO.	<b>COVER</b>



1.d



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 michael@boucherlandscape.com

PROJECT  
**WAYNFLETE SCHOOL**  
 380 SPRING STREET  
 PORTLAND, ME  
 Issued for Pricing  
 April 28, 2001

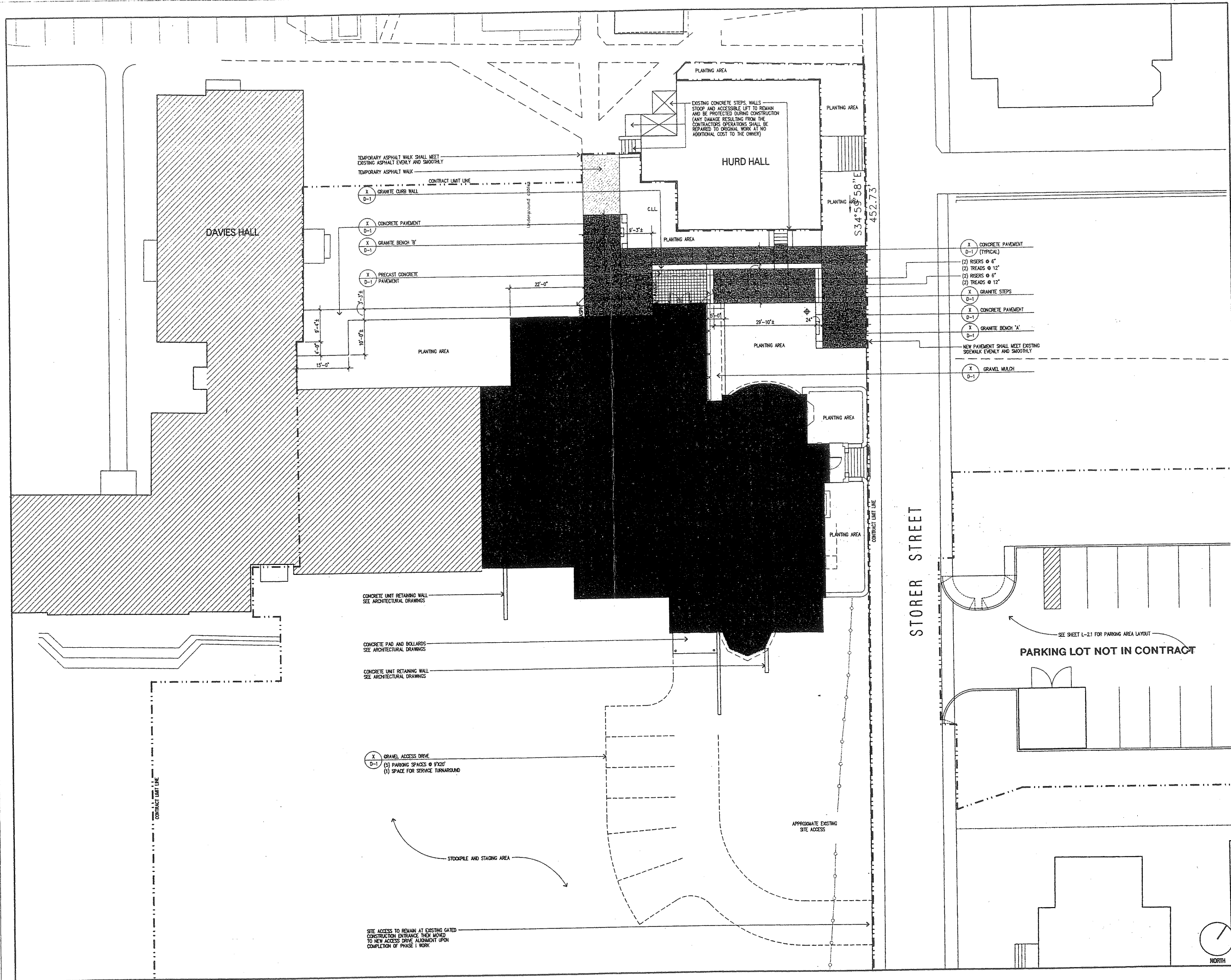
TITLE  
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 REMOVALS PLAN**

STATUS:  
**CONSTRUCTION DRAWINGS  
 NOT FOR CONSTRUCTION**

DATE: 28 APRIL 2001  
 SCALE: 1"=10'-0"  
 PROJECT NO. 01001.00  
 DRAWN BY: RWK  
 DWG NO. 2001@ Scott Simon Architects

L-1.0

l.e

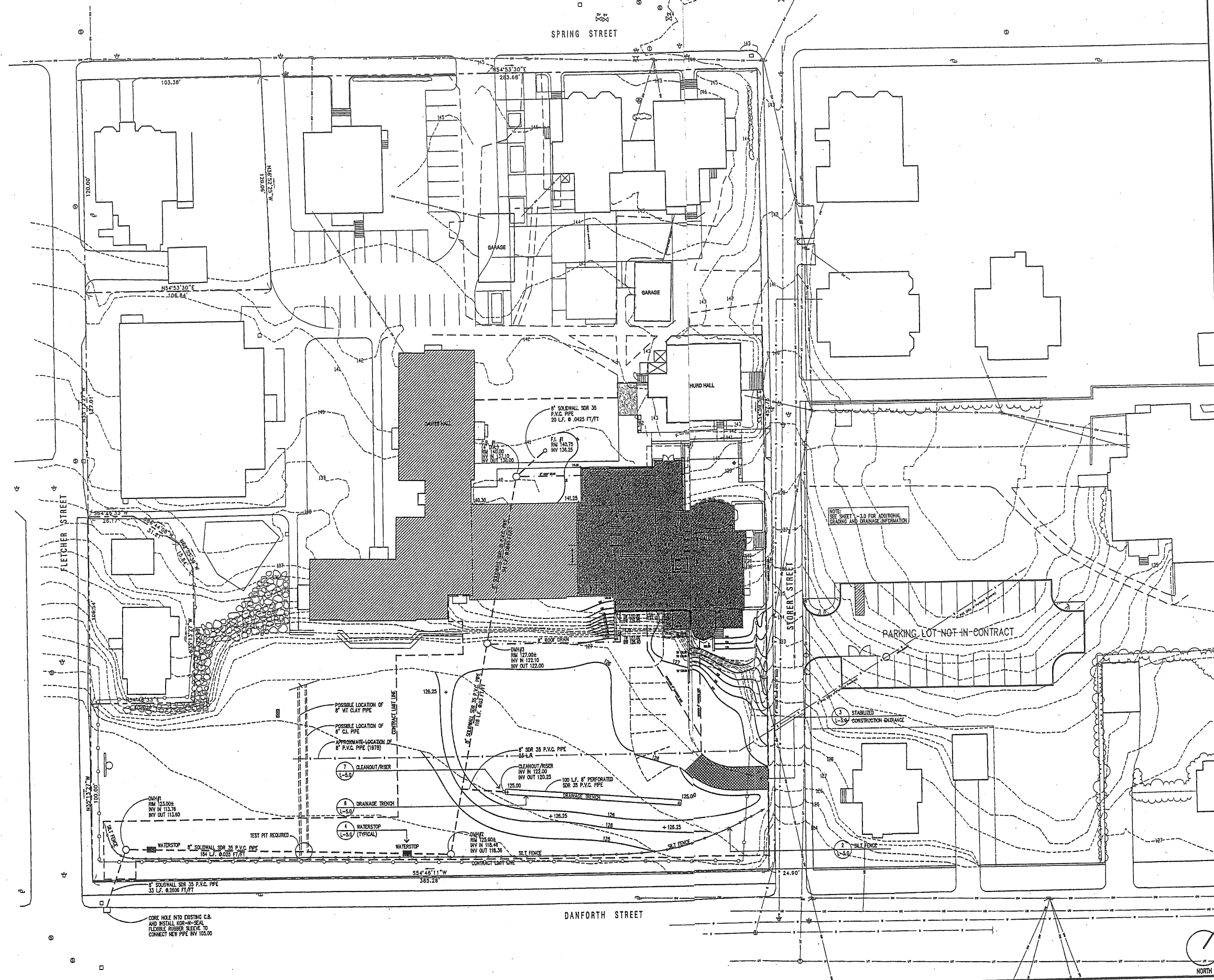


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PROJECT  
**WAYNFLETE SCHOOL**  
380 SPRING STREET  
PORTLAND, ME  
Issued for Pricing  
April 26, 2001

TITLE  
**LAYOUT + MATERIALS PLAN 'A'**

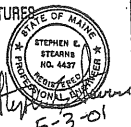
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26 APRIL 2001	
SCALE: 1"=10'-0"	
PROJECT NO. 010301.00	
DRAWN BY: RHW	
DWG NO. L-2.0	



1.F



Michael Boucher landscape architecture  
 SUBSURFACE DRAINAGE  
 EARTHWORK  
 DRAINAGE STRUCTURES



Stephen L. Stearns  
 5-3-01  
 Skidmore and Gray consulting engineers



Scott Simon Architects  
 15 Franklin Street 4th  
 Portland, Maine 04103  
 phone 207 772 4856  
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 tel (207) 781-5242  
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PROJECT  
**WAYNFLETE SCHOOL**  
 360 SPRING STREET  
 PORTLAND, ME

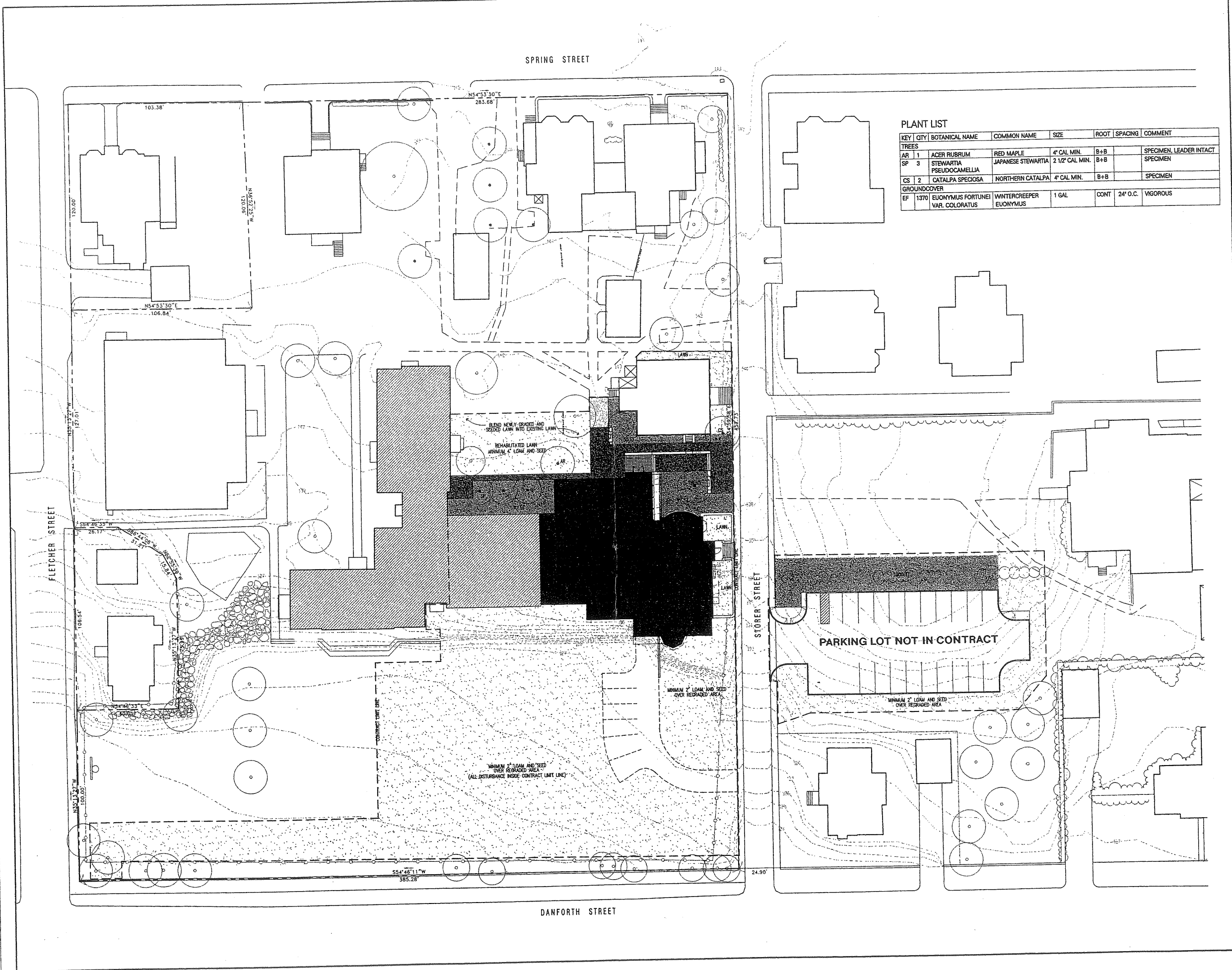
TITLE  
**GRADING +  
 DRAINAGE PLAN 'B'**

STATUS:  
**CONSTRUCTION SET**

DATE	REVISION/DATE
3 MAY 2001	
SCALE	1" = 20'-0"
PROJECT NO.	01001.00
DRAWN BY:	RLM
DWG NO.	2001 © Scott Simon Architects L-3.1



1.9



PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	COMMENT
<b>TREES</b>							
AR	1	ACER RUBRUM	RED MAPLE	4" CAL. MIN.	B+B		SPECIMEN, LEADER INTACT
SP	3	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	2 1/2" CAL. MIN.	B+B		SPECIMEN
CS	2	CATALPA SPECIOSA	NORTHERN CATALPA	4" CAL. MIN.	B+B		SPECIMEN
<b>GROUNDCOVER</b>							
EF	1370	EUCONYMUS FORTUNEI VAR. COLORATUS	WINTERCREEPER EUCONYMUS	1 GAL	CONT	24" O.C.	VIGOROUS



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PROJECT  
**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME  
Issued for Pricing  
April 26, 2001

TITLE  
**PLANTING PLAN**

STATUS:  
**CONSTRUCTION DRAWINGS  
NOT FOR CONSTRUCTION**

DATE: 26 APRIL 2001  
SCALE: 1" = 20'-0"  
PROJECT NO. 01001.00  
DRAWN BY: RWV  
DWG NO. 2001 © Scott Sloans Architects

L-4.0

# EROSION CONTROL

## GENERAL NOTES:

- THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
  - SOIL EROSION IS KEPT TO A MINIMUM.
  - NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
  - ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE **MAJOR EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES** PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
- LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS.
- INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILT FENCES WHICH ACCUMULATE SEDIMENT AND DEBRIS.
- PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
- TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
- MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE MATS (OR MULCH AND NETTING) ON:
  - THE BASE OF GRASSED WATERWAYS
  - SLOPES STEEPER THAN 15%
  - BETWEEN OCT. 1 AND APRIL 14 USE MATS (OR MULCH AND NETTING) ON:
    - SIDE SLOPES OF GRASSED WATERWAYS
    - SLOPES STEEPER THAN 8%
 INSTALL MATS (OR NETTING) IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125B.
- FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
- PROVIDE AND MAINTAIN DUST CONTROL MEASURES AS NECESSARY TO PREVENT DUST FROM BLOWING ONTO NEIGHBORING PROPERTY OR BEING TRACKED ONTO ADJACENT STREETS.

## SEEDING:

- USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30.
- USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RE-SEED WITH PERMANENT SEED MIX AFTER 5/15.

## PERMANENT SEED:

KENTUCKY BLUEGRASS	20.00 LBS/ACRE
CREeping RED FESCUE	20.00 LBS/ACRE
PERENNIAL RYEGRASS	5.00 LBS/ACRE
TOTAL	45.00 LBS/ACRE

## TEMPORARY SEED:

OATS	80.00 LBS/ACRE	4/01 - 5/14
ANNUAL RYEGRASS	40.00 LBS/ACRE	
SUDANGRASS	40.00 LBS/ACRE	5/15 - 8/14
ANNUAL RYEGRASS	80.00 LBS/ACRE	5/15 - 9/14
WINTER RYE	112.00 LBS/ACRE	9/15 - 9/30
WINTER RYE (PROTECT W/ MULCH COVER)	112.00 LBS/ACRE	10/01 - 3/31

## LIME AND FERTILIZER:

LIMING AND FERTILIZER RATES WILL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO THE ENGINEER.

## MULCH:

STRAW OR HAY (ANCHORED)	70 - 90 LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	185 - 275 LBS	WINDY AREAS
SHREDDED OR CHOPPED	185 - 275 LBS	AS REQUIRED
JUTE MESH		MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES

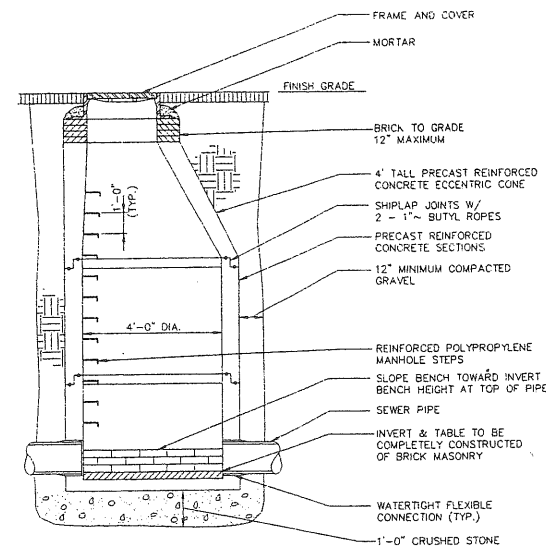
## MULCH ANCHORING

PEC AND THINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK

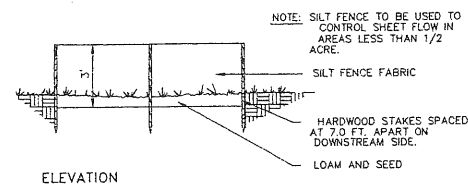
## GENERAL SEQUENCE OF CONSTRUCTION TO CONTROL EROSION:

THIS SEQUENCE OF CONSTRUCTION IS A GENERAL GUIDE TO THE CONTRACTOR. ACTUAL CONSTRUCTION PRACTICES WILL DICTATE VARIATIONS IN THE ORDER OF MAJOR EVENTS.

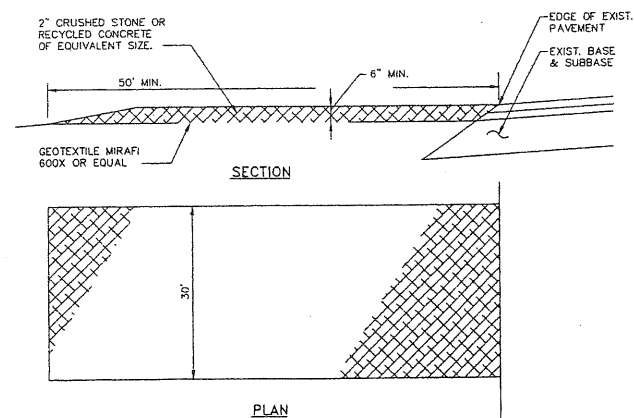
- CLEAR AND GRUB WORK AREAS. TEMPORARILY SEED AREAS NOT TO BE WORKED ON WITHIN 14 DAYS. ANY DISTURBED AREAS SHOULD BE STABILIZED BY SOME TEMPORARY MEASURES WITHIN 5-7 DAYS OF DISTURBANCE OR PRIOR TO ANY RAIN EVENT.
- INSTALL PERIMETER SILT FENCE AND EROSION CONTROL MEASURES.
- INSTALL STORMWATER CONTROL STRUCTURES & PIPES.
- STRIP AND STOCKPILE ON-SITE TOPSOIL. SEED STOCKPILES WITH TEMPORARY SEED MIX. DO NOT LOCATE PILES ON A SLOPE EXCEEDING 5%. STOCKPILES ARE TO BE SURROUNDED BY SILT FENCE ON THE DOWN SLOPE SIDE AND TEMPORARILY MULCHED.
- BEGIN EARTHWORK.
- INSTALL AND PROTECT REMAINING STORM DRAINAGE SYSTEMS.
- RESEED OR TEMPORARILY SEED ANY AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS.
- COMPLETE FINE GRADING AND PAVING.
- FINE GRADE, LOAM, SEED AND FERTILIZE REMAINDER OF SITE.
- CLEAN STORM WATER CONTROL STRUCTURES AND PIPES OF CONSTRUCTION SEDIMENT.
- REMOVE TEMPORARY SOIL EROSION CONTROL MEASURES WHEN GRASS HAS A 75% CATCH.



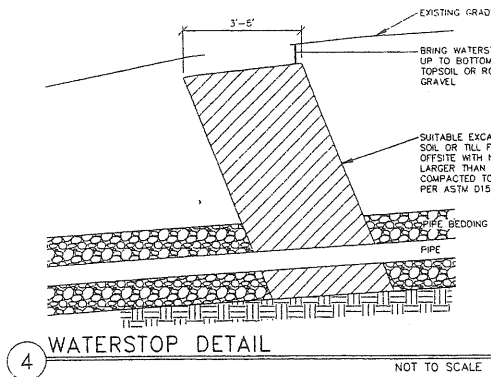
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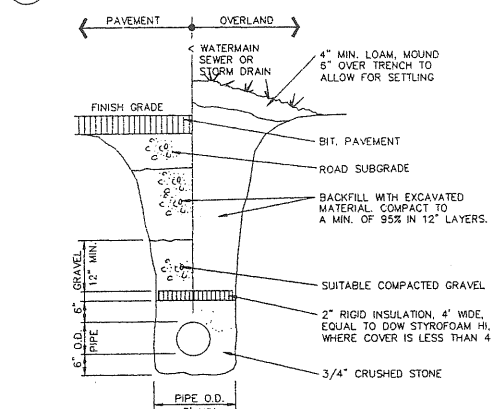
2 SILT FENCE DETAIL NOT TO SCALE



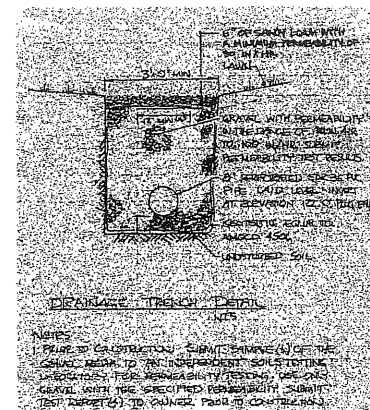
3 STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



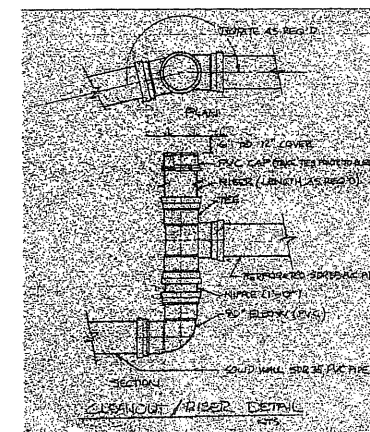
4 WATERSTOP DETAIL NOT TO SCALE



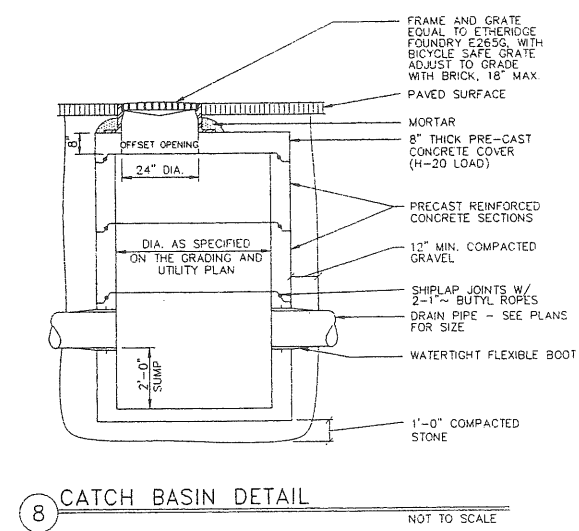
5 TYPICAL TRENCH SECTION NOT TO SCALE



6 DRAINAGE TRENCH DETAIL NOT TO SCALE



7 CLEANOUT/RISER DETAIL NOT TO SCALE



8 CATCH BASIN DETAIL NOT TO SCALE

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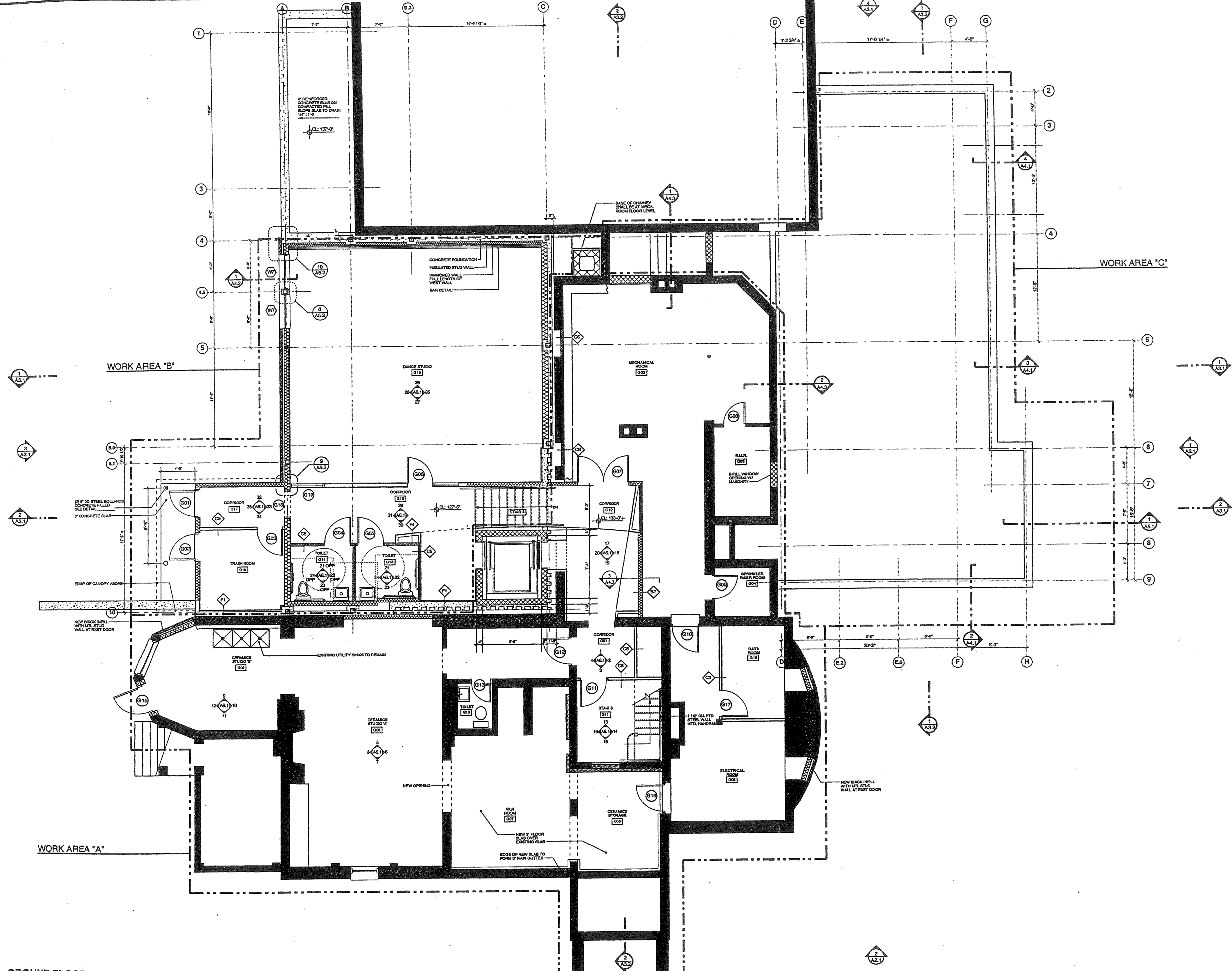
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PROJECT  
**WAYNFLETE SCHOOL**  
380 SPRING STREET  
PORTLAND, ME  
Issued for Pricing  
April 26, 2001

TITLE  
**DRAINAGE DETAILS**

STATUS: **CONSTRUCTION DRAWINGS NOT FOR CONSTRUCTION**  
DATE: 26 APRIL 2001  
SCALE: AS NOTED  
PROJECT NO. 010110  
DRAWN BY: RWM for P&G  
DWG NO. L-5.0



**PARTITION SCHEDULE**

REFER TO PARTITION GENERAL NOTES ALSO

1" PARTITIONS -  
 22 GA. F STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 BRICK VENEER W/ 1" AIR SPACE, BUILDING FELT, 5/8" EXTERIOR SHEATHING, F BATT INSULATION, VAPOR BARRIER, 5/8 GWS AT INTERIOR  
 METAL BOWLS ON BUILDING FELT, 5/8" EXTERIOR PLYWOOD, F BATT INSULATION, VAPOR BARRIER, 5/8 GWS AT INTERIOR

1" PARTITIONS -  
 22 GA. F STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 PROVIDE ONE LAYER 5/8" TYPE "C" ABUSE RESISTANT (A-1) BOARD ON ONE SIDE OF WALL AND ONE LAYER 5/8" TYPE "C" ON 1/2" PLYWOOD, OPPOSITE SIDE OF WALL, BOTH FULL HEIGHT TIGHT TO DECK ABOVE, ONE HOUR RATING

1" PARTITIONS -  
 22 GA. F STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 PROVIDE ONE LAYER 5/8" TYPE "C" GYP. BOARD ON ONE SIDE OF WALL, FULL HEIGHT TIGHT TO STRUCTURE ABOVE  
 PROVIDE ONE LAYER 5/8" TYPE "C" GYP. BOARD ON EACH SIDE OF WALL, FULL HEIGHT TIGHT TO STRUCTURE ABOVE  
 PROVIDE ONE LAYER 5/8" ABUSE RESISTANT GYP. BOARD ON ONE SIDE OF WALL, FULL HEIGHT TIGHT TO STRUCTURE ABOVE  
 PROVIDE ONE LAYER 5/8" ABUSE RESISTANT GYP. BOARD TYPE "2" ON ONE SIDE OF WALL, 5/8" STEEL BOUND, TYPE "2" AT OTHER SIDE, FULL HEIGHT TIGHT TO STRUCTURE ABOVE, ONE HOUR RATING  
 PROVIDE ONE LAYER 5/8" TYPE "C" GYP. BOARD AT EACH SIDE OF WALL, FULL HEIGHT TIGHT TO STRUCTURE ABOVE, ONE HOUR RATING

1" PARTITIONS -  
 22 GA. F STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 PROVIDE ONE LAYER 5/8" TYPE "C" ABUSE RESISTANT (A-1) BOARD ON ONE SIDE OF WALL, FULL HEIGHT TIGHT TO DECK ABOVE  
 PROVIDE ONE LAYER 5/8" TYPE "C" GYP. BOARD ON ONE SIDE OF WALL, FULL HEIGHT TIGHT TO STRUCTURE ABOVE

1" PARTITIONS -  
 22 GA. F STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 PROVIDE ONE LAYER 5/8" TYPE "C" GYP. BOARD ON ONE SIDE OF WALL, FULL HEIGHT TIGHT TO STRUCTURE ABOVE  
 PROVIDE ONE LAYER 5/8" ABUSE RESISTANT GYP. BOARD ON ONE SIDE OF WALL, FULL HEIGHT TIGHT TO STRUCTURE ABOVE  
 PROVIDE ONE LAYER 5/8" TYPE "C" GYP. BOARD ON ONE SIDE OF WALL, FULL HEIGHT TIGHT TO STRUCTURE ABOVE

1" PARTITIONS -  
 22 GA. F STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 PROVIDE ONE LAYER 5/8" TYPE "C" ABUSE RESISTANT (A-1) BOARD ON ONE SIDE OF WALL, FULL HEIGHT TIGHT TO DECK ABOVE  
 PROVIDE ONE LAYER 5/8" TYPE "C" GYP. BOARD ON ONE SIDE OF WALL, FULL HEIGHT TIGHT TO STRUCTURE ABOVE

1" PARTITIONS -  
 22 GA. F STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 PROVIDE ONE LAYER 5/8" TYPE "C" ABUSE RESISTANT (A-1) BOARD ON ONE SIDE OF WALL, FULL HEIGHT TIGHT TO DECK ABOVE  
 PROVIDE ONE LAYER 5/8" TYPE "C" GYP. BOARD ON ONE SIDE OF WALL, FULL HEIGHT TIGHT TO STRUCTURE ABOVE

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PROJECT  
**WAYNFLETE ARTS CENTER  
 PHASE ONE**  
 360 SPRING STREET  
 PORTLAND, ME

Progress Print  
 April 25, 2001

TITLE  
**GROUND FLOOR PLAN**

STATUS:  
**CONSTRUCTION DRAWINGS  
 NOT FOR CONSTRUCTION**

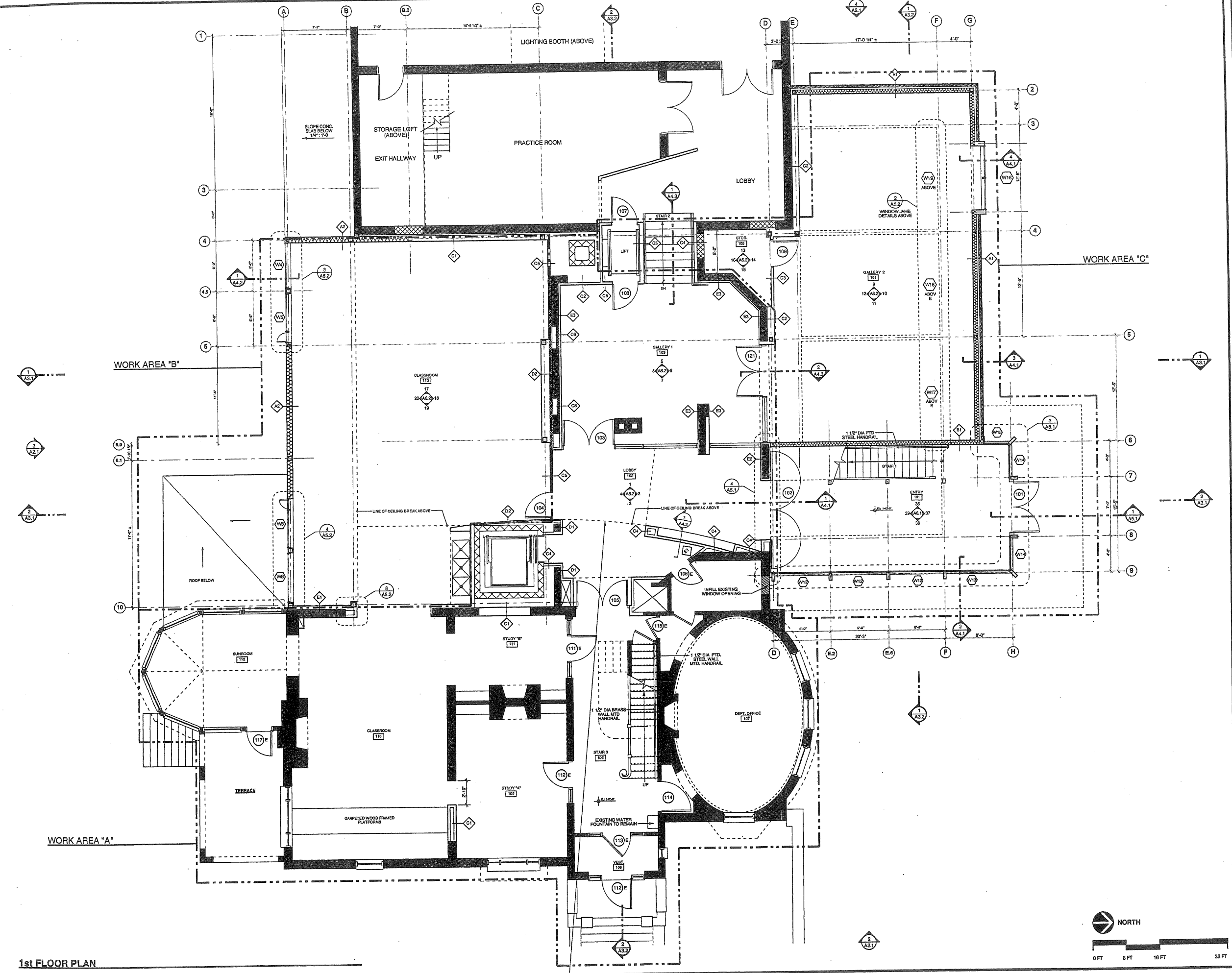
DATE:	REVISION DATE:
04.25.01	

PROJECT NO.  
00122.04

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DWG NO.  
**A-1.0**

GROUND FLOOR PLAN



**PARTITION SCHEDULE**

- (REFER TO PARTITION GENERAL NOTES ALSO)
- 1" PARTITIONS -  
22 GA. #1 STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 \* BRACK VENER W/ 1" AIR SPACE, BUILDING FELT, 5/8" EXTERIOR SHEATHING, 2" BATT INSULATION, VAPOR BARRIER, EA GWS AT INTERIOR  
 \* METAL SIDING ON BUILDING FELT, 5/8" EXTERIOR PLYWOOD WITH INSULATION, 5/8" EXTERIOR SHEATHING, 2" BATT INSULATION, VAPOR BARRIER, EA GWS AT INTERIOR
  - 1/2" PARTITIONS -  
22 GA. #1 STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 \* PROVIDE ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON ONE SIDE OF WALL AND ONE LAYER 5/8" TYPE "X" ON 1" PLYWOOD OPPOSITE SIDE OF WALL. BOTH FULL HEIGHT TIGHT TO DECK ABOVE. ONE HOUR RATING
  - 1/4" PARTITIONS -  
22 GA. #1/2 STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 \* PROVIDE ONE LAYER 5/8" TYPE "X" GYP. BOARD ON ONE SIDE OF WALL FULL HEIGHT TIGHT TO STRUCTURE ABOVE  
 \* PROVIDE ONE LAYER 5/8" TYPE "X" GYP. BOARD ON 1/2" PLYWOOD ON ONE SIDE OF WALL FULL HEIGHT TIGHT TO STRUCTURE ABOVE  
 \* PROVIDE ONE LAYER 5/8" TYPE "X" GYP. BOARD AT EACH SIDE OF WALL FULL HEIGHT TIGHT TO STRUCTURE ABOVE  
 \* PROVIDE ONE LAYER 5/8" ABUSE RESISTANT GYP. BOARD ON ONE SIDE OF WALL FULL HEIGHT TIGHT TO STRUCTURE ABOVE  
 \* PROVIDE ONE LAYER 5/8" TYPE "X" GYP. BOARD ON EACH SIDE OF WALL FULL HEIGHT TIGHT TO STRUCTURE ABOVE. ONE HOUR RATING
  - 1/2" PARTITIONS -  
22 GA. #1/2 STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 \* PROVIDE ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON ONE SIDE OF WALL FULL HEIGHT TIGHT TO DECK ABOVE.  
 \* PROVIDE ONE LAYER 5/8" TYPE "X" GYP. BOARD ON ONE SIDE OF WALL FULL HEIGHT TIGHT TO STRUCTURE ABOVE
  - 1" PARTITIONS -  
22 GA. #1 STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 \* PROVIDE ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON ONE SIDE OF WALL FULL HEIGHT TIGHT TO DECK ABOVE.  
 \* PROVIDE ONE LAYER 5/8" TYPE "X" GYP. BOARD ON ONE SIDE OF WALL FULL HEIGHT TIGHT TO STRUCTURE ABOVE
  - 1/2" PARTITIONS -  
22 GA. #1/2 STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABV. AND AT:  
 \* PROVIDE ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON ONE SIDE OF WALL FULL HEIGHT TIGHT TO DECK ABOVE.  
 \* PROVIDE ONE LAYER 5/8" TYPE "X" GYP. BOARD ON ONE SIDE OF WALL FULL HEIGHT TIGHT TO STRUCTURE ABOVE

L.K



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PROJECT  
**WAYNFLETE ARTS CENTER PHASE ONE**  
 360 SPRING STREET  
 PORTLAND, ME

Progress Print  
 April 25, 2001

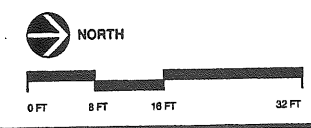
TITLE  
**FIRST FLOOR PLAN**

STATUS:  
**CONSTRUCTION DRAWINGS  
 NOT FOR CONSTRUCTION**

DATE: 04.25.01	REVISION DATE:
SCALE: 1/4" = 1'-0"	
PROJECT NO. 00122.04	
DRAWN BY: 2001© Scott Simon Architects	

DWG NO. **A-1.1**

1st FLOOR PLAN

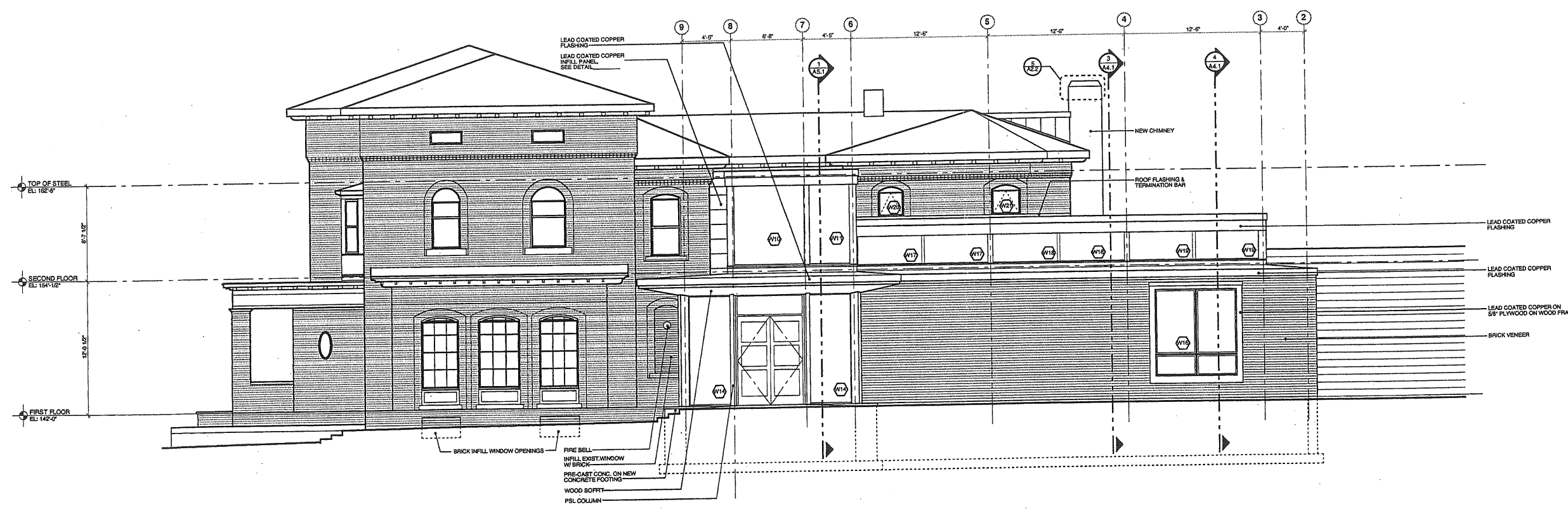





lm



2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

  
 Scott Simons Architects  
 15 Franklin Street, 4th Fl.  
 Portland, Maine 04101  
 phone: 207.777.4466  
 fax: 207.528.4866

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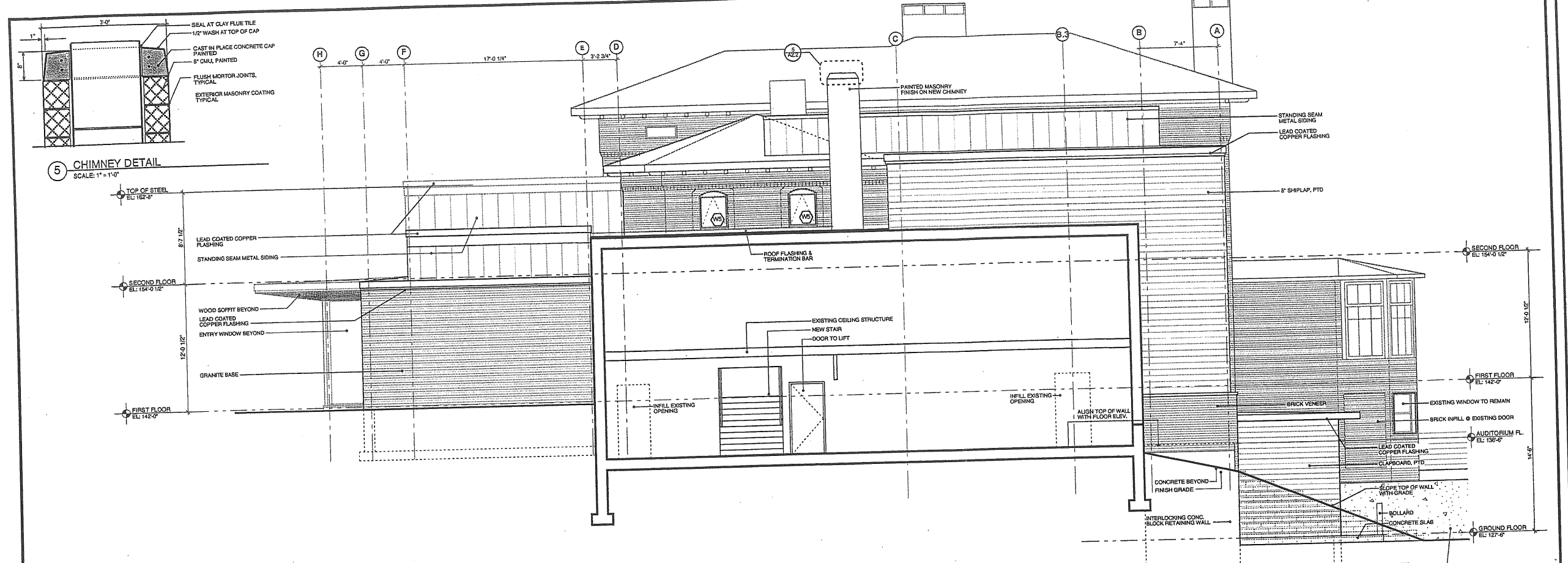
PROJECT  
**WAYNFLETE ARTS CENTER  
 PHASE ONE**  
 360 SPRING STREET  
 PORTLAND, ME

Issued for Construction  
 May 3, 2001

TITLE  
**ELEVATIONS**

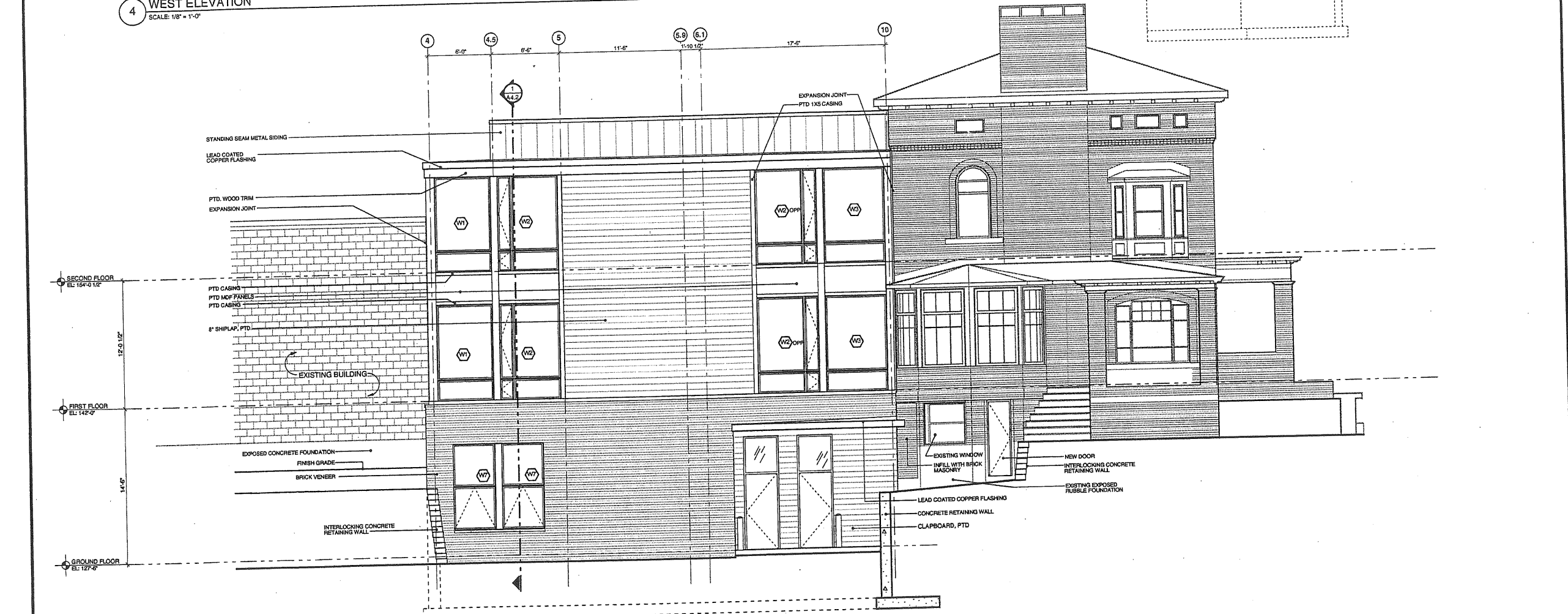
STATUS:  
**CONSTRUCTION DRAWINGS**

DATE: 05.03.01	REVISION / DATE:
SCALE: 1/8" = 1'-0"	
PROJECT NO. 00118.04	
DRAWN BY: 2001 © Scott Simons Architects	
DWG NO. <b>A-2.1</b>	



5 CHIMNEY DETAIL  
SCALE: 1" = 1'-0"

4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

2  
In

**SSA**  
Scott Simons Architects  
15 Franklin Street 4th  
Portland, Maine 04101  
Phone 207 772 2600  
Fax 207 772 4500

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PROJECT  
**WAYNFLETE ARTS CENTER  
PHASE ONE**  
360 SPRING STREET  
PORTLAND, ME

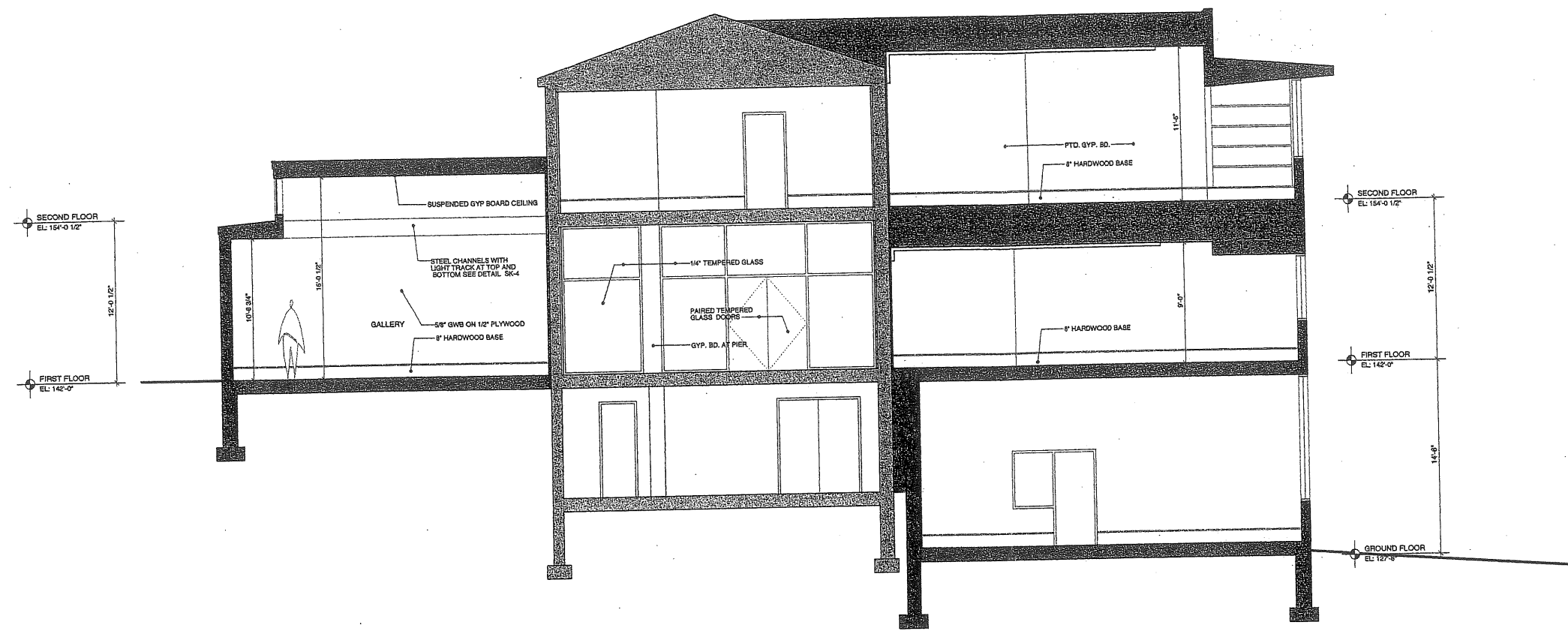
Issued for Construction  
May 3, 2001

TITLE  
**ELEVATIONS**

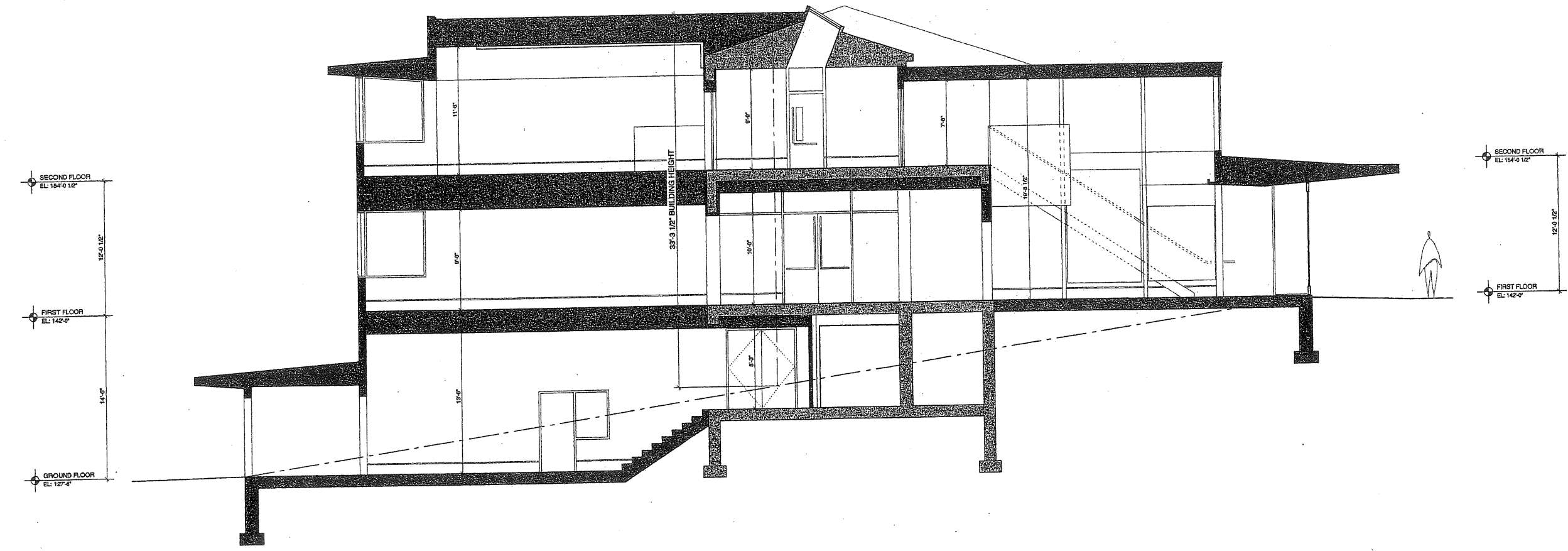
STATUS:  
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DATE: 08.02.01	REVISION DATE:
SCALE: 1/8" = 1'-0"	
PROJECT NO. 00116.04	
DRAWN BY: 2001 © Scott Simons Architects	
DWG NO. <b>A-2.2</b>	

1.0



1 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION  
SCALE: 1/4" = 1'-0"

SSA  
Scott Simons Architects  
15 Franklin Street Art  
Portland, Maine 04101  
PHONE 207 772 4868  
FAX 207 828 4880

PROJECT  
**WAYNFLETE ARTS CENTER  
PHASE ONE**  
380 SPRING STREET  
PORTLAND, ME

Planning Board Submission  
March 28, 2001.

TITLE  
**BLDG SECTIONS**

STATUS:  
DESIGN DEVELOPMENT  
**NOT FOR CONSTRUCTION**

DATE: 03.28.01	REVISION / DATE:
SCALE: 1/8" = 1'-0"	
PROJECT NO. 00116.00	
DRAWN BY:	2001 © Scott Simons Architects

DWG NO. **A-3.1**



DRAINAGE LEGEND

SUBCATCHMENT

POND

REACH

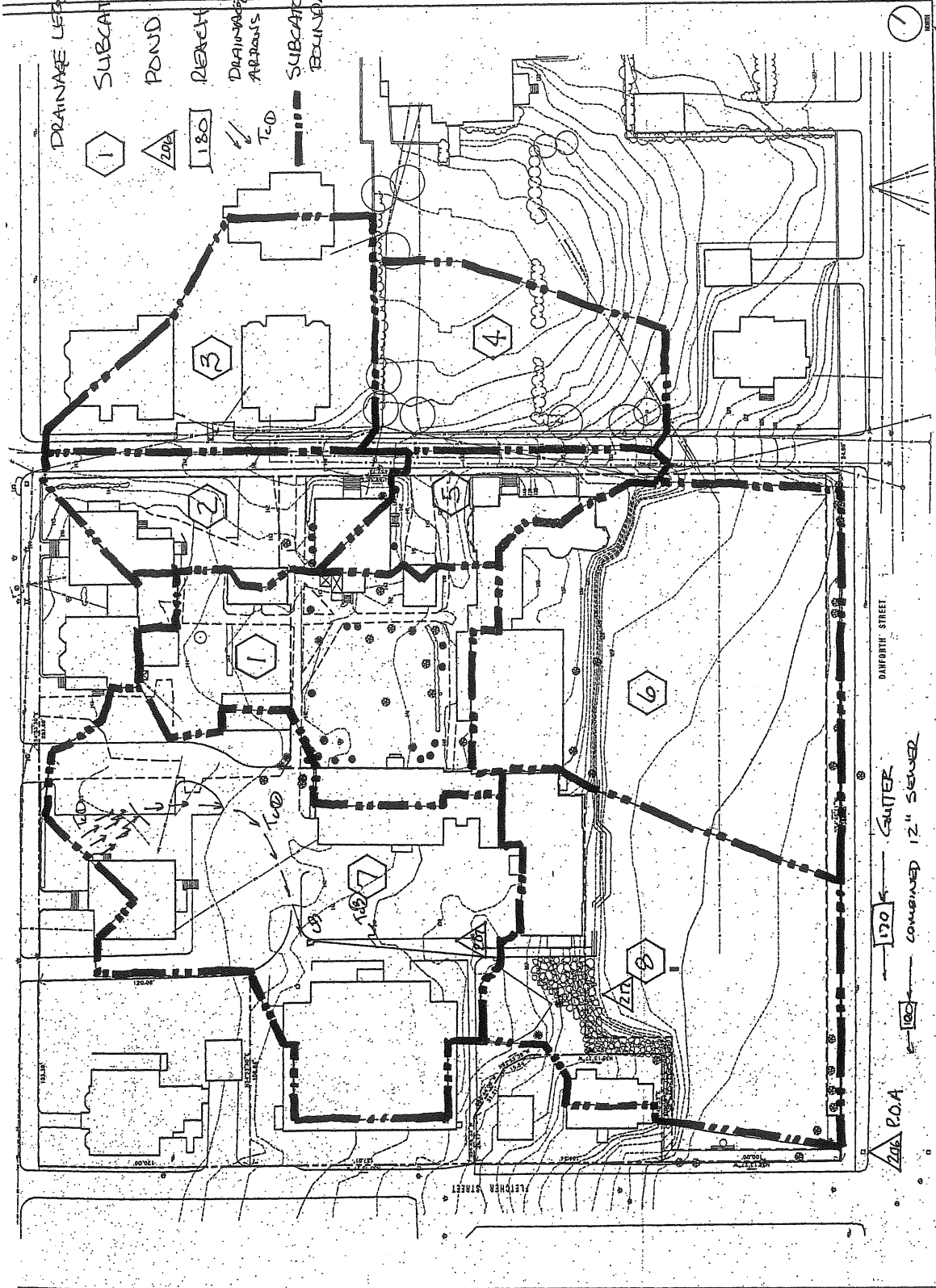
DRAINAGE DIRECTION ALPHABETS

SUBCATCHMENT BOUNDARY

SSS

WAYFLETE SCHOOL

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION



4-10-01

DRAINAGE LEGEND

SUBCATCHMENT

POND

REACH

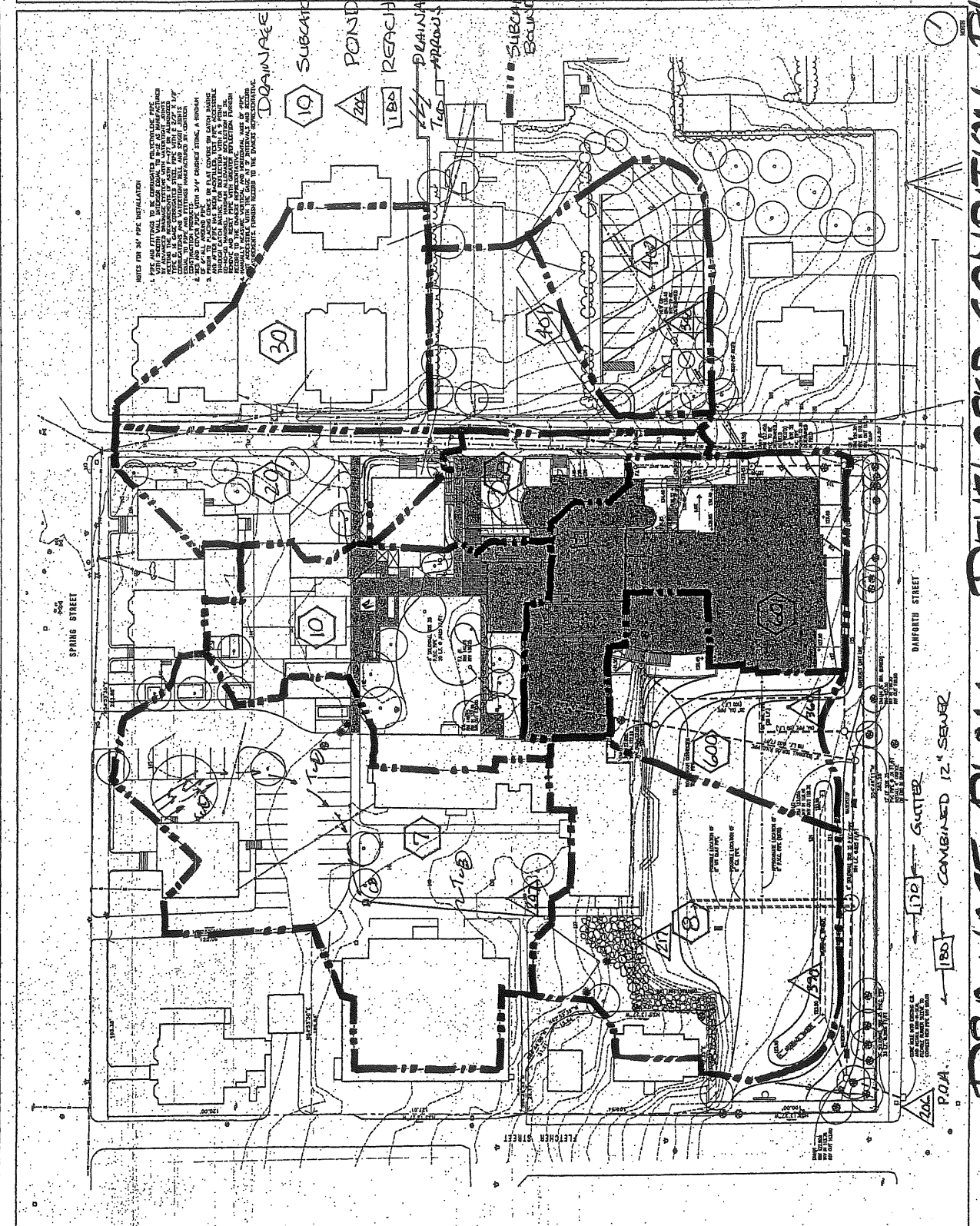
DRAINAGE DIRECTION ALPHABETS

SUBCATCHMENT BOUNDARY

SSS

WAYFLETE SCHOOL

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION



4-10-01

C.I.O

U 2

Planning Board Submission

April 26, 2001

Renovations and Additions for

# Waynflete Arts Center

360 Spring Street, Portland, Maine

## Phase Two

**Architects:**

Scott Simons Architects  
15 Franklin Street Art  
Portland, Maine 04101  
phone 207 772-4656  
fax 207 828-4656  
e-mail  
austin@simonsarchitects.com

**Landscape Architect:**

Michael Boucher Landscape Architecture  
4 South Street  
Freeport, Maine 04032  
phone 207 865-1080  
fax 207 865-1455  
e-mail  
michael@boucherlandscape.com

**Civil Engineers**

Pinkham & Greer Consulting Engineers  
170 U.S. Route One  
Falmouth, Maine 04105  
phone 207 781-5242  
fax 207 781-4245  
e-mail  
pgce@maine.rr.com

**Structural Engineers:**

Becker Structural Engineers  
19 Commercial Street  
Portland, Maine 04101  
phone 207 879-1838  
fax 207 879-1822  
e-mail  
beckerse@gwi.net

**Electrical Engineers:**

Neill and Gunter  
Scarborough Court, 482 Payne Road  
Scarborough, Maine 04074  
phone 207 883-3355  
fax 207 883-3376  
e-mail  
rnadeau@nginc.com

**Mechanical Engineers & Contractor**

Johnson & Jordan, Mechanical Contractors  
18 Mussey Road  
Scarborough, Maine 04074  
phone 207 883-8345  
fax 207 883-8619  
e-mail  
mike@johnsonandjordan.com

**Specifications:**

Lowell Specifications, Inc.  
50 Fernald Road  
Freeport, Maine 04032-6611  
phone 207 865-4518  
fax 207 781-1136  
e-mail  
lowspec@suscom-maine.net

### List of Drawings

Cover Cover Sheet

Survey Overall Site Survey

#### PHASE TWO

MP-1.2 Master Site Plan-Phase Two

L-3.2 Grading and Drainage Plan-Phase Two  
L-5.0 Drainage Details-Phase Two

A-1.1 Ground Floor Plan-Phase Two  
A-1.2 First Floor Plan-Phase Two  
A-1.3 Second Floor Plan-Phase Two

A-2.1 Exterior Elevations-Phase Two

A-3.1 Building Sections-Phase Two

Att.  
2.a



PROJECT  
**WAYNFLETE ARTS CENTER**  
360 SPRING STREET  
PORTLAND, ME  
Planning Board Submission  
April 26, 2001

TITLE  
**COVER SHEET**

STATUS: DESIGN DEVELOPMENT  
NOT FOR CONSTRUCTION

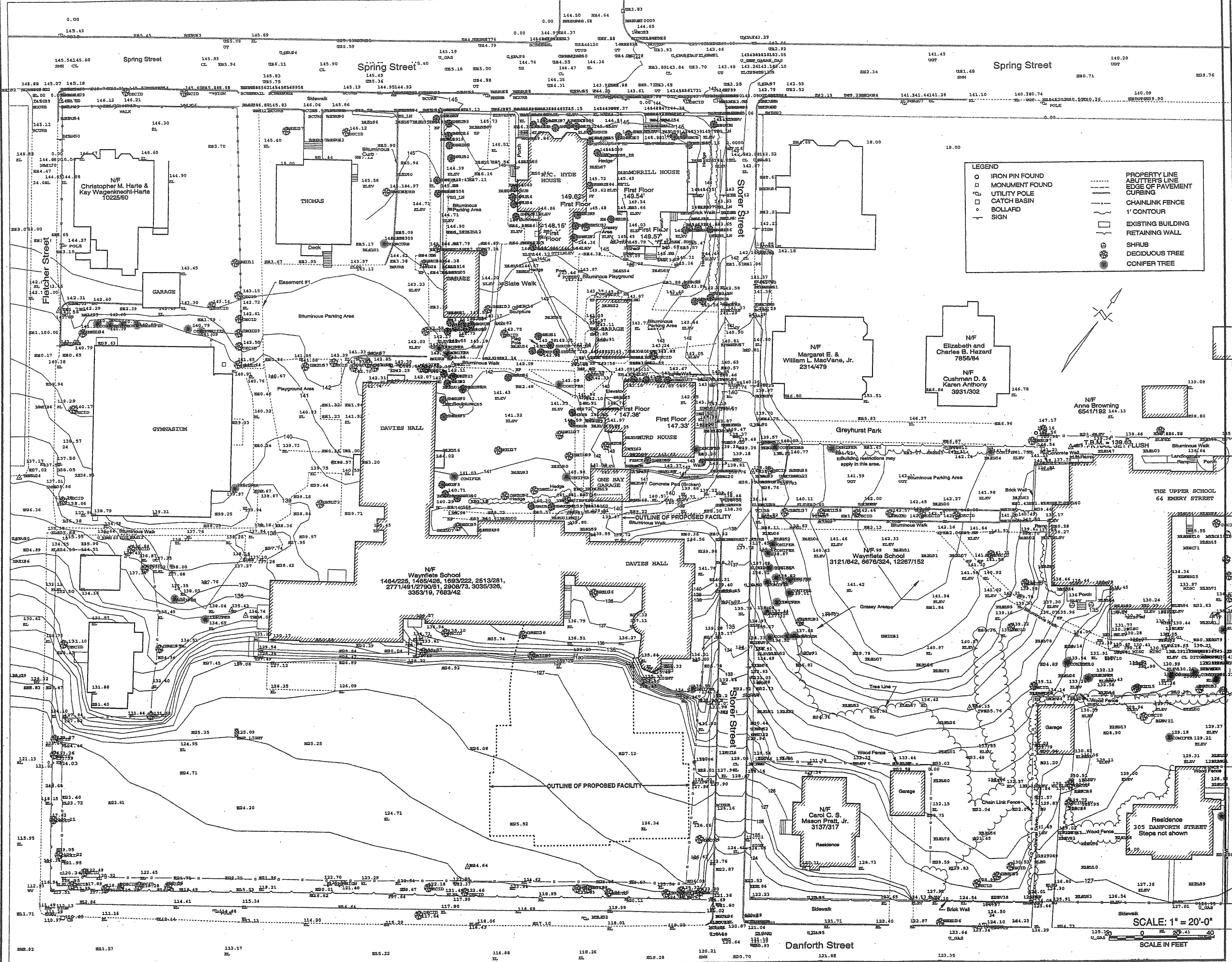
DATE: 04.26.01 REVISION DATE:

PROJECT NO.  
00118.00

DRAWN BY: 2001 © Scott Simons Architects

DWG NO. **COVER**

2.6



**LEGEND**

○	IRON PIN FOUND	---	PROPERTY LINE
□	MONUMENT FOUND	---	ABUTTER'S LINE
□	UTILITY POLE	---	EDGE OF PAVEMENT
□	CATCH BASIN	---	CURBING
○	BOLLARD	---	CHAINLINK FENCE
+	SIGN	---	1' CONTOUR
		---	EXISTING BUILDING
		---	RETAINING WALL
		○	SHRUB
		○	DECIDUOUS TREE
		○	CONIFER TREE

SS  
Scott Simons Architects  
18 Franklin Street  
Portland, Maine 04101  
Phone: 207 772 4668  
Fax: 207 772 4664

**PROJECT**  
**WAYNLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME

**TITLE**  
**SITE PLAN**  
February 8, 2001

**STATUS:** DESIGN DEVELOPMENT  
NOT FOR CONSTRUCTION

**DATE:** 01.10.01  
**REVISION/DAT:**

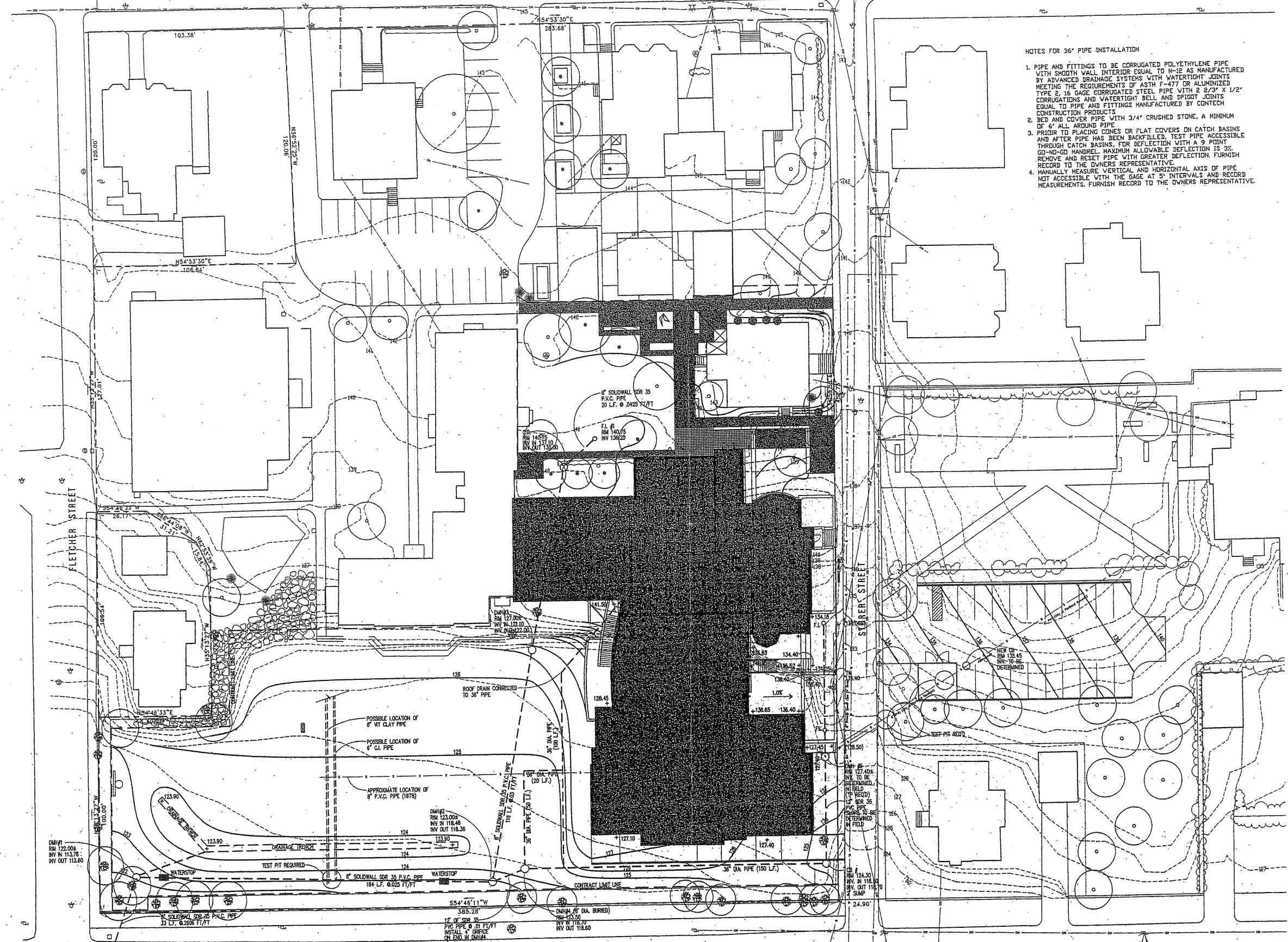
**PROJECT NO.:** 01001.00  
**DRAWN BY:**  
**DWG NO.:** 2001@ Scott Simons Architects

**SCALE:** 1" = 20'-0"  
**SCALE IN FEET**

2.2

NOTES FOR 36" PIPE INSTALLATION

1. PIPE AND FITTINGS TO BE CORRUGATED POLYETHYLENE PIPE WITH SMOOTH WALL INTERIOR EQUAL TO N-12 AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS WITH WATERTIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F-477 OR ALUMINIZED TYPE 2, 16 GAGE CORRUGATED STEEL PIPE WITH 2 2/3" X 1/2" CORRUGATIONS AND WATERTIGHT BELL AND SPIGOT JOINTS EQUAL TO PIPE AND FITTINGS MANUFACTURED BY CONTECH CONSTRUCTION PRODUCTS
2. BED AND COVER PIPE WITH 3/4" CRUSHED STONE, A MINIMUM OF 6" ALL AROUND PIPE
3. PRIOR TO PLACING CONES OR FLAT COVERS ON CATCH BASINS AND AFTER PIPE HAS BEEN BACKFILLED, TEST PIPE ACCESSIBLE THROUGH CATCH BASINS. FOR DEFLECTION WITH A 9 POINT GO-NO-GO HANDREL. MAXIMUM ALLOWABLE DEFLECTION IS 3%. REMOVE AND RESET PIPE WITH GREATER DEFLECTION. FURNISH RECORD TO THE OWNERS REPRESENTATIVE.
4. MANUALLY MEASURE VERTICAL AND HORIZONTAL AXIS OF PIPE NOT ACCESSIBLE WITH THE GAGE AT 5' INTERVALS AND RECORD MEASUREMENTS. FURNISH RECORD TO THE OWNERS REPRESENTATIVE.



FLETCHER STREET

SOREN STREET

DANFORTH STREET

WATERSTOP

TEST PIT REQUIRED

WATERSTOP

CONTRACT LIMIT LINE

CORE HOLE INTO EXISTING C.B. AND INSTALL NON-SEAL FLEXIBLE RUBBER SLEEVE TO CONNECT NEW PIPE 24" 105.00



15 Franklin Street  
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michael boucher landscape architecture  
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fax 855.1465  
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tel (207) 781-5242  
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PROJECT  
**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME

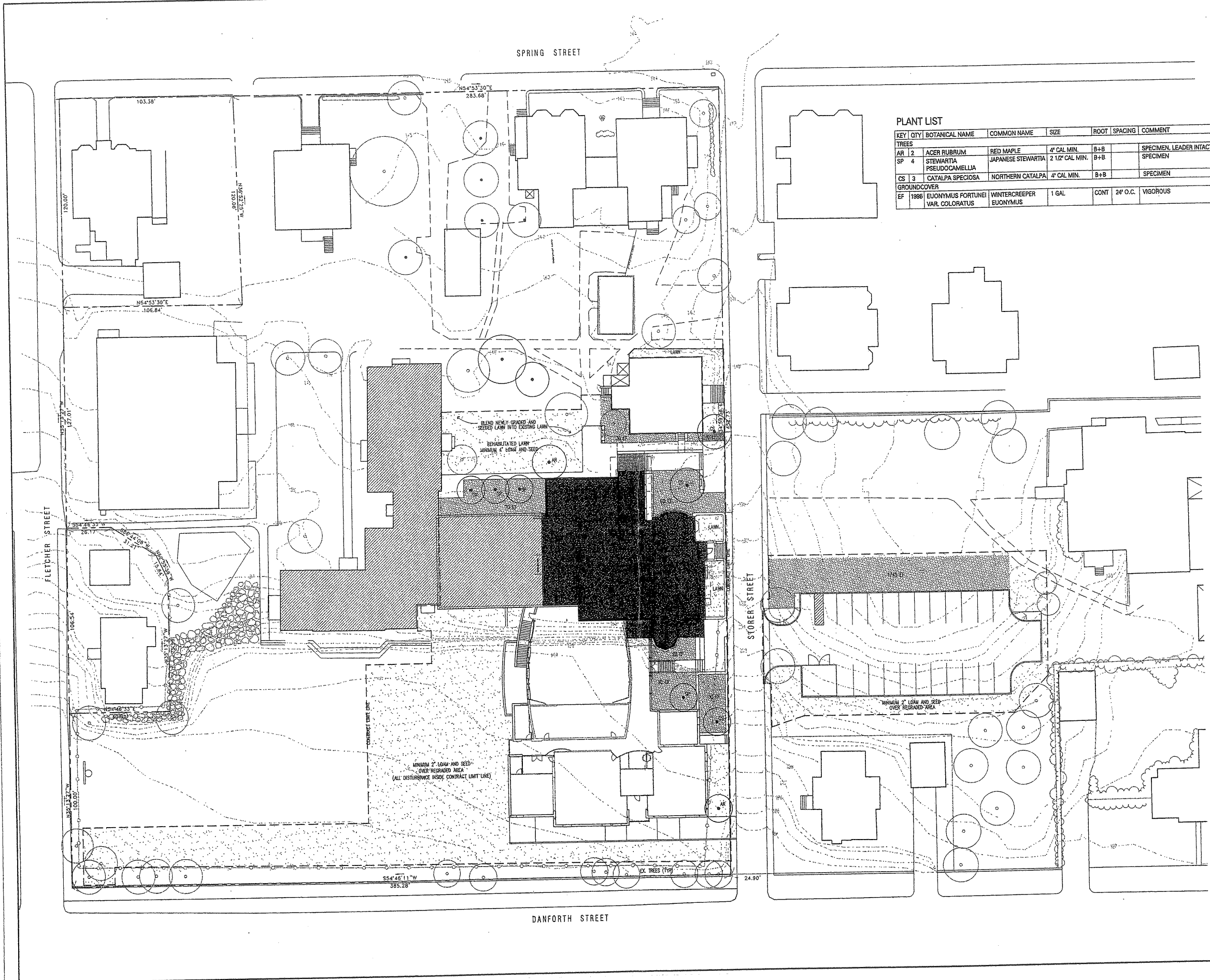
TITLE  
**GRADING +  
DRAINAGE PLAN 'B'  
PHASE II**

STATUS: **DESIGN DEVELOPMENT  
NOT FOR CONSTRUCTION**

DATE: 10 APRIL 2001	REVISION / DATE:
SCALE: 1" = 20'-0"	
PROJECT NO. 01001.00	
DRAWN BY: RW	
DWG. NO.	2001 © Scott Simons Architects

L-3.2

2.e



**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	COMMENT
<b>TREES</b>							
AR	2	ACER RUBRUM	RED MAPLE	4" CAL. MIN.	B+B		SPECIMEN, LEADER INTACT
SP	4	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	2 1/2" CAL. MIN.	B+B		SPECIMEN
CS	3	CATALPA SPECIOSA	NORTHERN CATALPA	4" CAL. MIN.	B+B		SPECIMEN
<b>GROUNDCOVER</b>							
EF	1996	EUONYMUS FORTUNEI VAR. COLORATUS	WINTERCREEPER EUONYMUS	1 GAL.	CONT.	24' O.C.	VIGOROUS

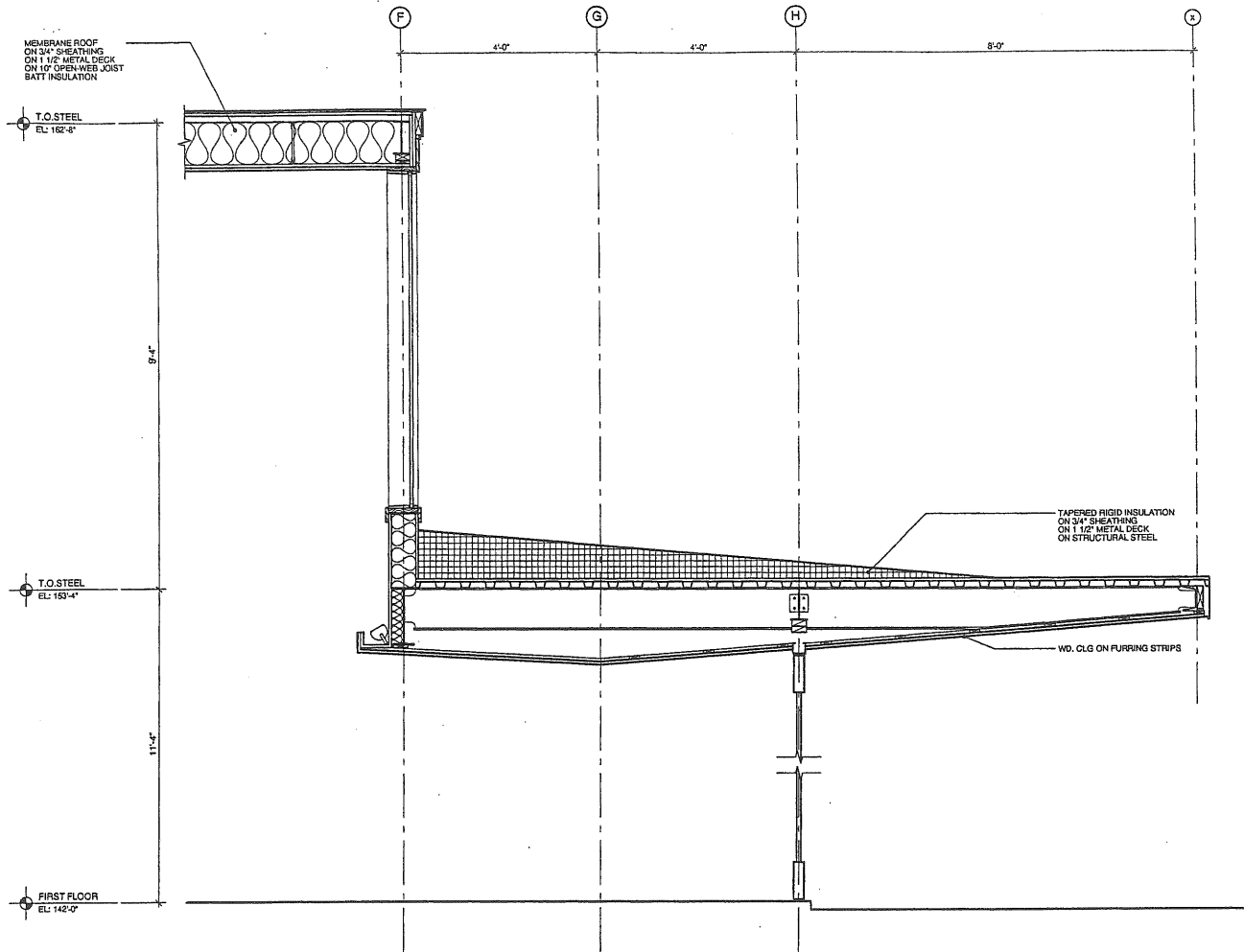


michael boucher landscape architecture  
 4 South Street  
 Troutport, ME 04152  
 207 855 1080  
 fax 855 1455  
 michael@boucherlandscape.com

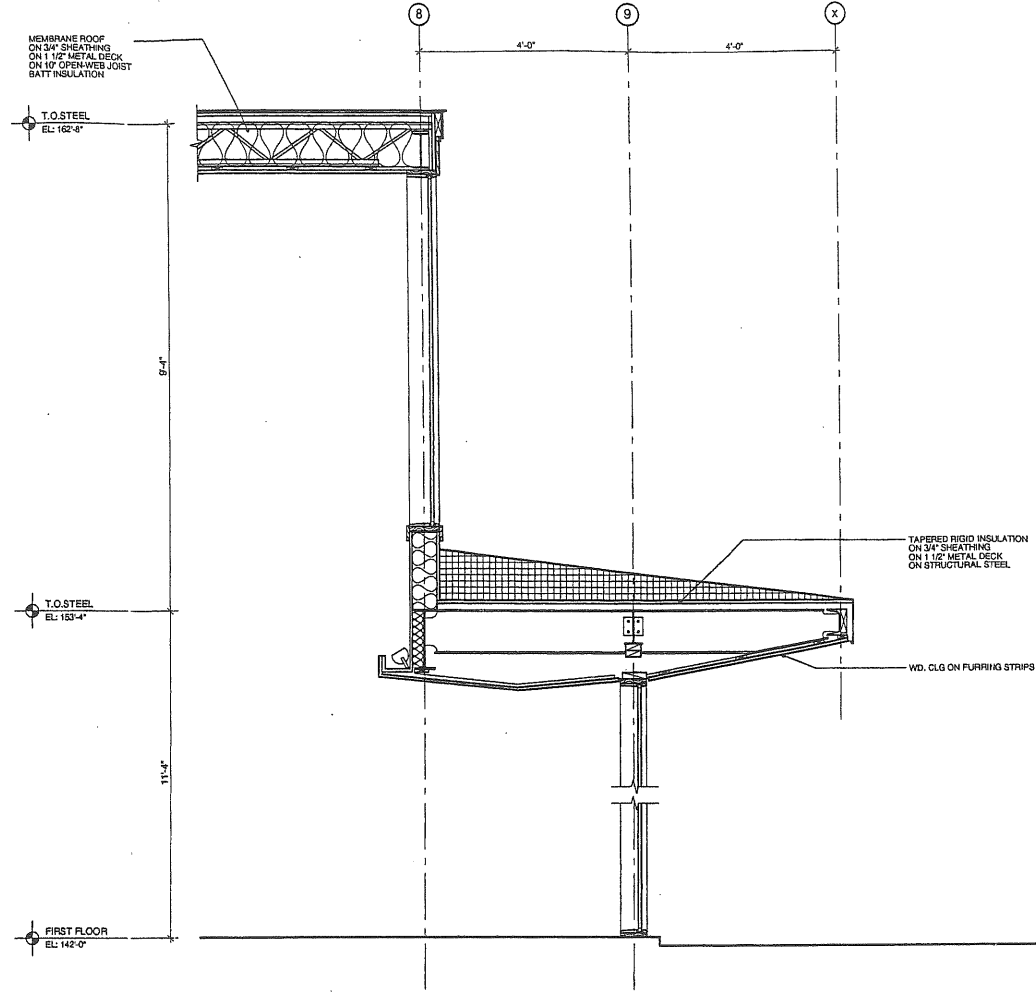
**PROJECT**  
 WAYFLEETE SCHOOL  
 360 SPRING STREET  
 PORTLAND, ME

**TITLE**  
 PLANTING PLAN  
 PHASE I + II

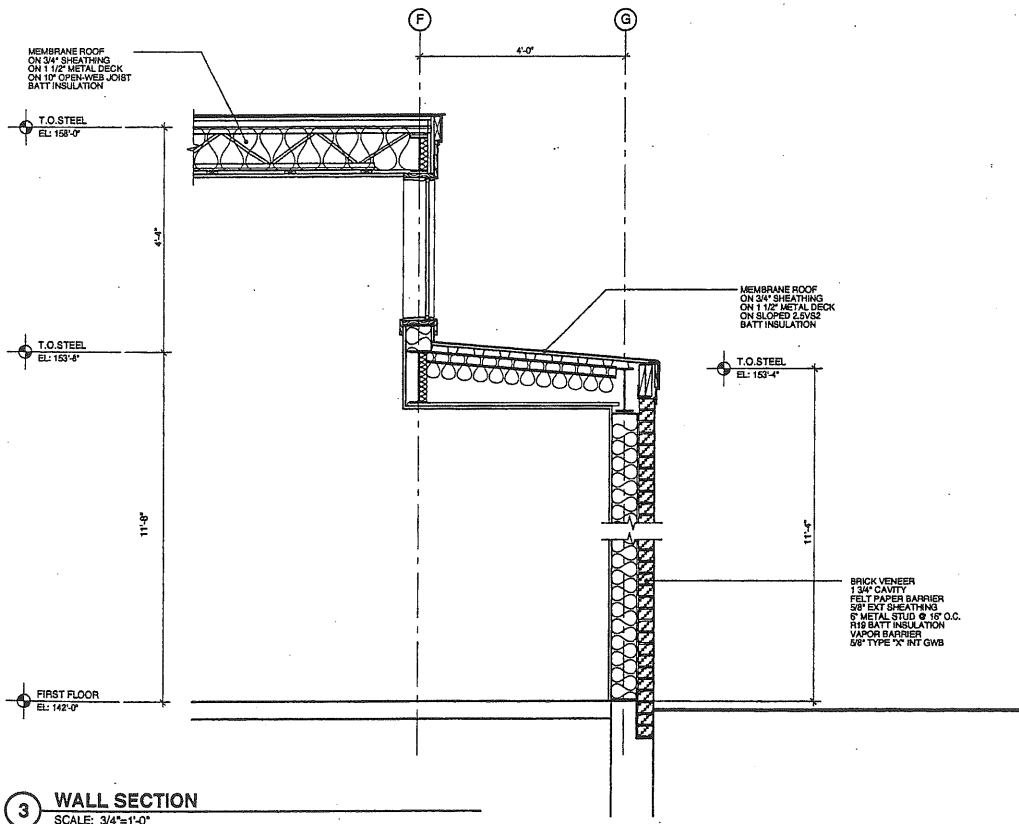
**STATUS:**  
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 SCALE: 1" = 20'-0"  
 PROJECT NO.: 01001.00  
 DRAWN BY: RYN  
 2001 © Scott Simons Architects  
 DWG NO.:



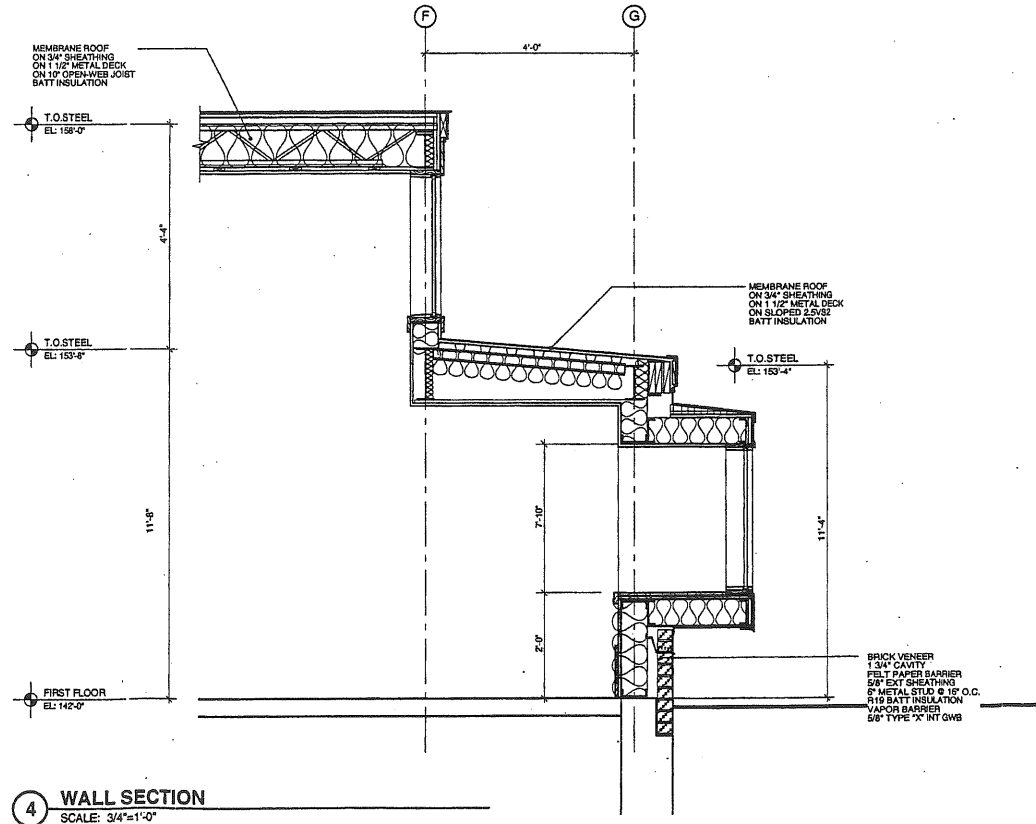
1 WALL SECTION  
SCALE: 3/4"=1'-0"



2 WALL SECTION  
SCALE: 3/4"=1'-0"



3 WALL SECTION  
SCALE: 3/4"=1'-0"



4 WALL SECTION  
SCALE: 3/4"=1'-0"

1.P



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PROJECT  
**WAYNFLETE ARTS CENTER PHASE ONE**  
360 SPRING STREET  
PORTLAND, ME

Progress Print  
March 28, 2001

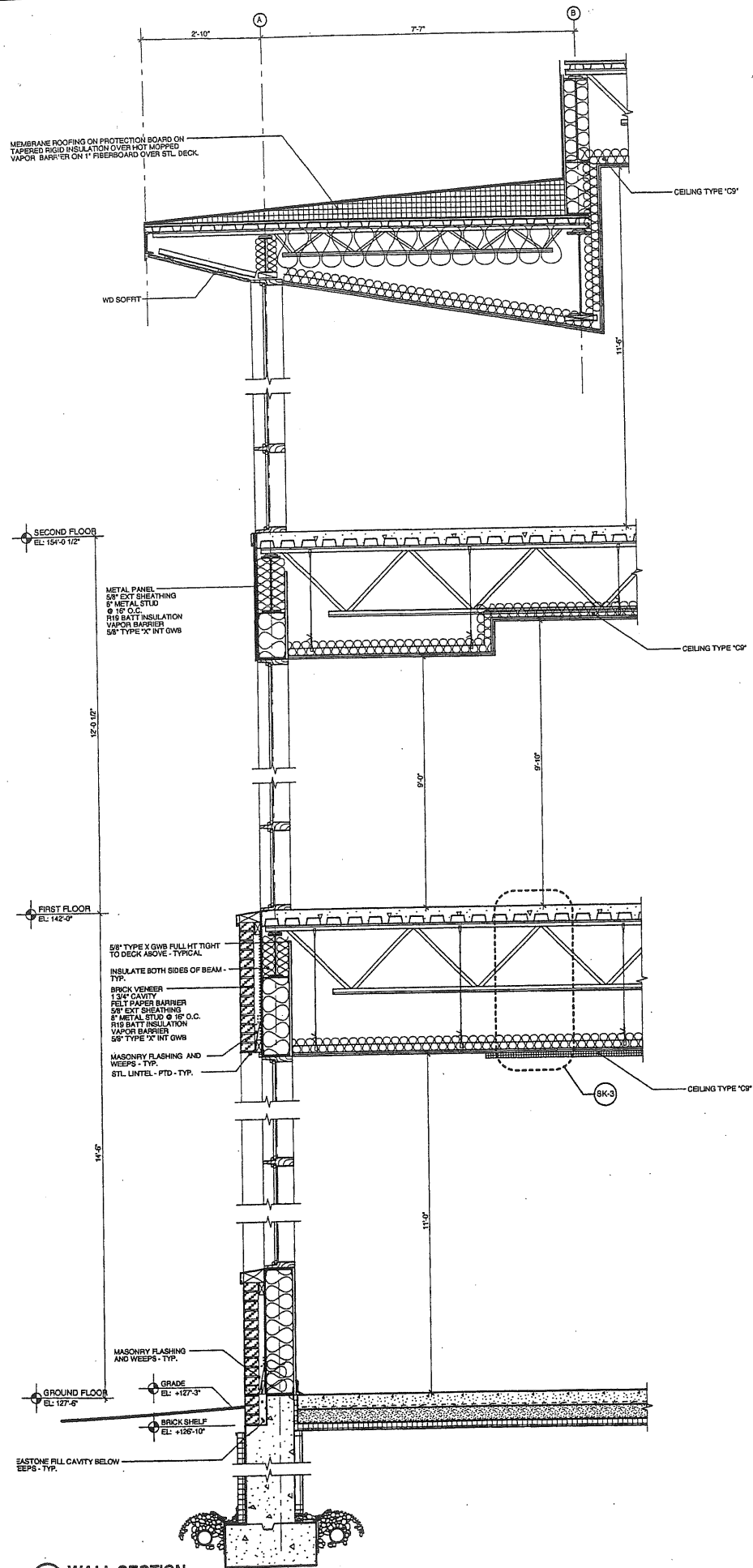
TITLE  
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STATUS:  
**CONSTRUCTION DRAWINGS NOT FOR CONSTRUCTION**

DATE: 03.21.01  
SCALE: 3/4"=1'-0"  
PROJECT NO. 00122.04  
DRAWN BY:


REVISION / DATE:  
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DWG NO. **A-4.1**



1 WALL SECTION  
SCALE: 3/4"=1'-0"

190

  
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 fax 207 622 4866

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PROJECT  
**WAYNFLETE ARTS CENTER  
 PHASE ONE**  
 360 SPRING STREET  
 PORTLAND, ME  
  
 Progress Print  
 March 28, 2001

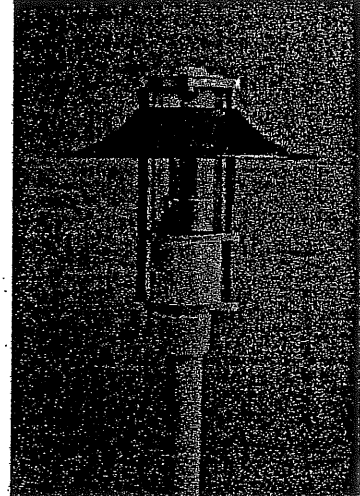
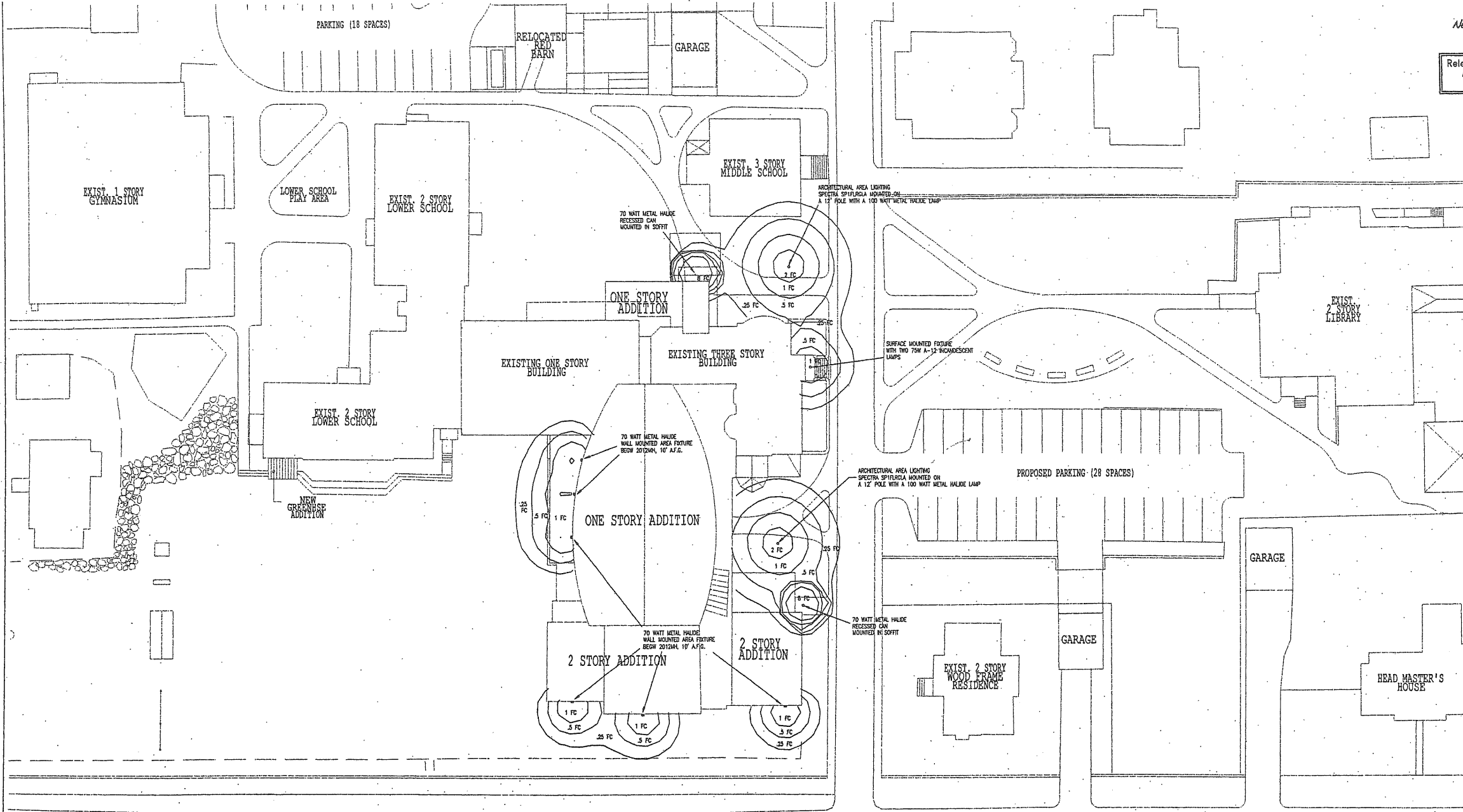
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STATUS:  
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 NOT FOR CONSTRUCTION**

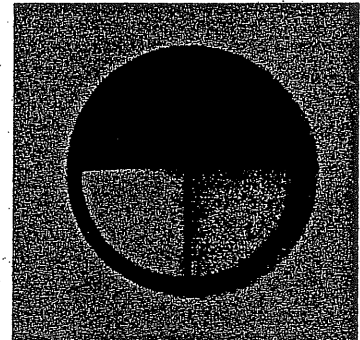
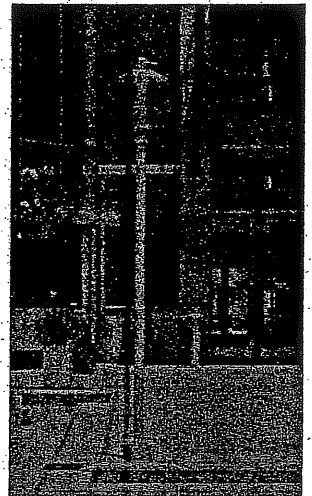
DATE: 03.21.01	REVISION DATE:
SCALE: 3/4" = 1'-0"	
PROJECT NO. 00122.01	
DRAWN BY:	2001 © Scott Simons Architects

DWG NO. **A-4.2**

1.R

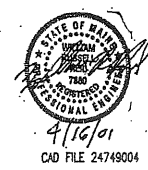


SPECTRA POLE FIXTURE



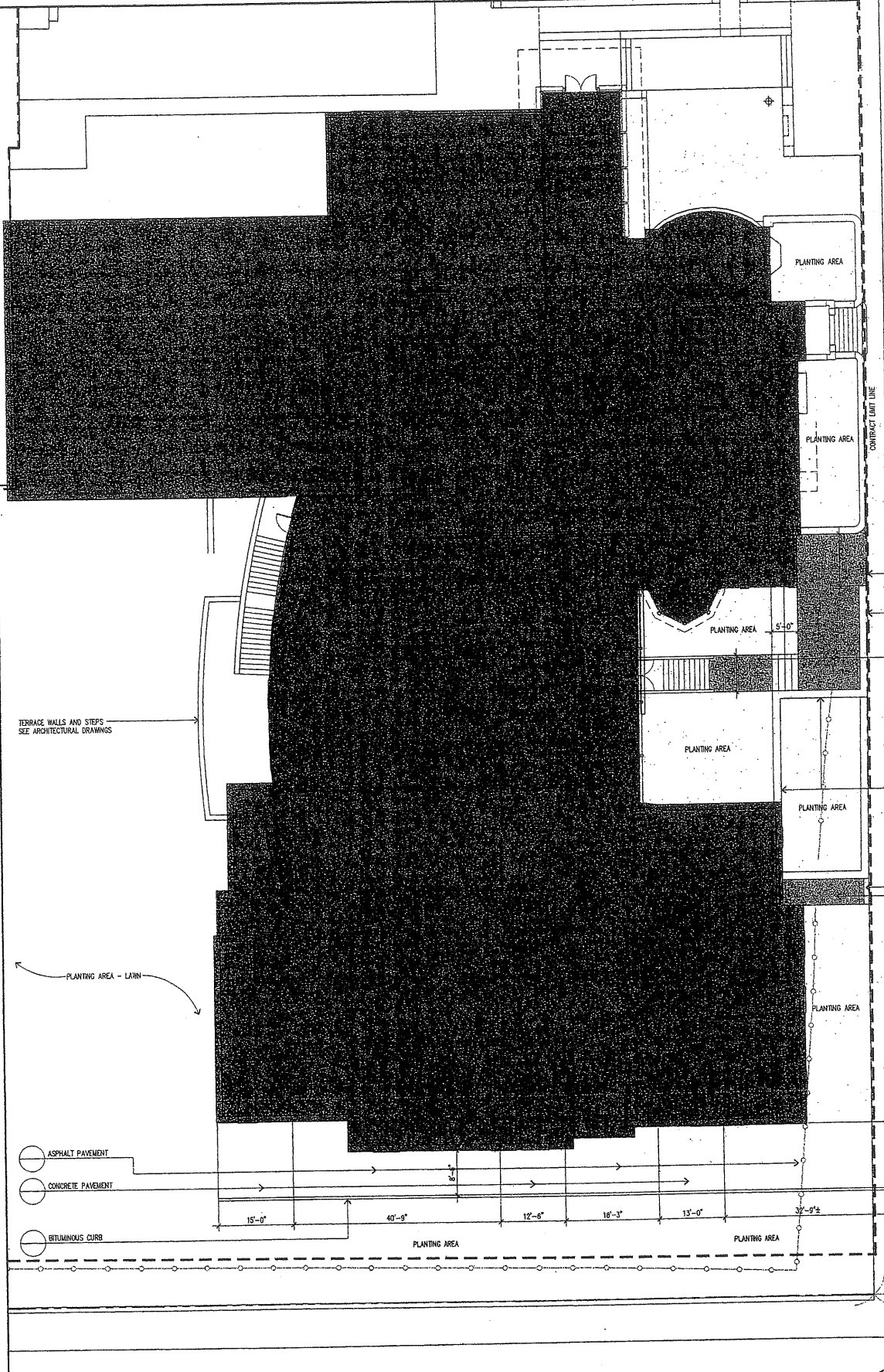
BEGA WALL MOUNTED FIXTURE

<input type="checkbox"/>	
<input type="checkbox"/>	
<small>EXIST. 1 STORY GYMNASIUM EXIST. 2 STORY LOWER SCHOOL EXIST. 3 STORY MIDDLE SCHOOL EXIST. 2 STORY LIBRARY EXIST. 2 STORY WOOD FRAME RESIDENCE HEAD MASTER'S HOUSE</small>	
<b>PROJECT</b> WAYNFLETE SCHOOL PHASE ONE 380 SPRING STREET PORTLAND, ME Progress Print March 9, 2001	
<b>TITLE</b> ELECTRICAL SITE LIGHTING PLAN	
<b>STATUS</b> DESIGN DEVELOPMENT NOT FOR CONSTRUCTION	
<b>DATE</b> 4/16/01	<b>REVISION DATE</b>
<b>SCALE</b> 1/8" = 1'-0"	
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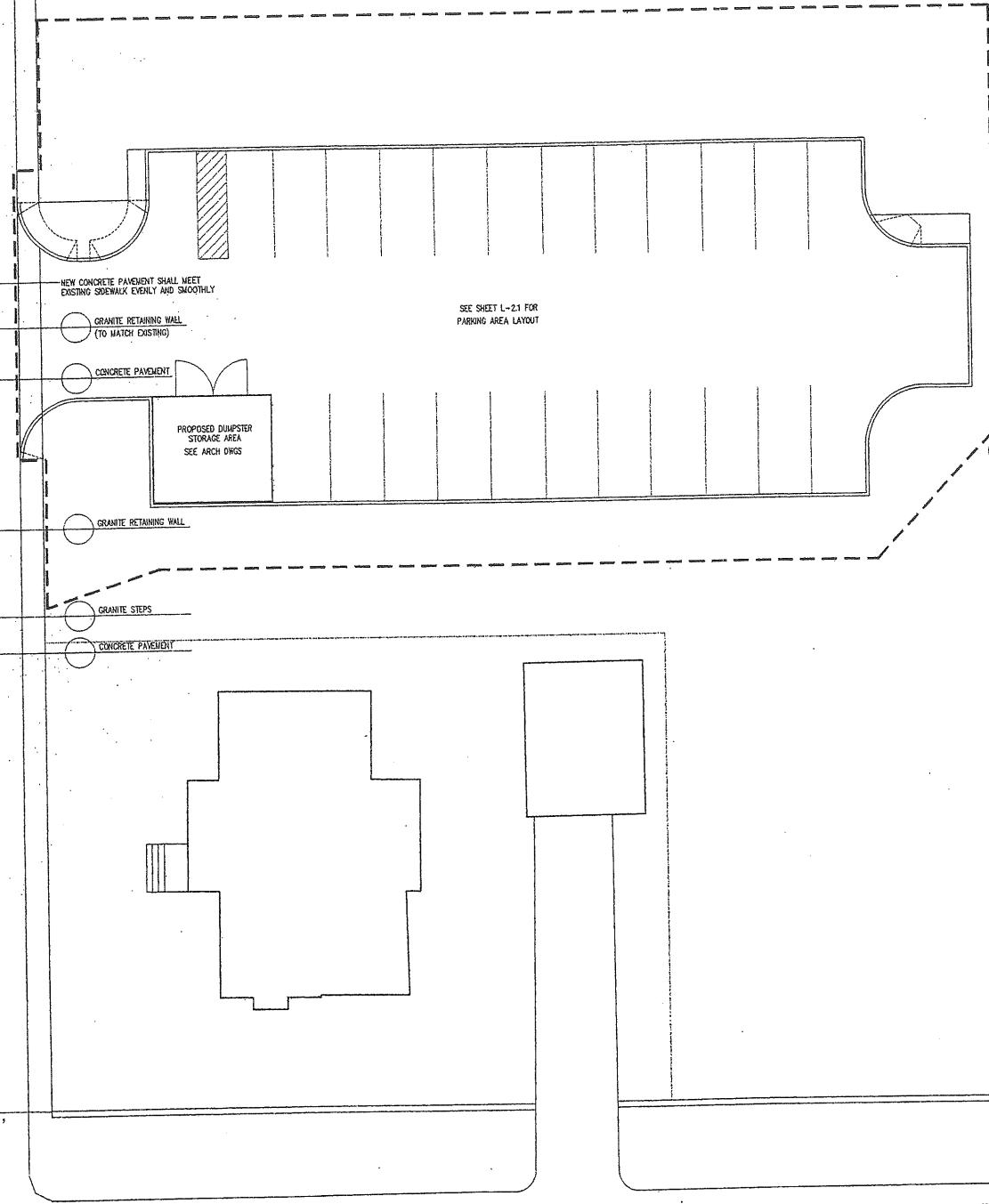


2.f



STORERS STREET

DANFORTH STREET



- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- BITUMINOUS CURB



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michael@boucherlandscape.com

PROJECT  
**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**LAYOUT + MATERIALS PLAN  
PHASE II**

DATE:	REVISION/DATE:
SCALE: 1"=10'-0"	
PROJECT NO. 01001.00	
DRAWN BY: RWV	2001 © Scott Simons Architects
DWG NO.	



**EROSION CONTROL**

**GENERAL NOTES:**

- THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
  - SOIL EROSION IS KEPT TO A MINIMUM.
  - NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
  - ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS, EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAIN EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
- LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS.
- INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILT FENCES WHICH ACCUMULATE SEDIMENT AND DEBRIS.
- PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
- TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOADED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
- MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE MATS (OR MULCH AND NETTING) ON:
  - THE BASE OF GRASSED WATERWAYS - SLOPES STEEPER THAN 15%
  - BETWEEN OCT. 1 AND APRIL 14 USE MATS (OR MULCH AND NETTING) ON:
    - SIDE SLOPES OF GRASSED WATERWAYS - SLOPES STEEPER THAN 8%
 INSTALL MATS (OR NETTING) IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125BN.
- FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
- PROVIDE AND MAINTAIN DUST CONTROL MEASURES AS NECESSARY TO PREVENT DUST FROM BLOWING ONTO NEIGHBORING PROPERTY OR BEING TRACKED ONTO ADJACENT STREETS.

**SEEDING:**

- USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30.
- USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RE-SEED WITH PERMANENT SEED MIX AFTER 5/15.

**PERMANENT SEED:**

KENTUCKY BLUEGRASS	20.00 LBS/ACRE
CREeping RED FESCUE	20.00 LBS/ACRE
PERENNIAL RYEGRASS	5.00 LBS/ACRE
TOTAL	45.00 LBS/ACRE

**TEMPORARY SEED:**

OATS	80.00 LBS/ACRE	4/01 - 5/14
ANNUAL RYEGRASS	40.00 LBS/ACRE	
SUDANGRASS	40.00 LBS/ACRE	5/15 - 8/14
ANNUAL RYEGRASS	80.00 LBS/ACRE	5/15 - 9/14
WINTER RYE	112.00 LBS/ACRE	9/15 - 9/30
WINTER RYE, (PROTECT W/ MULCH COVER)	112.00 LBS/ACRE	10/01 - 3/31

**LIME AND FERTILIZER:**

LIMING AND FERTILIZER RATES WILL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO THE ENGINEER.

**MULCH:**

STRAW OR HAY (ANCHORED)	70 - 90 LBS/	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	185 - 275 LBS	WINDY AREAS
SHREDDED OR CHOPPED	185 - 275 LBS	AS REQUIRED
JUTE MESH	AS REQUIRED	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES

**EXCLESIOR MAT AS REQUIRED**

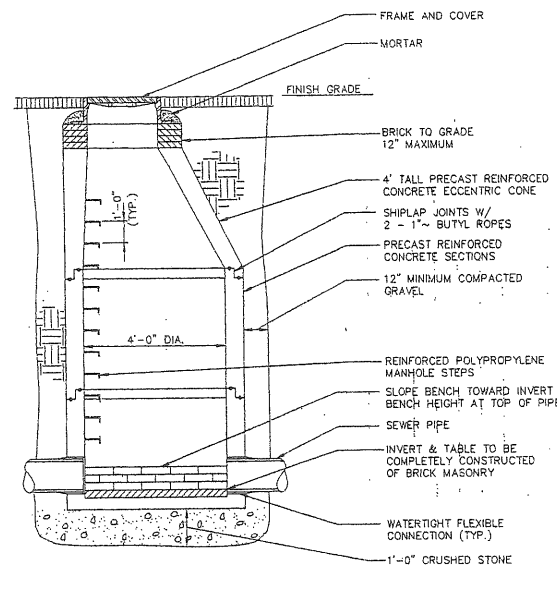
**MULCH ANCHORING**

PEG AND TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK

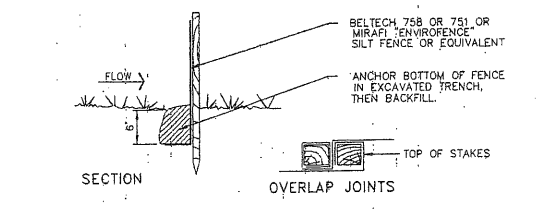
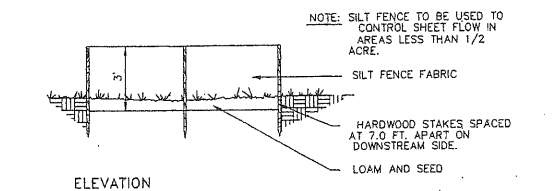
**GENERAL SEQUENCE OF CONSTRUCTION TO CONTROL EROSION:**

THIS SEQUENCE OF CONSTRUCTION IS A GENERAL GUIDE TO THE CONTRACTOR. ACTUAL CONSTRUCTION PRACTICES WILL DICTATE VARIATIONS IN THE ORDER OF MAJOR EVENTS.

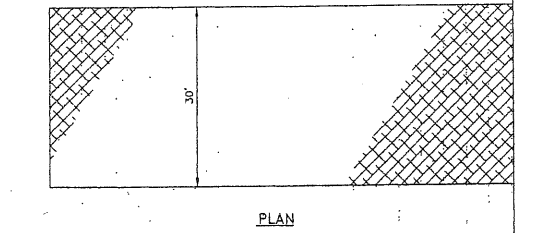
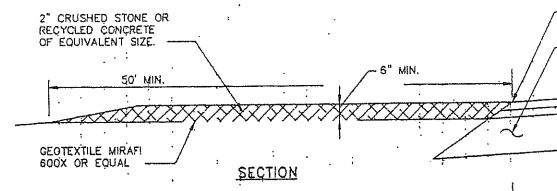
- CLEAR AND GRUB WORK AREAS. TEMPORARILY SEED AREAS NOT TO BE WORKED ON WITHIN 14 DAYS. ANY DISTURBED AREAS SHOULD BE STABILIZED BY SOME TEMPORARY MEASURES WITHIN 5-7 DAYS OF DISTURBANCE OR PRIOR TO ANY RAIN EVENT.
- INSTALL PERIMETER SILT FENCE AND EROSION CONTROL MEASURES.
- INSTALL STORMWATER CONTROL STRUCTURES & PIPES.
- STRIP AND STOCKPILE ON-SITE TOPSOIL. SEED STOCKPILES WITH TEMPORARY SEED MIX. DO NOT LOCATE PILES ON A SLOPE EXCEEDING 5%. STOCKPILES ARE TO BE SURROUNDED BY SILT FENCE ON THE DOWN-SLOPE SIDE AND TEMPORARILY MULCHED.
- SEED EARTHWORK.
- INSTALL AND PROTECT REMAINING STORM DRAINAGE SYSTEMS.
- RESEED OR TEMPORARILY SEED ANY AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS.
- COMPLETE FINE GRADING AND PAVING.
- FINE GRADE, LOAM, SEED AND FERTILIZE REMAINDER OF SITE.
- CLEAN STORM WATER CONTROL STRUCTURES AND PIPES OF CONSTRUCTION SEDIMENT.
- REMOVE TEMPORARY SOIL EROSION CONTROL MEASURES WHEN GRASS HAS A 75% CATCH.



**4' DIAMETER PRECAST MANHOLE SECTION**  
NOT TO SCALE

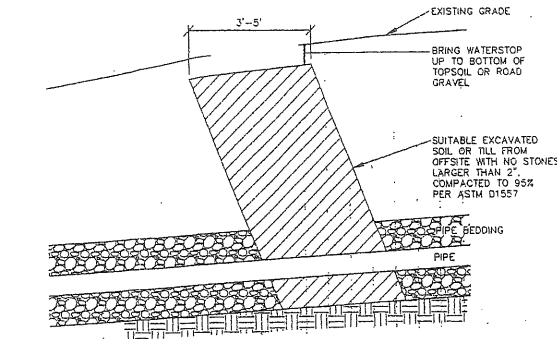


**SILT FENCE DETAIL**  
NOT TO SCALE

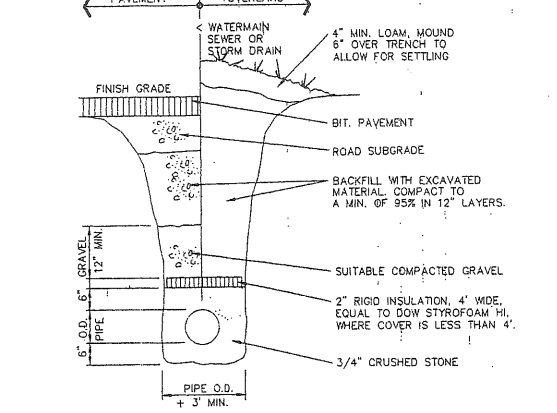


- NOTES:
- MAINTAIN ENTRANCE IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. IF WASHING IS REQUIRED PREVENT SEDIMENT FROM ENTERING WATERWAYS, DITCHES OR STORM DRAINS.
  - REMOVE STABILIZED CONSTRUCTION ENTRANCE UPON COMPLETION OF WORK.

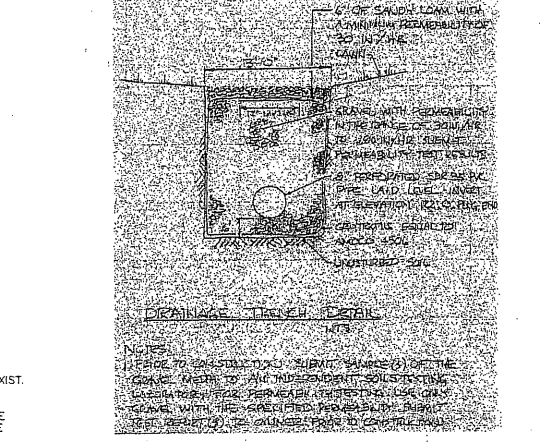
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



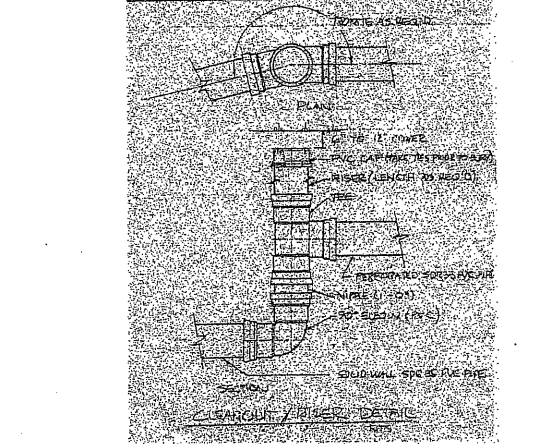
**WATERSTOP DETAIL**  
NOT TO SCALE



**TYPICAL TRENCH SECTION**  
NOT TO SCALE



**DRAINAGE TRENCH DETAIL**  
NOT TO SCALE



**CLEANOUT/RISER DETAIL**  
NOT TO SCALE

2.9



**michael boucher landscape architecture**  
4 South Street  
Freeport, ME 04032  
207.865.1080  
fax 865.1465  
michael@boucherlandscape.com

**FRANKHAM & GREEN**  
170 U.S. Route One  
Falmouth, Maine 04105  
tel (207) 781-5242  
fax (207) 781-4245

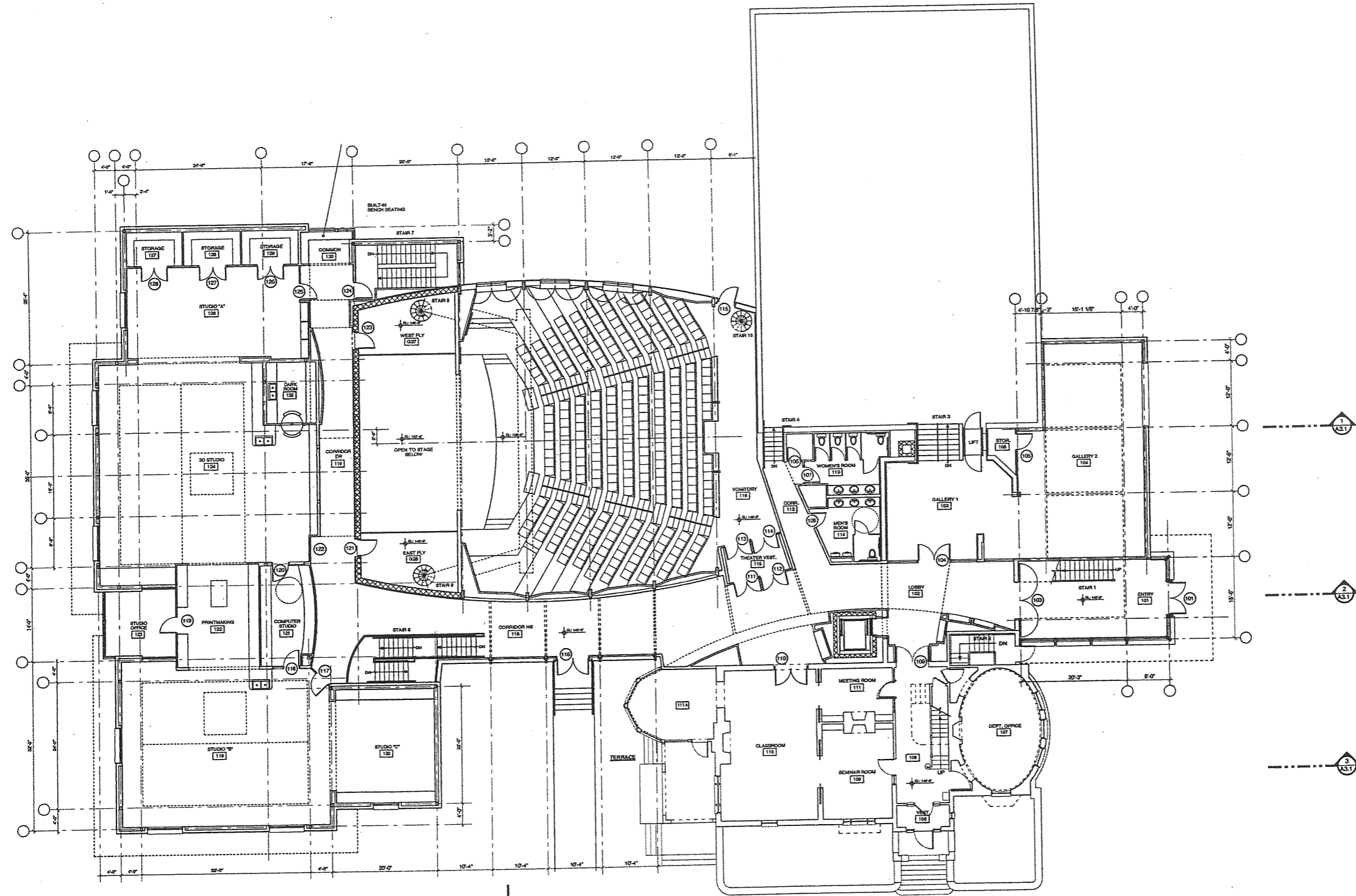
**WAYNFLETE SCHOOL**  
380 SPRING STREET  
PORTLAND, ME

**DRAINAGE DETAILS**

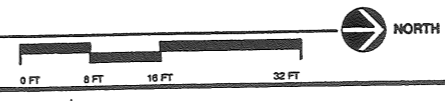
STATUS: **DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**

DATE: 27 MARCH 2001  
SCALE: AS NOTED  
PROJECT NO.: 01001.00  
DRAWN BY: BVM & P&G  
DWG NO.: L-5.0

2.1



FIRST FLOOR PLAN



PROJECT  
**WAYNFLETE ARTS CENTER  
 PHASE TWO**  
 360 SPRING STREET  
 PORTLAND, ME

April 25, 2001

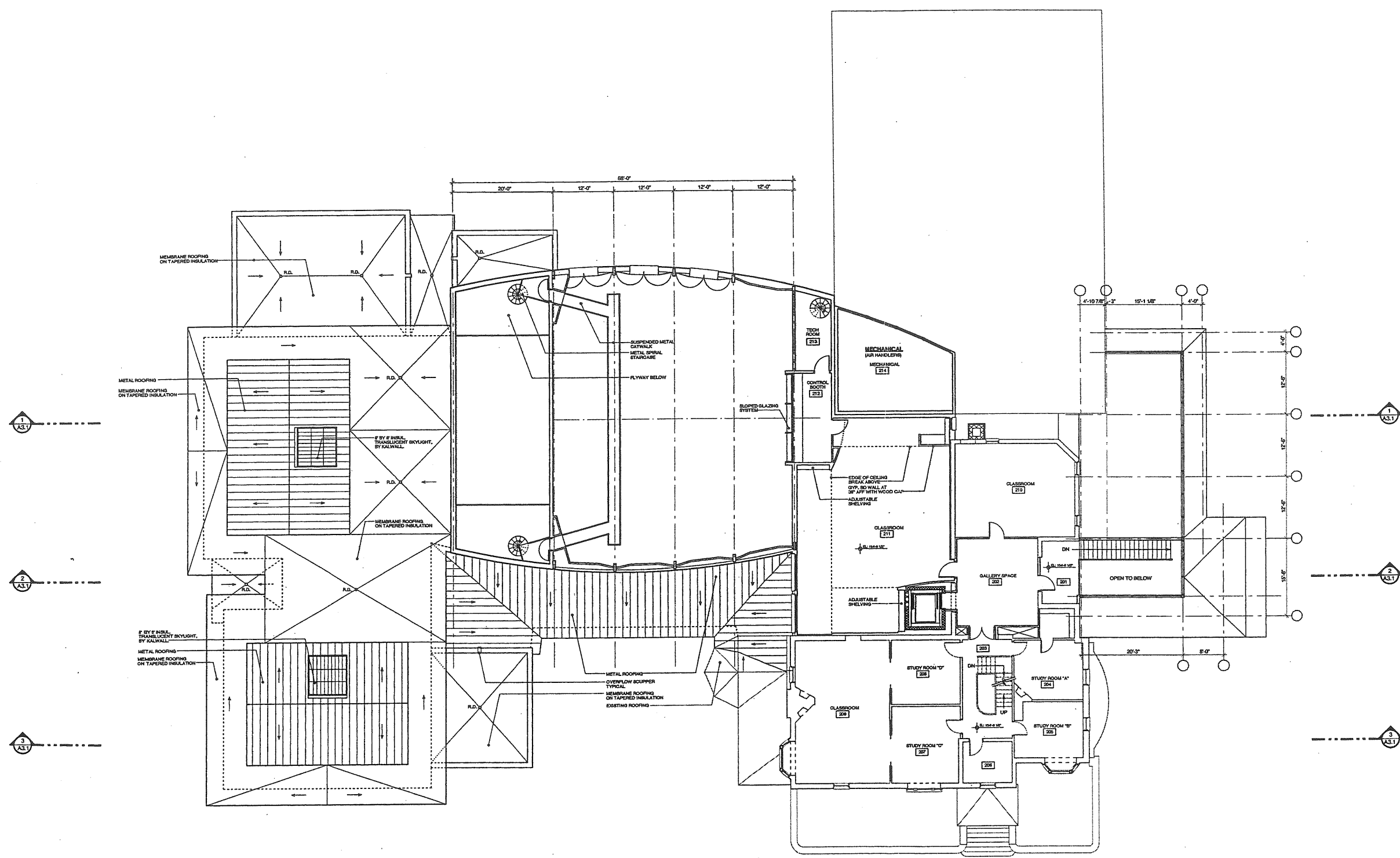
TITLE  
**1ST FLOOR PLAN**  
 Progress Print  
 March 27, 2001

STATUS: **DESIGN DEVELOPMENT  
 NOT FOR CONSTRUCTION**

DATE: 02.25.01	REVISION DATE:
SCALE: 1/8" = 1'-0"	
PROJECT NO. 02116.00	
DRAWN BY: 2001© Scott Simon Architects	

DWG NO. **A-1.2**

2j



SECOND FLOOR PLAN



**SSA**  
Scott Simeone Architects  
15 Franklin Street Art  
Portland, Maine 04101  
Phone: 207 775 4600  
Fax: 207 858 4600

PROJECT  
**WAYNFLETE ARTS CENTER  
PHASE TWO**  
360 SPRING STREET  
PORTLAND, ME

April 25, 2001

TITLE  
**SECOND FLOOR PLAN**

STATUS: **DESIGN DEVELOPMENT  
NOT FOR CONSTRUCTION**

DATE: 02.28.01	REVISION DATE
SCALE: 1/8" = 1'-0"	
PROJECT NO. 00118.00	
DRAWN BY:	2001 © Scott Simeone Architects
DWG NO.	<b>A-1.3</b>

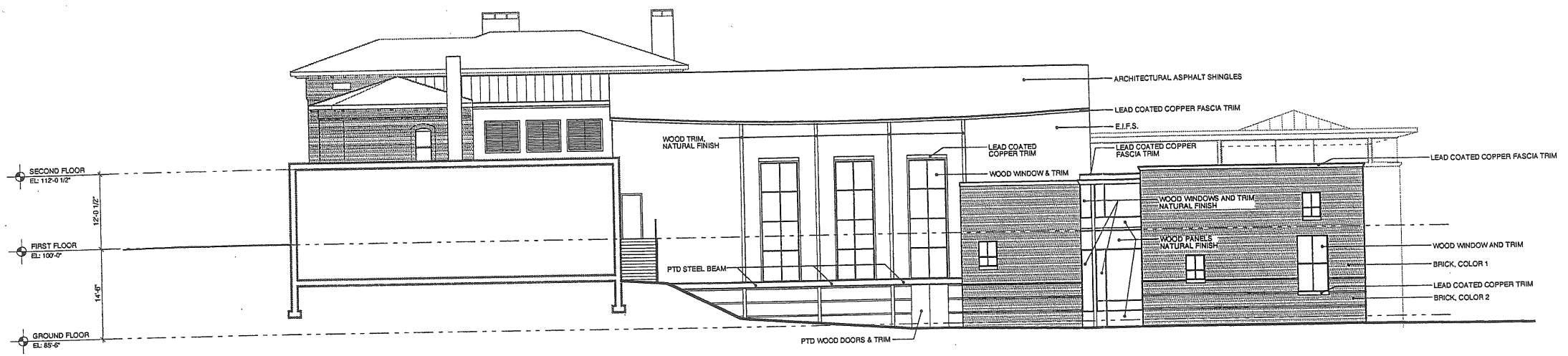
061-F-006

26-36 Storers

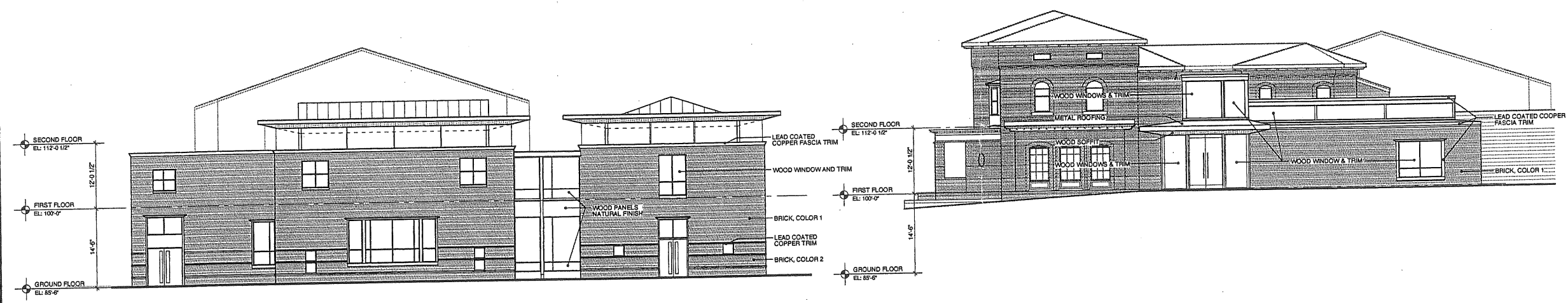
Waynelete Art Center

Waynelete Arts Center

2.K

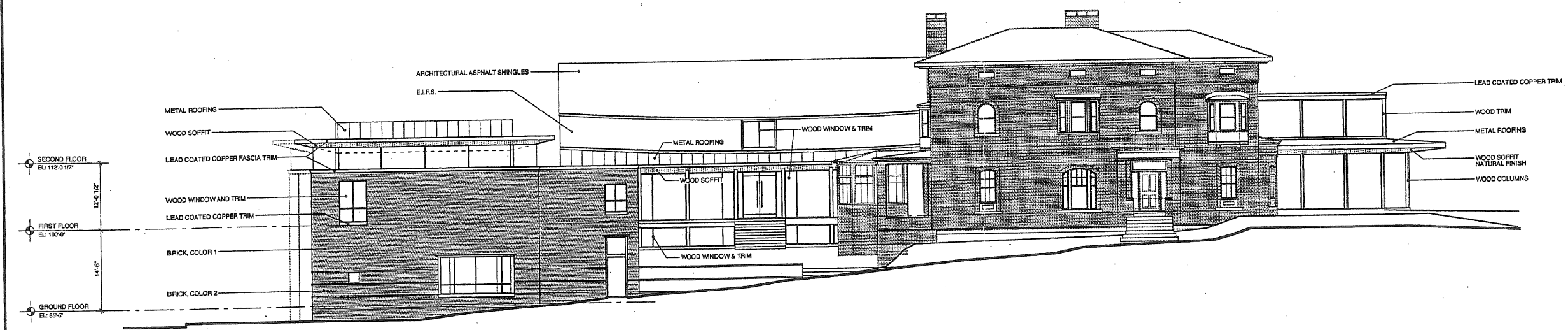


1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



PROJECT  
**WAYNFLETE ARTS CENTER  
PHASE TWO**  
380 SPRING STREET  
PORTLAND, ME

April 30, 2001

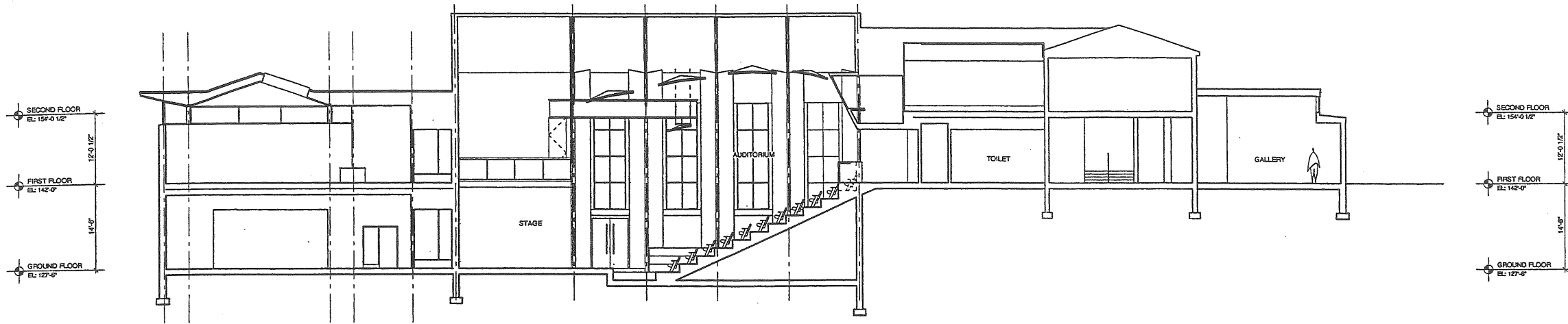
TITLE  
**ELEVATIONS**

STATUS:  
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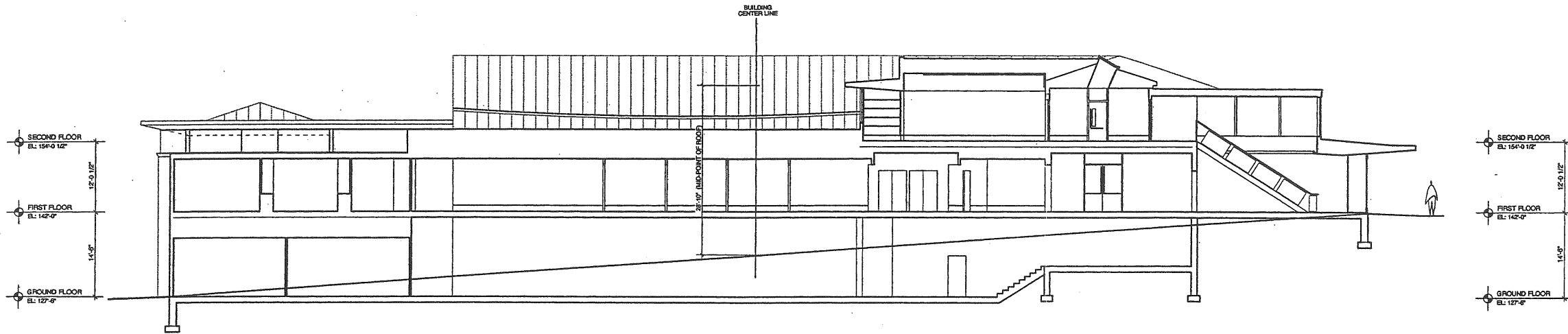
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PROJECT NO. 00116.00	
DRAWN BY: 2001© Scott Simone Architects	

DWG NO.  
**A-2.1**

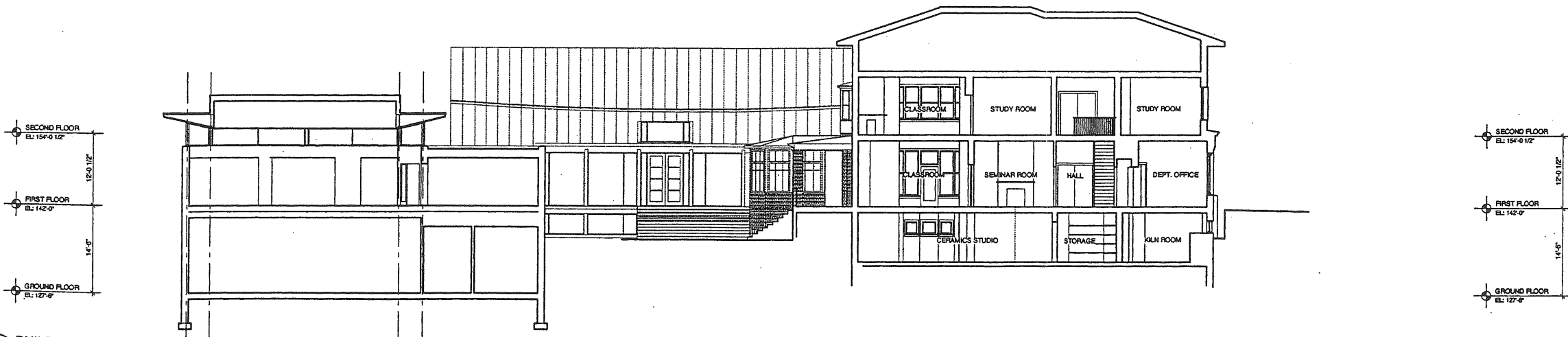
2.L



1 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



3 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



SS Architects  
15 Providence Street  
Portland, Maine 04101  
phone 207 772 4500  
fax 207 772 4500

PROJECT  
**WAYNFLETE ARTS CENTER  
PHASE TWO**  
380 SPRING STREET  
PORTLAND, ME

April 25, 2001

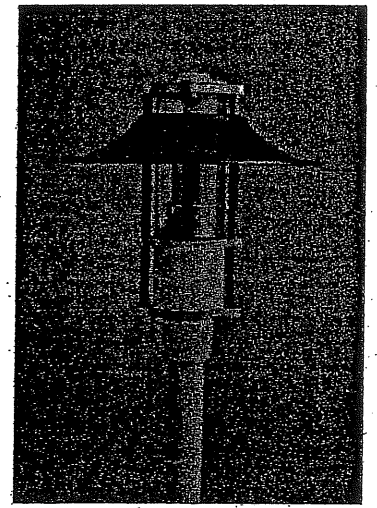
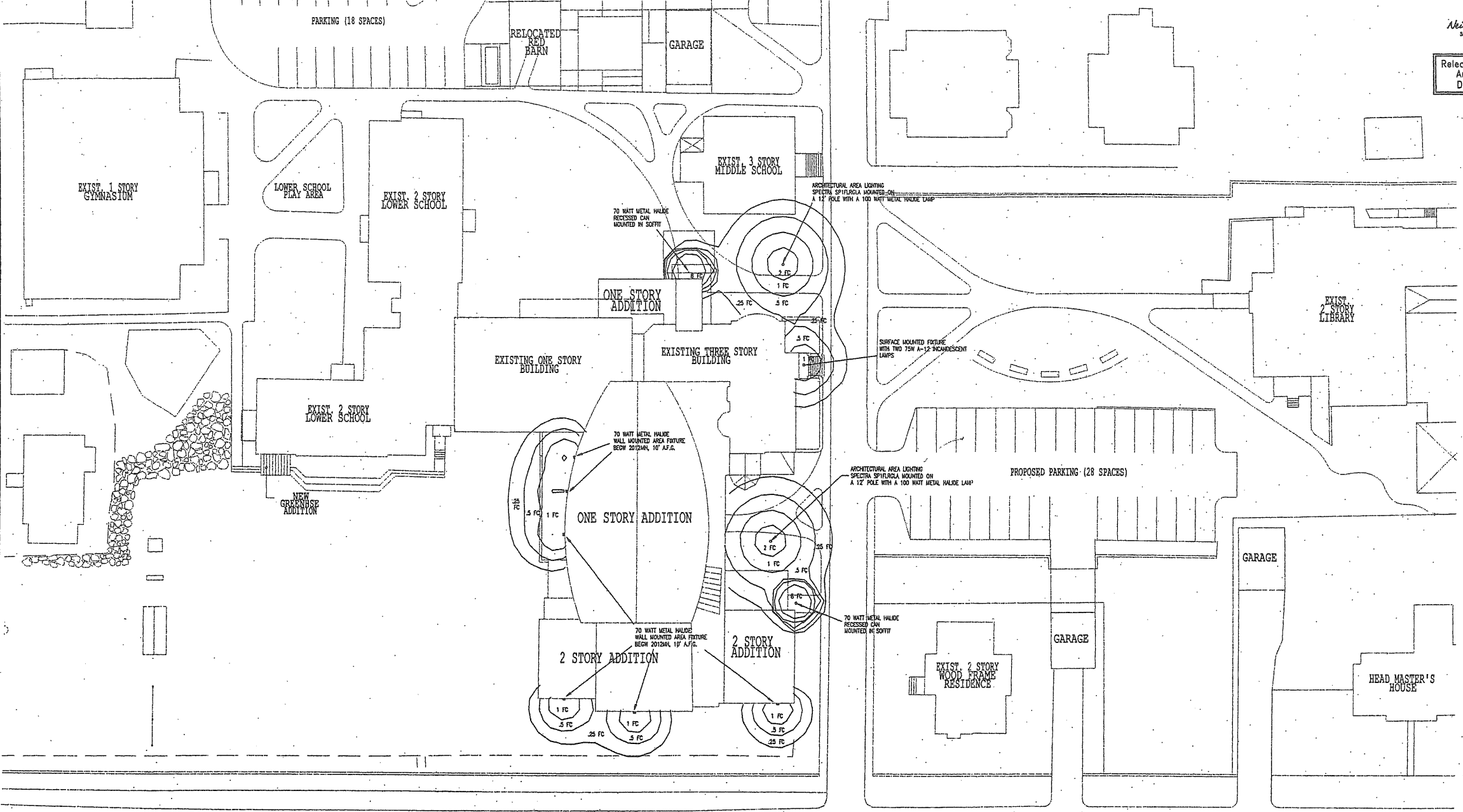
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STATUS: **DESIGN DEVELOPMENT  
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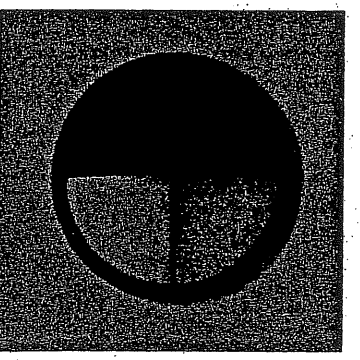
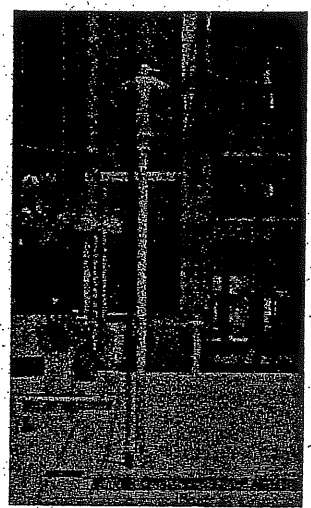
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SCALE: 1/8" = 1'-0"	
PROJECT NO. 00116.00	
DRAWN BY:	2001 © Scott Shomo Architects

DWG NO. **A-3.1**

2.m



SPECTRA POLE FIXTURE



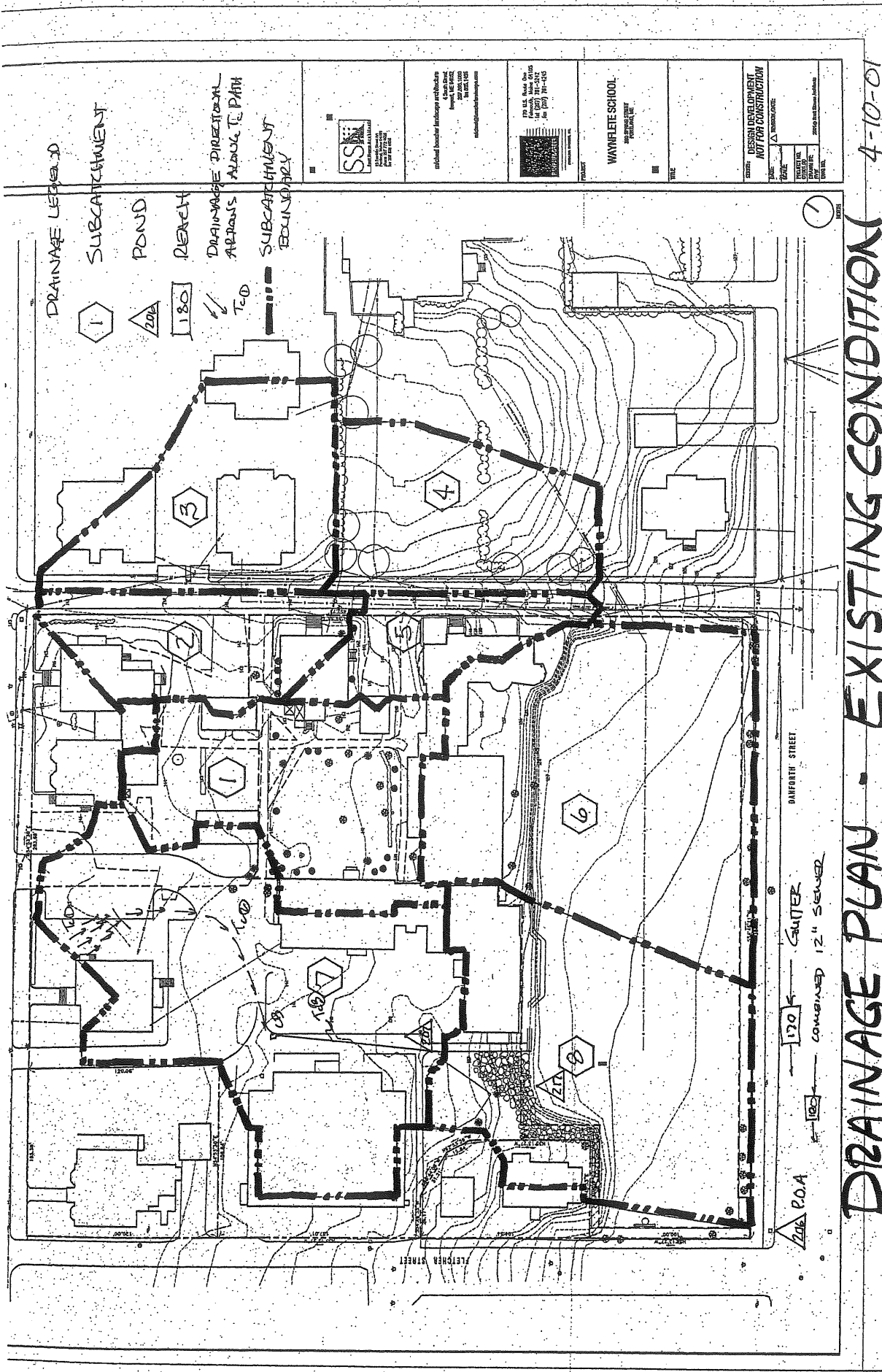
BEGA WALL MOUNTED FIXTURE



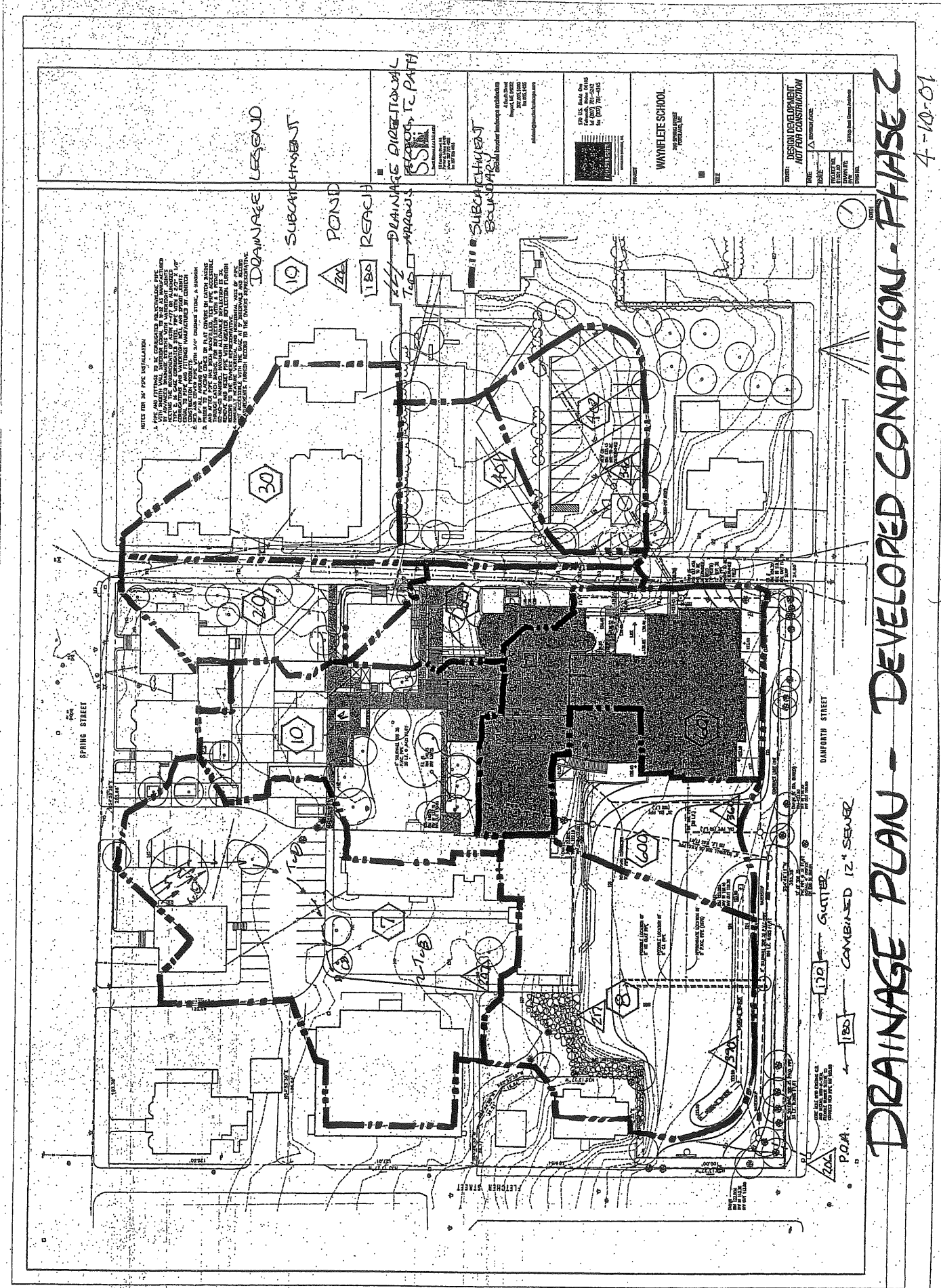
CAD FILE 24749004

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PROJECT <b>WAYNFLETE SCHOOL PHASE ONE</b> 300 SPRING STREET PORTLAND, ME Progress Print March 9, 2001	
TITLE <b>ELECTRICAL SITE LIGHTING PLAN</b>	
STATUS: <b>DESIGN DEVELOPMENT NOT FOR CONSTRUCTION</b>	
DATE: SCALE: PLOT PROJECT NO. DRAWN BY:	REVISION DATE: 2001 © Neill and Gunter
DWG NO. <b>E-2</b>	





**DRAINAGE PLAN - EXISTING CONDITION** 4-10-01



**DRAINAGE PLAN - DEVELOPED CONDITION - PHASE 2** 4-10-01

C.I.O  
SITE DRAINAGE

# Planning Board Submission May 18, 2006

## Renovations and Additions for

# Waynflete Arts Center, Phase Two

360 Spring Street  
Portland, Maine 04102

**Owner:**  
**Waynflete School**  
360 Spring Street  
Portland, ME 04102  
phone: 207-683-2201  
fax: 207-772-4782  
e-mail:  
web:

**Architect:**  
**Scott Simons Architects**  
75 York Street  
Portland, Maine 04101  
phone: 207 772-4656  
fax: 207 828-4656  
e-mail: austin@simonsarchitects.com  
web: simonsarchitects.com

**Civil Engineer:**  
**Pinkham and Greer**  
170 U.S. Route One  
Falmouth, Maine 04105  
phone 207 781-5242  
fax 207 781-4245  
e-mail pgce@maine.rr.com

**Landscape Architect:**  
**Michael Boucher**  
Landscape Architecture  
457 US Route 1  
Freeport, Maine 04032  
phone 207 865-1080  
fax 207 865-1455

**Specifications:**  
**Lowell Specifications, Inc.**  
50 Fernald Road  
Freeport, Maine 04032-6611  
phone 207 865-4518  
fax 207 865-1136  
e-mail  
lowspecs@suscom-maine.net

**Structural Engineer:**  
**Becker Structural Eng, Inc**  
75 York Street  
Portland, ME 04101  
phone 207 879-1838  
fax: 207 879-1822  
e-mail: paul@beckerstructural.com  
web:

**Electrical Engineers:**  
**Neill and Gunter**  
Scarborough Court, 482 Payne Road  
Scarborough, Maine 04074  
phone 207 883-3355  
fax 207 883--3376  
e-mail  
rnadeau@nginc.com

**Mechanical Engineers  
& Contractor:**  
**Johnson & Jordan,**  
Mechanical Contractors  
18 Mussey Road  
Scarborough, Maine 04074  
phone 207 883-8345  
fax 207 883-8619  
e-mail: mike @johnsonandjordan.com

### DRAWING LIST:

- A-0.0 COVER SHEET
- SURVEY
- SITE AREA
- L-1.1 LAYOUT AND MATERIALS PLAN
- L-1.2 GRADING AND DRAINAGE PLAN
- L-1.3 PLANTING PLAN
- L-1.4 SITE DETAILS
- D-1.1 GROUND FLOOR DEMOLITION
- D-1.2 FIRST FLOOR DEMOLITION
- D-1.3 SECOND FLOOR DEMOLITION
- A-1.1 GROUND FLOOR PLAN
- A-1.2 FIRST FLOOR PLAN
- A-1.3 SECOND FLOOR PLAN
- A-1.4 ROOF PLAN
- A-2.1 BUILDING ELEVATIONS
- A-3.1 BUILDING SECTIONS
- A-3.2 ENLARGED BUILDING SECTIONS
- A-4.1 WALL SECTIONS
- A-4.2 WALL SECTIONS
- A-8.1 DOOR & FINISH SCHEDULES

E-2 ELECTRICAL SITE LIGHTING



75 York Street  
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**PROJECT**

**WAYNFLETE ARTS CENTER  
PHASE TWO**

**ADDITION RENOVATION  
360 SPRING STREET  
PORTLAND, ME**

**TITLE**

**COVER SHEET**

**STATUS:**  
Planning Board Submission  
NOT FOR CONSTRUCTION

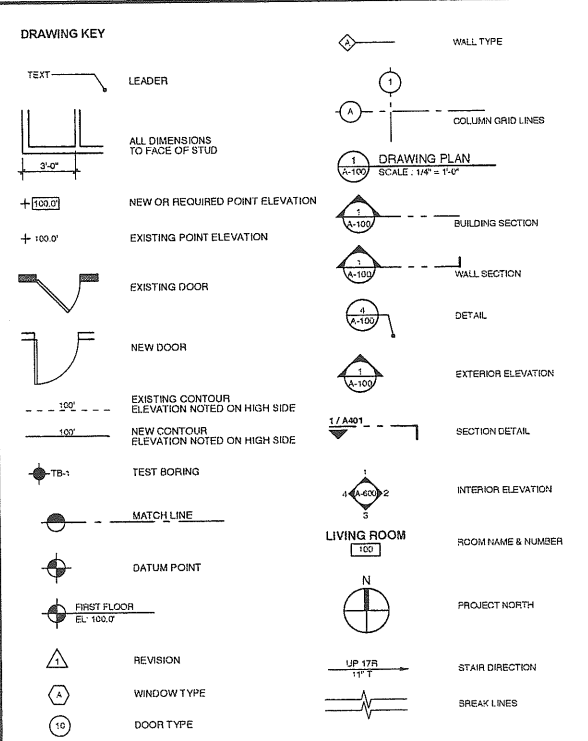
**DATE:**  
05.18.2007

**REVISION DATE:**

**PROJECT NO.:**  
2003-0040.00

**DRAWN BY:**  
2004 Scott Simons Architects

**DWG NO.:**  
A-0.0



**MATERIAL KEY**

COURSE GRAVEL	CONCRETE	STONE	EARTH/COMPACT FILL	GYPSPUMPLASTER	PLYWOOD	BATT INSULATION	FINISH WOOD	ROUGH WOOD	BLOCKING WOOD	CONCRETE MASONRY	BRICK MASONRY	SAND/FINE GRAVEL	RIGID INSULATION	GLASS	EXISTING WALL	NEW WALL	DEMO WALL
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**ABBREVIATIONS**

AB ANCHOR/BOLT	ACT ACCUSTICAL CEILING TILE	ADL ADDITIONAL	ADM ADMINISTRATION	AFF ABOVE FINISH FLOOR	ALU ALUMINUM	APP ACCESS PANEL	APV ASPHALT PAVEMENT	ARCH ARCHITECT	BD BOARD	SIT BITUMINOUS	BLDG BUILDING	BLK BLOCKING	BM BENCHMARK	BR BEDROOM	BSK BEARING	BRD BASEMENT	BTW BETWEEN	CAB CABINET	CBM CATCH BASIN	CEM CEMENT	CFM CUBIC FEET	CHRC CIRCULAR/CIRCULAR	CJ CONTROL JOINT	CL CENTER LINE	CEILING CEILING	CMU CONCRETE MASONRY UNIT	CO CLEAN OUT	COL COLUMN	CONC CONCRETE	CONST CONSTRUCTION	CONT CONTINUE CONTINUOUS	COOR COORDINATED	COORD COORDINATED	CRS CERAMIC TILE	CUL CHANNEL UNIT HEATER	CW COLD WATER/CURTAIN WALL	CY CUBIC YARD	D DRIVER	DBL DOUBLE	DEFL DEFLECTION	DEMO DEMOLITION	DF DRINKING FOUNTAIN	DIAM DIAMETER	DIA DIAGONAL	DIM DIMENSION	DIR DIRECTOR/OOOR	DIV DIVISION	DOOR DOOR	DWG DRAWING	E EAST	EACH EACH	EXP EXPANDED FAN	EV ELEVATOR	ELC ELEVATOR	ELC ELEVATOR	ELEC ELECTRIC/ELECTRICAL	EQU EQUAL	EWC ELECTRIC WATER COOLER	EXAM EXAMINATION	EXST EXISTING	EXT EXTERIOR	FBO FURNISHED BY OWNER	FCD FLOOR CLEAN OUT	FD FLOOR DRAIN	FCI OWNER FURNISHED CONTRACTOR INSTALLED ONE	FE FIRE EXTINGUISHER	FIN FINISH	FIS FACE OF STUD	FPP FIBERGLASS REINFORCED PLASTIC	FT FOOT	FTD FOOTING	GA GALLON	GALV GALVANIZED	GENL GENERAL CONTRACTOR	GL GLASS	GRN GRANITE	GWB GYPSUM WALL BOARD	GYP GYPSUM	OT QUANT	RAC RADIUS/RANGE	RD ROOF DRAIN	REC RECREATION	RECT RECTANGLE	REF REFERENCE	REQ REQUIRED	REFR REFRIGERATOR	REIN REINFORCEMENT/REINFORCING	RESL RESILIENT	REVS REVISION	RFG ROOFING	RM ROOM	ROO ROOF OPENING	S SANITARY	SAN SANITARY	SC SOLID CORE	SD STORM DRAIN	COO COOR	SF SQUARE FOOT	SHET SHEET	SM SIMILAR	SPIC SPECIFICATIONS	SQ SQUARE	SST SOLID TRANSMISSION COEFFICIENT	STD STANDARD	STL STEEL	STOR STORAGE	ST STANCHION	SUSP SUSPENDED	T TREAD/TOILET	TEL TELEPHONE	TEMP TEMPERATURE/TEMPERED	T&G TONGUE & GROOVE	TH THICKNESS	TOP TOP OF	TV TELEVISION	TYP TYPICAL	UL UNDERWRITERS LABORATORIES	UTIL UTILITIES	V VAPOR BARRIER	VEH VEHICULAR	VENT VENTILATOR/VENTILATION	VERT VERTICAL	VEST VESTIBULE	VR VAPOR RETARDER	W WEST/WATERWAYS-WIDTH	WF WATER CLOSET	WOOD WOOD	WIND WINDOW	W/C WITH CUT	W/W WELDED WIRE FABRIC	W/M WELDED WIRE MESH
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**CODE & ZONING SUMMARY**

**BUILDING CODE:** IBC 2003

**USE GROUP:**

**TYPE OF CONSTRUCTION:**

**MAX HEIGHT:**

**MAX AREA:**

**AUTOMATIC SPRINKLER:** YES

**LIFE SAFETY CODE:** 2002 NFPA 101

**OCCUPANCY:**

**CONSTRUCTION TYPE:**

**AREA:**

**OCCUPANT LOAD:**

**ZONING:** PORTLAND ZONING ORDINANCE

**MAX HEIGHT:**

**FRONT SETBACK:**

**SIDE SETBACK:**

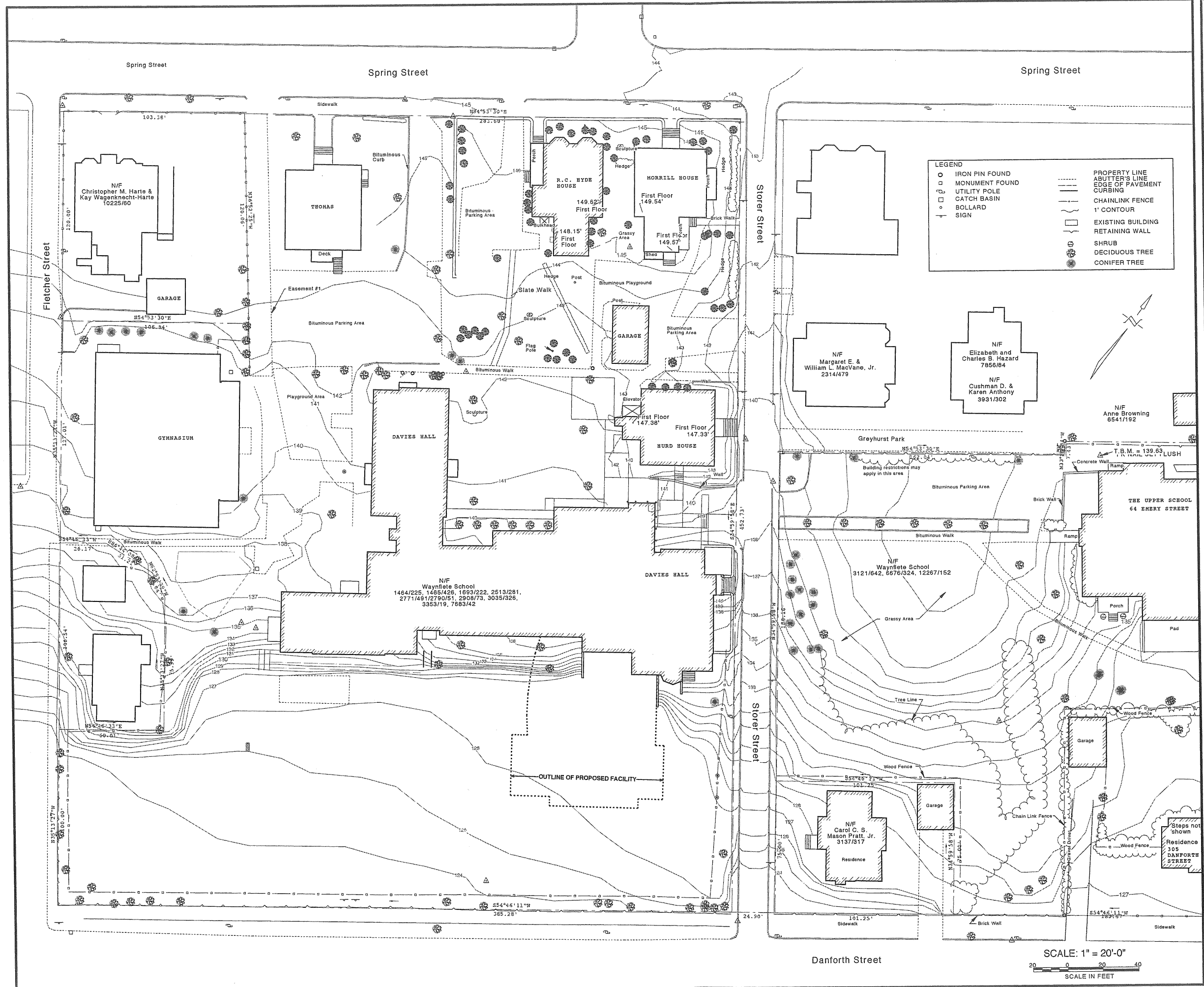
**REAR SETBACK:**

**LOT COVERAGE:**

**ACCESSIBILITY:** ADA 1991

**ACCESSIBLE BUILDINGS:** NEW CONSTRUCTION

**LOCUS MAP**



**LEGEND**

○	IRON PIN FOUND	---	PROPERTY LINE
□	MONUMENT FOUND	---	ABUTTER'S LINE
□	UTILITY POLE	---	EDGE OF PAVEMENT
□	CATCH BASIN	---	CURBING
○	BOLLARD	---	CHAINLINK FENCE
+	SIGN	---	1' CONTOUR
		---	EXISTING BUILDING
		---	RETAINING WALL
		---	SHRUB
		---	DECIDUOUS TREE
		---	CONIFER TREE

**SS**  
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75 York Street  
Portland, Maine 04101  
phone 207 772 4656  
fax 207 626 4656

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**PROJECT**  
**WAYNFLETE ARTS CENTER PHASE TWO**  
ADDITION/RENOVATION  
360 SPRING STREET  
PORTLAND, ME

**TITLE**  
**SITE PLAN**

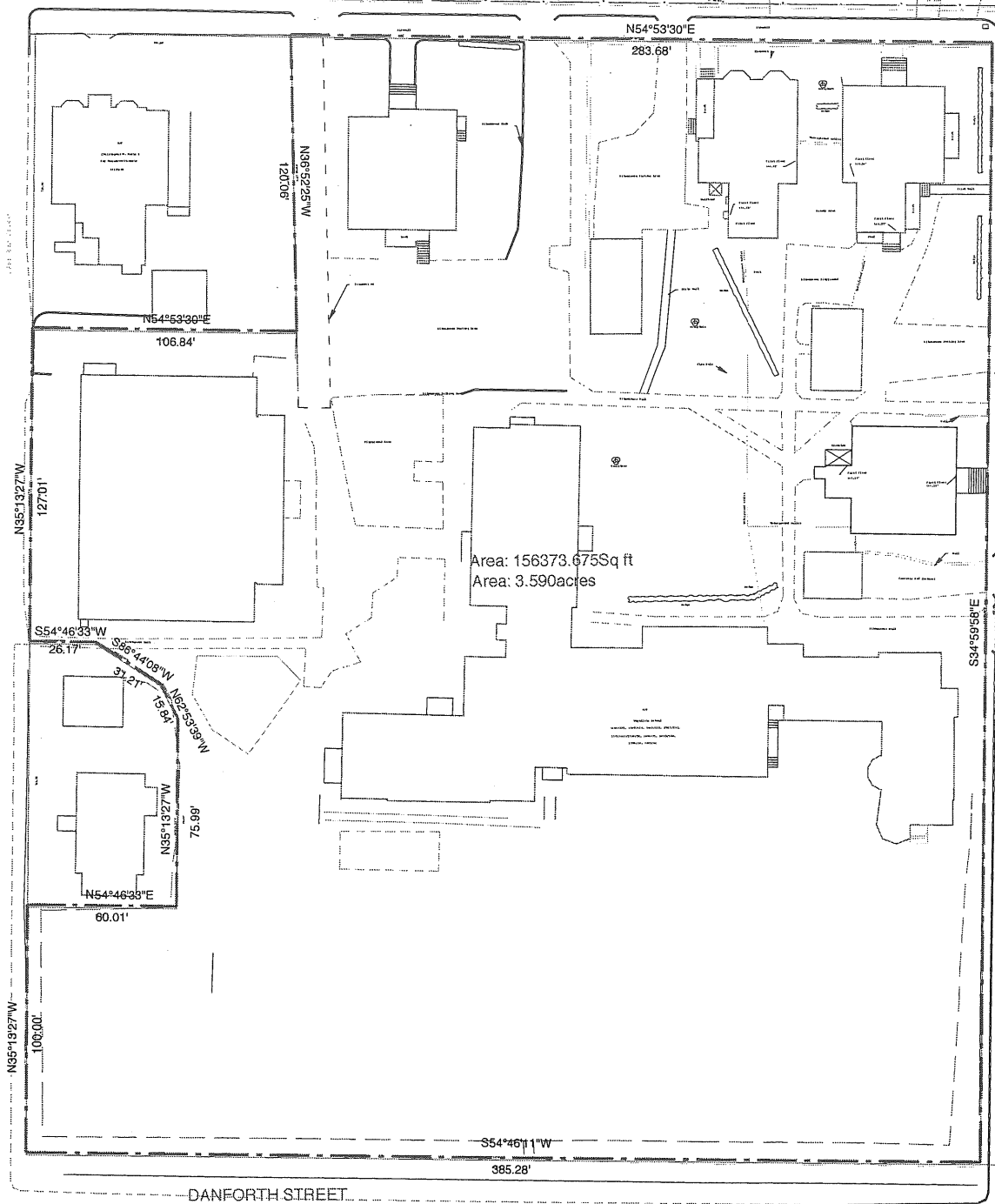
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Planning Board Submission  
NOT FOR CONSTRUCTION

**DATE:** 05.18.2007 **REVISION DATE:**

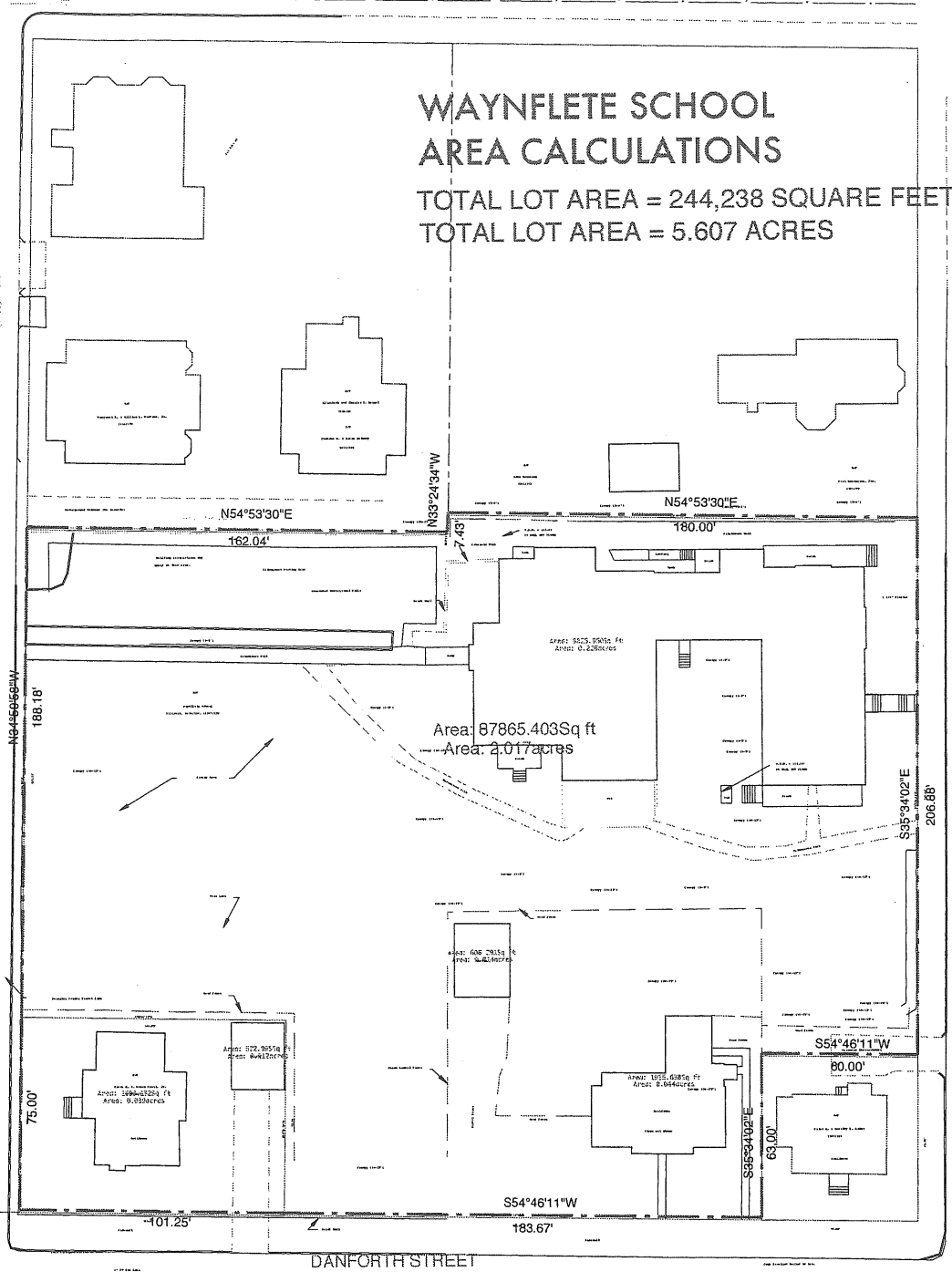
**PROJECT NO.:** 2003-0040.00  
**DRAWN BY:** 2004 Scott Simons Architects

**DWG NO.:** SURVEY

**SCALE: 1" = 20'-0"**  
SCALE IN FEET



Area: 156373.675Sq ft  
Area: 3.590acres



### WAYNFLETE SCHOOL AREA CALCULATIONS

TOTAL LOT AREA = 244,238 SQUARE FEET  
TOTAL LOT AREA = 5.607 ACRES

Area: 87865.403Sq ft  
Area: 2.017acres

Scott Simons Architects  
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PROJECT  
**WAYNFLETE ARTS CENTER  
PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**SITE AREA  
CALCULATIONS**

STATUS:  
**Planning Board Submission**  
NOT FOR CONSTRUCTION

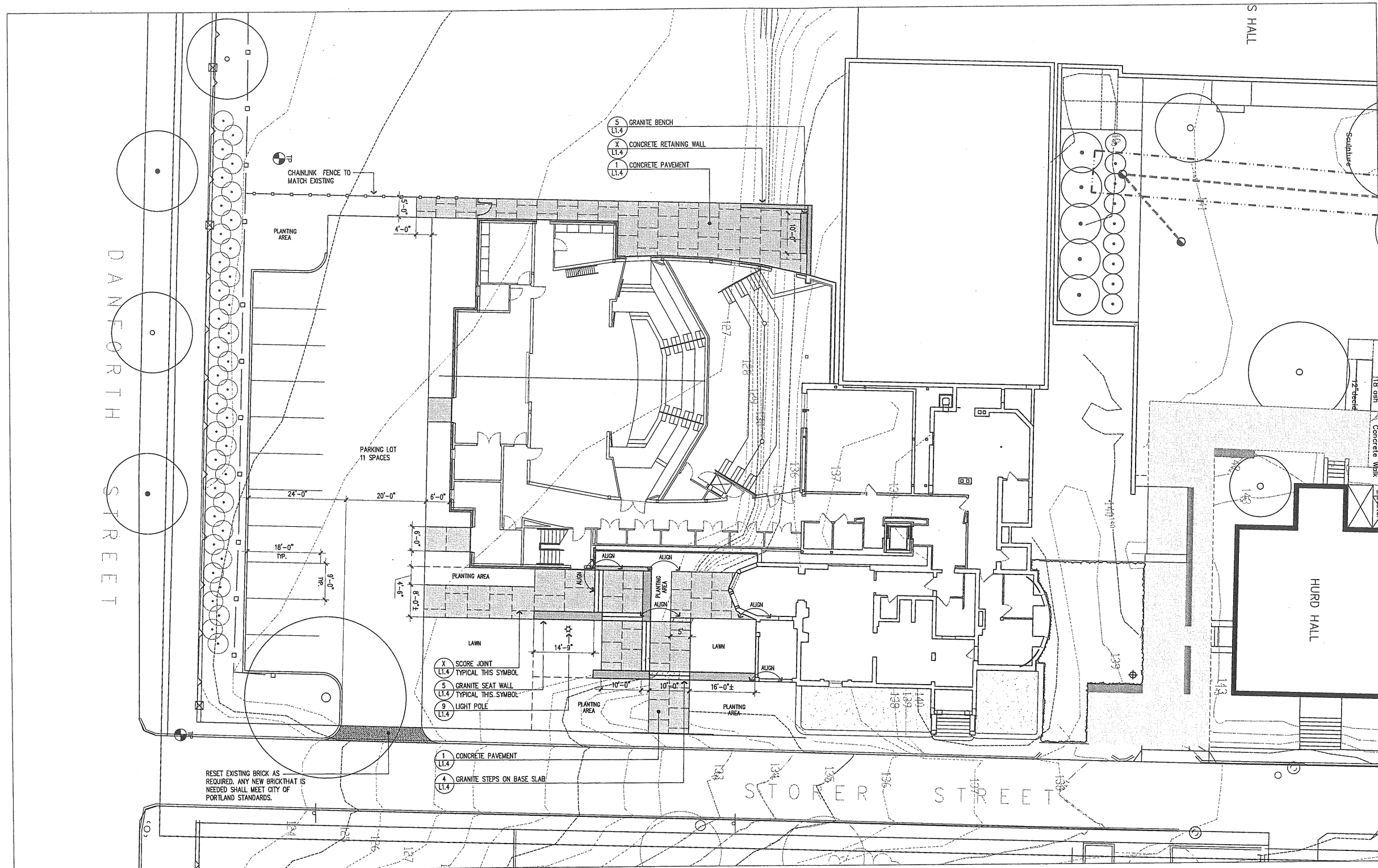
DATE: 05.18.2007 REVISION DATE:

SCALE: NTS

PROJECT NO.  
2002-0040.00

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DWG NO.  
**SITE AREA**



DANFORTH STREET

STORER STREET

S HALL

HURD HALL

**1** LAYOUT AND MATERIALS PLAN  
SCALE: 1"=10'

michael boucher landscape architecture  
457 US Route 1  
Freeport, ME 04032  
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F 207.865.1455  
www.boucherlandscape.com

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phone 207 772 4555  
fax 207 828 4666

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PROJECT  
WAYNFLETE ARTS CENTER  
PHASE TWO

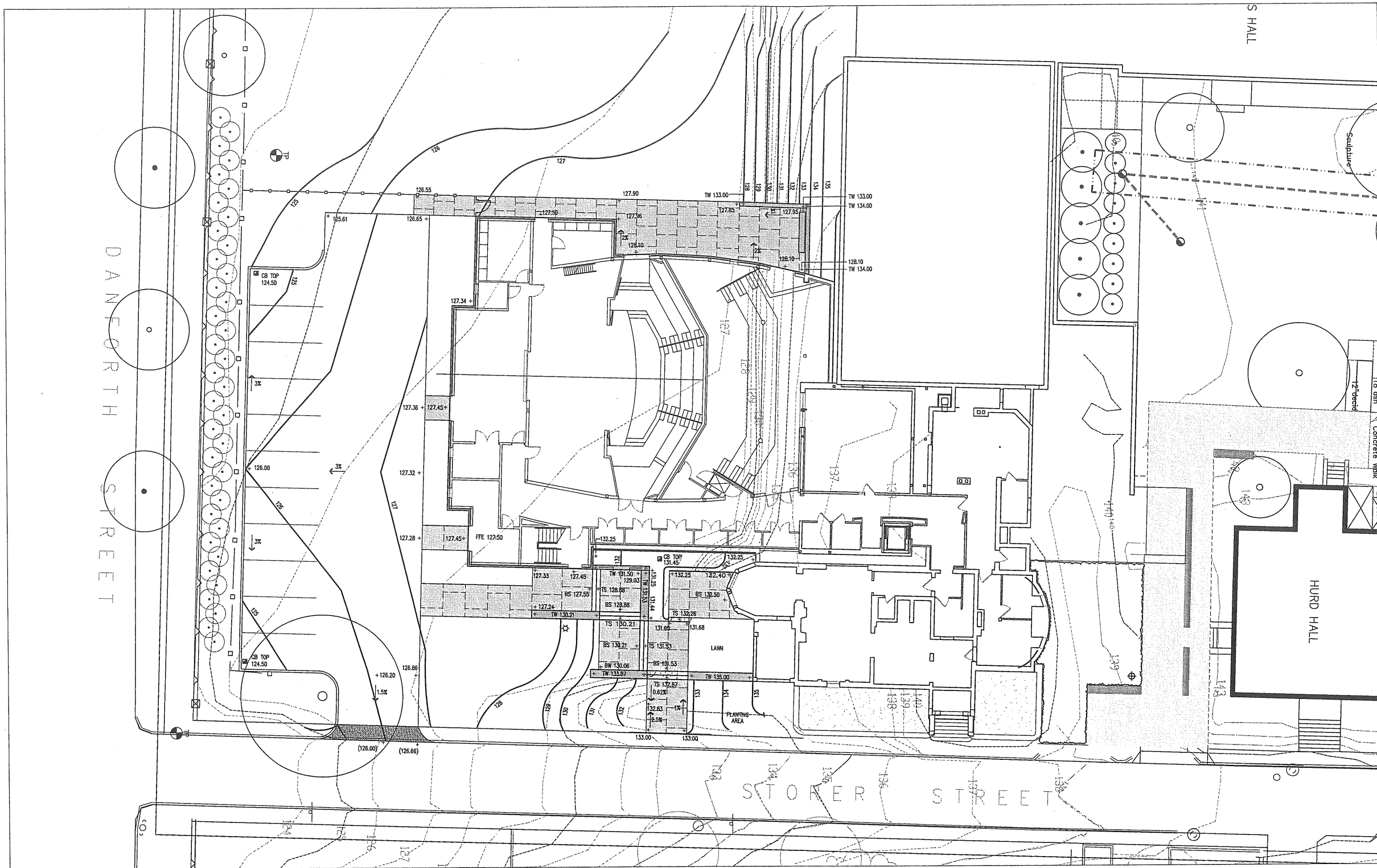
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**LAYOUT AND MATERIALS PLAN**

STATUS:  
Planning Board Submission  
NOT FOR CONSTRUCTION

DATE: 05.16.2007	REVISION /DATE:
SCALE: 1"=10'	
PROJECT NO. 2003-0043.00	
DRAWN BY: 2007@Scott Simons Architects	

DWG NO.  
**L-1.1**



DANFORTH STREET

STORER STREET

S HALL

HURD HALL

**1** GRADING PLAN  
SCALE: 1"=10'

michael boucher landscape architecture  
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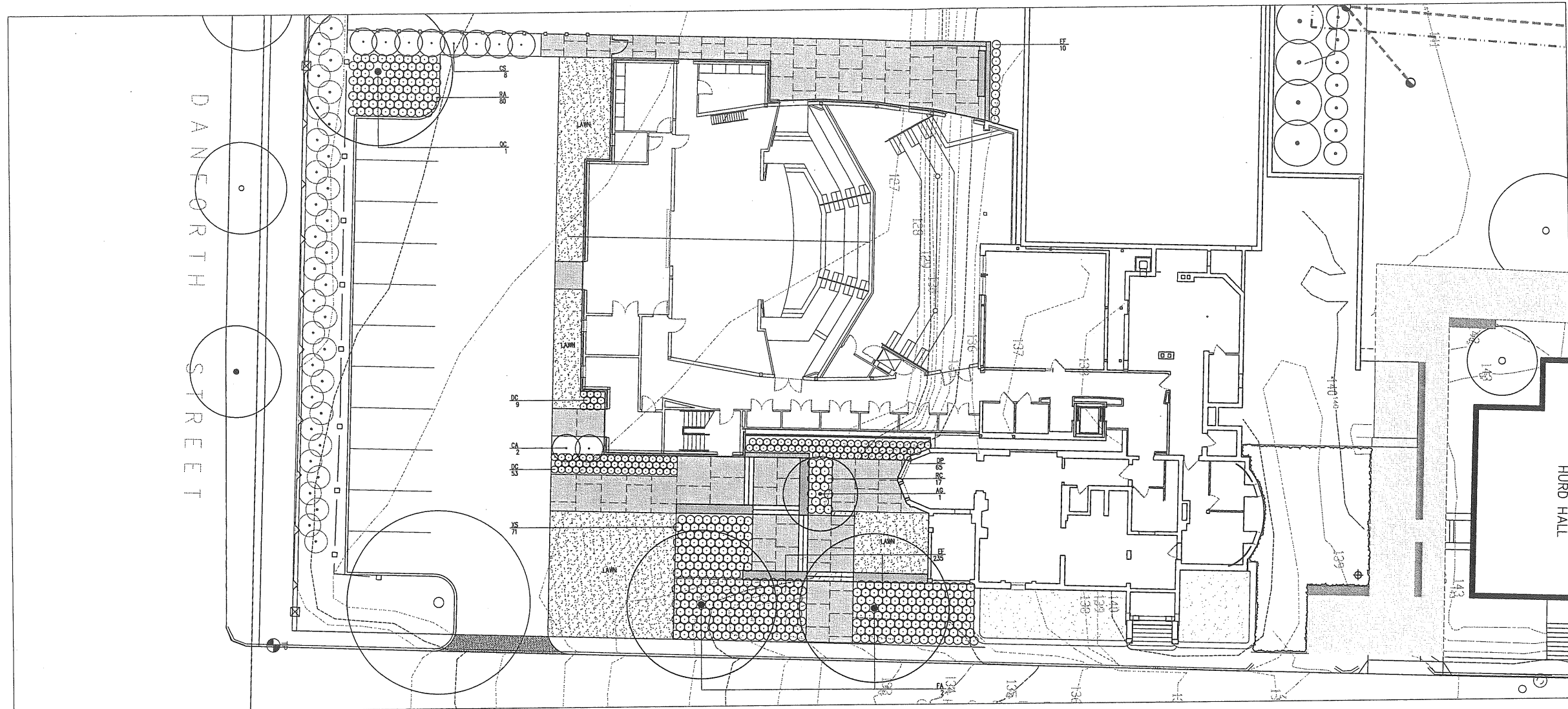
PROJECT  
**WAYNFLETE ARTS CENTER  
PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**GRADING PLAN**

STATUS:  
Planning Board Submission  
NOT FOR CONSTRUCTION

DATE: 05.18.2007	REVISION / DATE:
SCALE: 1"=10'	
PROJECT NO. 2003-0040.00	
DRAWN BY:	

DWG NO. **L-1.2**



**1** PLANTING PLAN  
SCALE: 1"=10'

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	COMMENTS
<b>TREES</b>							
AG	1	ACER GINNALA	AMUR MAPLE	8 - 10' CLUMP	B&B	SEE PLAN	MULTISTEMMED SPECIMEN
FA	2	FRAXINUS AMERICANA	GREEN ASH	3.5 - 4" CAL	B&B	SEE PLAN	SINGLE LEADER, MATCHED
QC	1	QUERCUS COCCINEA	SCARLET OAK	4" CAL	B&B	SEE PLAN	HEAVY SPECIMEN
<b>SHRUBS / GROUNDCOVERS</b>							
CA	2	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	3-4'	CONT.		
CS	8	CORNUS SERICEA	RED-TWIGGED DOGWOOD	3-4'	CONT.		
DC	62	DRYOPTERIS CELSA	WOODFERN	1 GAL.	CONT.		
DP	65	DENNSTAEDIA PUNCTILOBA	HAYSCENTED FERN	1 GAL.	CONT.		
EF	245	EUONYMUS FORTUNEI	WINTERCREEPER EUONYMUS	2 GAL.	CONT.		
RA	80	RHUS AROMATICA 'GRO-LO'	FRAGRANT SUMAC	1 GAL.	CONT.		
RC	17	RHOODODENDRON CANADENSE	RHOODORA	2 GAL.	CONT.		
XS	71	YELLOWROOT	XANTHORRIZA SIMPLICISSIMA	2 GAL.	CONT.		

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PROJECT  
**WAYNFLEETE ARTS CENTER  
PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**PLANTING PLAN**

STATUS:  
Planning Board Submission  
**NOT FOR CONSTRUCTION**

DATE:  
05.18.2007

SCALE  
1"=10'

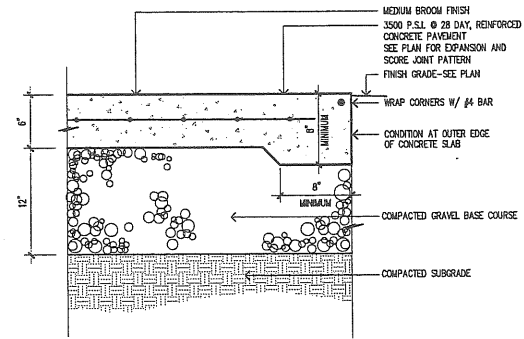
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2003-0040.00

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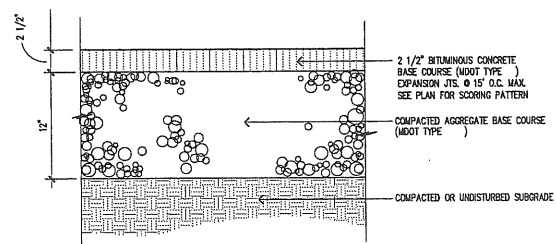
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REVISION (DATE):

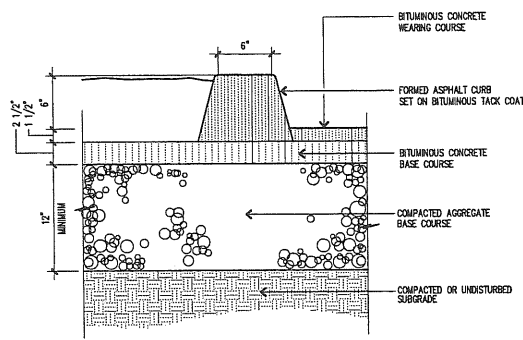
L-1.3



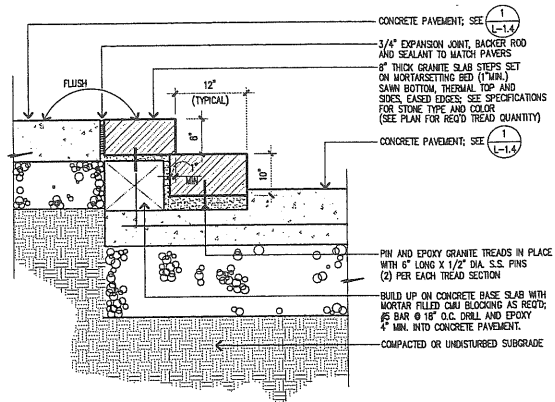
1 CONCRETE PAVEMENT  
L-1.4 SCALE: 1 1/2" = 1'-0"



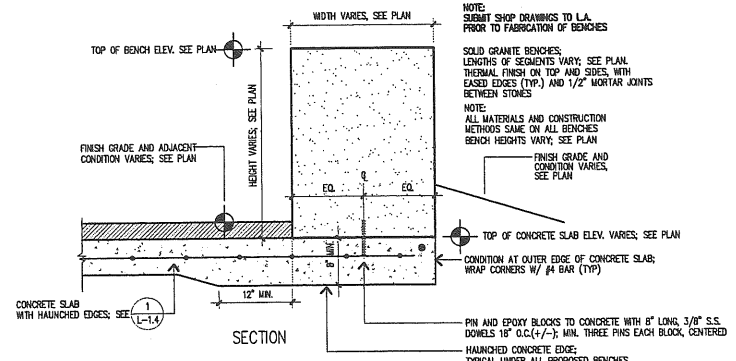
2 ASPHALT PAVEMENT  
L-1.4 SCALE: 1 1/2" = 1'-0"



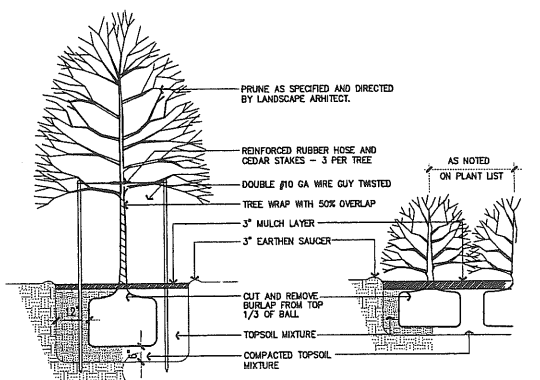
3 ASPHALT CURB  
L-1.4 SCALE: 1 1/2" = 1'-0"



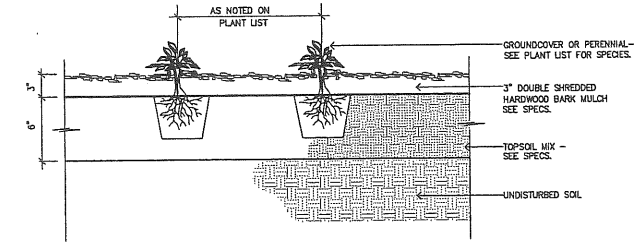
4 GRANITE STEPS ON BASE SLAB  
L-1.4 SCALE: 1" = 1'-0"



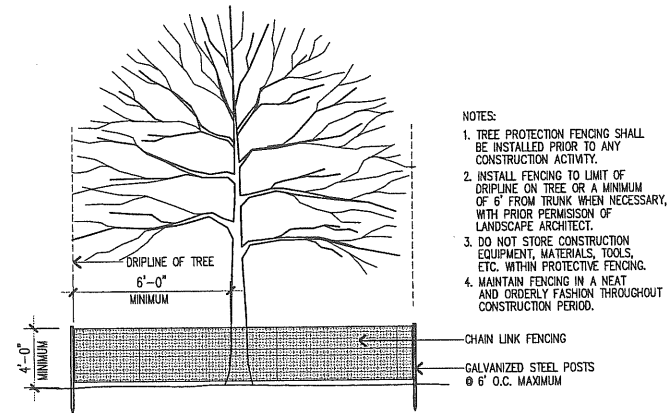
5 GRANITE SEAT WALL  
L-1.4 SCALE: 1" = 1'-0"



6 TREE / SHRUB PLANTING DETAIL  
L-1.4 NOT TO SCALE

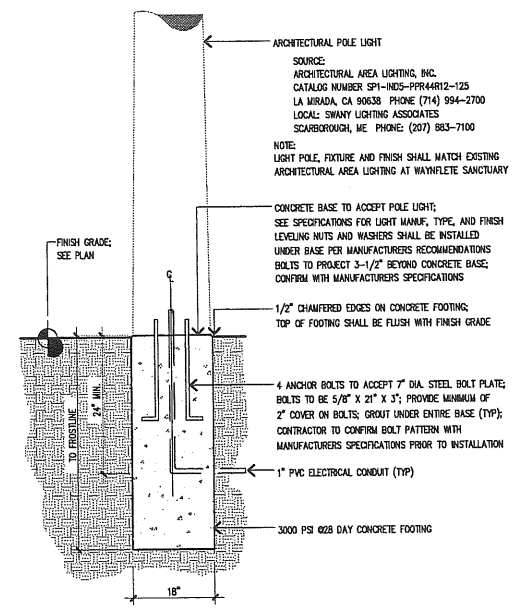


7 GROUND COVER PLANTING DETAIL  
L-1.4 NOT TO SCALE



- NOTES:
- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY.
  - INSTALL FENCING TO LIMIT OF DRIPLINE ON TREE OR A MINIMUM OF 6' FROM TRUNK WHEN NECESSARY, WITH PRIOR PERMISSION OF LANDSCAPE ARCHITECT.
  - DO NOT STORE CONSTRUCTION EQUIPMENT, MATERIALS, TOOLS, ETC. WITHIN PROTECTIVE FENCING.
  - MAINTAIN FENCING IN A NEAT AND ORDERLY FASHION THROUGHOUT CONSTRUCTION PERIOD.

8 TREE PROTECTION  
L-1.4 NOT TO SCALE



9 LIGHT POLE BASE DETAIL  
L-1.4 SCALE: 3/4" = 1'-0"

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PROJECT  
WAYNFLETE ARTS CENTER  
PHASE TWO  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
SITE DETAILS

STATUS:  
Planning Board Submission  
NOT FOR CONSTRUCTION

DATE: 06.18.2007	REVISION /DATE:
SCALE: 1"=10'	
PROJECT NO. 2003-0040.00	
DRAWN BY:	





DWG NO. L-1.4



**DEMOLITION PLAN KEY NOTES**

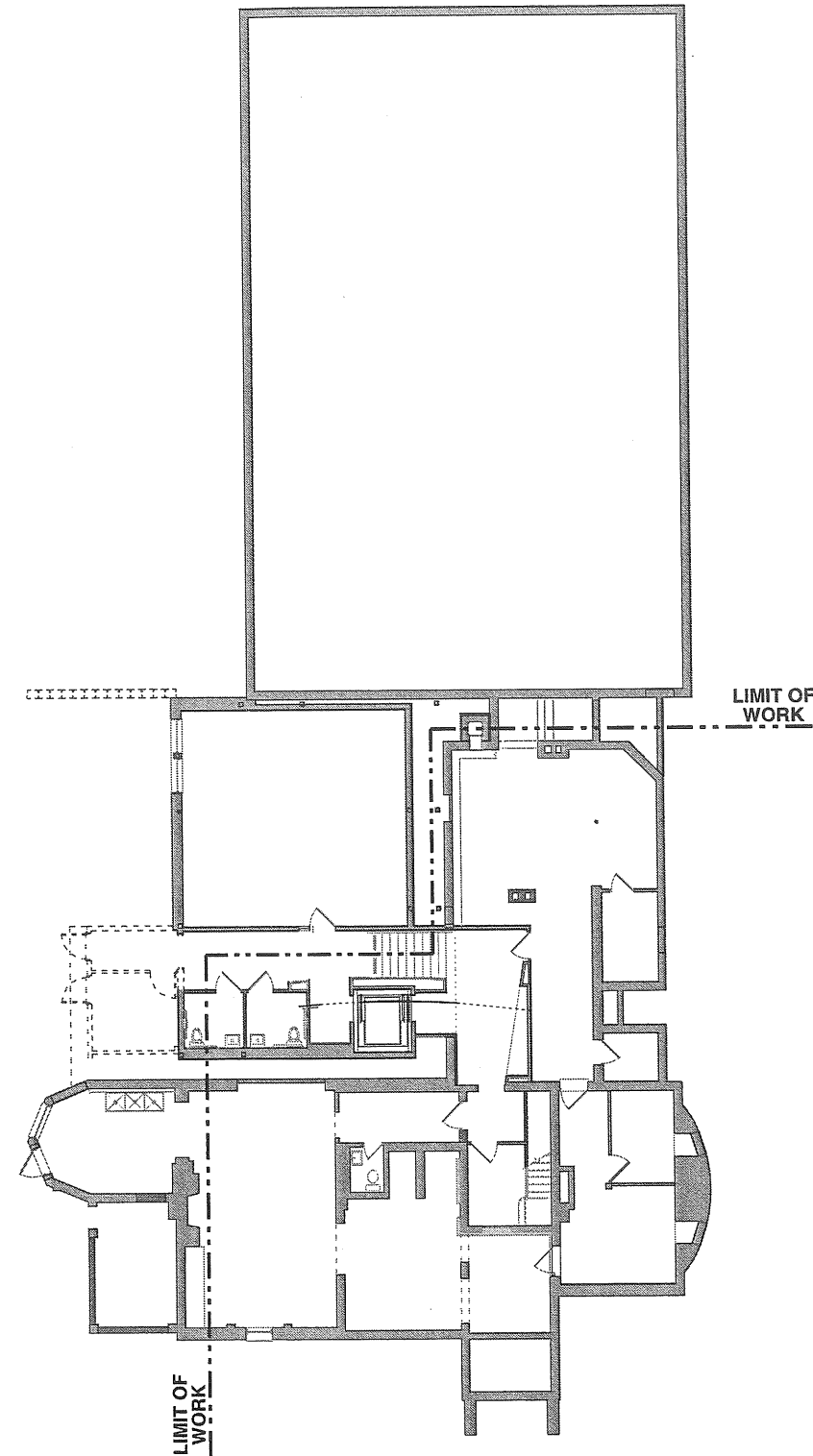
- 01 REMOVE EXISTING WINDOWS, SALVAGE FOR OWNER.
- 02 REMOVE EXISTING WINDOWS, DISPOSE OF.
- 03 REMOVE EXISTING DOOR, DOOR FRAME AND PORTION OF WALL SHOWN. SALVAGE DOOR AND FRAME FOR REUSE IN NEW CONSTRUCTION.
- 04 REMOVE CEILING, SALVAGE CEILING TILE FOR REUSE. DEMO TRACK AND TRIM.
- 05 SALVAGE EXISTING LIGHT FIXTURES FOR REUSE IN NEW CONSTRUCTION.
- 06 REMOVE FLOOR FINISHES, INCLUDING MGT, CARPET, PADDING AND ALL ADHESIVES. PREP TO RECEIVE NEW FLOORING.

**DEMOLITION LEGEND**


-  EXISTING WALL TO REMAIN
-  EXISTING DOOR TO REMAIN
-  EXISTING WALL TO BE REMOVED AS NOTED
-  EXISTING DOOR AND/OR FRAME TO BE REMOVED AS NOTED

**DEMOLITION GENERAL NOTES**

1. REFER TO MECH/ELEC. DWGS FOR RELATED DEMO WORK. G.C. COORDINATE ALL WORK WITH SUBCONTRACTORS AS REQ'D.
2. REFER TO SHT. A-1.4 (ROOF PLAN) FOR ROOF DEMO WORK.
3. ALL WORK TO BE SEQUENCED, PHASED AND SCHEDULED WITH WAIPLETS SCHOOL. DIRECTOR OF FACILITIES: DAVID BROWN, 772-6832
4. G.C. SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING AS REQ'D FOR STRUCTURAL, MECH. ELEC. AND FIRE PROTECTION WORK. COORDINATE AS REQ'D. ALL NEW AND ABANDONED OPENINGS PATCHED BACK TO MATCH EXISTING.
5. ALL SLABS NOT COMPLETELY REMOVED TO BE SAWCUT NEATLY.
6. G.C. TO PROTECT AREAS NOT AFFECTED BY CONSTRUCTION ADJACENT TO WORK AREAS. AREAS OCCUPIED BY OWNER DURING CONSTRUCTION TO HAVE ADEQUATE EXITS TO COMPLY WITH ALL CODES.
7. G.C. SHALL BE RESPONSIBLE FOR ALL TEMPORARY SUPPORTS, SHORING AND BRACING AS REQ'D FOR ALL STRUCTURAL MODIFICATIONS.



**1** GROUND FLOOR DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



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PROJECT  
**WAYNFLETE ARTS CENTER PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**GROUND FLOOR DEMOLITION PLAN**

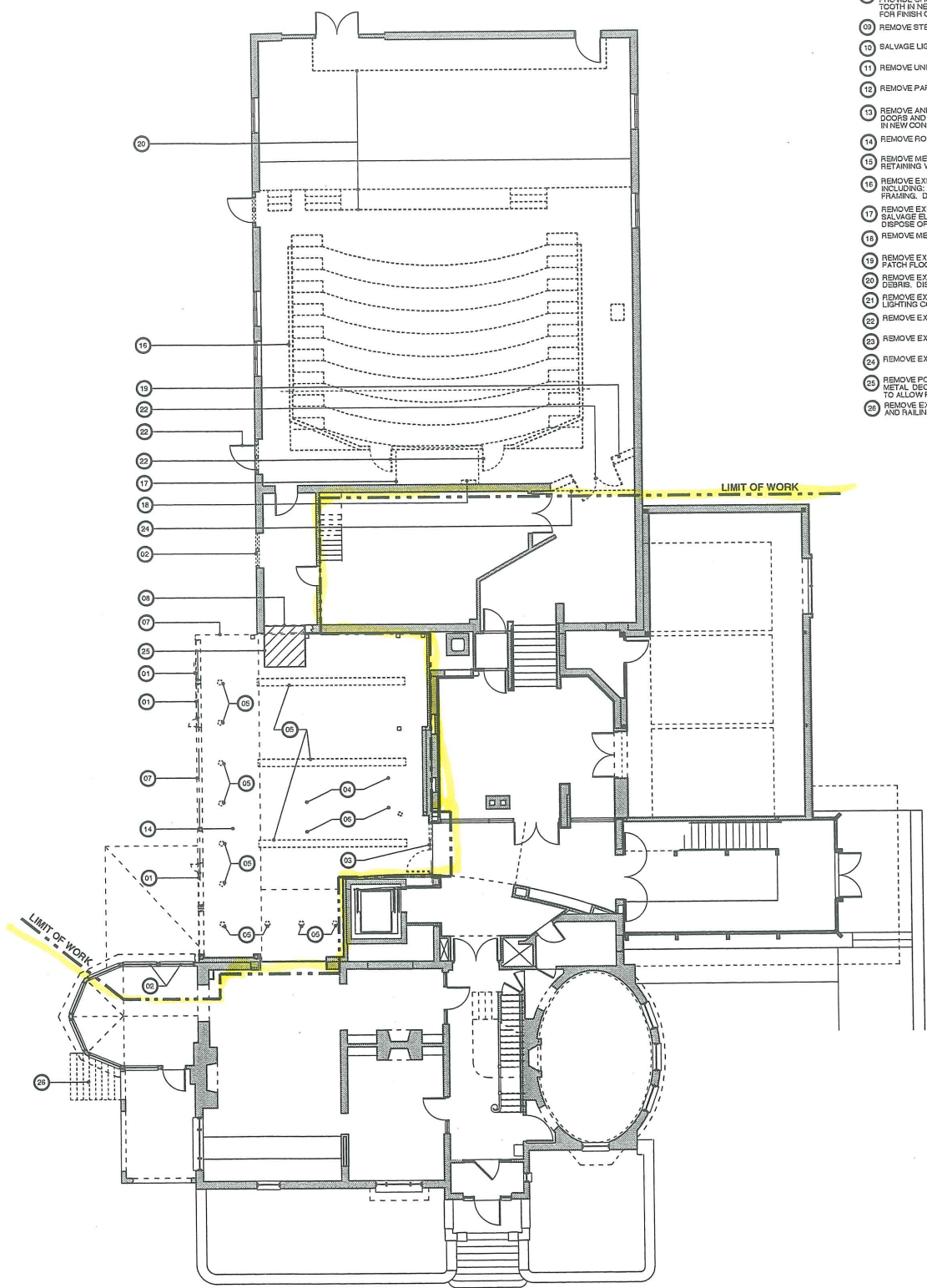
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**Planning Board Submission**  
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DATE: 05.16.2007    REVISION / DATE:

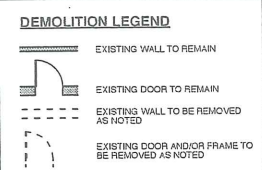
PROJECT NO. 2003-0040.02

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DWG NO. **D-1.1**



- DEMOLITION PLAN KEY NOTES**
- 01 REMOVE EXISTING WINDOWS, SALVAGE FOR OWNER.
  - 02 REMOVE EXISTING WINDOWS, DISPOSE OF.
  - 03 REMOVE EXISTING DOOR, DOOR FRAME AND PORTION OF WALL SHOWN. SALVAGE DOOR AND FRAME FOR REUSE IN NEW CONSTRUCTION.
  - 04 REMOVE CEILING, SALVAGE CEILING TILE FOR REUSE. DEMO TRACK AND TRIM.
  - 05 SALVAGE EXISTING LIGHT FIXTURES FOR REUSE IN NEW CONSTRUCTION.
  - 06 REMOVE FLOOR FINISHES, INCLUDING VCT, CARPET PADDING AND ALL ADHESIVES, PREP TO RECEIVE NEW FLOORING.
  - 07 REMOVE PORTION OF EXTERIOR WALL SHOWN.
  - 08 REMOVE PORTION OF CMU WALL SHOWN PROVIDE SHORING AS NECESSARY TOOTH IN NEW CMU AS NECESSARY FOR FINISH OPENING.
  - 09 REMOVE STEEL BOLLARDS.
  - 10 SALVAGE LIGHT FIXTURE FOR REUSE.
  - 11 REMOVE UNIT MASONRY RETAINING WALL.
  - 12 REMOVE PARTITIONS SHOWN.
  - 13 REMOVE AND SALVAGE EXTERIOR DOORS AND FRAMES FOR REUSE IN NEW CONSTRUCTION.
  - 14 REMOVE ROOF ABOVE.
  - 15 REMOVE METAL GUARDRAIL AT EXISTING RETAINING WALL.
  - 16 REMOVE EXISTING THEATER SEATING ASSEMBLY INCLUDING SEATS, STEPS, PLATFORM AND FRAMING. DISPOSE OF.
  - 17 REMOVE EXISTING TECH BOOTH SALVAGE ELECTRONICS. DISPOSE OF OTHER MATERIAL.
  - 18 REMOVE METAL LADDER. DISPOSE OF.
  - 19 REMOVE EXISTING WALL. DISPOSE OF. PATCH FLOORING WHERE NECESSARY.
  - 20 REMOVE EXISTING STAGE, STEPS, AND MISC. DEBRIS. DISPOSE OF.
  - 21 REMOVE EXISTING THEATER LIGHTS AND LIGHTING CONTROLS. SALVAGE FOR REUSE.
  - 22 REMOVE EXISTING DOORS. DISPOSE OF.
  - 23 REMOVE EXISTING UNIT HEATER. DISPOSE OF.
  - 24 REMOVE EXISTING SOFFIT. DISPOSE OF.
  - 25 REMOVE PORTION OF EXISTING SLAB, METAL DECKING & TEMPORARY JOISTS TO ALLOW FOR NEW STAIR.
  - 26 REMOVE EXISTING CONCRETE STAIRCASE AND TALKERS. PATCH EXISTING AS NECESSARY.



- DEMOLITION GENERAL NOTES**
1. REFER TO MECH/ELEC DWGS FOR RELATED DEMO WORK. G.C. COORDINATE ALL WORK WITH SUBCONTRACTORS AS REQD.
  2. REFER TO SHT. A-1.4 (ROOF PLAN) FOR ROOF DEMO WORK.
  3. ALL WORK TO BE SEQUENCED, PHASED AND SCHEDULED WITHIN WYFLETE SCHOOL. DIRECTOR OF FACILITIES: DAVID BROWN, 772-6832
  4. G.C. SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING AS REQD FOR STRUCTURAL, MECH, ELEC AND FIRE PROTECTION WORK. COORDINATE AS REQD. ALL NEW AND ABANDONED OPENINGS PATCHED BACK TO MATCH EXISTING.
  5. ALL SLABS NOT COMPLETELY REMOVED TO BE SAWCUT NEATLY.
  6. G.C. TO PROTECT AREAS NOT AFFECTED BY CONSTRUCTION ADJACENT TO WORK AREAS. AREAS OCCUPIED BY OWNER DURING CONSTRUCTION TO HAVE ADEQUATE EXITS TO COMPLY WITH ALL CODES.
  7. G.C. SHALL BE RESPONSIBLE FOR ALL TEMPORARY SUPPORTS/SHORING AND BRACING AS REQD FOR ALL STRUCTURAL MODIFICATIONS.

**1** FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"

**SSA**  
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PROJECT  
**WAYNFLETE ARTS CENTER PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**FIRST FLOOR DEMOLITION PLAN**

STATUS:  
Planning Board Submission  
NOT FOR CONSTRUCTION





DATE: 05.18.2007      △ REVISION DATE:

PROJECT NO. 2003-0640.02  
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DWG NO. **D-1.2**

**DEMOLITION PLAN KEY NOTES**

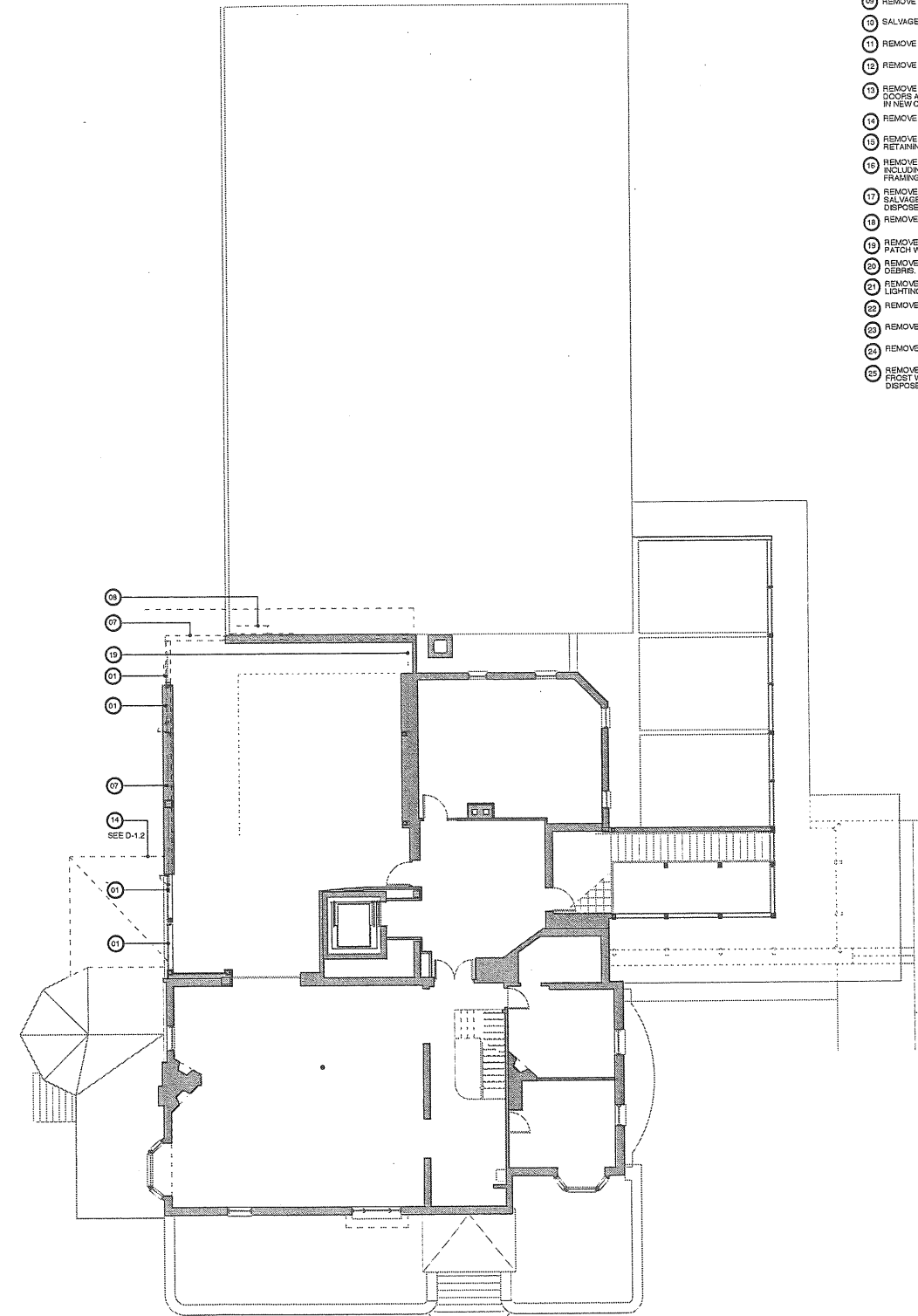
- 01 REMOVE EXISTING WINDOWS, SALVAGE FOR OWNER.
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- 17 REMOVE EXISTING TECH BOOTH SALVAGE ELECTRONICS. DISPOSE OF OTHER MATERIAL.
- 18 REMOVE METAL LADDER. DISPOSE OF.
- 19 REMOVE EXISTING WALL. DISPOSE OF. PATCH WHERE NECESSARY.
- 20 REMOVE EXISTING STAGE, STEPS, AND MISC. DEBRIS. DISPOSE OF.
- 21 REMOVE EXISTING THEATER LIGHTS AND LIGHTING CONTROLS. SALVAGE FOR REUSE.
- 22 REMOVE EXISTING DOORS. DISPOSE OF.
- 23 REMOVE EXISTING UNIT HEATER. DISPOSE OF.
- 24 REMOVE EXISTING SOFFIT. DISPOSE OF.
- 25 REMOVE PORTION OF EXISTING SLAB & PROST WALL TO ALLOW FOR NEW STAIR. DISPOSE OF.

**DEMOLITION LEGEND**


-  EXISTING WALL TO REMAIN
-  EXISTING DOOR TO REMAIN
-  EXISTING WALL TO BE REMOVED AS NOTED
-  EXISTING DOOR AND/OR FRAME TO BE REMOVED AS NOTED

**DEMOLITION GENERAL NOTES**

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2. REFER TO SHT. A-1.4 (ROOF PLAN) FOR ROOF DEMO WORK.
3. ALL WORK TO BE SEQUENCED, PHASED AND SCHEDULED WITH WAYNFLETE SCHOOL DIRECTOR OF FACILITIES. DAVID BROWN, 772-8832
4. G.C. SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING AS REQ'D FOR STRUCTURAL, MECH, ELEC AND FIRE PROTECTION WORK. COORDINATE AS REQ'D. ALL NEW AND ABANDONED OPENINGS PATCHED BACK TO MATCH EXISTING.
5. ALL SLABS NOT COMPLETELY REMOVED TO BE SAWCUT NEATLY.
6. G.C. TO PROTECT AREAS NOT AFFECTED BY CONSTRUCTION ADJACENT TO WORK AREAS. AREAS OCCUPIED BY OWNER DURING CONSTRUCTION TO HAVE ADEQUATE EXITS TO COMPLY WITH ALL CODES.
7. G.C. SHALL BE RESPONSIBLE FOR ALL TEMPORARY SUPPORTS/SHORING AND BRACING AS REQ'D FOR ALL STRUCTURAL MODIFICATIONS.



**1 SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



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PROJECT  
**WAYNFLETE ARTS CENTER PHASE TWO**  
ADDITION/RENOVATION  
360 SPRING STREET  
PORTLAND, ME

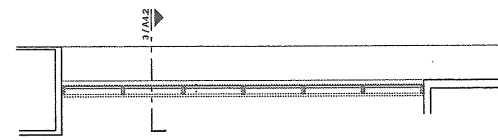
TITLE  
**SECOND FLOOR DEMOLITION PLAN**

STATUS:  
**Planning Board Submission**  
NOT FOR CONSTRUCTION

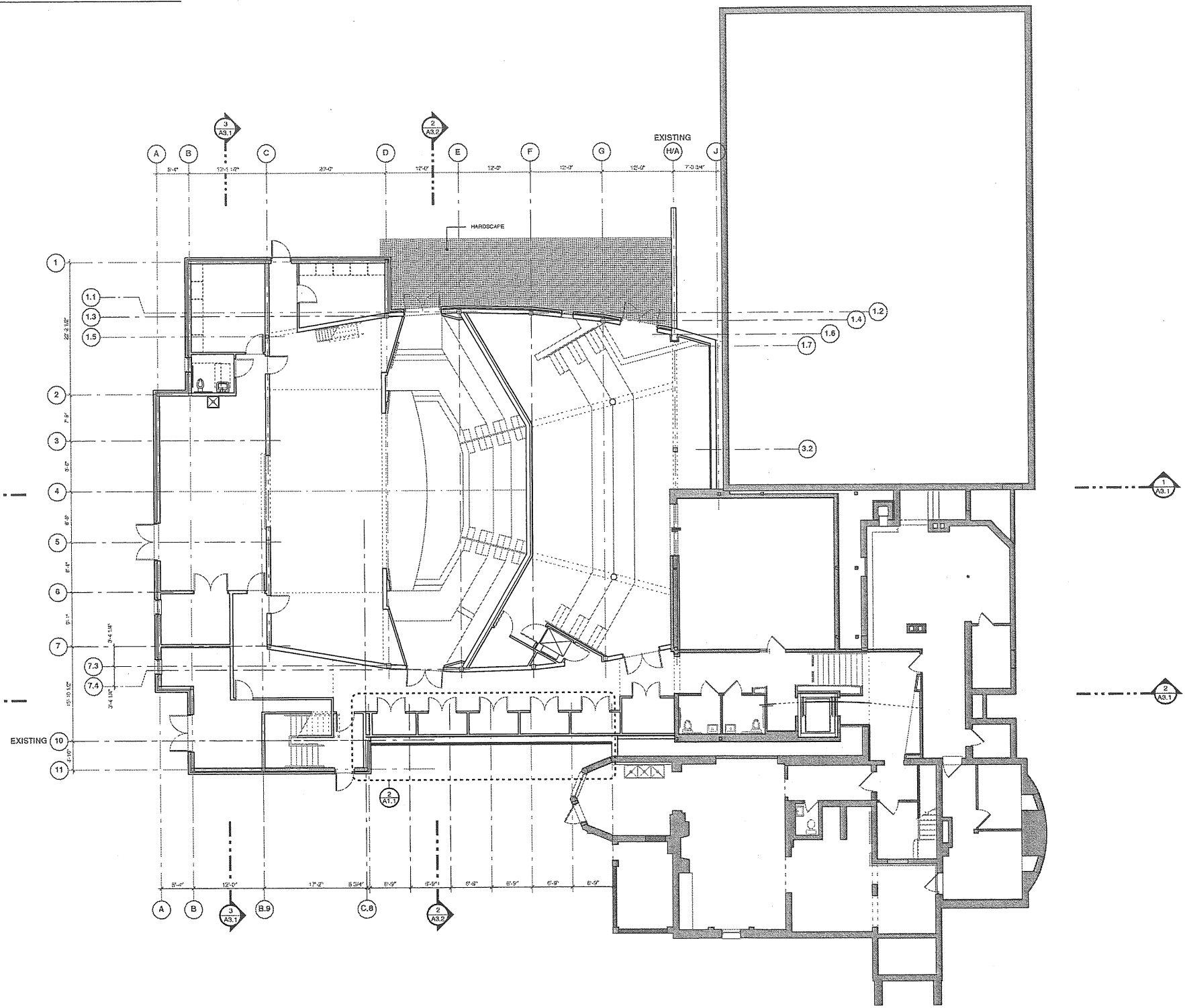
DATE: 05.18.2007      REVISION DATE:

PROJECT NO. 2003-0040.02  
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DWG NO.  
**D-1.3**



2 CLEAR-STORY PLAN  
SCALE: 1/8" = 1'-0"



1 GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



- ◇ PARTITION SCHEDULE**  
(REFER TO PARTITION GENERAL NOTES ALSO)
- 1" PARTITIONS -  
22 GA. # STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL - FULL HEIGHT TIGHT TO DECK ABOVE.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL - FULL HEIGHT TIGHT TO DECK ABOVE.  
ONE HOUR RATING.
  - 2" PARTITIONS -  
22 GA. # STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE HOUR RATING.
  - 3" PARTITIONS -  
22 GA. # STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE HOUR RATING.
  - 4" PARTITIONS -  
22 GA. # STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE HOUR RATING.
  - 5" PARTITIONS -  
22 GA. # STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE HOUR RATING.
  - 6" PARTITIONS -  
22 GA. # STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE HOUR RATING.
  - 7" PARTITIONS -  
22 GA. # STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE HOUR RATING.
  - 8" PARTITIONS -  
22 GA. # STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE HOUR RATING.
  - 9" PARTITIONS -  
22 GA. # STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE HOUR RATING.
  - 10" PARTITIONS -  
22 GA. # STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE HOUR RATING.
  - 11" PARTITIONS -  
22 GA. # STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE HOUR RATING.

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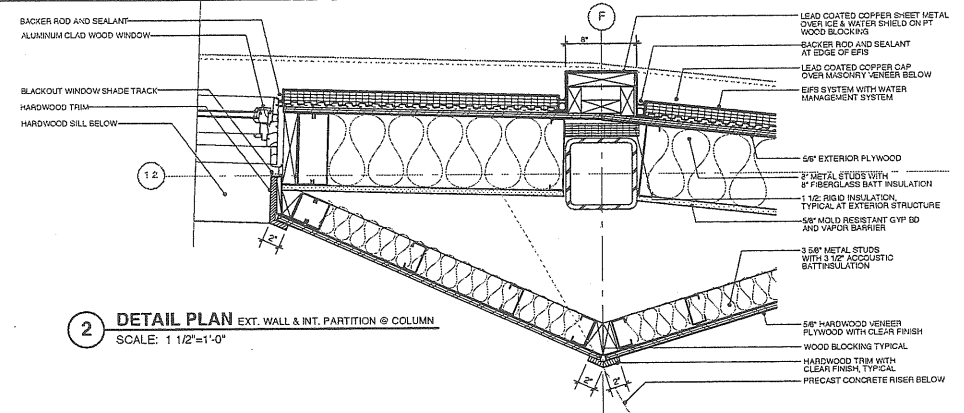
PROJECT  
**WAYNFLETE ARTS CENTER  
PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**GROUND FLOOR PLAN**

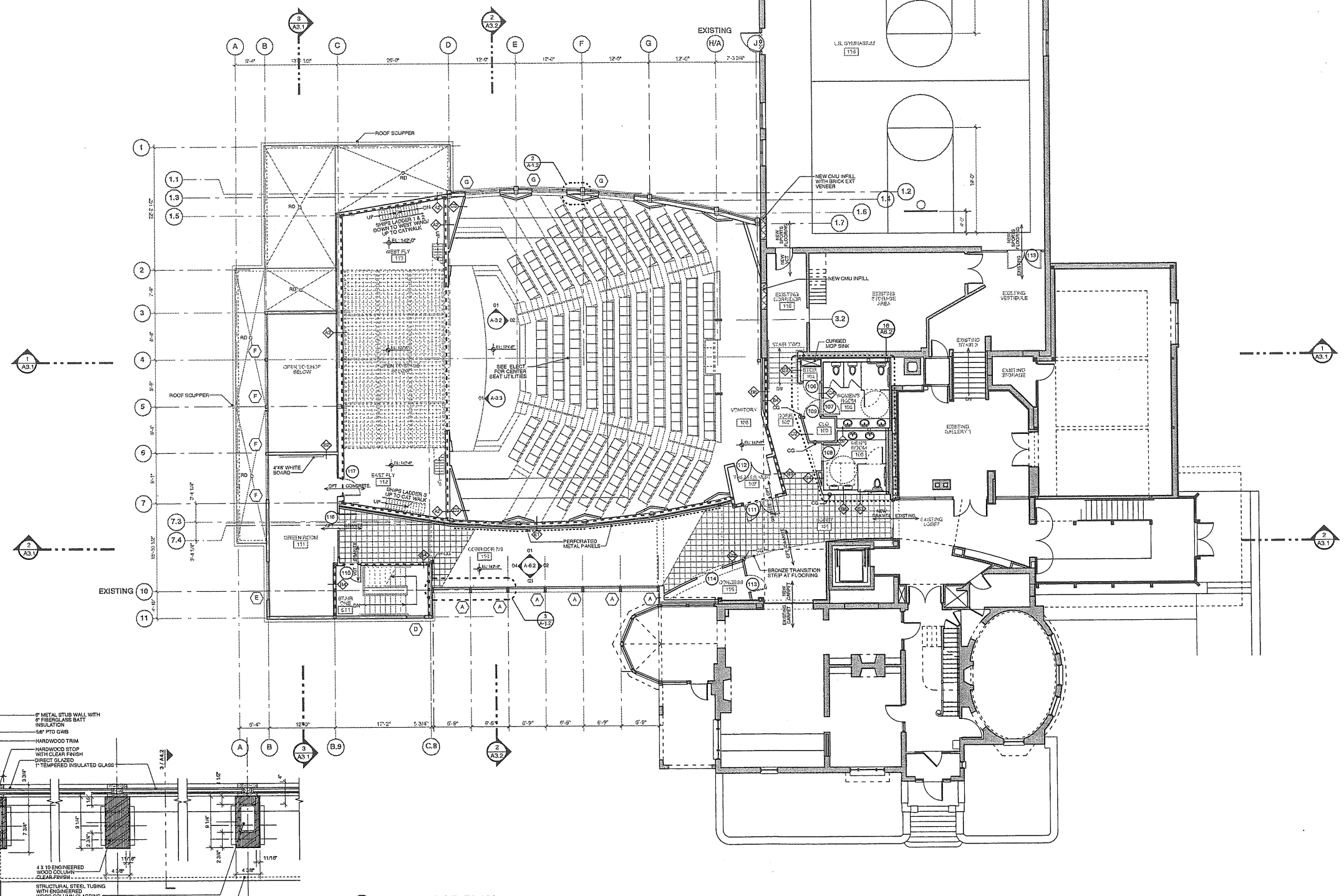
STATUS:  
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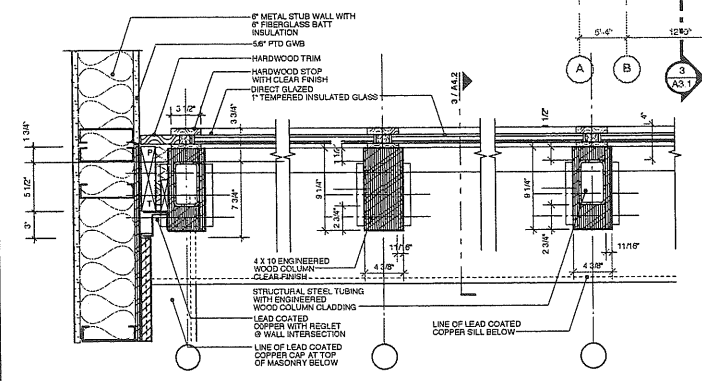
DWG NO. **A-1.1**



2 DETAIL PLAN EXT. WALL & INT. PARTITION @ COLUMN  
SCALE: 1 1/2"=1'-0"



1 FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"



3 DETAIL PLAN AT CORRIDOR 110  
SCALE: 1 1/2"=1'-0"

PARTITION SCHEDULE

- (SEE TO PARTITION GENERAL NOTES ALSO)
- 1" PARTITIONS -  
22 GA. 1/4" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL - FULL HEIGHT TIGHT TO DECK ABOVE.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ON OPPOSITE SIDE OF WALL - FULL HEIGHT TIGHT TO DECK ABOVE.  
ONE HOUR RATING
- 2" PARTITIONS -  
22 GA. 1/4" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
ONE HOUR RATING
- 3" PARTITIONS -  
22 GA. 1/4" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
ONE HOUR RATING
- 4" PARTITIONS -  
22 GA. 1/4" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
ONE HOUR RATING
- 5" PARTITIONS -  
22 GA. 1/4" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
ONE HOUR RATING
- 6" PARTITIONS -  
22 GA. 1/4" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
ONE HOUR RATING
- 7" PARTITIONS -  
22 GA. 1/4" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
ONE HOUR RATING
- 8" PARTITIONS -  
22 GA. 1/4" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
ONE HOUR RATING
- 9" PARTITIONS -  
22 GA. 1/4" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
ONE HOUR RATING
- 10" PARTITIONS -  
22 GA. 1/4" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
ONE HOUR RATING
- 11" PARTITIONS -  
22 GA. 1/4" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.  
PROVIDE:  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.  
SOUND ATTENUATION INSULATION.  
ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.  
ONE HOUR RATING

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PROJECT  
**WAYNFLETE ARTS CENTER PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**FIRST FLOOR PLAN**

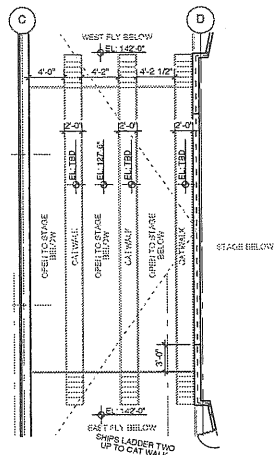
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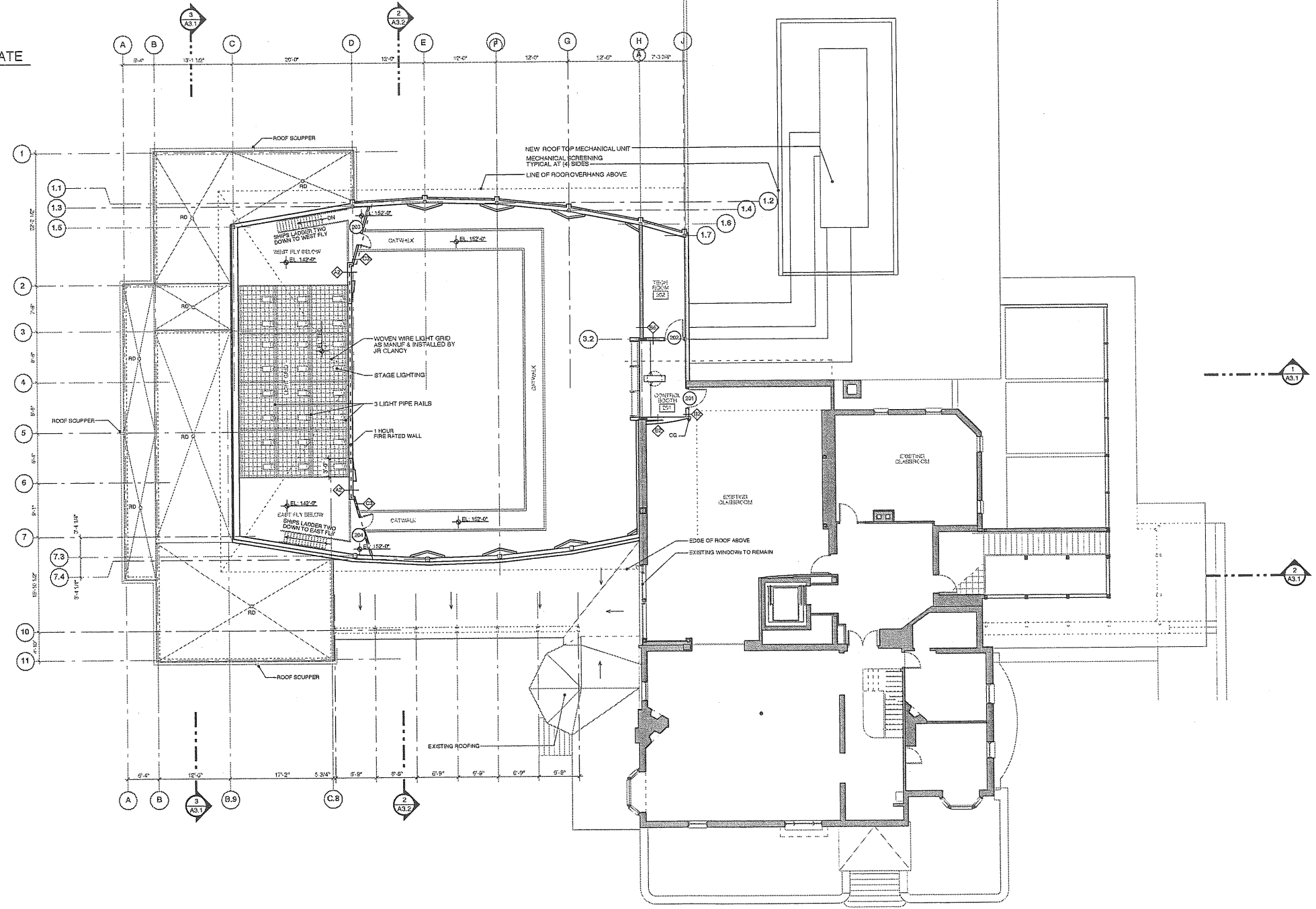
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DWG NO. **A-1.2**





**2 BACKSTAGE LIGHTING ALTERNATE**  
SCALE: 1/8" = 1'-0"



**1 GROUND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**◇ PARTITION SCHEDULE**

- (REFER TO PARTITION GENERAL NOTES ALSO)
- 1" PARTITIONS -
    - 22 GA. P. STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.
    - PROVIDE: ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL - FULL HEIGHT TIGHT TO DECK ABOVE.
    - SOUND ATTENUATION INSULATION.
    - ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL - FULL HEIGHT TIGHT TO DECK ABOVE.
    - ONE HOUR RATING.
  - 10" PARTITIONS -
    - 22 GA. P. STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.
    - PROVIDE: ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.
    - PROVIDE: ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.
    - SOUND ATTENUATION INSULATION.
    - ONE LAYER 5/8" MOISTURE RESISTANT (M.R.) BOARD ON BATHROOM SIDE OF WALL.
    - SOUND ATTENUATION INSULATION.
    - ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.
    - PROVIDE: ONE LAYER TYPE "X" 5/8" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.
    - ONE HOUR RATING.
    - PROVIDE: ONE LAYER 5/8" BIRCH VENEER PLYWOOD PANELING ON BOTH SIDES OF WALL.
    - SOUND ATTENUATION INSULATION.
    - ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.
    - PROVIDE: ONE LAYER ACoustICAL BOARD ON AUDITORIUM SIDE OF WALL.
    - SOUND ATTENUATION INSULATION.
    - ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.
    - ONE HOUR RATING.
    - PROVIDE: ONE LAYER 5/8" MOISTURE RESISTANT (M.R.) BOARD ON BATHROOM SIDE OF WALL.
    - 5" FURRING CHANNELS @ 16" O.C.
    - SOUND ATTENUATION INSULATION.
    - ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.
    - ONE HOUR RATING.
  - 12" PARTITIONS -
    - 22 GA. 3-5/8" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ASV. AND AT.
    - PROVIDE: ONE LAYER 5/8" BOARD ON BOTH SIDES OF WALL.
    - PROVIDE: ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.
    - PROVIDE: ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH SIDES OF WALL.
    - SOUND ATTENUATION INSULATION.
    - PROVIDE: ONE LAYER 5/8" MOISTURE RESISTANT (M.R.) BOARD ON BATHROOM SIDE OF WALL.
    - SOUND ATTENUATION INSULATION.
    - ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.
    - PROVIDE: ONE LAYER 5/8" BIRCH VENEER PLYWOOD PANELING ON BOTH SIDES OF WALL.
    - SOUND ATTENUATION INSULATION.
    - ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON OTHER SIDE OF WALL.
    - ONE LAYER 5/8" BOARD ON BOTH SIDES OF WALL - FULL HEIGHT TIGHT TO DECK ABOVE.
    - ONE HOUR RATING.
  - 17" PARTITIONS -
    - 6" CMU EXTEND FROM FLOOR SLAB TO BOTTOM OF CONCRETE PLANK ABOVE.
    - 1 1/2" AIR SPACE.
    - 22 GA. 3-5/8" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO BOTTOM OF CONCRETE PLANK ABOVE.
    - SOUND ATTENUATION INSULATION.
    - ONE LAYER 5/8" BOARD ON JAZZ ROOM SIDE OF WALL - FULL HEIGHT TIGHT TO DECK ABOVE.
  - 2" PARTITIONS -
    - 22 GA. P. STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.
    - 1 1/2" AIR SPACE.
    - 22 GA. 3-5/8" STEEL STUDS @ 16" O.C. - EXTEND FROM FLOOR RUNNER TO RUNNER AT STRUCTURE ABOVE.
    - 1 1/2" AIR SPACE.
    - ONE LAYER 5/8" TYPE "X" ABUSE RESISTANT (A.R.) BOARD ON BOTH WALLS - FULL HEIGHT TIGHT TO DECK ABOVE.
    - ONE HOUR RATING.

ONE HOUR RATED WALL -

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**WAYNFLETE ARTS CENTER PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

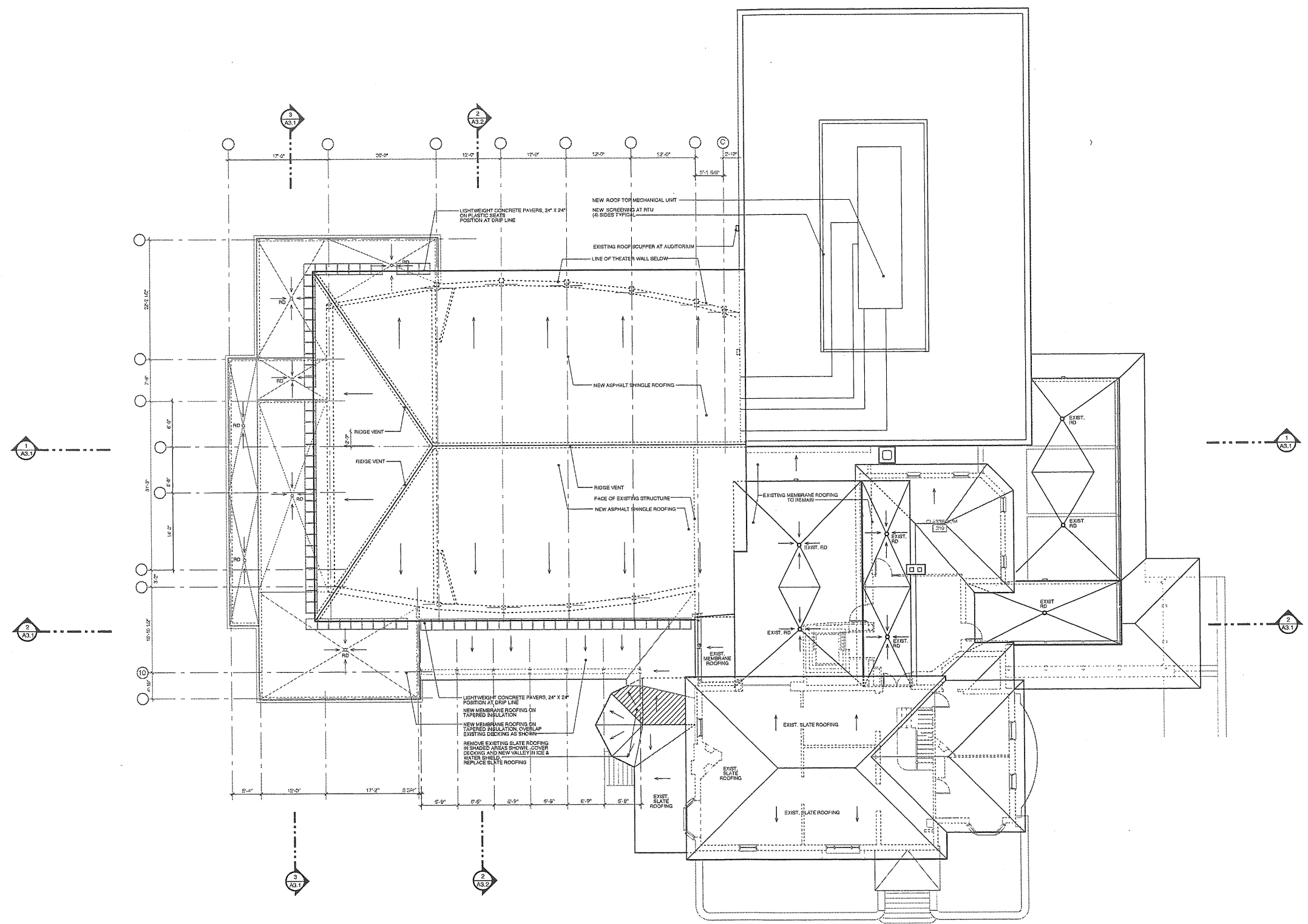
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**SECOND FLOOR PLAN**

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DWG NO. **A-1.3**



1 ROOF PLAN  
SCALE: 1/8" = 1'-0"

  
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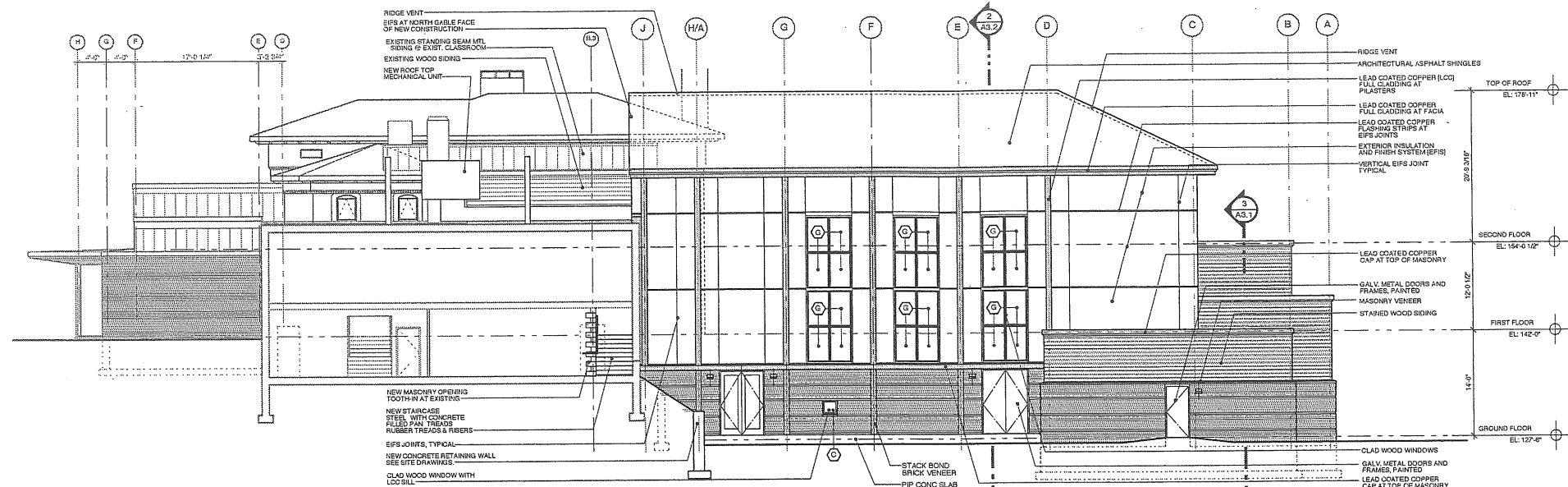
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PROJECT  
**WAYNFLEETE ARTS CENTER  
 PHASE TWO**  
 ■ ADDITION/ RENOVATION  
 360 SPRING STREET  
 PORTLAND, ME

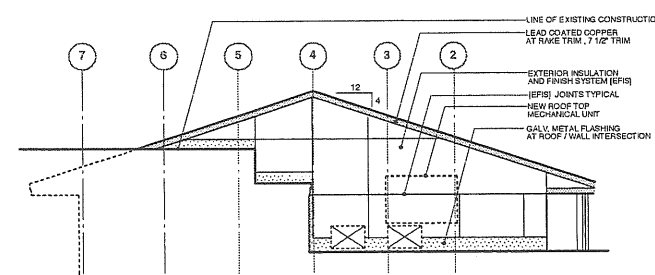
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**ROOF PLAN**

STATUS:  
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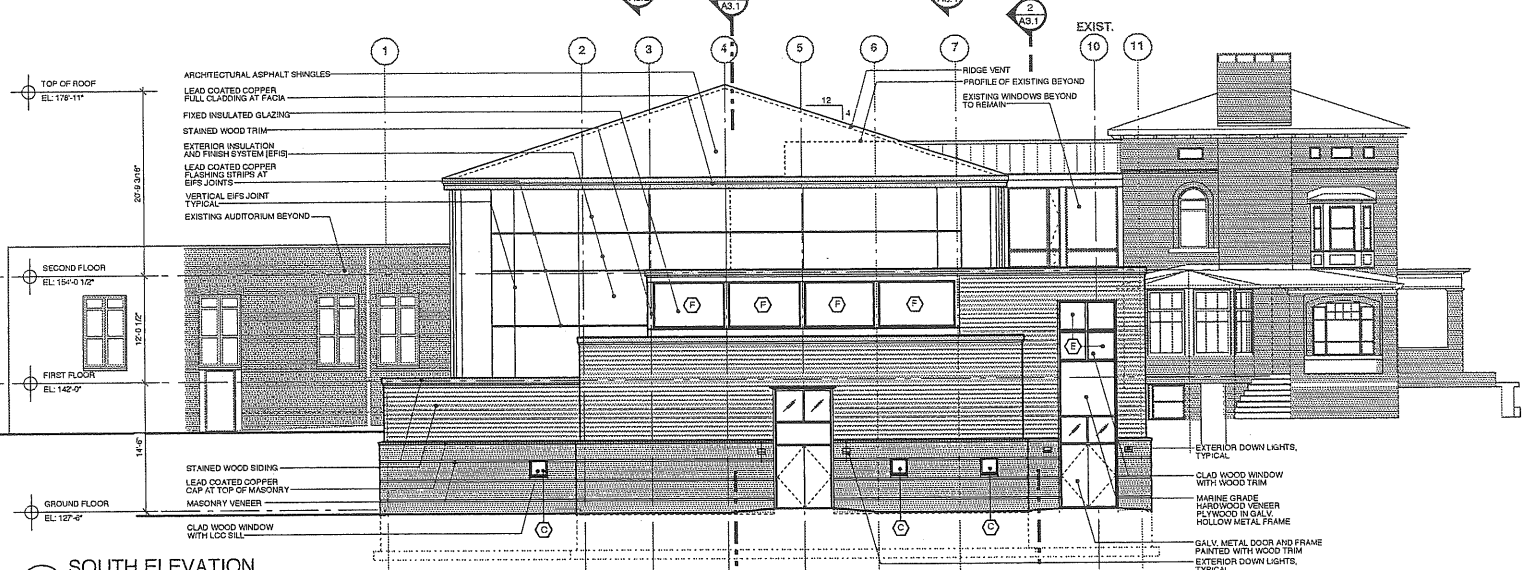
DATE: 05.18.2007    △ REVISION DATE:  
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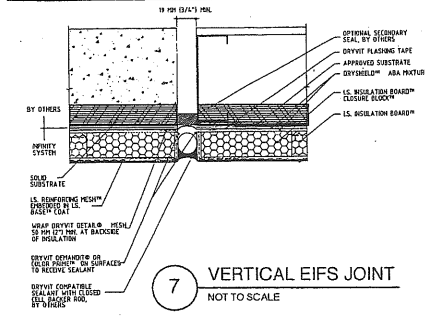
**1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



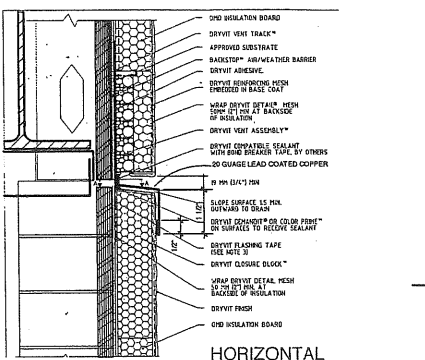
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SCALE: 1/8" = 1'-0"



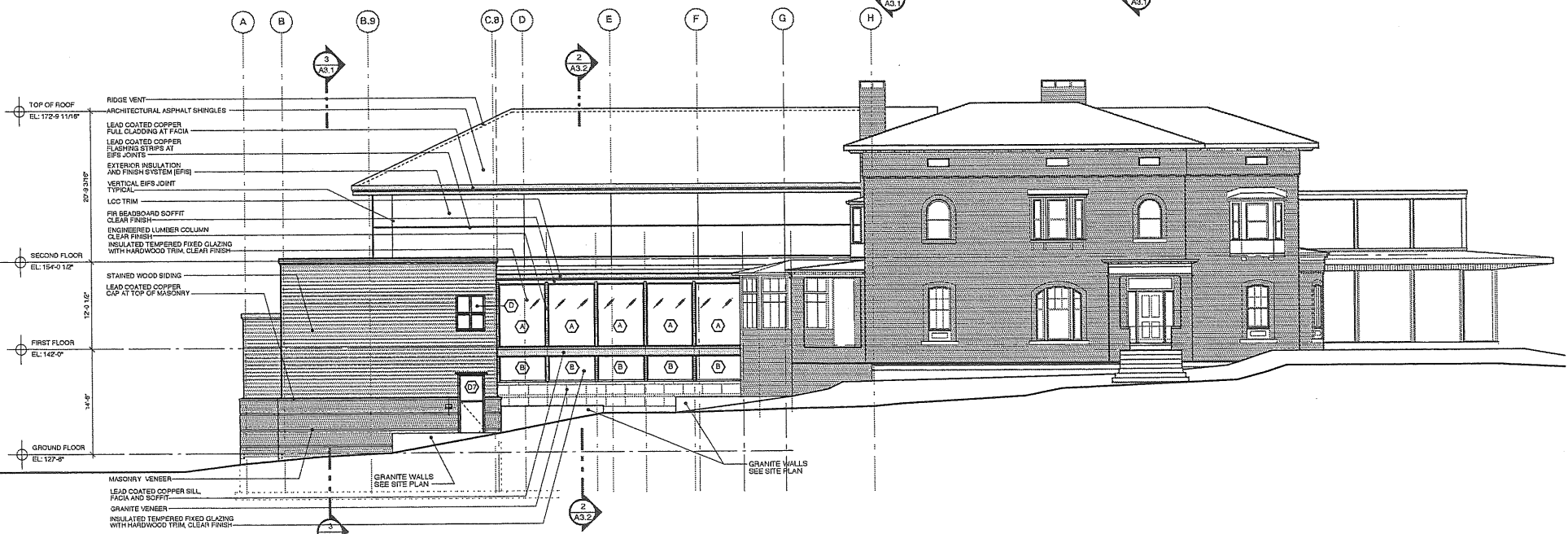
**3 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**7 VERTICAL EIFS JOINT**  
NOT TO SCALE



**6 HORIZONTAL FLASHING DETAIL**  
NOT TO SCALE



**4 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

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PROJECT  
**WAYNFLETE ARTS CENTER  
PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**BUILDING ELEVATIONS**

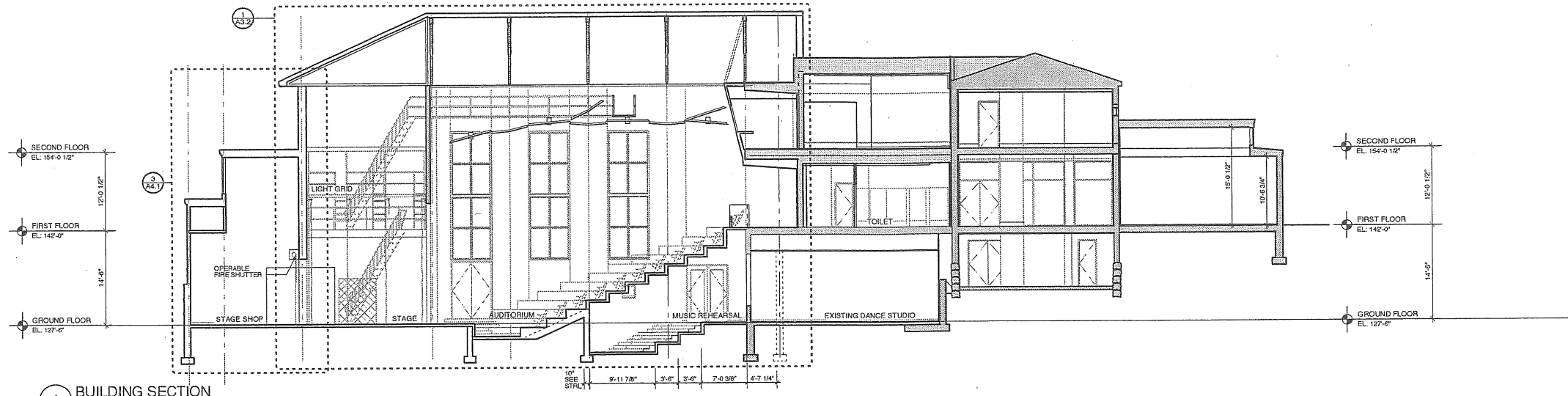
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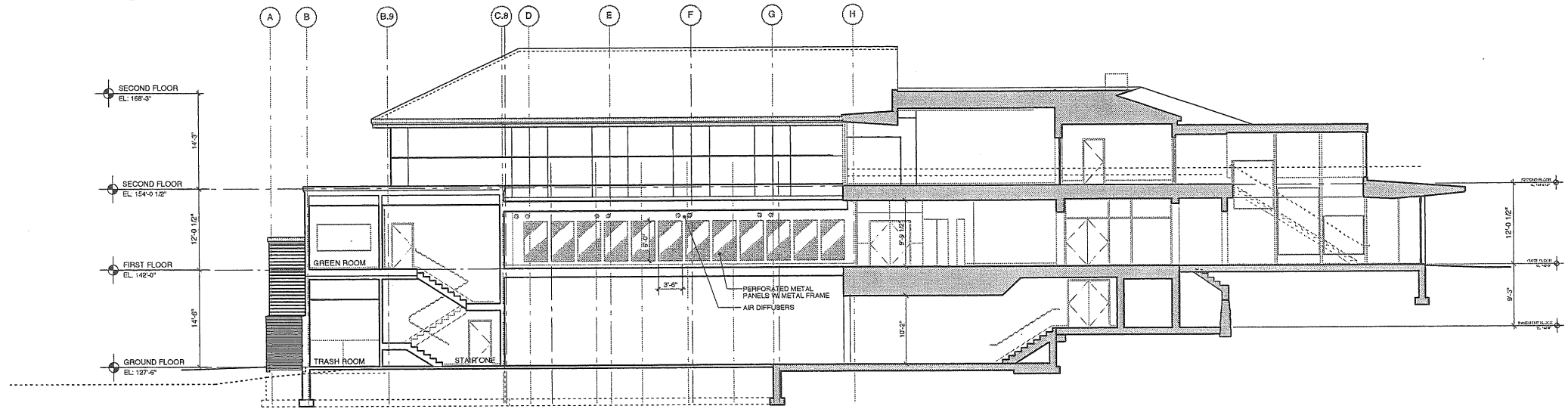
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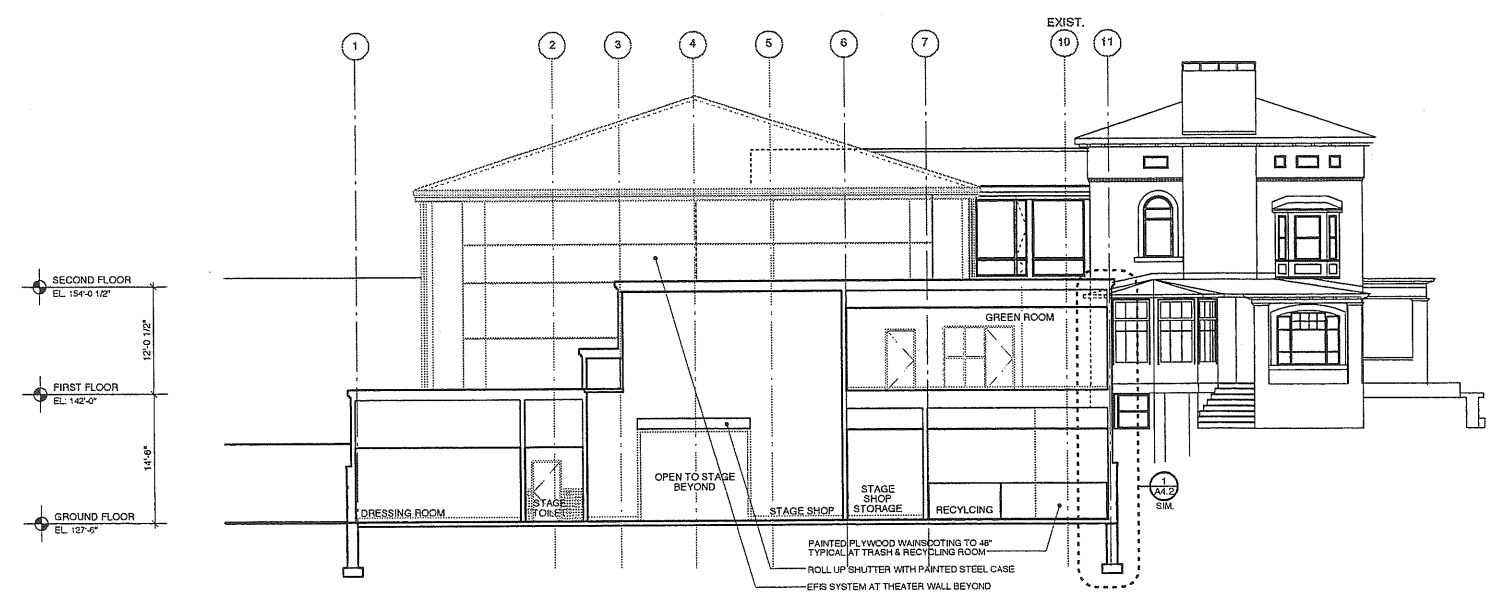





**1 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**2 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**3 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

  
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PROJECT  
**WAYNFLETE ARTS CENTER  
 PHASE TWO**  
 ADDITION/ RENOVATION  
 360 SPRING STREET  
 PORTLAND, ME

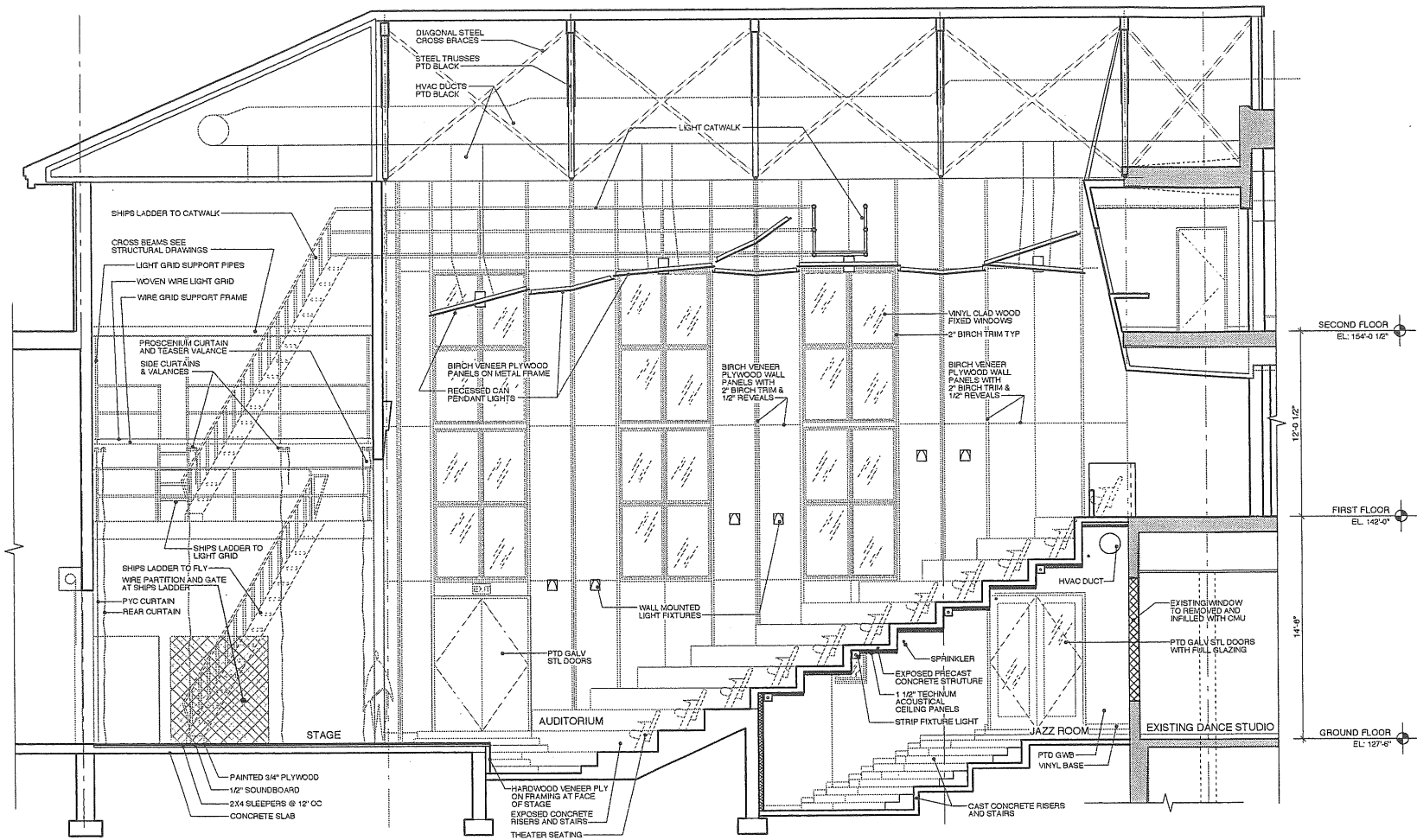
TITLE  
**BUILDING SECTIONS**

STATUS:  
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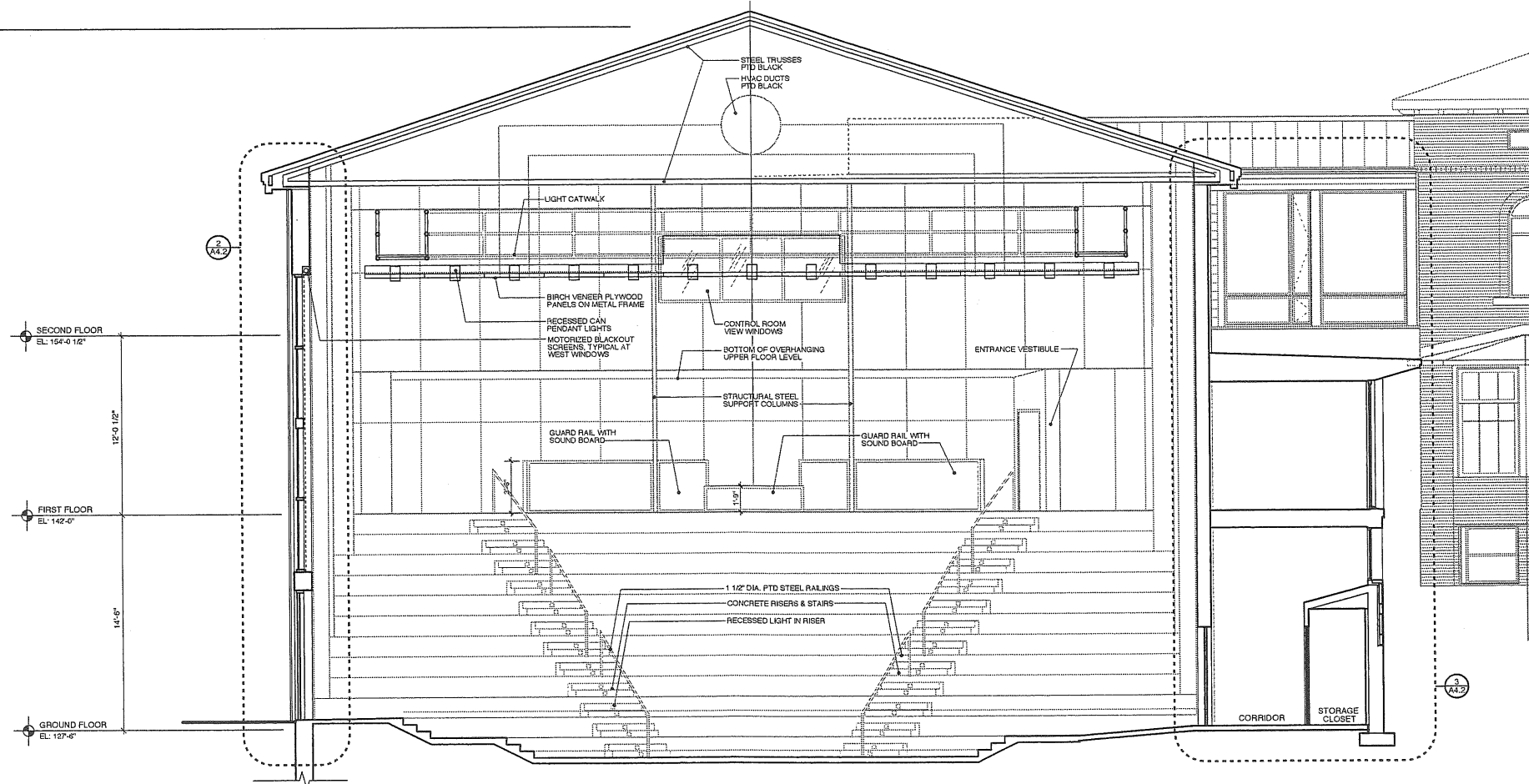
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**A-3.1**



1 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



2 ENLARGED BUILDING SECTION @ STAGE PIT  
SCALE: 1/4" = 1'-0"

  
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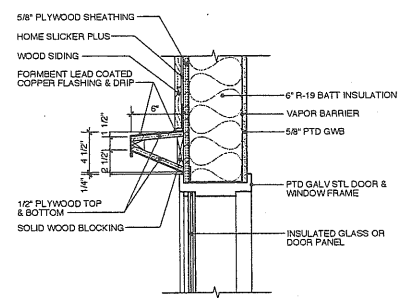
PROJECT  
**WAYNFLEETE ARTS CENTER  
 PHASE TWO**  
 ADDITION/RENOVATION  
 360 SPRING STREET  
 PORTLAND, ME

TITLE  
**ENLARGED  
 BUILDING SECTIONS**

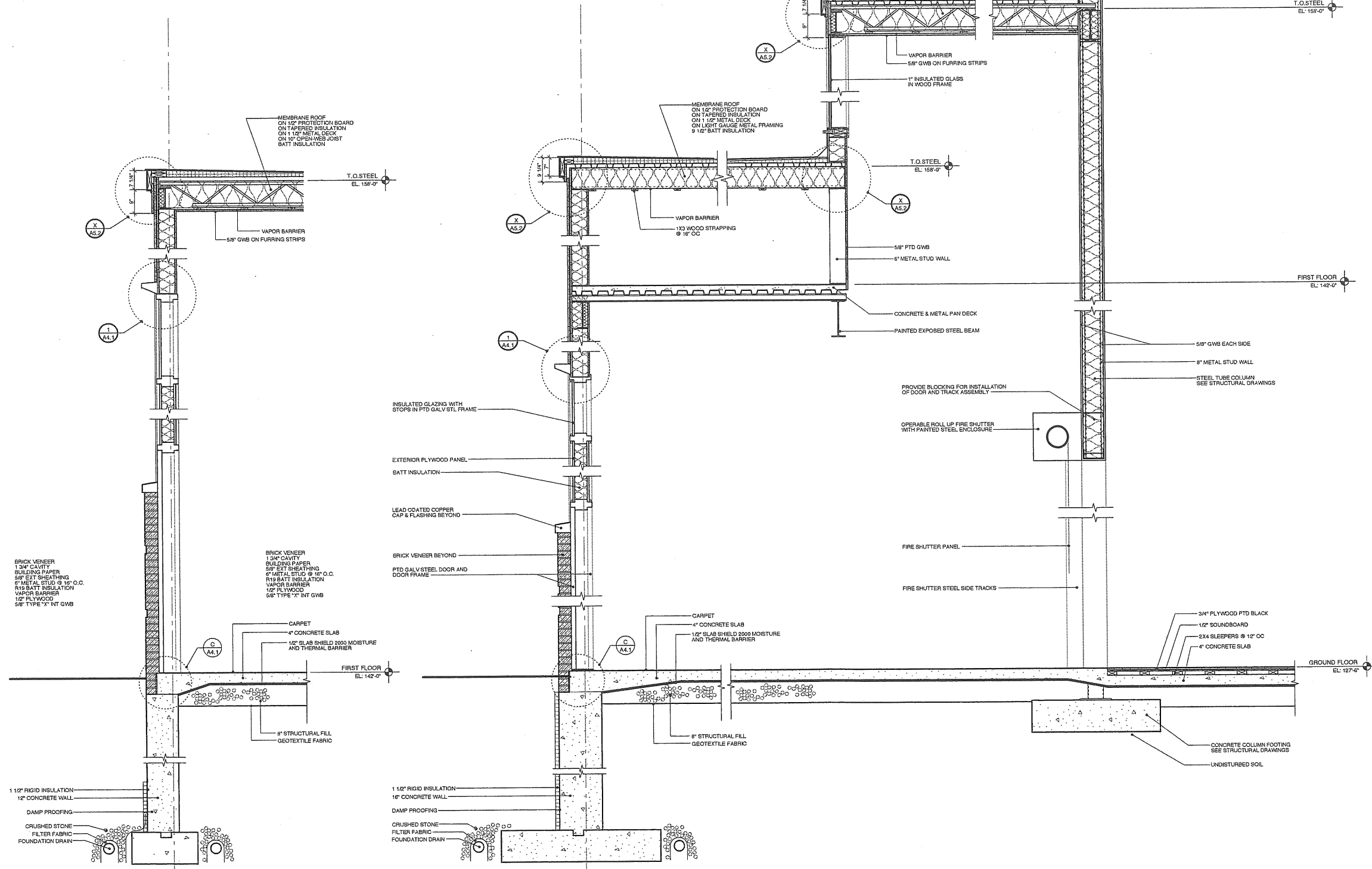
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**A-3.2**



1 SECTION DETAIL  
SCALE: 1 1/2" = 1'-0"



2 WALL SECTION  
SCALE: 3/4" = 1'-0"

3 WALL SECTION  
SCALE: 3/4" = 1'-0"



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PROJECT  
**WAYNFLEETE ARTS CENTER  
PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**WALL SECTIONS**

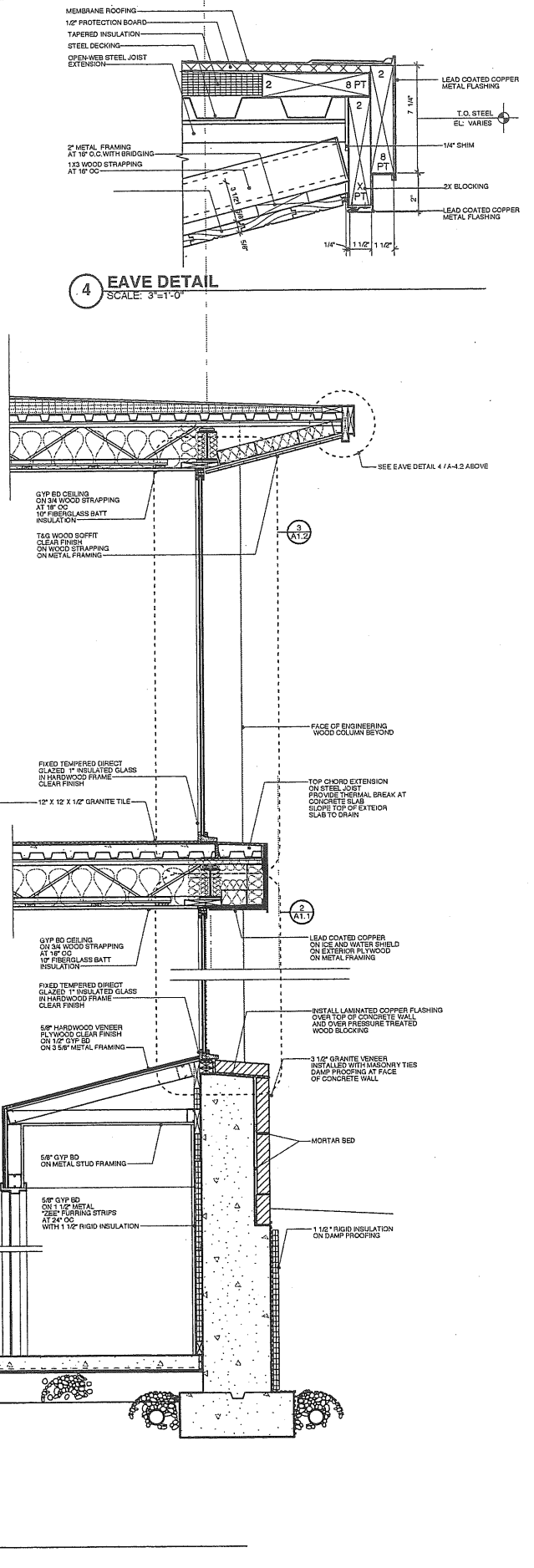
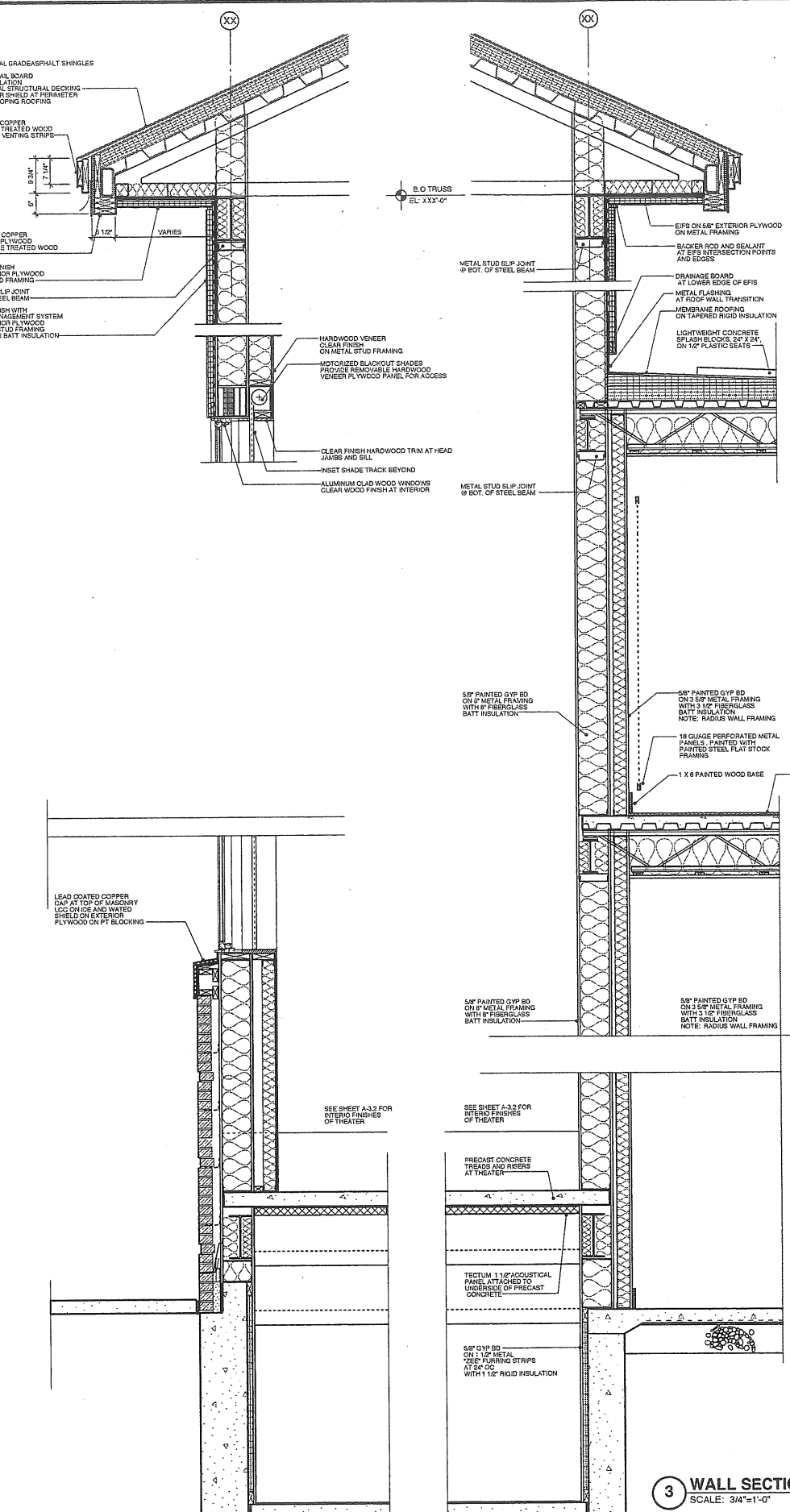
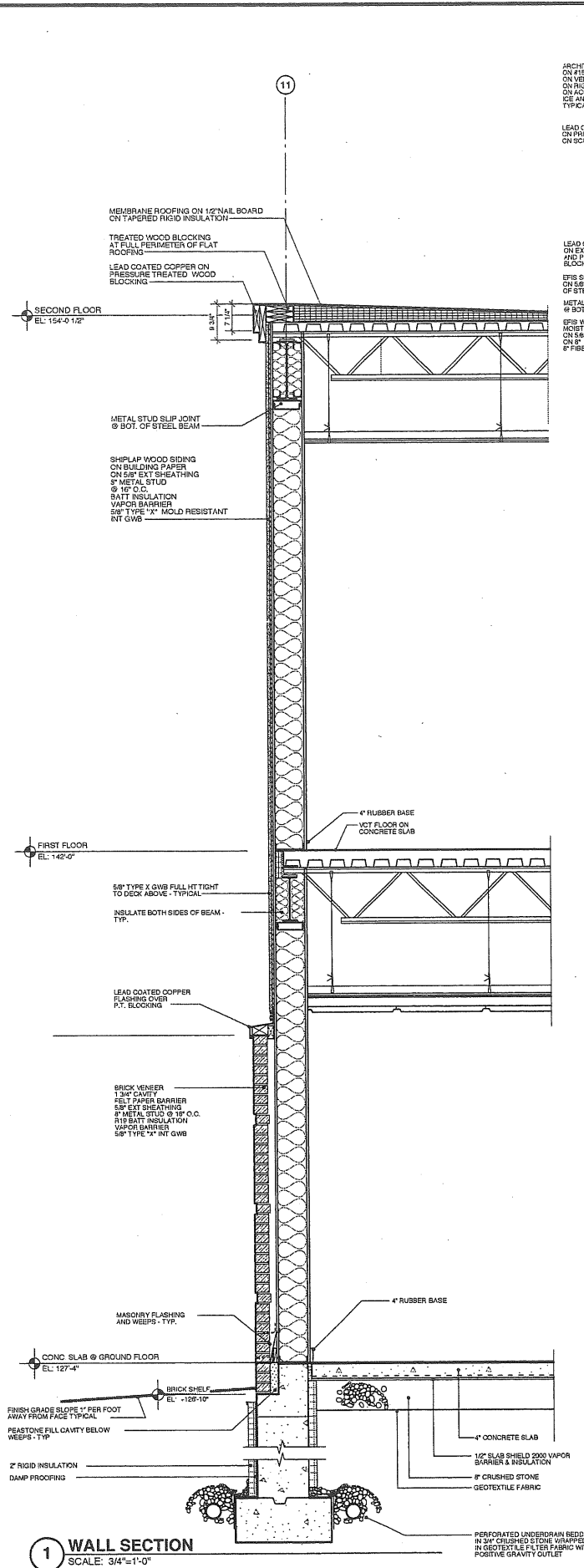
STATUS:  
**Planning Board Submission  
NOT FOR CONSTRUCTION**

DATE:  
02.18.2007

PROJECT NO.  
2003-0040.00

DRAWN BY:  
2004@Scott Simons Architects

DWG NO.  
**A-4.1**



**4 EAVE DETAIL**  
SCALE: 3"=1'-0"

**SS Architects**  
75 York Street  
Portland, Maine 04101  
phone 207.772.4456  
fax 207.772.4456

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PROJECT  
**WAYNFLETS ARTS CENTER PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**WALL SECTIONS**

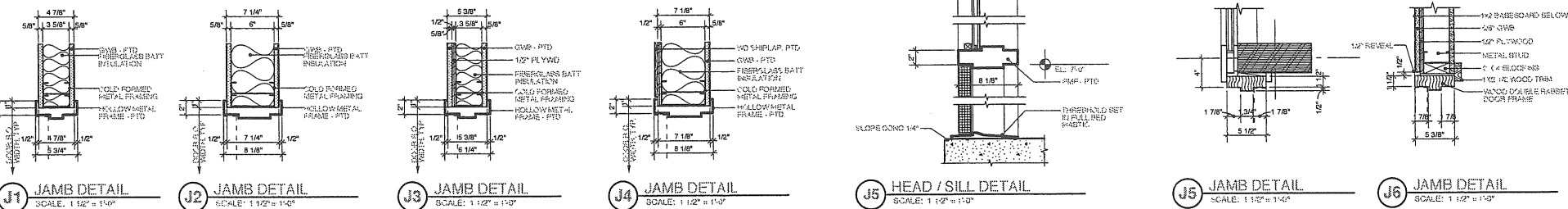
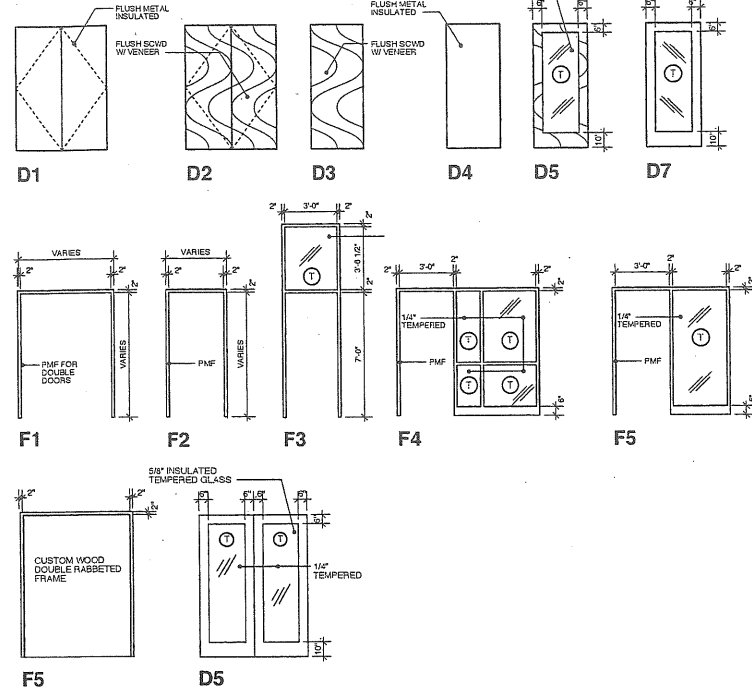
STATUS:  
Planning Board Submission  
NOT FOR CONSTRUCTION

DATE: 05.18.2007  
REVISION DATE:

PROJECT NO. 2003-0048.00  
DRAWN BY: 2004 Scott Simons Architects  
DWG NO. **A-4.2**

**DOOR SCHEDULE**

Door No.	Location	Style	Door Width	Door Height	Material	Thickness	Type	Frame Material	Head	Jamb	Type	Hdwr.	Fire Label	Remarks
<b>GROUND FLOOR</b>														
G01	G03 JAZZ	PAIRED FLUSH WOOD	6'-0"	7'-0"	SC WD	1 3/4"	D2	HM			F1			W/ SOUND GASKETING
G02	G03 JAZZ EXTERIOR	PAIRED HM / GLASS	6'-0"	8'-0"	HM-INSUL	1 3/4"	D5	HM			F5			
G03	G03 JAZZ LIFT	PAIRED FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D2	HM			F1			
G04	G03 JAZZ LIFT	PAIRED FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D2	HM			F2			
G05	G04 JAZZ CLOSET	FLUSH WOOD	3'-0"	6'-8"	SC WD	1 3/4"	D3	HM			F1			
G06	G02 ELEC CLOSET	PAIRED FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D2	HM			F1			
G07	G01E CLOSET	PAIRED FLUSH WOOD	5'-0"	7'-0"	SC WD	1 3/4"	D2	HM			F1			
G08	G01D CLOSET	PAIRED FLUSH WOOD	5'-0"	7'-0"	SC WD	1 3/4"	D2	HM			F1			
G09	G01C CLOSET	PAIRED FLUSH WOOD	5'-0"	7'-0"	SC WD	1 3/4"	D2	HM			F1			
G10	G01B CLOSET	PAIRED FLUSH WOOD	5'-0"	7'-0"	SC WD	1 3/4"	D2	HM			F1			
G11	G01A CLOSET	PAIRED FLUSH WOOD	5'-0"	7'-0"	SC WD	1 3/4"	D2	HM			F1			
G12	G10 THEATER	PAIRED FLUSH WOOD	6'-0"	7'-0"	SC WD	1 3/4"	D2	HM			F1			
G13	STAIR ONE	EXTERIOR FULL LIGHT	3'-0"	7'-0"	HM-INSUL	1 3/4"	D7	HM			F3			
G14	G07 TRASH ROOM	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D3	HM			F2			
G15	G10 STAGE SHOP	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D3	HM			F3			
G16	G16 EAST WING	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D3	HM			F2			
G17	G09 SHOP STORAGE	PAIRED FLUSH METAL	6'-0"	3'-0"	SC WD	1 3/4"	D2	HM			F1			
G18	G11 STAGE TOILET	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D3	HM			F2			
G19	G15 WEST WING	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D4	HM			F2			
G20	G12 DRESSING RM. 1	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D3	HM			F2			
G21	G14 DRESSING RM. 2	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D3	HM			F2			
G22	110 THEATER EXIT	PAIRED EXTERIOR FLUSH	6'-0"	7'-0"	HM-INSUL	1 3/4"	D8	HM			F1			
G23	G13 STAGE HALL	EXTERIOR FLUSH	3'-0"	7'-0"	HM-INSUL	1 3/4"	D5	HM			F3			
G24	STAIR ONE	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D3	HM			F3			W/ MAGNETIC HOLDDOPEN
<b>FIRST FLOOR</b>														
106	104 STORAGE	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D3	HM			F1	F2		
107	105 WOMENS RM	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D3	HM			F1	F2		
108	106 MENS RM	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D3	HM			F1	F2		
109	103 JANS CLOSET	FLUSH WOOD	1'-8"	7'-0"	SC WD	1 3/4"	D3	HM			F1	F2		
110		OMITTED												
111	107 THEATER VEST.	PAIRED FLUSH WOOD	6'-0"	7'-0"	SC WD	1 3/4"	D3	WD			F2	F5		W/ SOUND GASKETING
112	107 THEATER VEST.	PAIRED FLUSH WOOD	6'-0"	7'-0"	SC WD	1 3/4"	D3	WD			F2	F5		W/ SOUND GASKETING
113	115 CONCESSIONS	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D3	HM			F1	F1		
114	115 CONCESSIONS	PAIRED POCKET	5'-0"	3'-6"	WD	1 3/4"	D3	HM			F2	F1		
115	110 THEATER EXIT	EXTERIOR FLUSH	3'-0"	7'-0"	HM-INSUL	1 3/4"	WD				F4	F4		
116	111 GREEN ROOM	FLUSH WOOD	3'-0"	7'-0"	WD GLASS	1 3/4"	D3	HM			F1	F2		
117	112 EAST FLY	FLUSH WOOD	3'-0"	7'-0"	SC WD	1 3/4"	D5	HM			F2	F2		
<b>SECOND FLOOR</b>														
201	201 CONTROL BOOTH	FLUSH SOLID CORE	3'-0"	7'-0"	WD	1 3/4"	D3	HM			F1	F2		
202	202 TECH ROOM	FLUSH SOLID CORE	3'-0"	7'-0"	WD	1 3/4"	D3	HM			F1	F2		
203	THEATER FLY EAST	FLUSH METAL	2'-0"	3'-6"	HM	1 3/4"	D4	HM			F2	F2		
204	THEATER FLY WEST	FLUSH METAL	2'-0"	3'-6"	HM	1 3/4"	D4	HM			F2	F2		



**FINISH SCHEDULE**

Room No.	Room Name	Floor	Base	Walls	Doors	Trim	Ceiling	Ceiling Height	Remarks
<b>GROUND FLOOR</b>									
G01	CORRIDOR NS	F-2	B-6	W-3 / W-5			C-4		
G01A	CLOSET A	F-7	B-3	W-2			C-4		
G01B	CLOSET B	F-7	B-3	W-2			C-4		
G01C	CLOSET C	F-7	B-3	W-2			C-4		
G01D	CLOSET D	F-7	B-3	W-2			C-4		
G01E	CLOSET E	F-7	B-3	W-2			C-4		
G02	ELECTRICAL CLOSET	F-7	B-3	W-2			C-4		
G03	JAZZ ROOM	F-3A	B-3	W-3			C-3		TECTUM PANELS AT CLG
G04	JAZZ STORAGE	F-3A	B-3	W-2			C-3		
G05	OMIT								
G06	CORRIDOR EW	F-2	B-3	W-3			C-5		PLYWOOD WAJNSCOTING
G07	TRASH ROOM	F-7	B-3	W-3			C-5		PLYWOOD WAJNSCOTING
G08	RECYCLING ROOM	F-7	B-3	W-3			C-5		PLYWOOD WAJNSCOTING
G09	SHOP STORAGE	F-7	B-3	W-3			C-5		
G10	STAGE SHOP	F-7	B-3	W-3			C-3 / C-4		
G11	STAGE TOILET	F-2	B-3	W-3			C-5		R-2
G12	DRESSING ROOM 1	F-2	B-3	W-3			C-5		
G13	STAGE EXIT CORRIDOR	F-7	B-3	W-3			C-5		
G14	DRESSING ROOM 2	F-2	B-3	W-3			C-5		
G15	WEST WING	F-9	B-3	W-3			C-3		
G16	STAGE	F-9	B-3	W-3			C-3		
G17	EAST WING	F-9	B-3	W-3			C-3		
G17	EAST WING	F-4 / F-8	B-3	W-3			T-3	C-3	
<b>FIRST FLOOR</b>									
101	LOBBY	F-6 / F-8A	B-6	W-3 / W-5			C-4		
102	TOILET CORRIDOR	F-2 / F-6	B-4	W-3			C-4		
103	JANITORS CLOSET	F-2	B-3	W-3			C-6		R-2
104	CLOSET	F-2	B-3	W-2			C-6		
105	WOMEN'S ROOM	F-6	B-2	W-2			C-5		
108	MENS ROOM	F-6	B-2	W-2			C-5		R-2
107	THEATER VESTIBULE	F-3B	B-6	W-5			C-4		
108	VOMITORY	F-3B	B-6	W-5			C-4		
109	THEATER	F-3B	B-6	W-5			C-4		R1
110	CORRIDOR NS	F-2	B-6	W-3			C-4		
111	GREEN ROOM	F-3B	B-3	W-3			C-6		
112	EAST FLY	F-7	B-3	W-3			C-3		
113	WEST FLY	F-7	B-3	W-3			C-3		
<b>SECOND FLOOR</b>									
201	CONTROL BOOTH	F-3A	B-3	W-2			C-6		
202	TECH ROOM	F-7	B-3	W-2			C-5		

**FINISH SCHEDULE LEGEND**

**FLOOR**

- F-1 EXISTING TO REMAIN
- F-2 VCT
- F-3A CARPET Type A
- F-3B CARPET Type B
- F-4 WALKOFF MAT (WALL - WALL)
- F-5 CERAMIC TILE
- F-6 GRANITE TILE
- F-7 CONCRETE - SEALED
- F-8 RUBBER TREADS AND RISERS AT STAIRS
- F-9 PTD-PLYWOOD FLOORING

**BASE**

- B-1 NO BASE
- B-2 CERAMIC TILE
- B-3 4\"/>

**WALLS**

- W-1 EXISTING TO REMAIN
- W-2 GYPSUM WALL BOARD - PTD
- W-3 ABUSE RESISTANT GWB - PTD
- W-4 GWB ON PLYWOOD-PTD
- W-5 VENEER PLYWOOD-CLEAR FINISH
- W-6 EXISTING BRICK-CLEANED & SEALED
- W-7 CMU-PTD

**TRIM**

- T-1 EXISTING TO REMAIN
- T-2 METAL DOOR FRAME - PTD
- T-3 METAL STRIP STRUCTURE, UNDERSIDE, RAILS, PERF. PANELS, ETC - PTD
- T-4 WOOD WINDOW SILL - CLEAR FINISH
- T-5 GYPSUM WALL BOARD SOFFIT - PTD
- T-6 STEEL LINTEL - PTD
- T-7 WOOD TRIM - PTD
- T-8 WOOD TRIM-CLEAR FINISH

**CEILING**

- C-1 EXISTING TO REMAIN
- C-2 EXPOSED STRUCTURE
- C-3 EXPOSED STRUCTURE-PTD
- C-4 GYPSUM WALLBOARD-PTD
- C-5 SUSPENDED ACOUSTICAL TILE
- C-6 EXPOSED STRUCTURE ABOVE
- C-7 GYPSUM WALLBOARD SOFFIT-PTD
- C-8 STEEL LINTEL-PTD
- C-9 PATCHED PLASTER-PTD
- C-10 WOOD CEILING/SOFFT-CLEAR FINISH
- C-11 SUSPENDED GWA/ACT/SOUND INSULATED CEILING

**REMARKS**

- R-1 SEE INTERIOR ELEVATION FOR ADDITIONAL MATERIALS AND LIMITS OF MATERIALS
- R-2 MOISTURE RESISTANT GWB AT ALL WALLS, CEILINGS

**WINDOW SCHEDULE**

Mark	Mgr	Type-Operation	Model No.	Color	Head	Sill	Jamba	Remarks
A	CUSTOM	FIXED APPROX 6'-4\"/>						



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**WAYNFLETE ARTS CENTER PHASE TWO**

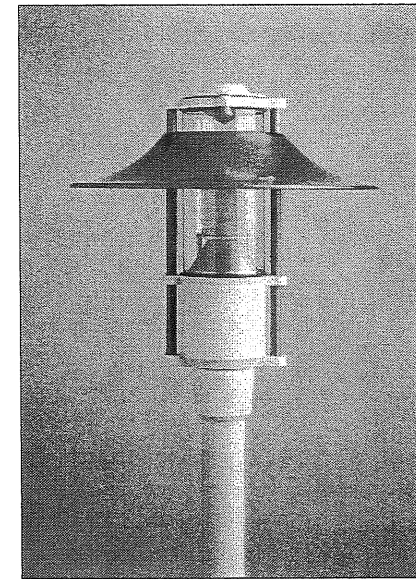
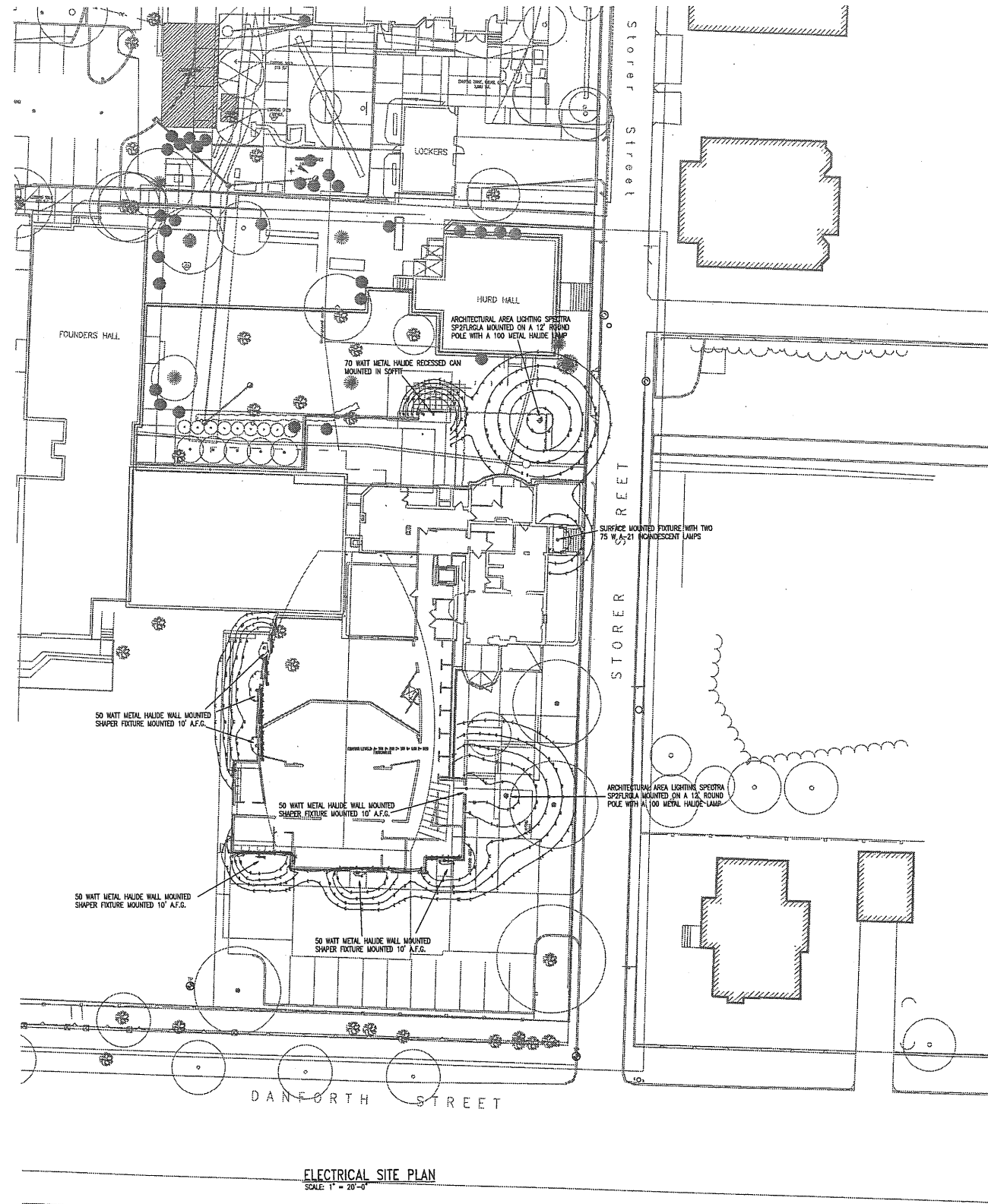
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

**SCHEDULES**

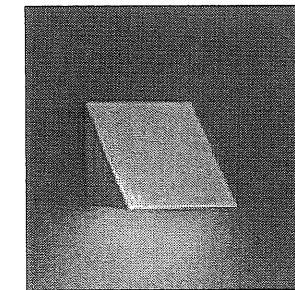
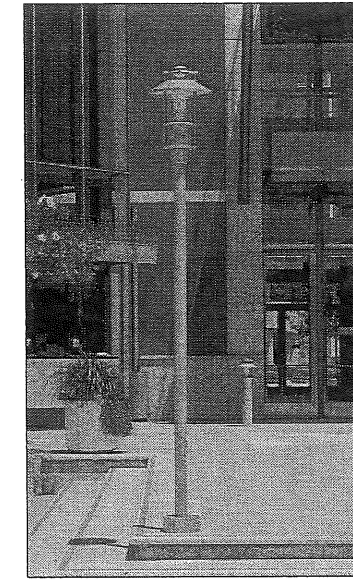
STATUS: Planning Board Submission  
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DATE: 05.18.2007 REVISION / DATE:

PROJECT NO. 2003-0040-00  
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AAL SPECTRA POLE FIXTURE  
SCALE: N.T.S.



SHAPER WALL MOUNTED FIXTURE  
SCALE: N.T.S.

**Neil and Gunter**  
NEI CAD 255992007

**SSI**  
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PROJECT  
**WAYNFLETE ARTS CENTER  
PHASE TWO**  
ADDITION/ RENOVATION  
380 SPRING STREET  
PORTLAND, ME

TITLE  
**ELECTRICAL  
SITE LIGHTING  
PLAN**

STATUS:  
**Planning Board Submission  
NOT FOR CONSTRUCTION**

DATE: 06.16.2007	REVISION/DATE:
FMH/RJS	
PROJECT NO. 2005-0040-00	
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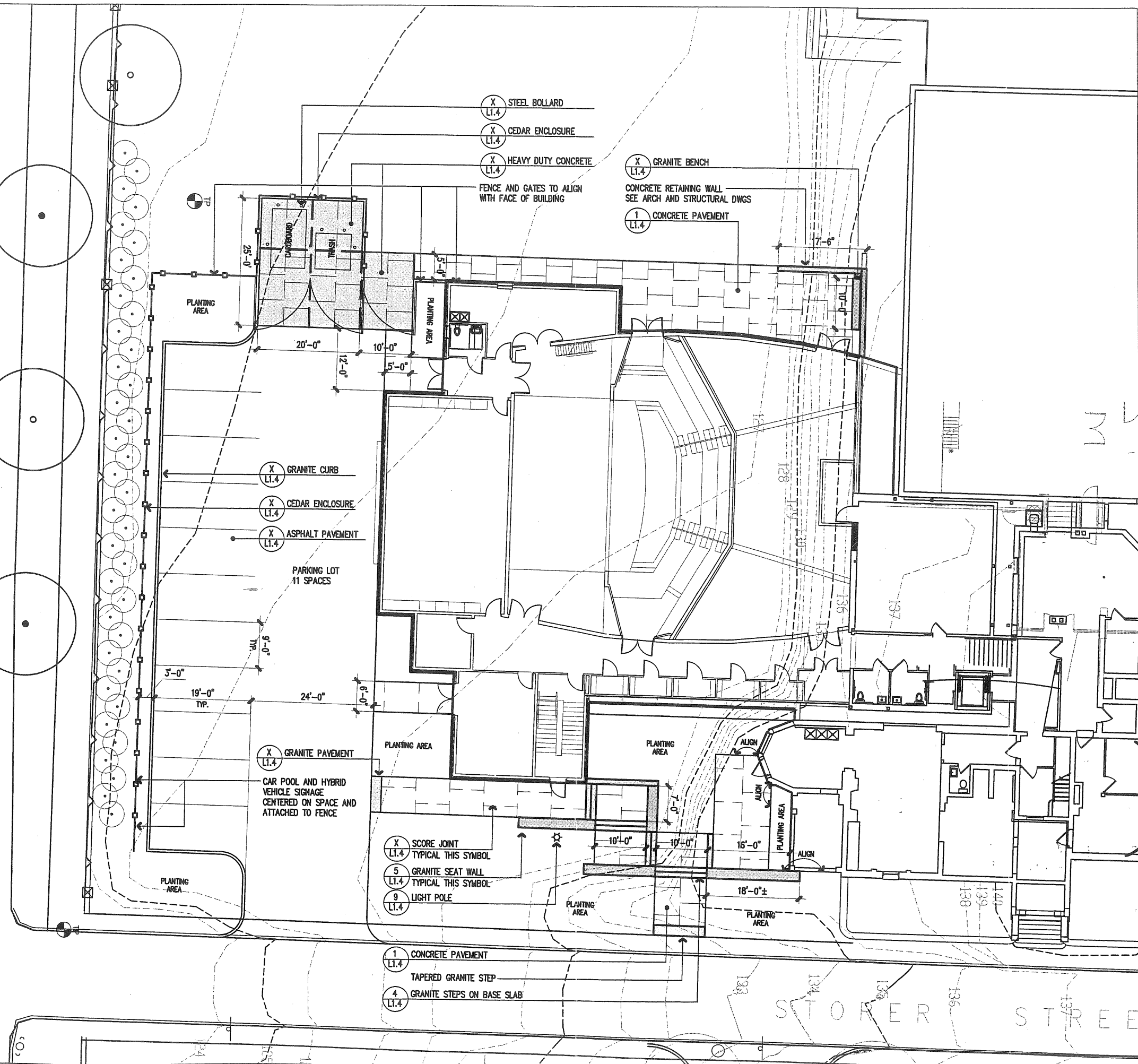
061-F-006

26-36 Storers

Waynelete Art Center

Waynelete Arts Center

DANFORTH STREET



STOKER STREET

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PROJECT  
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 PHASE TWO  
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 360 SPRING STREET  
 PORTLAND, ME

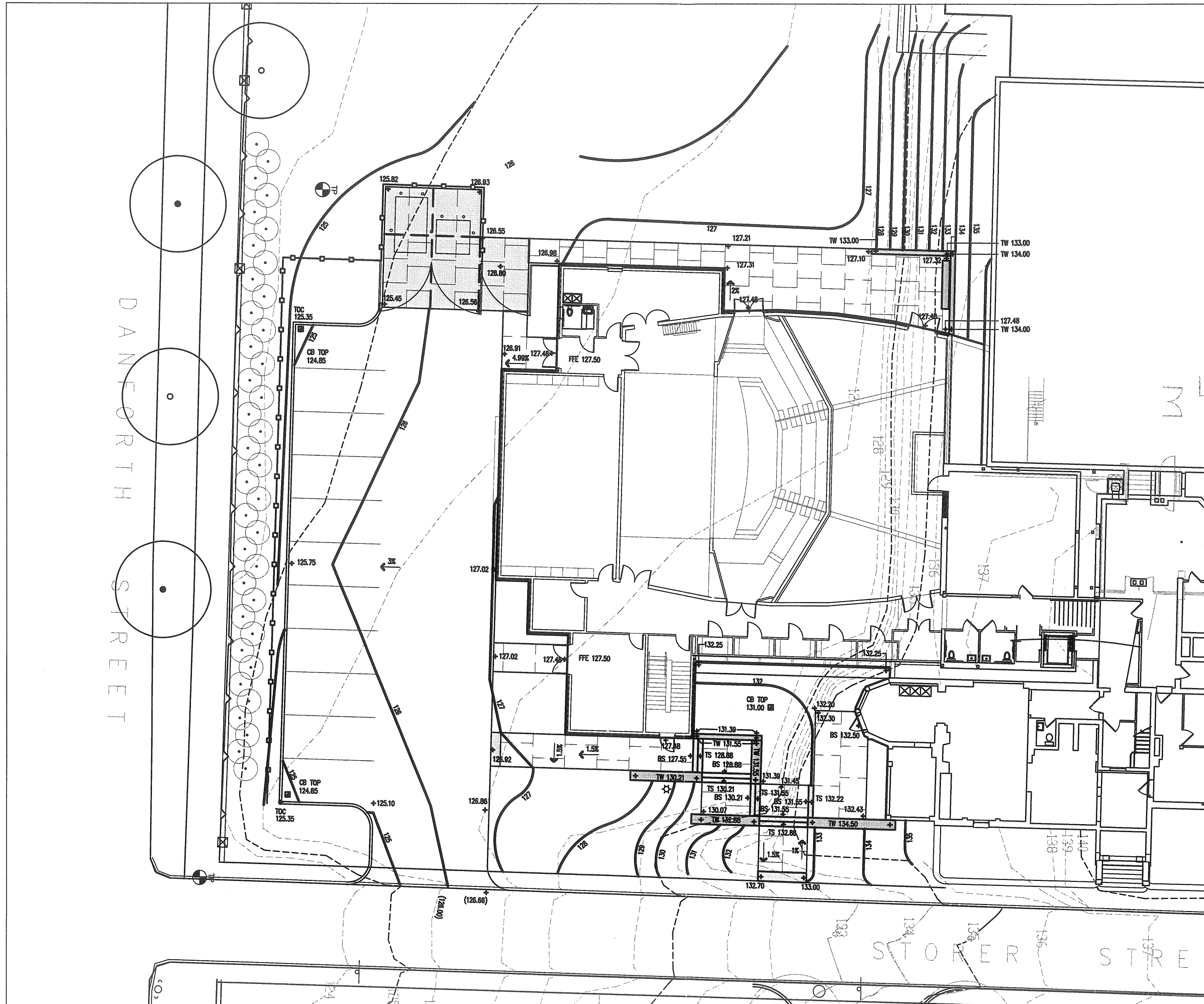
TITLE  
 LAYOUT AND  
 MATERIALS PLAN

STATUS:  
 Planning Board Submission  
 NOT FOR CONSTRUCTION

DATE: 07.02.2007	REVISION /DATE:
SCALE 1"=20'	
PROJECT NO. 2003-0060.00	
DRAWN BY:	

DWG NO. L-1.1





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PROJECT  
**WAYNFLETE ARTS CENTER  
 PHASE TWO**  
 ADDITION/ RENOVATION  
 360 SPRING STREET  
 PORTLAND, ME

TITLE  
**GRADING PLAN**

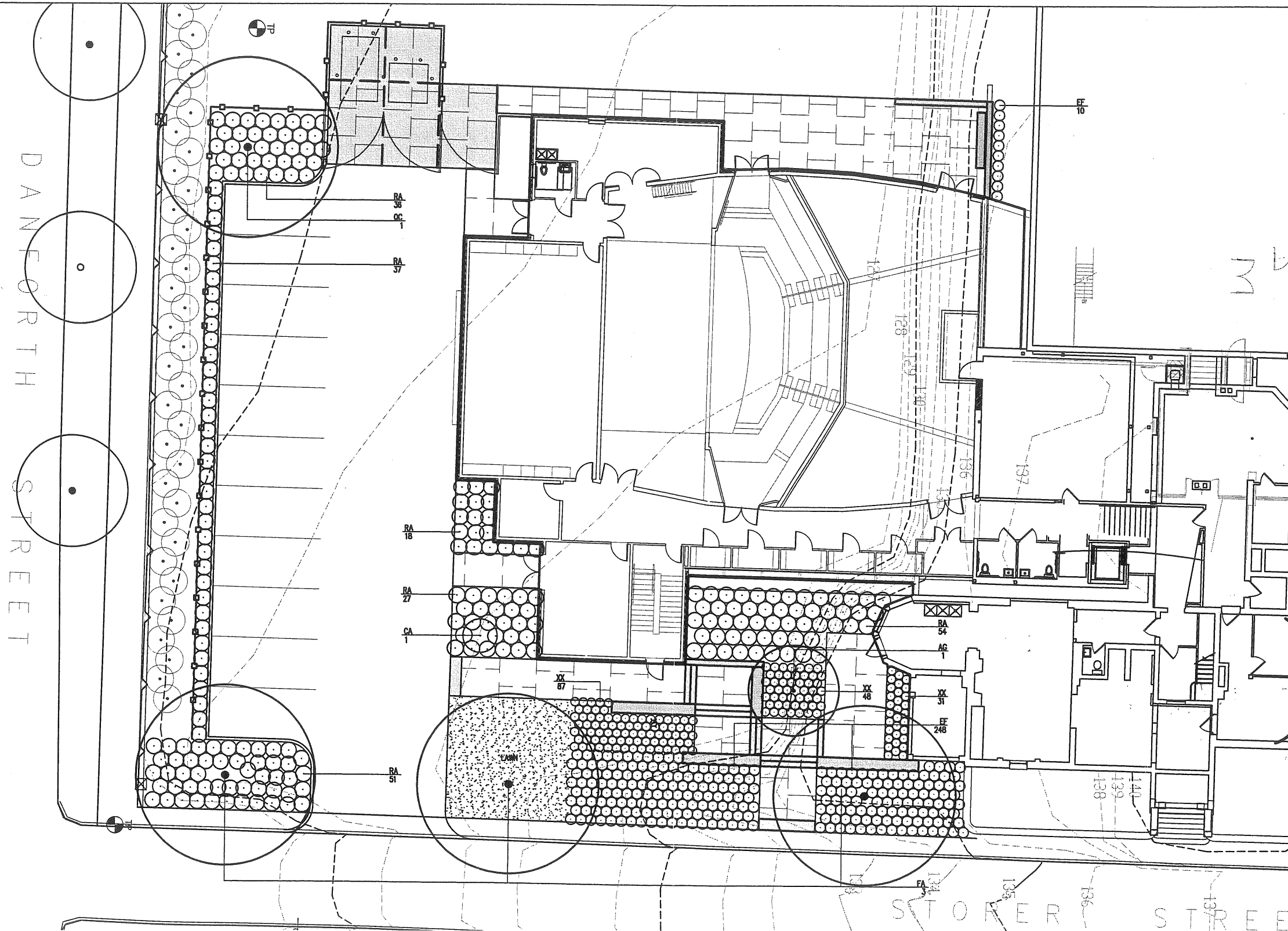
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 Planning Board Submission  
 NOT FOR CONSTRUCTION

DATE: 07.02.2007  
 SCALE: 1"=20'  
 PROJECT NO.: 2005-0060.00  
 DRAWN BY:

DWG NO. **L-1.2**

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	COMMENTS
<b>TREES</b>							
AG	1	ACER GINNALA	AMUR MAPLE	8 - 10' CLUMP	B&B	SEE PLAN	MULTISTEMMED SPECIMEN
FA	3	FRAXINUS AMERICANA	GREEN ASH	3.5 - 4" CAL	B&B	SEE PLAN	SINGLE LEADER, MATCHED
QC	1	QUERCUS COCCINEA	SCARLET OAK	4" CAL	B&B	SEE PLAN	HEAVY SPECIMEN
<b>SHRUBS / GROUNDCOVERS</b>							
CA	1	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	3-4'	CONT.		
EF	248	EJONYMUS FORTUNEI	WINTERCREEPER EJONYMUS	2 GAL.	CONT.		
RA	223	RHUS AROMATICA 'GRO-LO'	FRAGRANT SUMAC	1 GAL.	CONT.		
XX	184	PERENNIAL - TBD		1 GAL.	CONT.		



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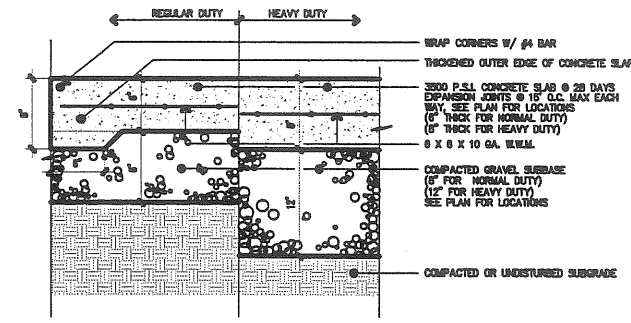
PROJECT  
**WAYNFLEETE ARTS CENTER  
 PHASE TWO**  
 ADDITION/ RENOVATION  
 360 SPRING STREET  
 PORTLAND, ME

TITLE  
**PLANTING PLAN**

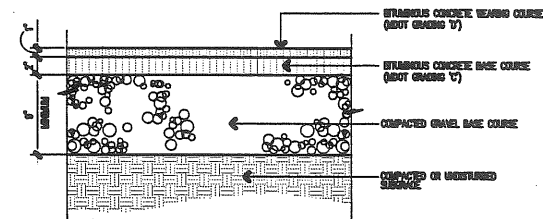
STATUS:  
 Planning Board Submission  
 NOT FOR CONSTRUCTION

DATE: 07.02.2007  
 SCALE: 1"=20'  
 PROJECT NO. 2003-0040.00  
 DRAWN BY: Scott Simons Architects

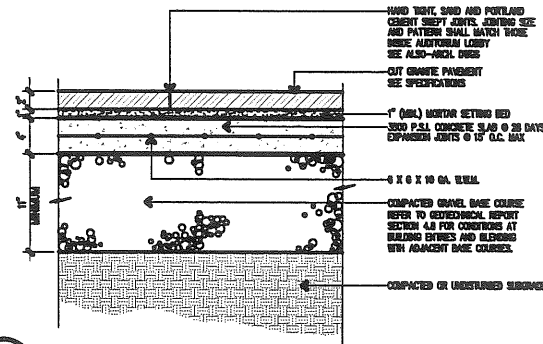
DWG NO. **L-13**



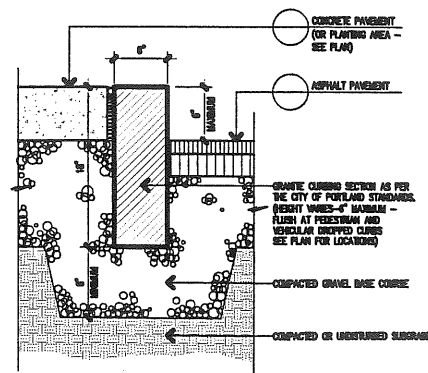
1 CONCRETE PAVEMENT  
L-1.4 SCALE: 1 1/2" = 1'-0"



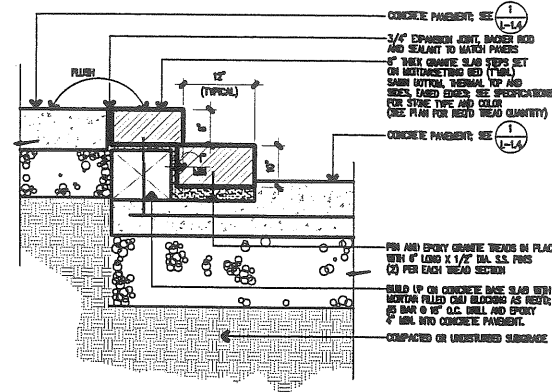
2 ASPHALT PAVEMENT  
L-1.4 SCALE: 1 1/2" = 1'-0"



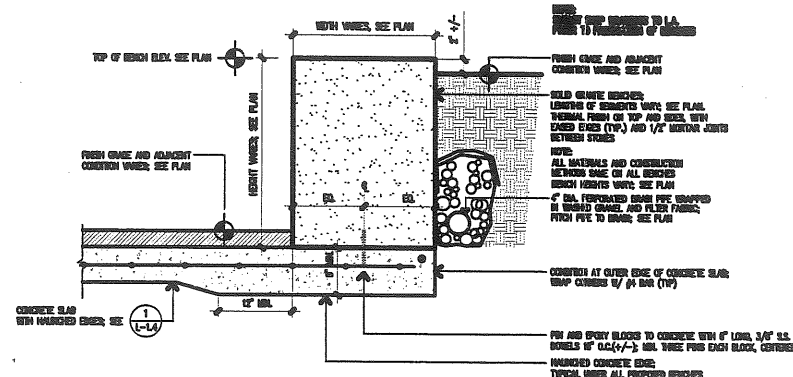
3 GRANITE PAVEMENT  
L-1.4 SCALE: 1 1/2" = 1'-0"



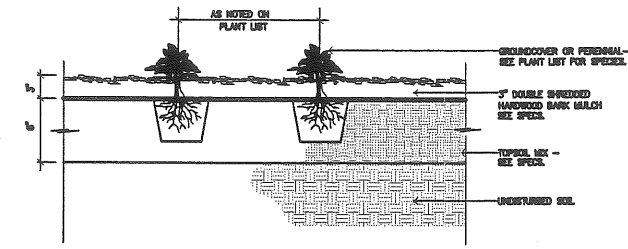
4 GRANITE CURB  
L-1.4 SCALE: 1 1/2" = 1'-0"



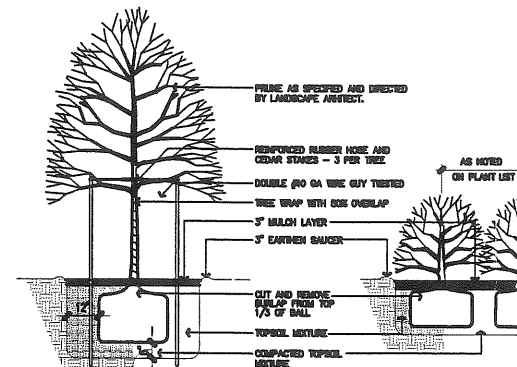
5 GRANITE STEPS ON BASE SLAB  
L-1.4 SCALE: 1" = 1'-0"



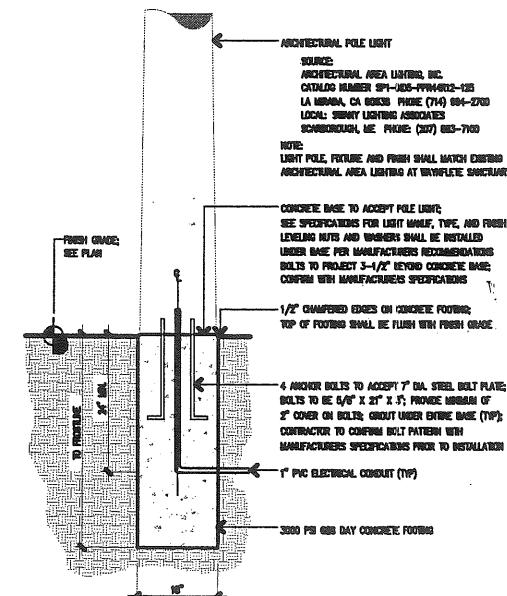
6 GRANITE SEAT WALL  
L-1.4 SCALE: 1" = 1'-0"



X GROUNDCOVER PLANTING DETAIL  
L-1.4 NOT TO SCALE



X TREE / SHRUB PLANTING DETAIL  
L-1.4 NOT TO SCALE



X LIGHT POLE BASE DETAIL  
L-1.4 SCALE: 3/4" = 1'-0"

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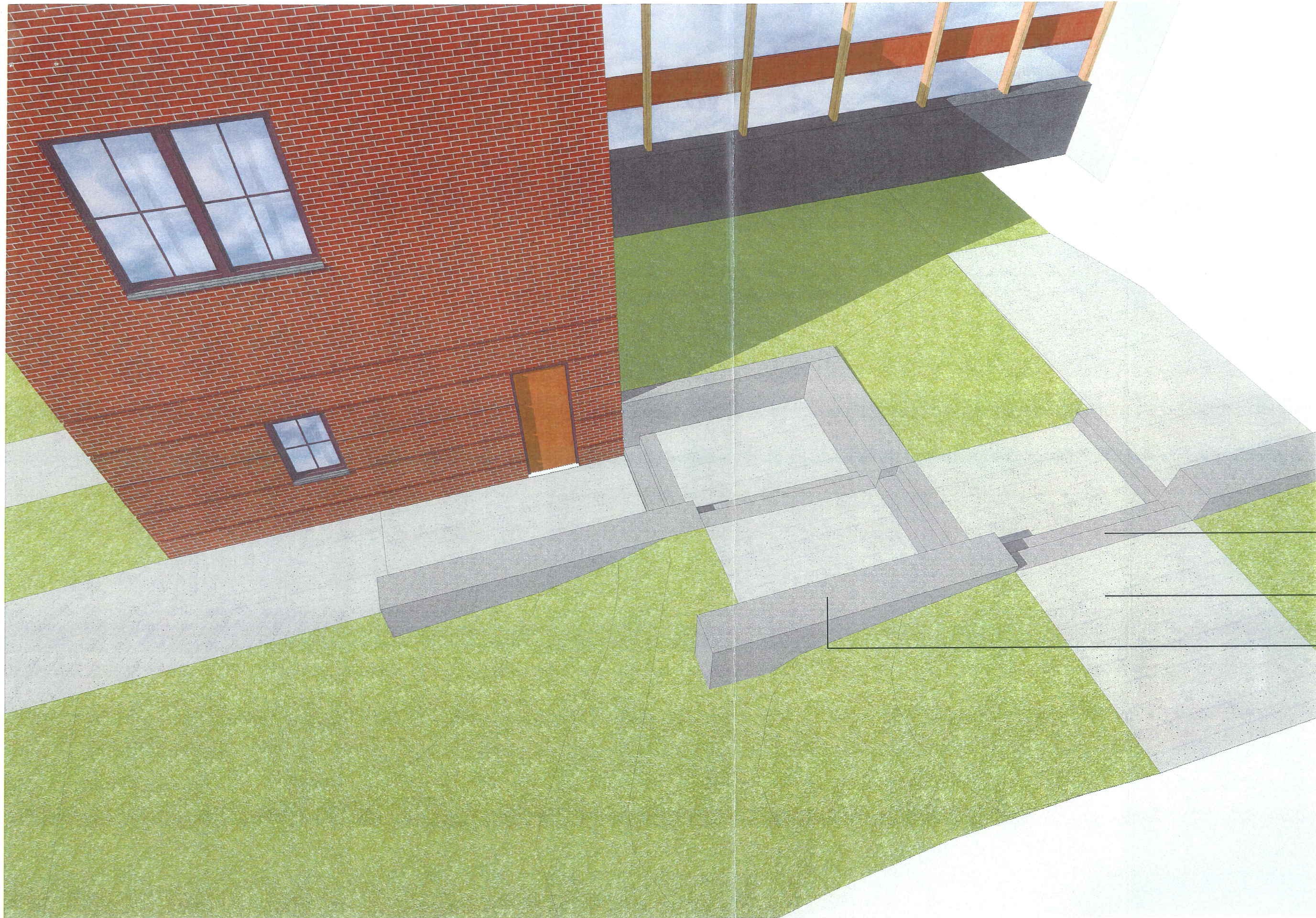
PROJECT  
WAYNFLEETE ARTS CENTER  
PHASE TWO  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
SITE DETAILS

STATUS:  
Planning Board Submission  
NOT FOR CONSTRUCTION

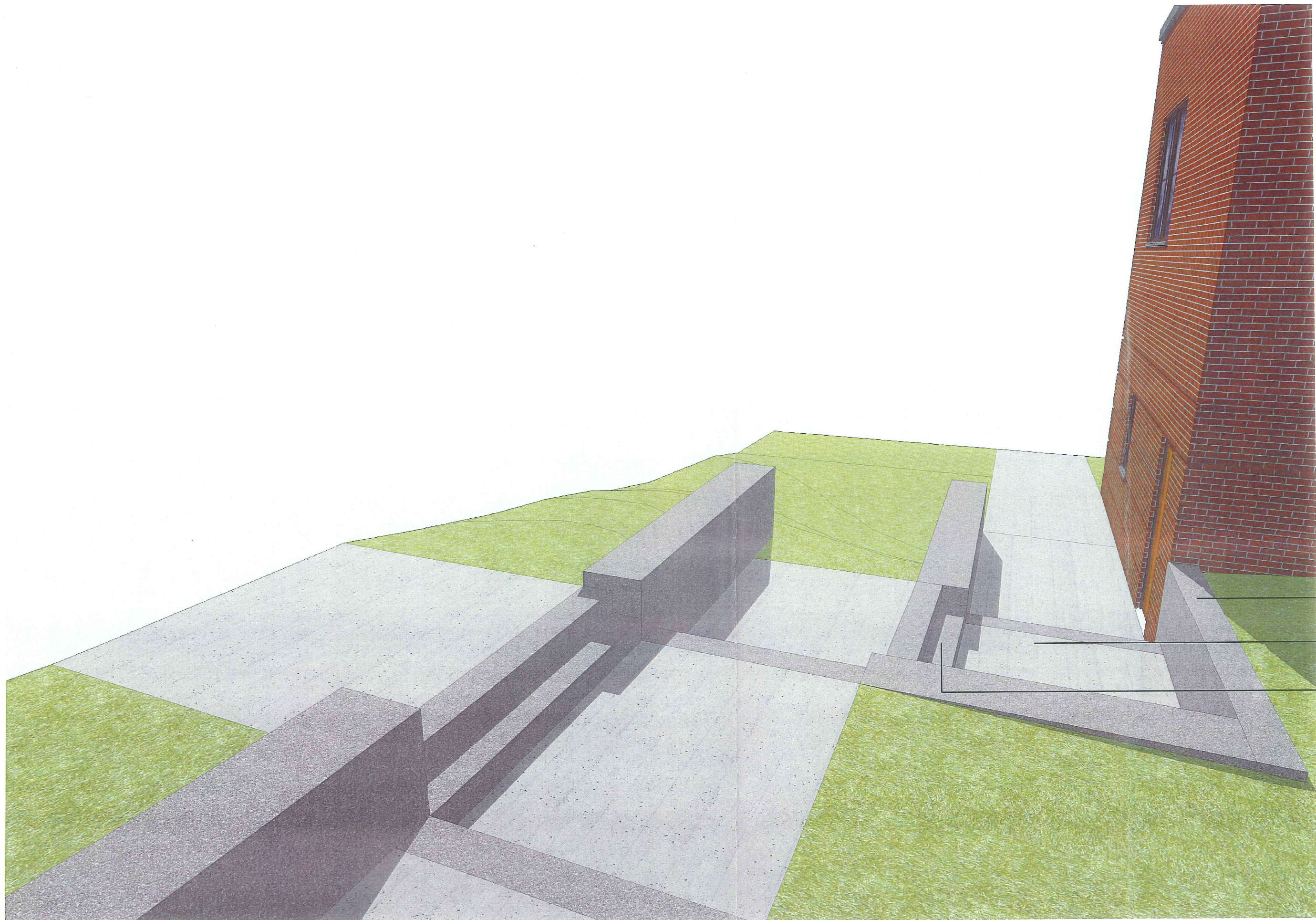
DATE: 07.22.2007  
SCALE: 1"=10'  
PROJECT NO.: 2003-0040.00  
DRAWN BY: [Signature]

L-1.4



- GRANITE STEP
- CONCRETE PAVEMENT
- GRANITE SEAT WALL

28a



GRANITE SEAT WALL

CONCRETE PAVEMENT

GRANITE STEP



28c



ENCLOSURE  
OPTION 1

WINDOW  
OPTION 1



ENCLOSURE  
OPTION 1

WINDOW  
OPTION 2



28e



ENCLOSURE  
OPTION 2

WINDOW  
OPTION 3



# Waynflete School Master Plan Update

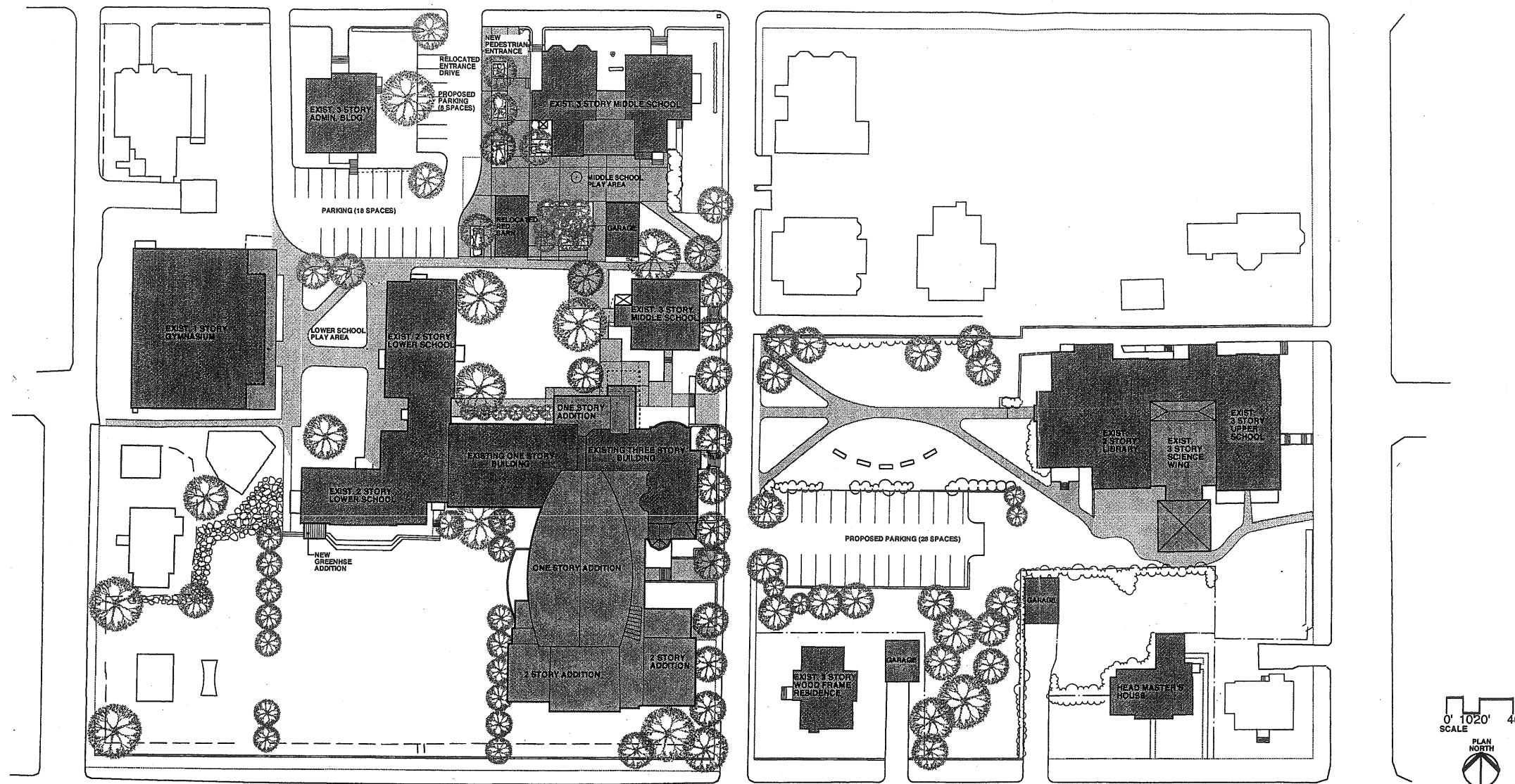
May 09, 2006

061-F-006

26-36 storer

Waynelete Art Center

Waynelete Arts Center



*Progress Print*  
*January 30, 2001*

# Waynflete Arts Center

360 Spring Street, Portland, Maine

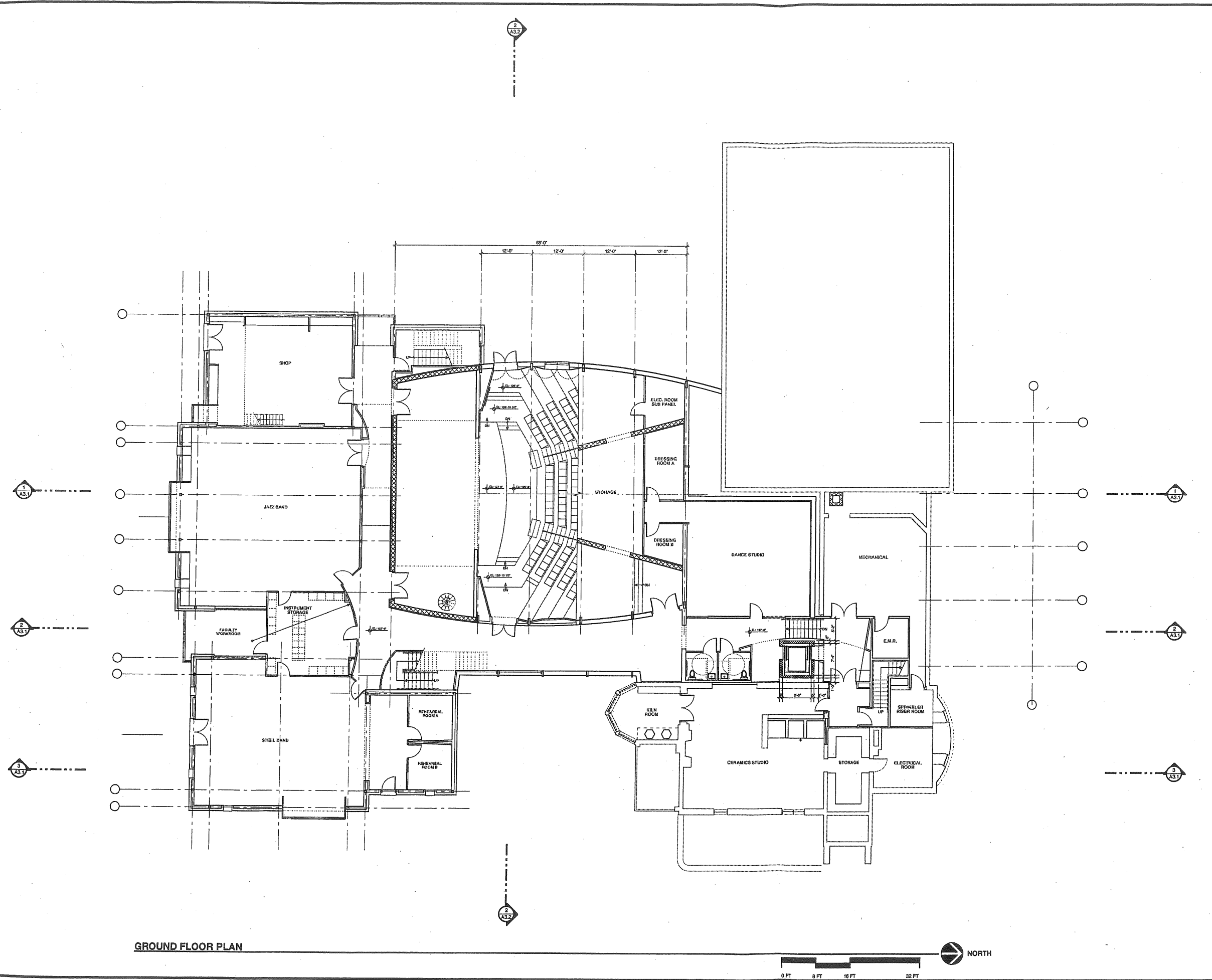


PROJECT  
**WAYNFLETE SCHOOL**  
 360 SPRING STREET  
 PORTLAND, ME  
 Progress Print  
 January 30, 2001


TITLE  
**REVISED CAMPUS  
 MASTER PLAN**  
 01.10.01

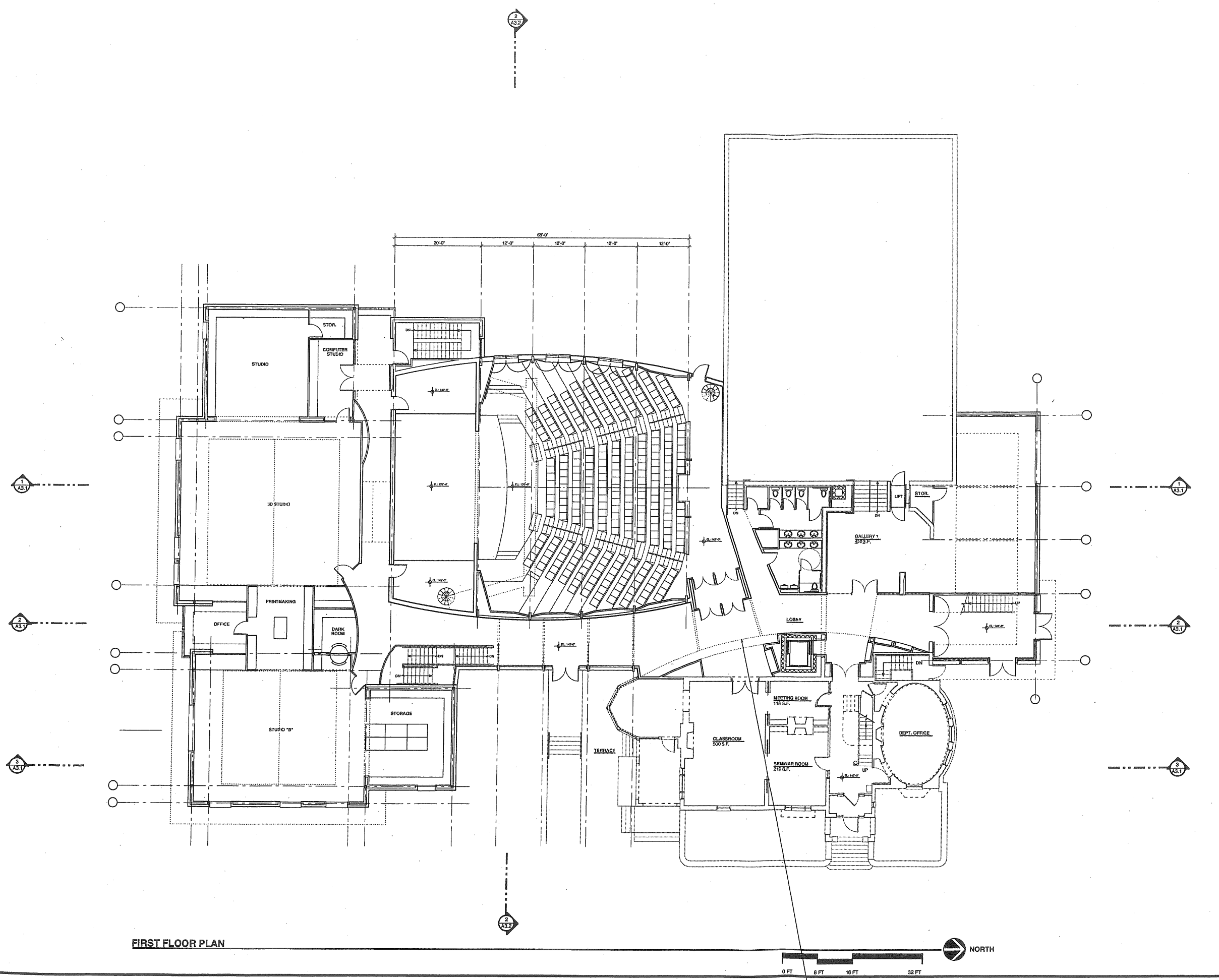
STATUS:  
**DESIGN DEVELOPMENT  
 NOT FOR CONSTRUCTION**

DATE: 01.30.01	REVISION /DATE:
PROJECT NO. 00118.00	
DRAWN BY:	2001 © Scott Simon Architects
DWG NO.	



GROUND FLOOR PLAN

 <p>Scott Simons Architects 15 Franklin Street Art Portland, Maine 04101 Phone 207 772 4804 Fax 207 626 4856</p>	
<p>PROJECT :</p> <p><b>WAYNFLETE SCHOOL</b> 360 SPRING STREET PORTLAND, ME</p> <p>Progress Print January 30, 2001</p>	
<p>TITLE</p> <p><b>GROUND FLOOR PLAN</b></p>	
<p>STATUS: DESIGN DEVELOPMENT <b>NOT FOR CONSTRUCTION</b></p>	
<p>DATE: 01.30.01</p> <p>SCALE: 1/8" = 1'-0"</p> <p>PROJECT NO. 00118.00</p> <p>DRAWN BY:</p>	<p>REVISION / DATE</p>
<p>DWG NO. <b>A-1.1</b></p>	



FIRST FLOOR PLAN

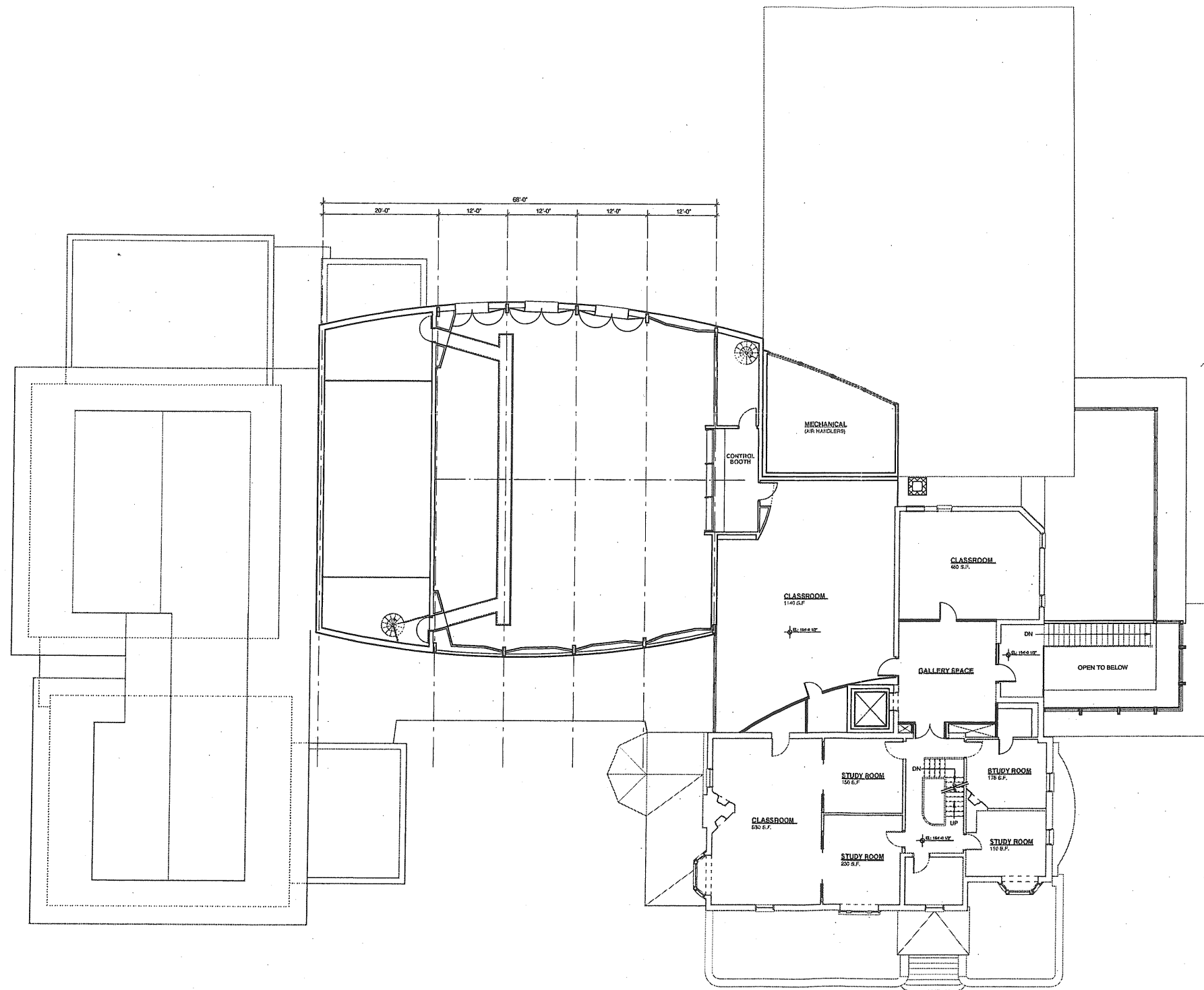
**SSA**  
Scott Simons Architects  
15 Franklin Street Art  
Portland, Maine 04101  
Phone 207 772 4618  
Fax 207 224 4856

PROJECT  
**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME  
Progress Print  
January 30, 2001

TITLE  
**1ST FLOOR PLAN**  
Progress Print  
January 22, 2001


STATUS:  
**DESIGN DEVELOPMENT  
NOT FOR CONSTRUCTION**

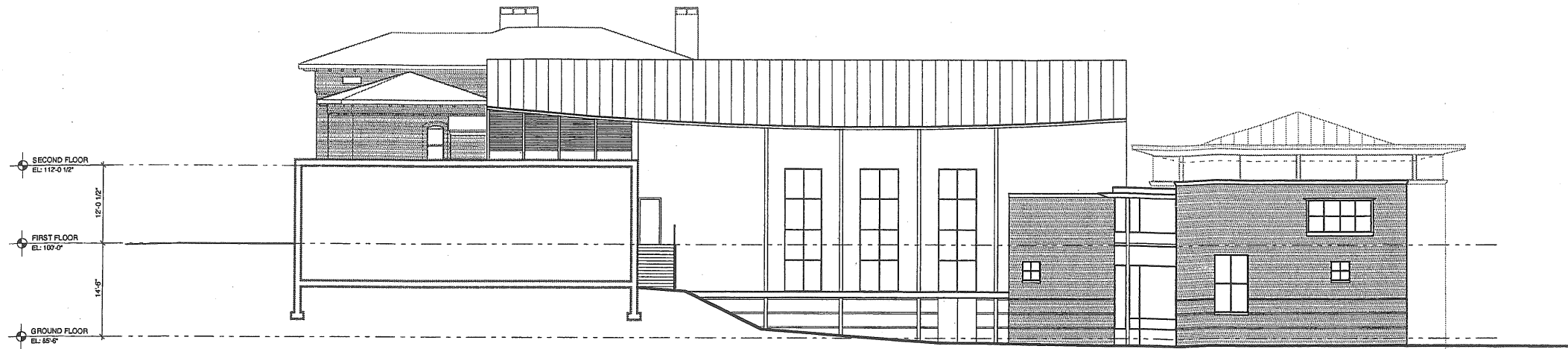
DATE: 01.30.01	REVISION DATE:
SCALE: 1/8" = 1'-0"	
PROJECT NO. 00116.00	
DRAWN BY: 2001@ Scott Simons Architects	
DWG NO. <b>A-1.2</b>	



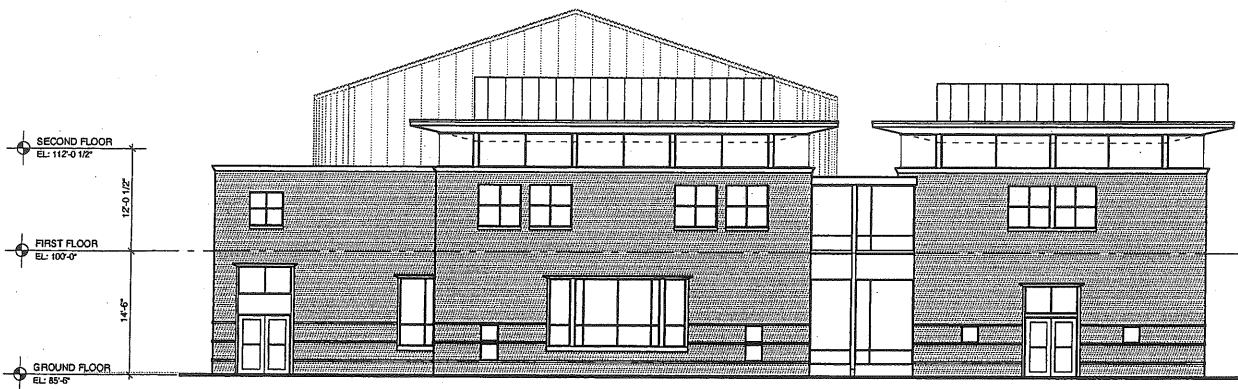
SECOND FLOOR PLAN



 <p>Scott Simon Architects 15 Franklin Street Art Portland, Maine 04101 Phone: 207 773 4604 Fax: 207 938 4600</p>	
<p>PROJECT</p> <p><b>WAYNFLETE SCHOOL</b> 360 SPRING STREET PORTLAND, ME</p> <p>Progress Print January 30, 2001</p>	
<p>TITLE</p> <p><b>SECOND FLOOR PLAN</b></p>	
<p>STATUS: DESIGN DEVELOPMENT <b>NOT FOR CONSTRUCTION</b></p>	
<p>DATE: 01.30.01</p> <p>SCALE: 1/8" = 1'-0"</p> <p>PROJECT NO. 00116.00</p> <p>DRAWN BY:</p>	<p>REVISION DATE:</p>
<p>DWG NO. <b>A-1.3</b></p>	



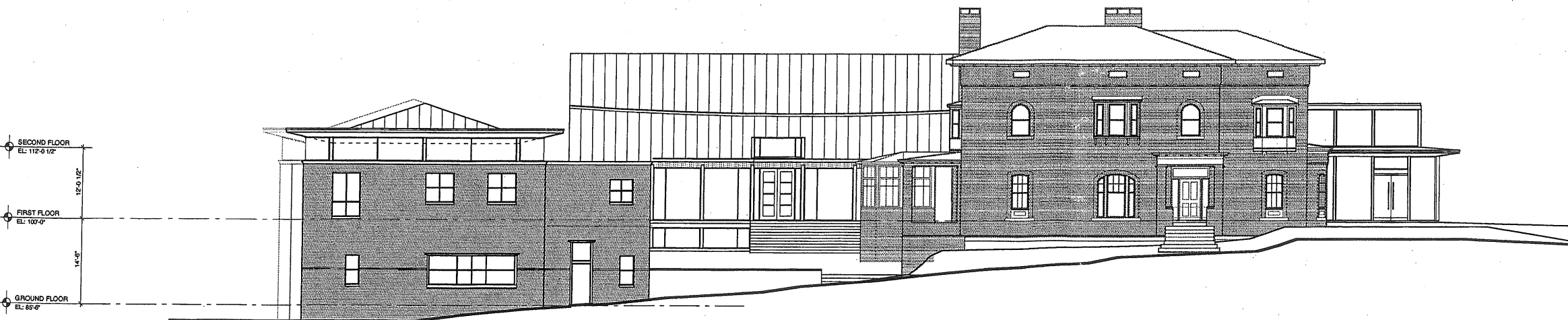
1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



Scott Simon Architects  
15 Franklin Street Apt.  
Portland, Maine 04101  
phone 207 772 4008  
fax 207 528 4008

PROJECT

WAYNFLETE SCHOOL

360 SPRING STREET  
PORTLAND, ME

Progress Print  
January 30, 2001

TITLE

ELEVATIONS

STATUS: DESIGN DEVELOPMENT  
NOT FOR CONSTRUCTION

DATE: 01.30.01 REVISION DATE:

SCALE: 1/8" = 1'-0"

PROJECT NO. 00116.00

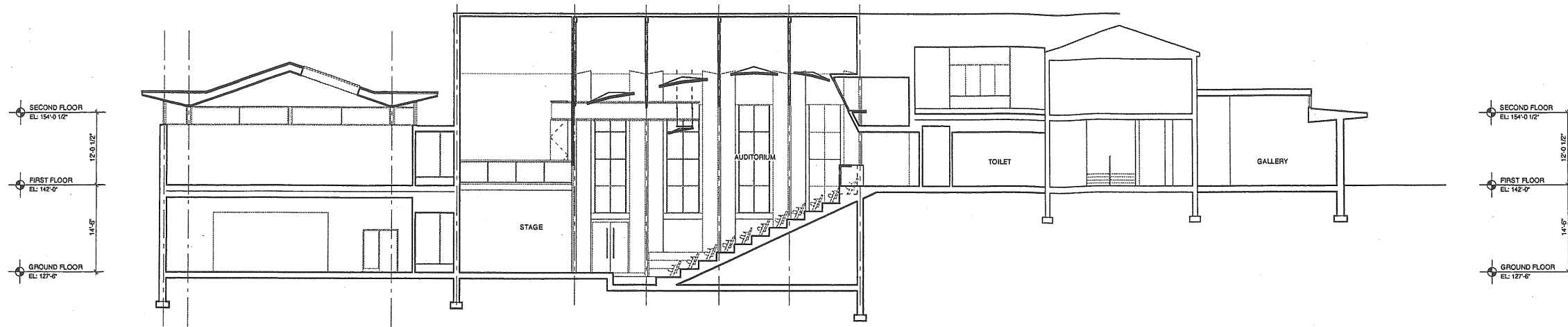
DRAWN BY:

2001© Scott Simon Architects

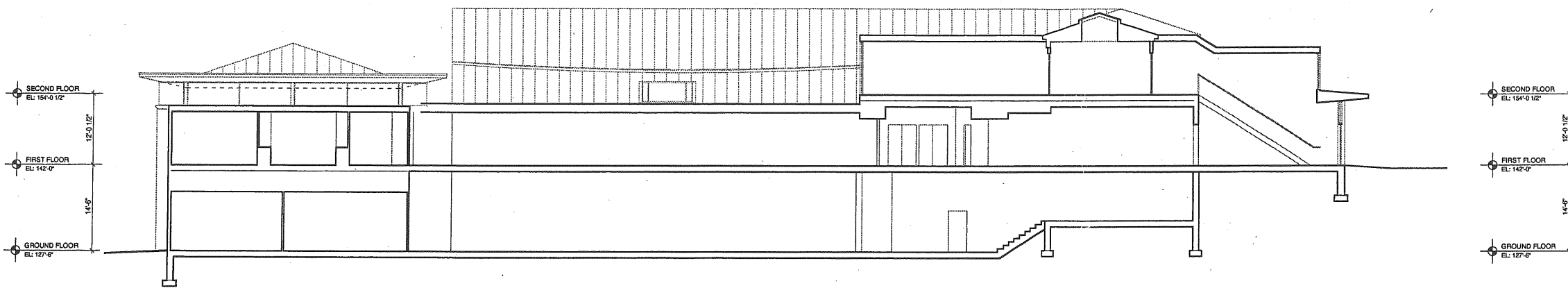
DWG NO.

A-2.1

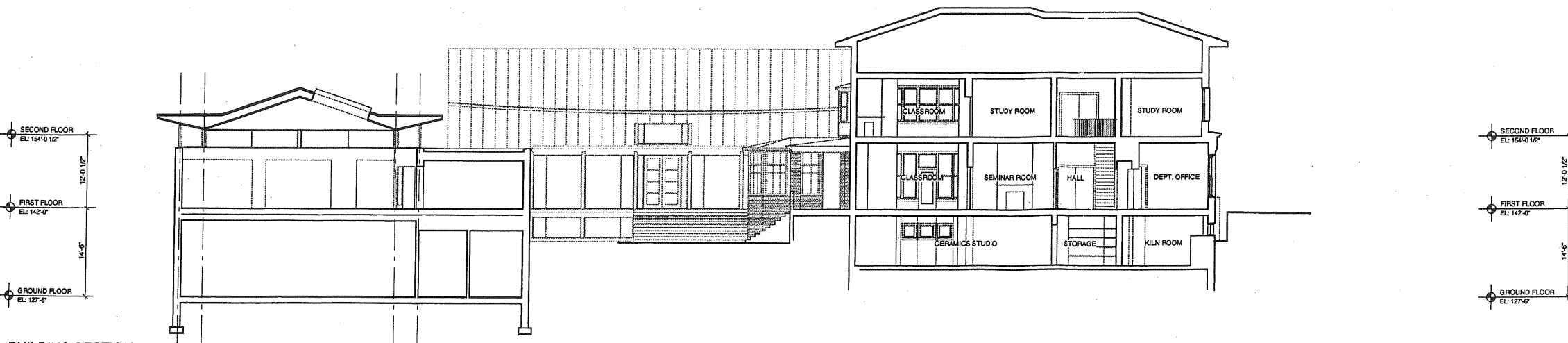




1 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



3 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



Scott Simon Architects  
15 Franklin Street Apt.  
Portland, Maine 04101  
phone 207 772-4864  
fax 207 439-4864

PROJECT

**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME

TITLE

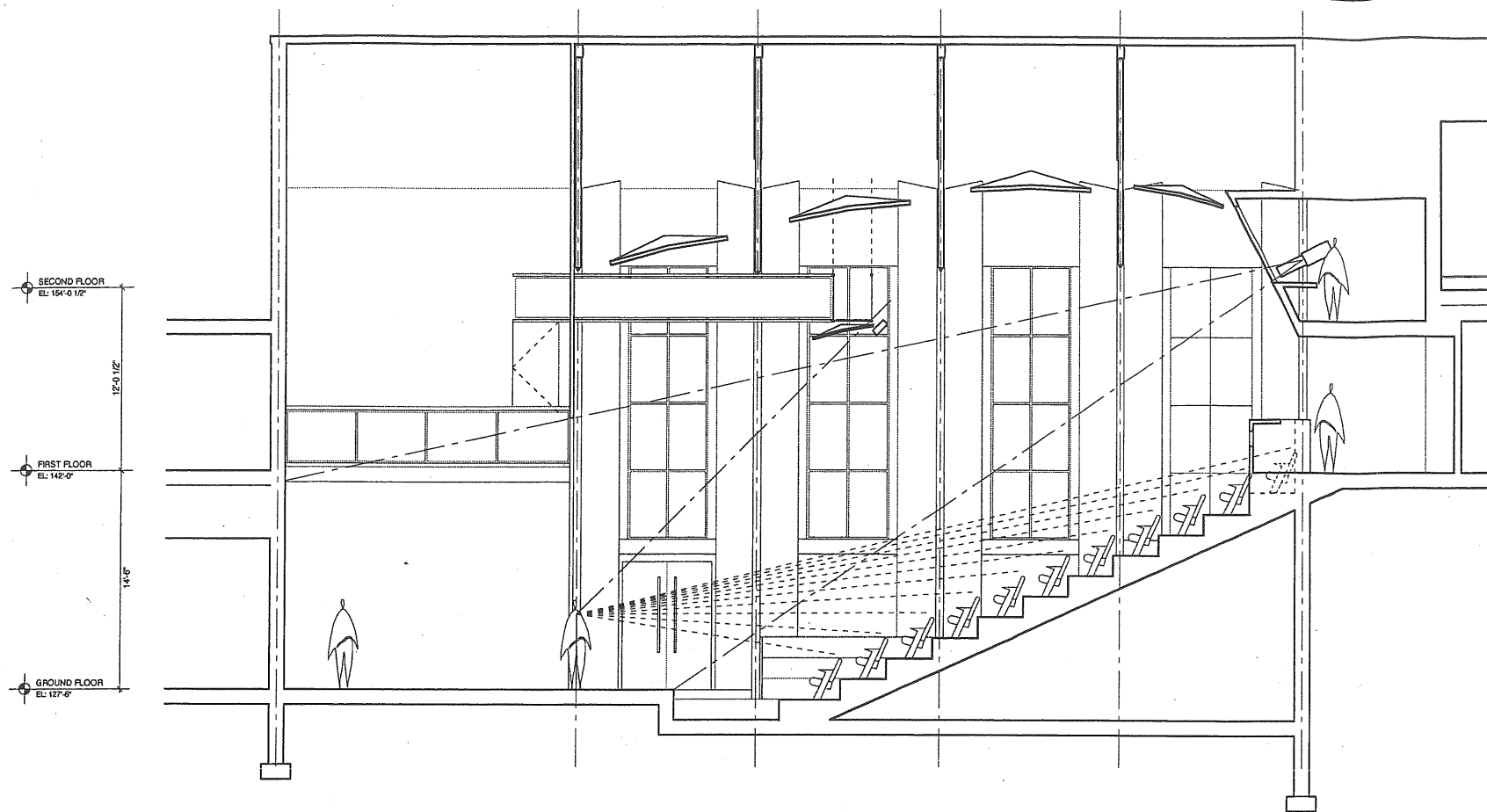
**BLDG SECTIONS**

STATUS: **DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**

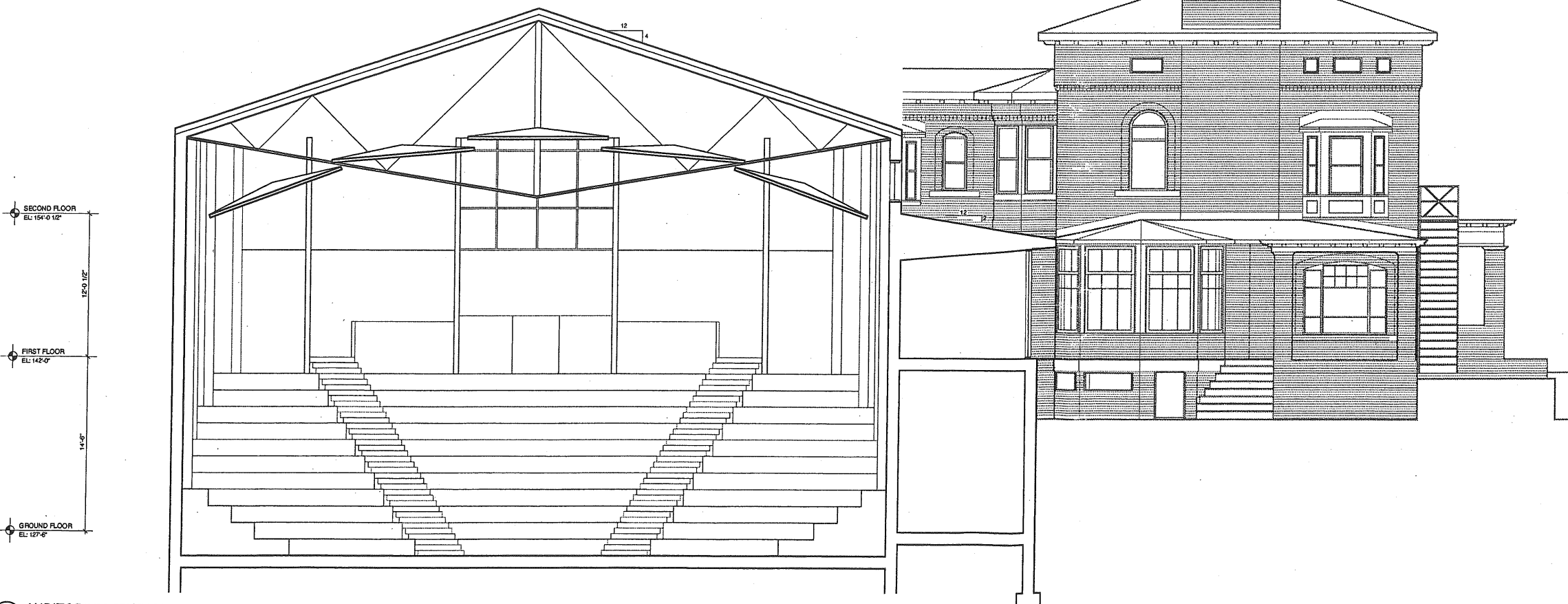
DATE: 01.10.01	REVISION / DATE:
SCALE: 1/8" = 1'-0"	
PROJECT NO. 01001.00	
DRAWN BY:	2001@ Scott Simon Architects

DWG NO.

**A-3.1**



1 AUDITORIUM SECTION  
SCALE: 1/4" = 1'-0"



2 AUDITORIUM SECTION  
SCALE: 1/4" = 1'-0"



Scott Simons Architects  
15 Franklin Street, Apt.  
Portland, Maine 04101  
Phone 207 772 4856  
Fax 207 428 4604

PROJECT

WAYNFLETE SCHOOL

360 SPRING STREET  
PORTLAND, ME

Progress Print  
January 30, 2001

TITLE

AUDITORIUM SECTION

STATUS: DESIGN DEVELOPMENT  
NOT FOR CONSTRUCTION

DATE:

01.30.01

SCALE:

1/4" = 1'-0"

PROJECT NO.

0018.30

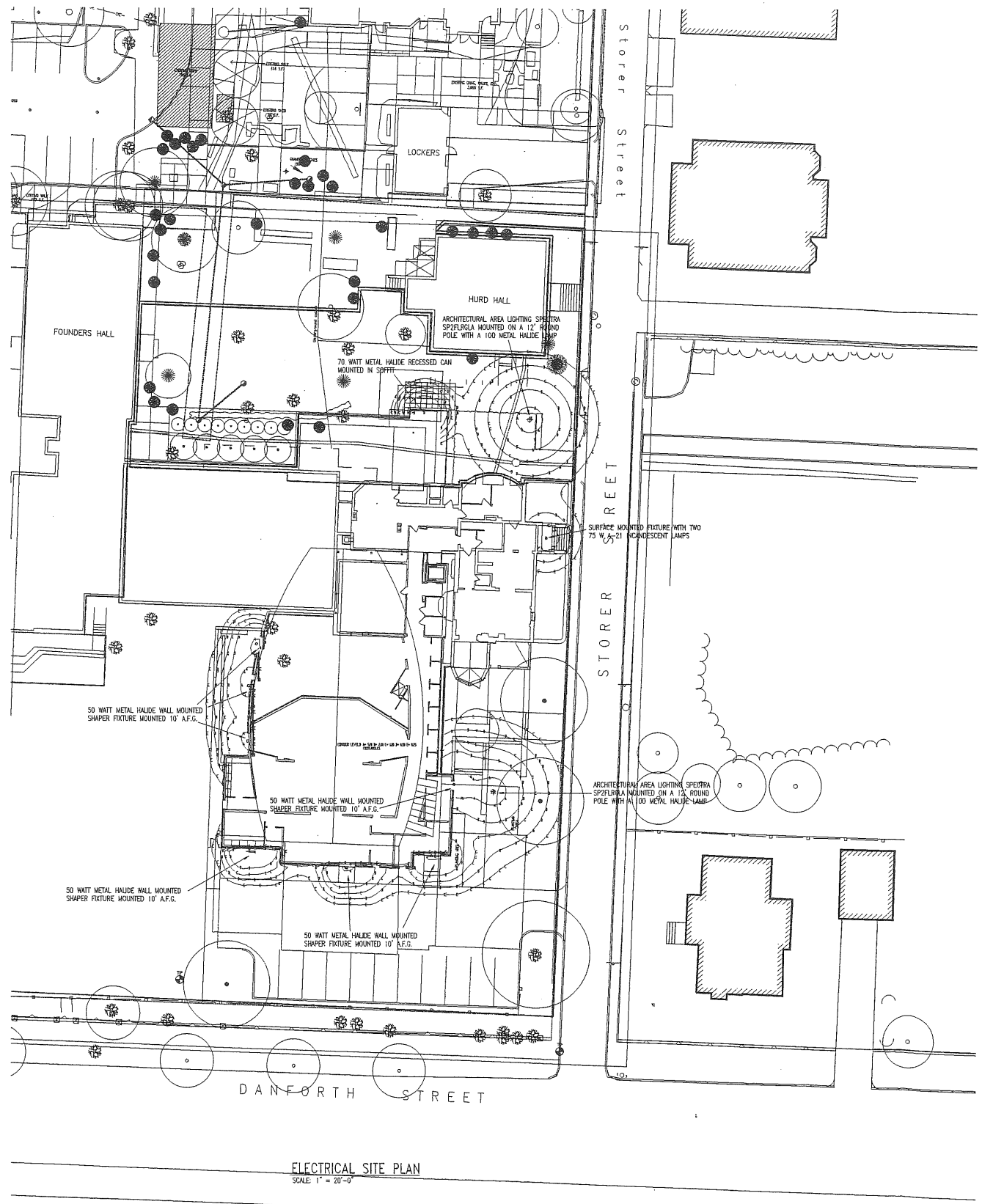
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REVISION (DATE):

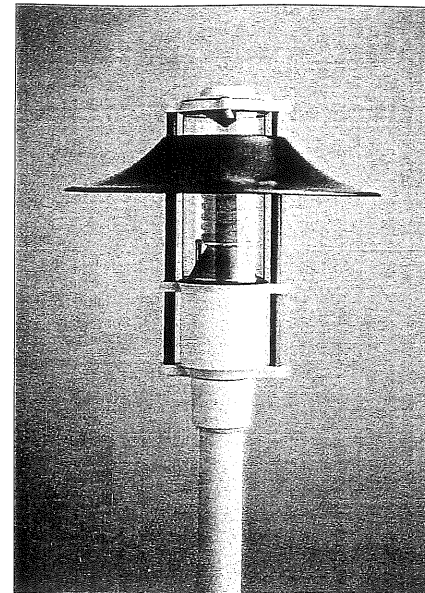
2001 © Scott Simons Architects

DWG NO.

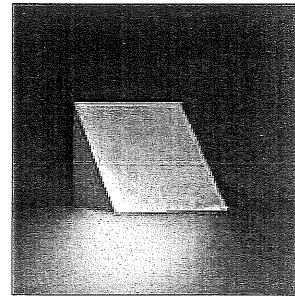
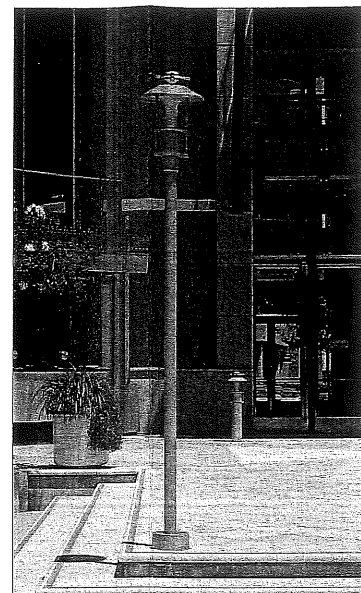
A-x.x



ELECTRICAL SITE PLAN  
SCALE: 1" = 20'-0"



AAL SPECTRA POLE FIXTURE  
SCALE: N.T.S.



SHAPER WALL MOUNTED FIXTURE  
SCALE: N.T.S.



Neill and Gunter  
NGI CAD 25598007

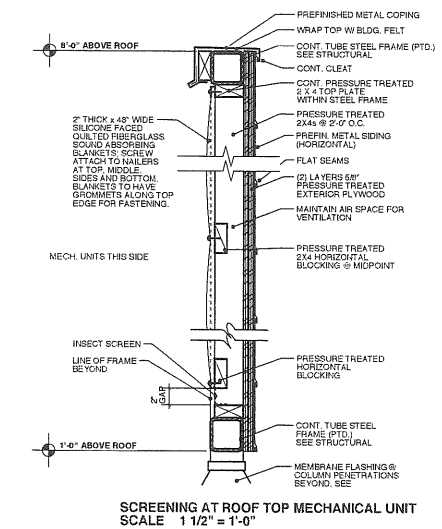
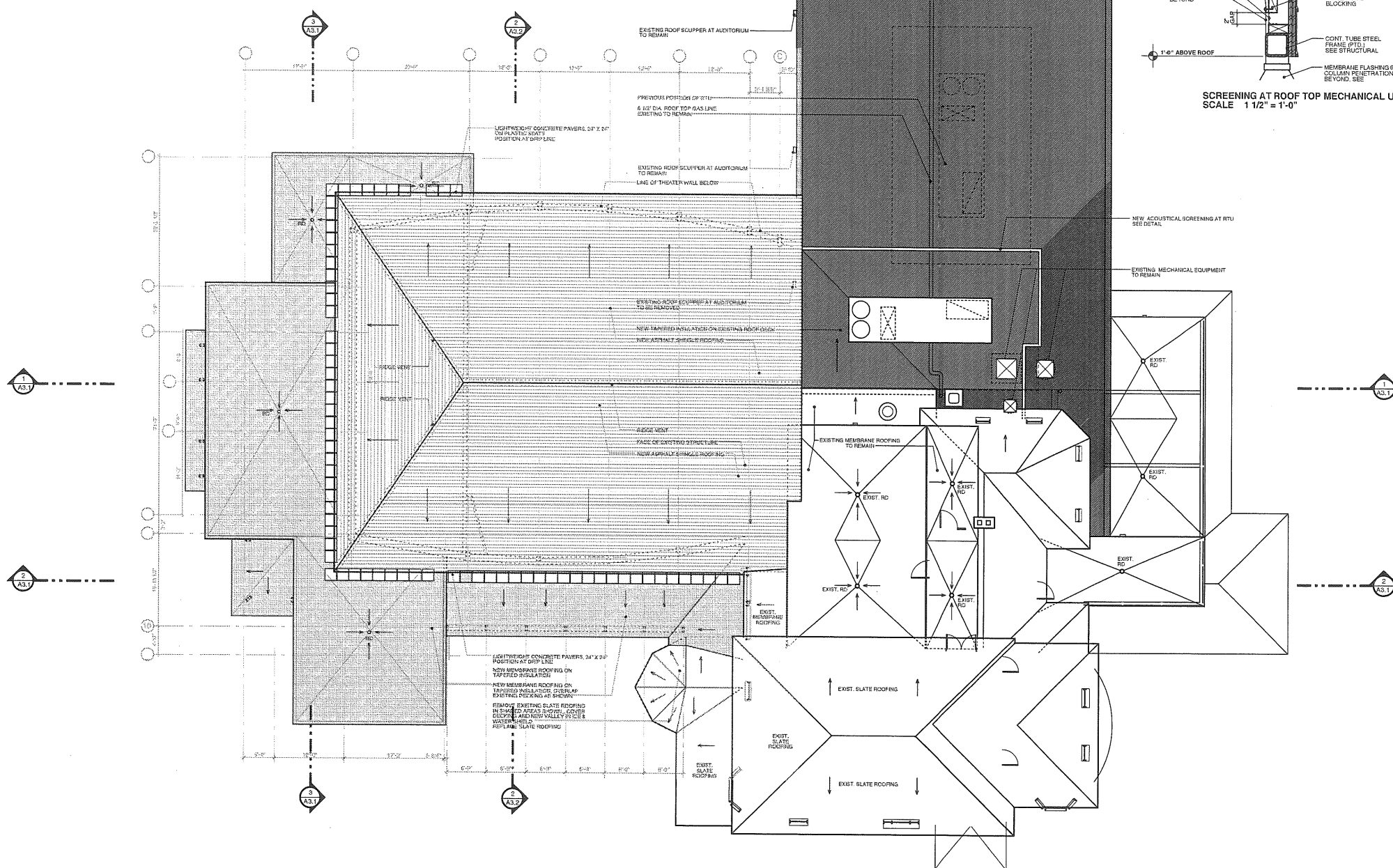
THIS DRAWING IS THE PROPERTY OF  
SCOTT SHANKS ARCHITECTS  
AND IS NOT TO BE COPIED OR  
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PROJECT  
**WAYNFLETE ARTS CENTER  
PHASE TWO**  
ADDITION/ RENOVATION  
360 SPRING STREET  
PORTLAND, ME

TITLE  
**ELECTRICAL  
SITE LIGHTING  
PLAN**

STATUS:  
**Planning Board Submission  
NOT FOR CONSTRUCTION**

DATE: 06.18.2007	REVISION / DATE:
RAW/RJS	
PROJECT NO. 2003-0040.00	
DRAWN BY: JMG	2007 © Scott Shanks Architects
DWG NO.	



**1 ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



**SSA**  
 Scott Simons Architects  
 76 York Street  
 Portland, Maine 04101  
 Phone 207 772 4666  
 Fax 207 622 4655

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**PROJECT**  
**WAYNFLETE ARTS CENTER**  
**PHASE TWO**  
**ADDITION/ RENOVATION**  
**360 SPRING STREET**  
**PORTLAND, ME**

**TITLE**  
**ROOF PLAN**

**STATUS:**  
**PLANNING BOARD SUBMISSION**  
 NOT FOR CONSTRUCTION

**DATE:** 07.02.2007

**REVISION DATE:**

**PROJECT NO.** 2003-0040.00

**DRAWN BY:**

© Scott Simons Architects

**DWG NO.** **A-1.4**







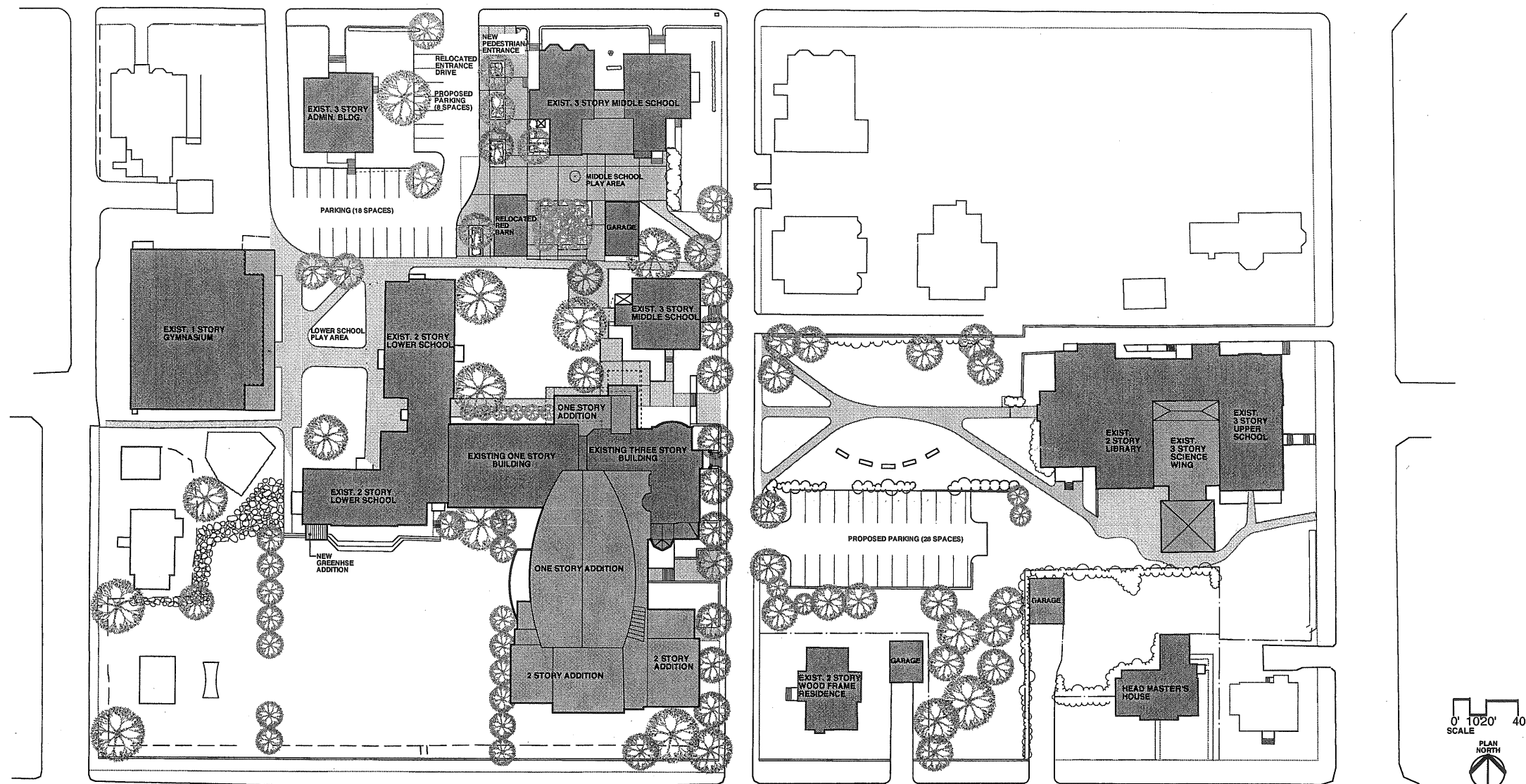
061-F-006

26-36 Storers

Waynelete Art Center

Waynelete Arts Center





*Progress Print*  
*January 30, 2001*

# Waynflete Arts Center

360 Spring Street, Portland, Maine

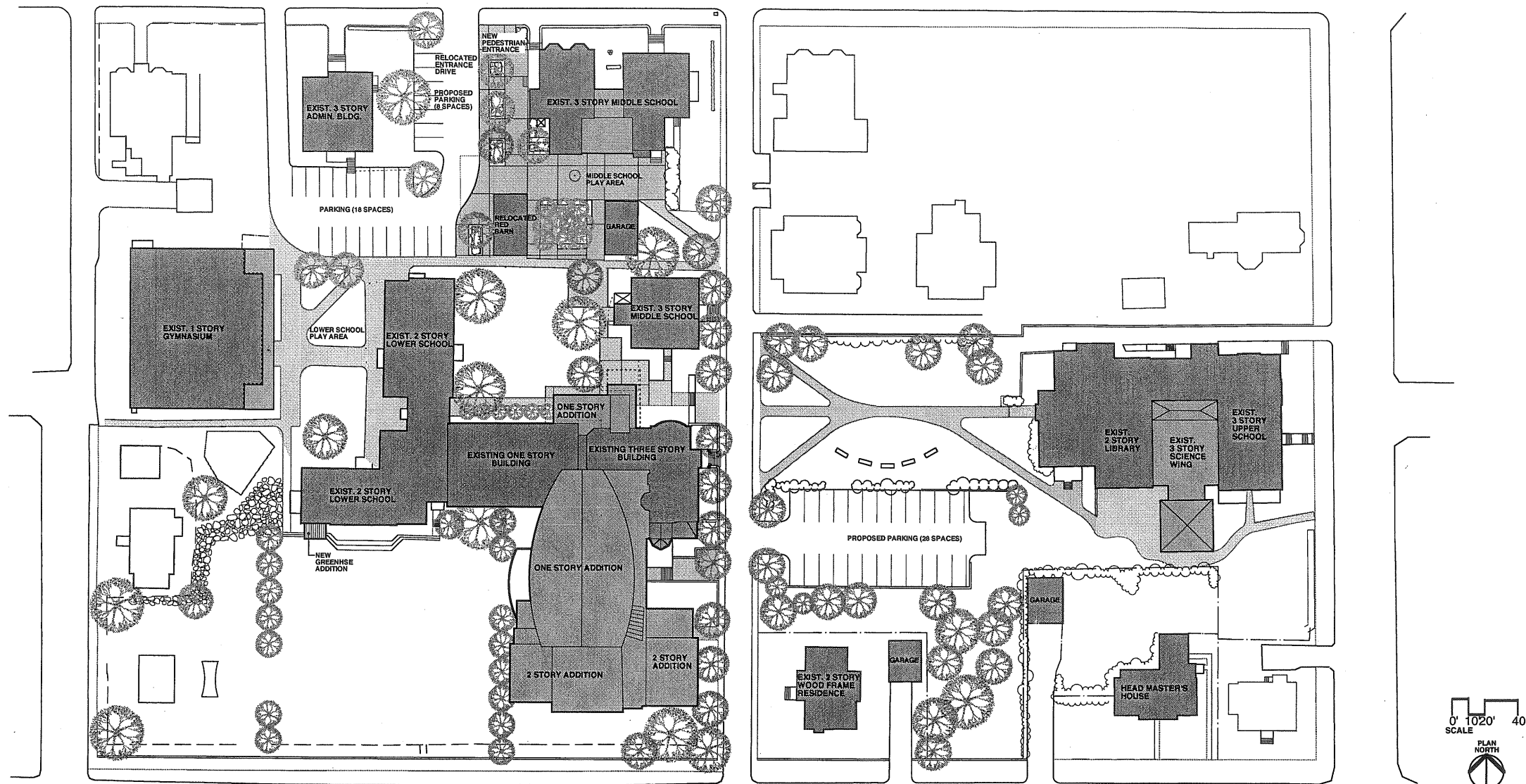
**SSA**  
 Scott Simone Architects  
 15 Franklin Street, 4th Fl.  
 Portland, Maine 04101  
 Phone 207 772 4600  
 Fax 207 728 4500

PROJECT  
**WAYNFLETE SCHOOL**  
 360 SPRING STREET  
 PORTLAND, ME  
 Progress Print  
 January 30, 2001

TITLE  
**REVISED CAMPUS  
 MASTER PLAN**  
 01.10.01

STATUS:  
**DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**

DATE: 01.30.01	REVISION / DATE:
PROJECT NO. 00116.00	
DRAWN BY:	2001© Scott Simone Architects
DWG NO.	



*Progress Print*  
*January 30, 2001*

# Waynflete Arts Center

360 Spring Street, Portland, Maine

**SSI**  
 Scott Simons Architects  
 15 Franklin Street  
 Portland, Maine 04101  
 phone 207 773 4809  
 fax 207 773 4808

PROJECT

**WAYNFLETE SCHOOL**

360 SPRING STREET  
 PORTLAND, ME

Progress Print  
 January 30, 2001

TITLE

**REVISED CAMPUS  
 MASTER PLAN**  
 01.10.01

STATUS:

**DESIGN DEVELOPMENT**  
*NOT FOR CONSTRUCTION*

DATE:

01.30.01

REVISION DATE:

PROJECT NO.:

00116.00

DRAWN BY:

2001 © Scott Simons Architects

DWG NO.:

2  
A3.2

1  
A3.1

2  
A3.1

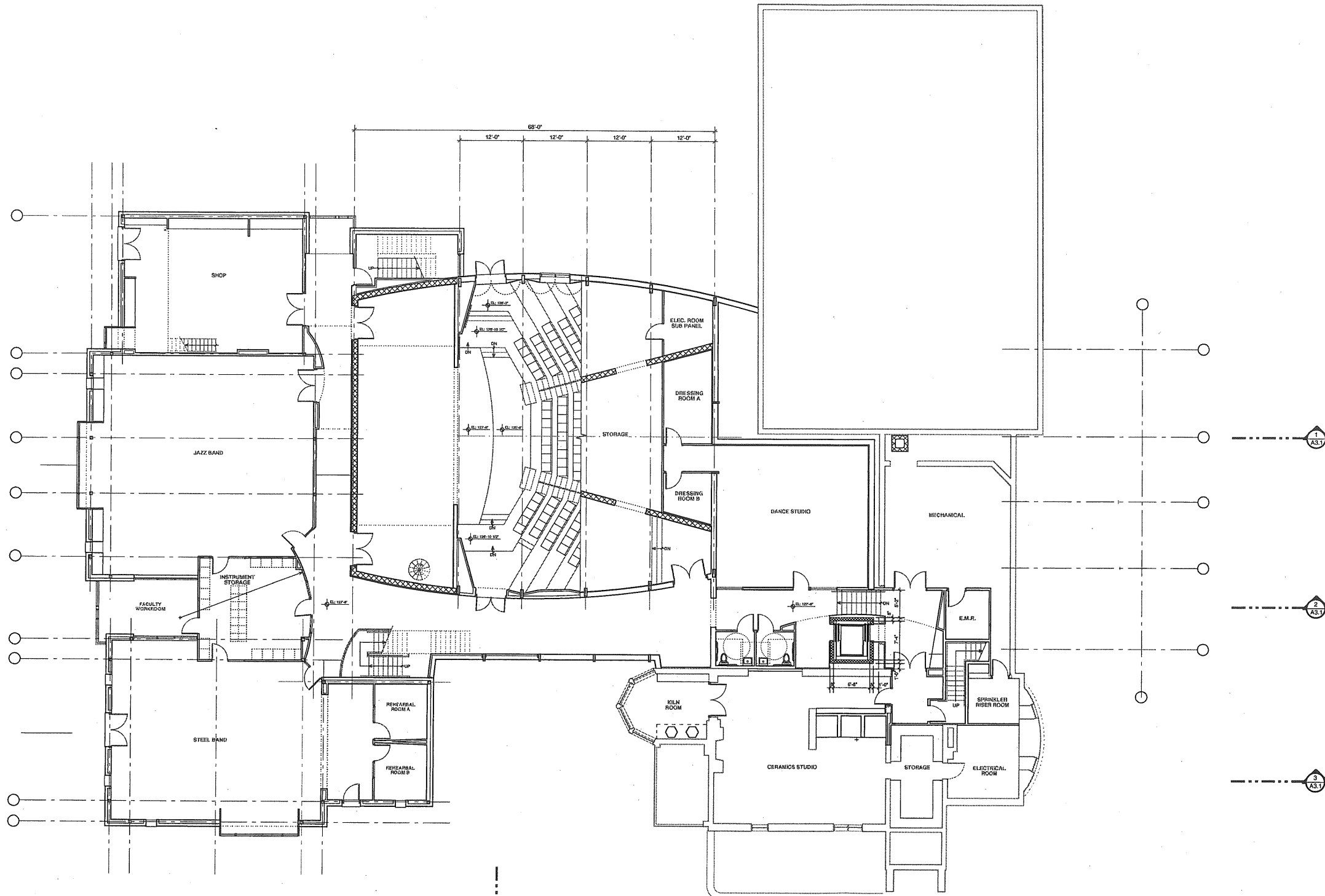
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A3.1

1  
A3.1

2  
A3.1

3  
A3.1

2  
A3.2



GROUND FLOOR PLAN



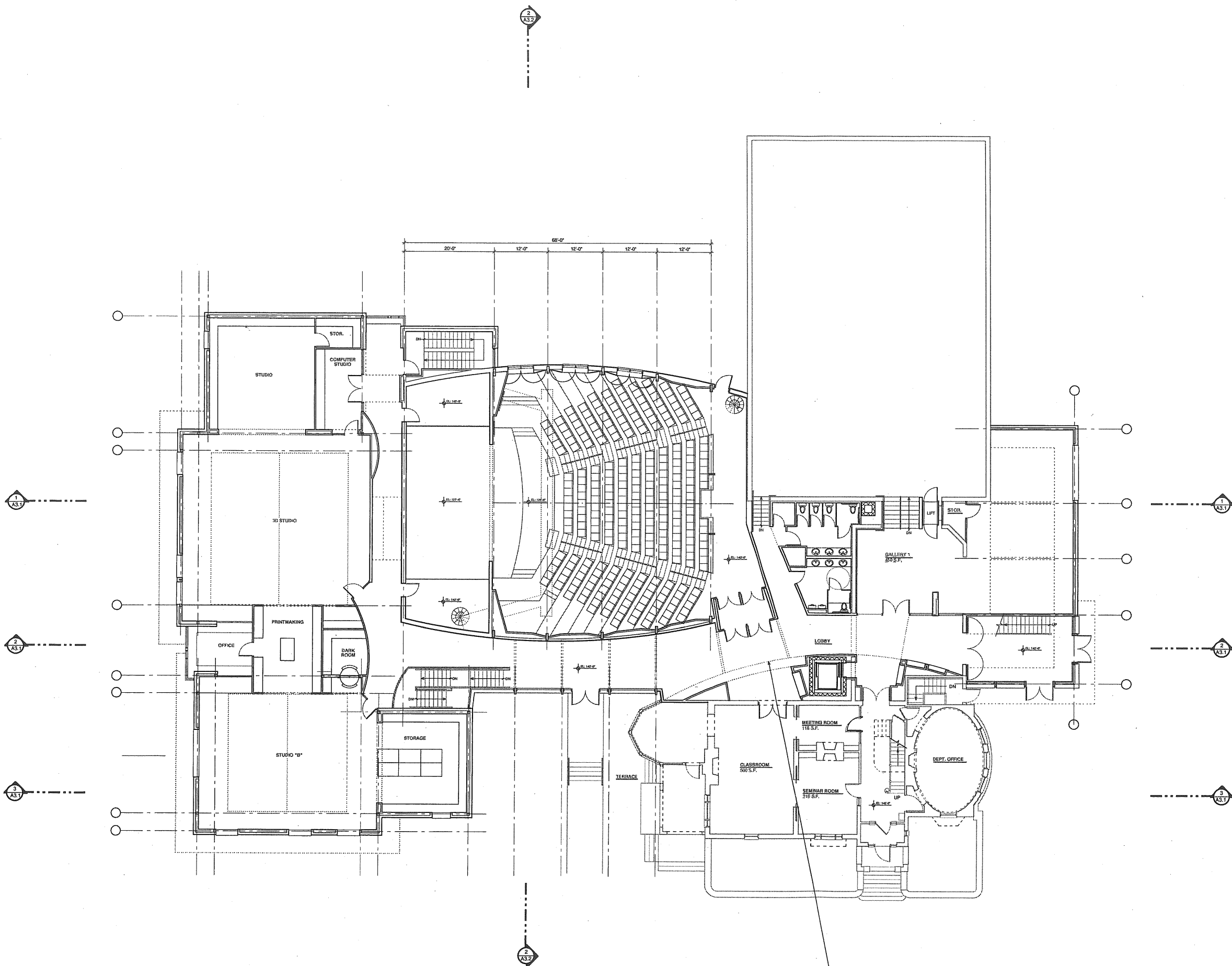
PROJECT  
**WAYNFLETE SCHOOL**  
 360 SPRING STREET  
 PORTLAND, ME  
 Progress Print  
 January 30, 2001

TITLE  
**GROUND FLOOR PLAN**

STATUS:  
**DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**

DATE: 01.30.01 REVISION/DATE:  
 SCALE: 1/8" = 1'-0"  
 PROJECT NO. 00116.00  
 DRAWN BY: 2001 © Scott Simons Architects

DWG NO. **A-1.1**



FIRST FLOOR PLAN



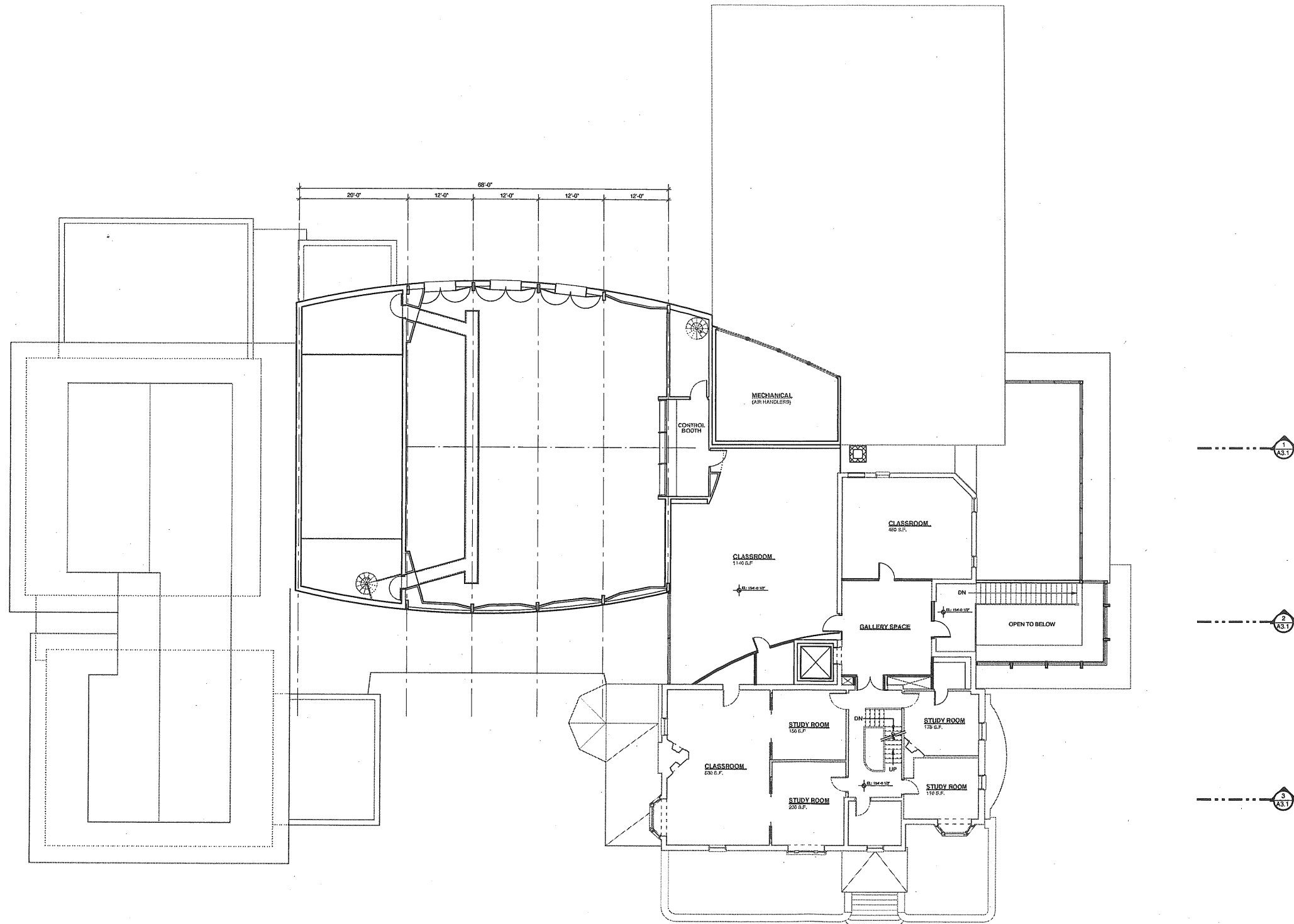
PROJECT  
**WAYNFLETE SCHOOL**  
 360 SPRING STREET  
 PORTLAND, ME  
 Progress Print  
 January 30, 2001

TITLE  
**1ST FLOOR PLAN**  
 Progress Print  
 January 22, 2001

STATUS: **DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**


DATE: 01.20.01	REVISION /DATE:
SCALE: 1/8" = 1'-0"	
PROJECT NO. 00116.00	
DRAWN BY: 2001@ Scott Simons Architects	

DWG NO. **A-1.2**



SECOND FLOOR PLAN



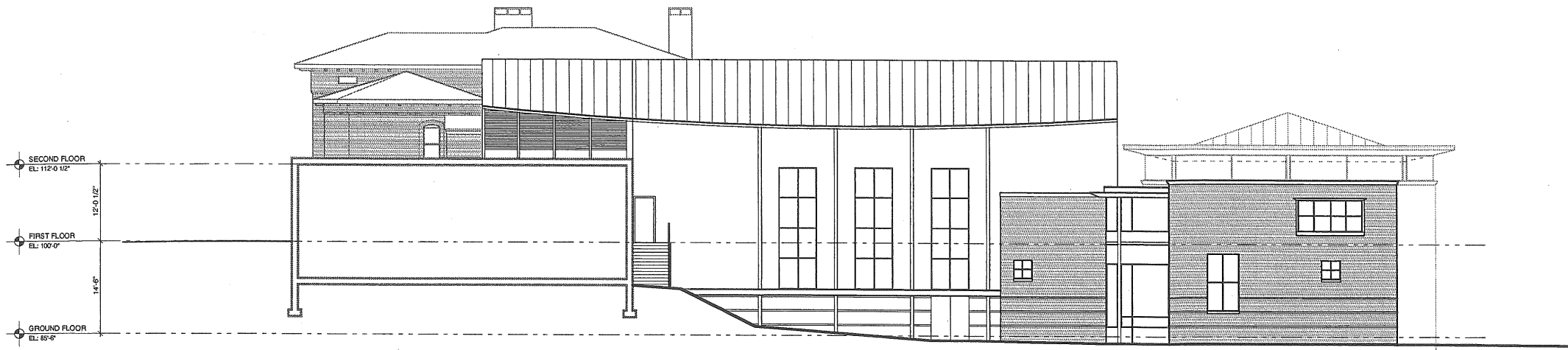
  
 Scott Simons Architects  
 15 Franklin Street Art  
 Portland, Maine 04101  
 Phone 207 772 4654  
 Fax 207 772 4650

PROJECT  
**WAYNFLETE SCHOOL**  
 360 SPRING STREET  
 PORTLAND, ME  
 Progress Print  
 January 30, 2001

TITLE  
**SECOND FLOOR PLAN**

STATUS:  
**DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**

DATE: 01/30/01	REVISION / DATE:
SCALE: 1/8" = 1'-0"	
PROJECT NO. 00716.00	
DRAWN BY:	2001 © Scott Simons Architects
DWG NO.	<b>A-1.3</b>



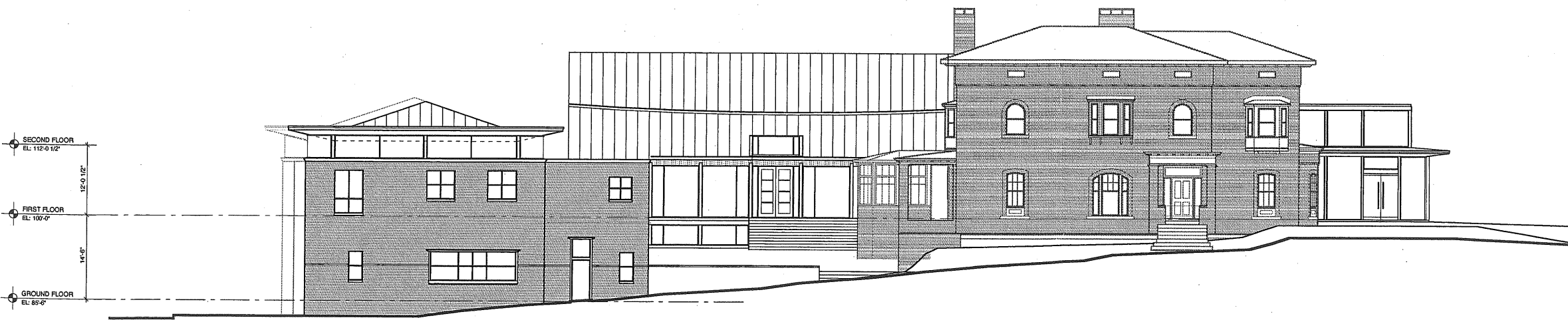
1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



15 Franklin Street Apt  
Portland, Maine 04101  
phone 207 772 4959  
fax 207 526 4596

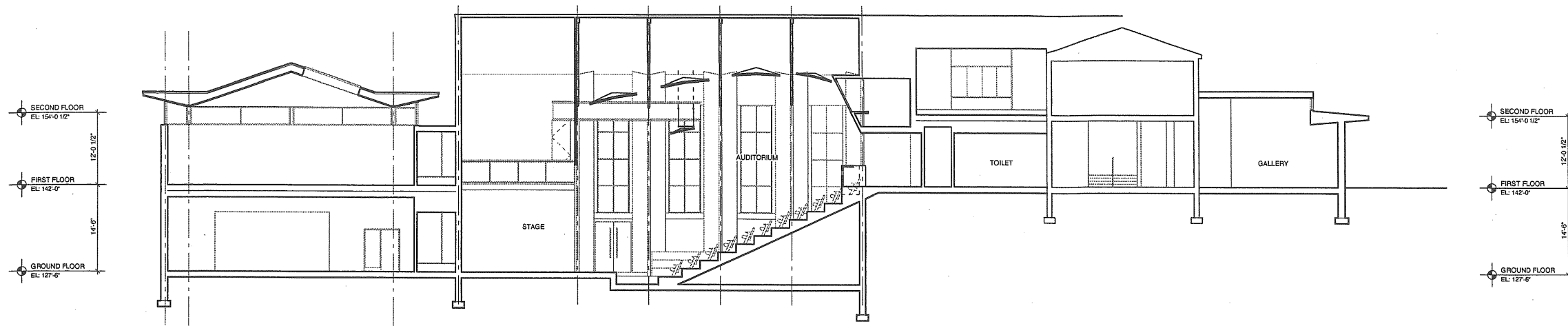
PROJECT  
**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME  
Progress Print  
January 30, 2001

TITLE  
**ELEVATIONS**

STATUS: **DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**

DATE: 01.30.01  
SCALE: 1/8" = 1'-0"  
PROJECT NO. 00116.00  
DRAWN BY: 2001@ Scott Simone Architects

DWG NO. **A-2.1**



SECOND FLOOR  
EL: 154'-0 1/2"

FIRST FLOOR  
EL: 142'-0"

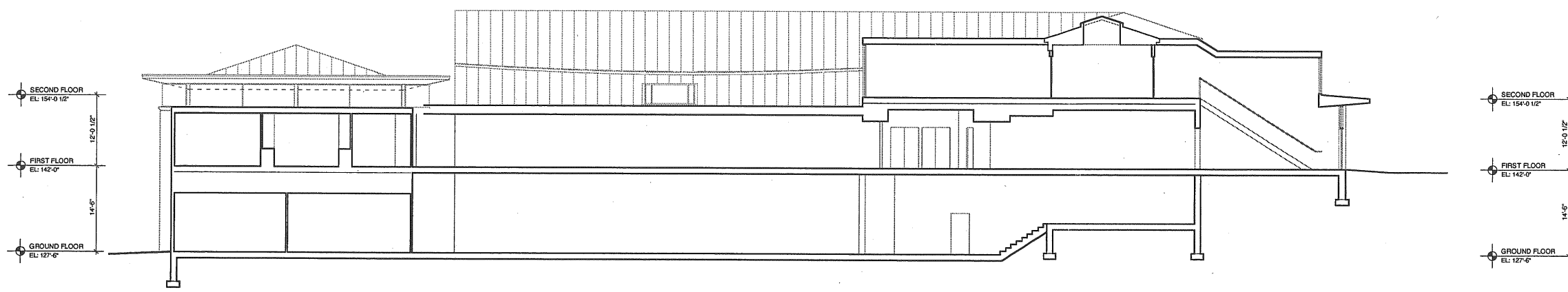
GROUND FLOOR  
EL: 127'-6"

SECOND FLOOR  
EL: 154'-0 1/2"

FIRST FLOOR  
EL: 142'-0"

GROUND FLOOR  
EL: 127'-6"

1 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



SECOND FLOOR  
EL: 154'-0 1/2"

FIRST FLOOR  
EL: 142'-0"

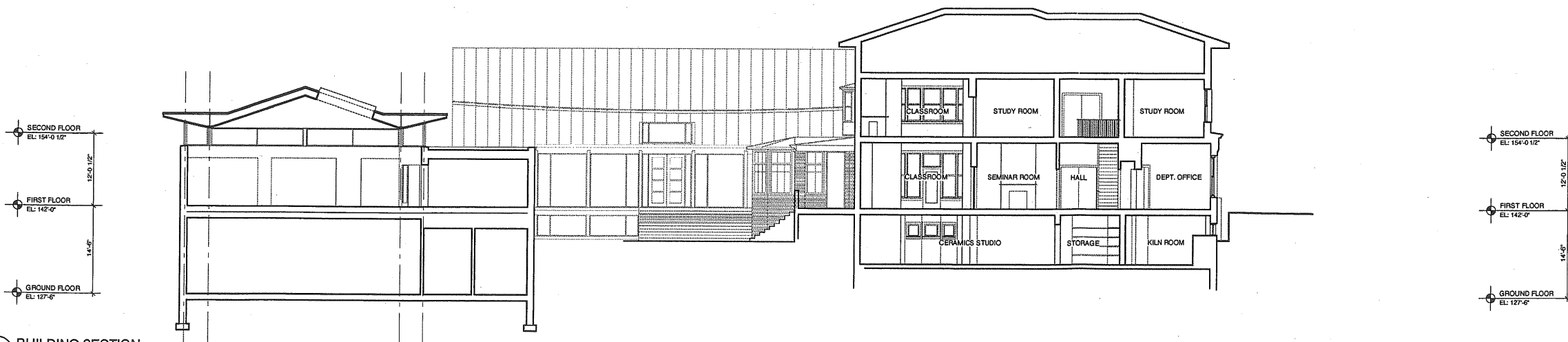
GROUND FLOOR  
EL: 127'-6"

SECOND FLOOR  
EL: 154'-0 1/2"

FIRST FLOOR  
EL: 142'-0"

GROUND FLOOR  
EL: 127'-6"

2 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



SECOND FLOOR  
EL: 154'-0 1/2"

FIRST FLOOR  
EL: 142'-0"

GROUND FLOOR  
EL: 127'-6"

SECOND FLOOR  
EL: 154'-0 1/2"

FIRST FLOOR  
EL: 142'-0"

GROUND FLOOR  
EL: 127'-6"

3 BUILDING SECTION  
SCALE: 1/8" = 1'-0"

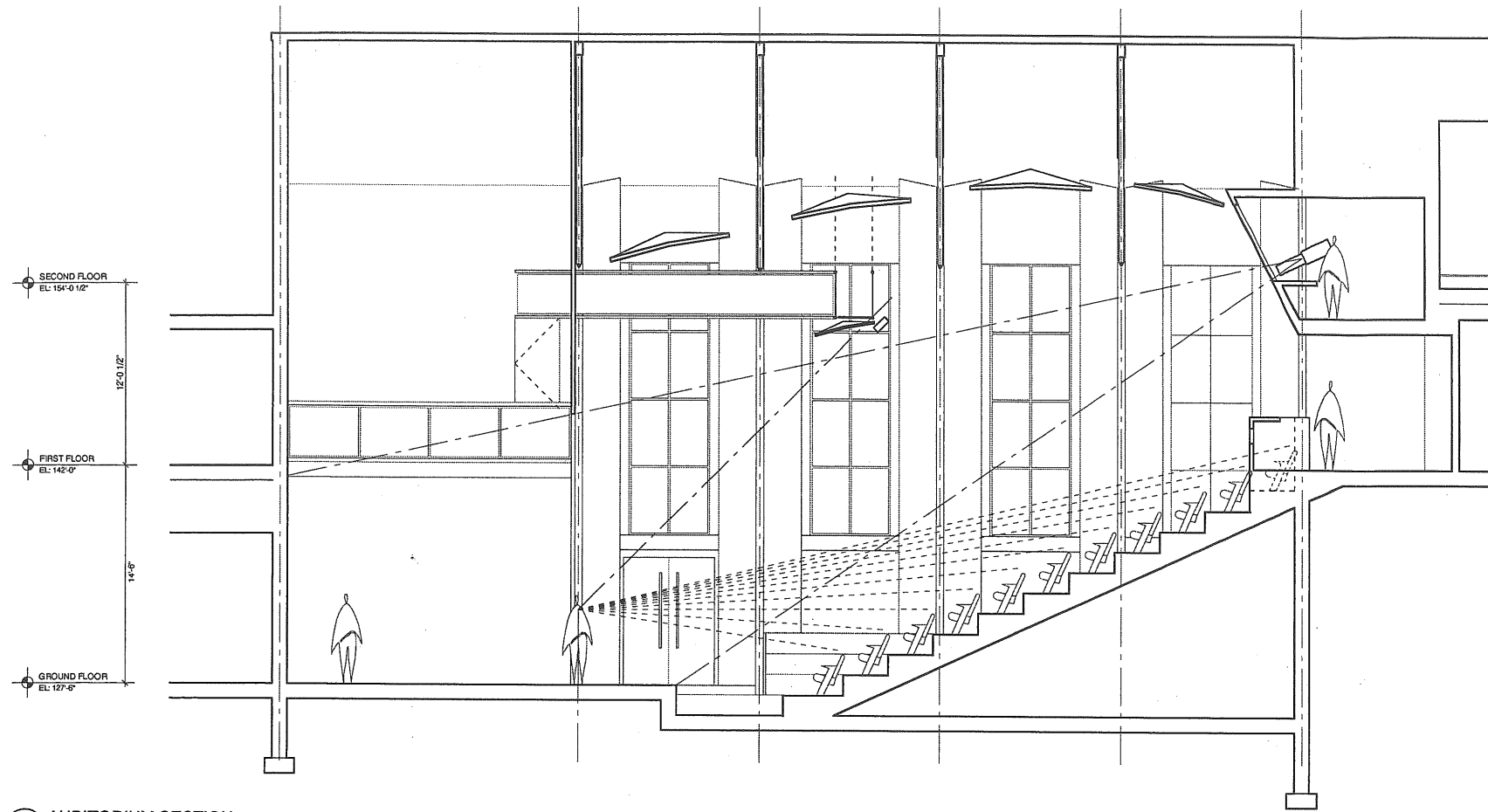


PROJECT  
**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME

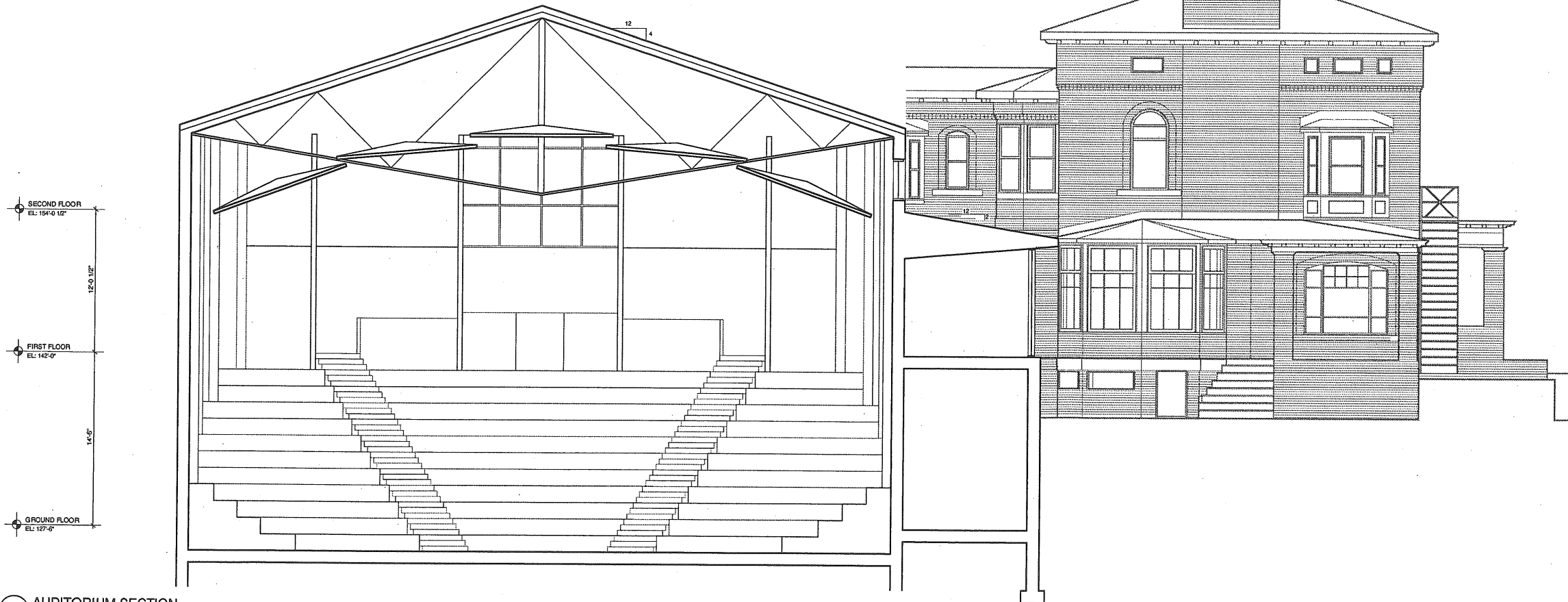
TITLE  
**BLDG SECTIONS**

STATUS: **DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**

DATE: 01.10.01  
SCALE: 1/8" = 1'-0"  
PROJECT NO. 01001.00  
DRAWN BY: 2001@ Scott Simons Architects  
DWG NO. **A-3.1**



1 AUDITORIUM SECTION  
SCALE: 1/4" = 1'-0"



2 AUDITORIUM SECTION  
SCALE: 1/4" = 1'-0"



PROJECT  
**WAYNFLETE SCHOOL**  
360 SPRING STREET  
PORTLAND, ME  
Progress Print  
January 30, 2001

TITLE  
**AUDITORIUM SECTION**

STATUS: DESIGN DEVELOPMENT  
**NOT FOR CONSTRUCTION**

DATE: 01.30.01	REVISION / DATE:
SCALE: 1/4" = 1'-0"	
PROJECT NO. 00116.00	
DRAWN BY: 2001@ Scott Simone Architects	

DWG NO. **A-x.x**



061-F-006

26-36 Storers

Waynelete Art Center

Waynelete Arts Center

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Public Works - Traffic Copy**

20010016  
I. D. Number

Waynelete Arts Center  
Applicant  
306 Spring Street, Portland, ME 04102  
Applicant's Mailing Address  
Scott simons Architect  
Consultant/Agent  
207-772-4656  
Applicant or Agent Daytime Telephone, Fax

2/8/01  
Application Date  
Waynelete Art Center  
Project Name/Description  
360 - 360 Spring St, Portland, Maine 04102 *210-36 Storer*  
Address of Proposed Site  
~~301 F005~~ 061-F-006  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) 23,00 addition  
23,000 sf .8 acres R4  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review
- Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification
- Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan \$500.00 Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date: 2/2/01

**Comments:**

*Jim Robbins Engineering PW*

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

# DOUGLAS TITLE COMPANY

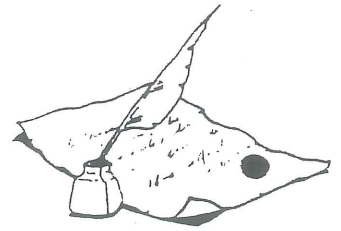
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Yarmouth Office:

45 Forest Falls Drive • Unit A-2  
P.O. Box 1062 • Yarmouth, ME 04096  
(207) 846-3460 • Fax (207) 846-3760

Augusta Office:

45 Melville Street • Suite 3  
P.O. Box 5066 • Augusta, ME 04332-5066  
(207) 622-0471 • Fax (207) 622-0473



July 2, 2007

Anne Hagstrom  
Waynflete School

Dear Anne:

This is to certify that our review of the following deeds confirms that the various parcels described therein comprise contiguous lots located as shown on the attached plan of Waynflete School.

- a. Book 1464, Page 225
- b. Book 1465, Page 426
- c. Book 1693, Page 222
- d. Book 2505, Page 259
- e. Book 2771, Page 491
- f. Book 2908, Page 73

Please do not hesitate to call should you have any questions about this letter.

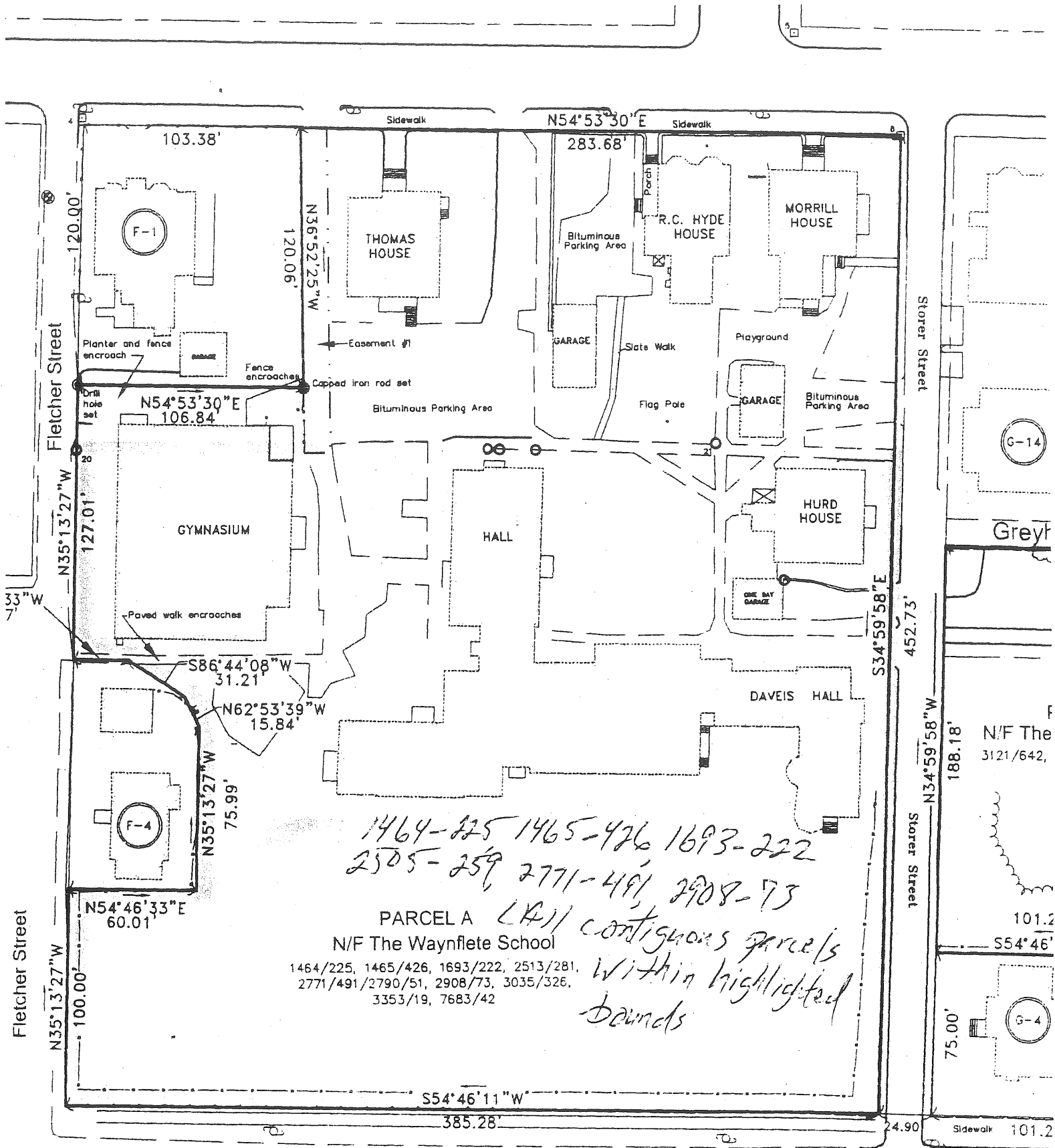
We appreciate the opportunity to be of assistance.

Very truly yours,

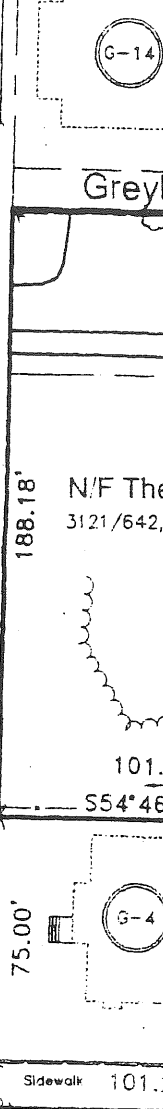
A handwritten signature in cursive script, appearing to read "Donnelly S. Douglas".

Donnelly S. Douglas

DSD/ard



1464-225 1465-426 1693-222  
 2505-259 2771-491 2908-73  
 PARCEL A (A1) contiguous parcels  
 N/F The Waynflete School  
 1464/225, 1465/426, 1693/222, 2513/281,  
 2771/491/2790/51, 2908/73, 3035/326,  
 3353/19, 7683/42  
 within highlighted  
 bounds



# Know all Men by these Presents, That

Waynflète Latin School, Incorporated, a corporation duly organized under and existing by the laws of the State of Maine and having a place of business at Portland, in the County of Cumberland and State of Maine, in consideration of one dollar and other good and valuable considerations to it paid by The Waynflète School, a literary, educational and scientific corporation organized and existing under the provisions of Chapter 70 of the Revised Statutes of Maine and all acts additional thereto and amendatory thereof, and located at said Portland,

do hereby acknowledge do hereby give, grant, bargain, sell and convey unto the said The Waynflète School, its successors and assigns forever, A certain lot or parcel of land with the buildings thereon, situated in said Portland, and bounded and described as follows: Beginning at a point in the northeasterly side line of land conveyed by Caroline M. Crisfield and Agnes P. Lowell to Raffaele Romano by deed dated July 20, 1922, and recorded in Cumberland County Registry of Deeds in Book 1110, at page 27, said point being distant along said northeasterly side line one hundred (100) feet from the northerly side line of Danforth Street; thence south, seventy-one degrees (71°) thirty minutes (30') west, a distance of sixty (60) feet to a point; thence north, eighteen degrees (18°) thirty minutes (30') west, a distance of one hundred fifty-three and three tenths (153.3) feet, to a point; thence south, seventy-one degrees (71°) thirty minutes (30') west, a distance of fifty-six (56) feet to a point; thence north, eighteen degrees (18°) thirty minutes (30') west, a distance of fifty and seven-hundredths (50.07) feet to the southwesterly corner of a thirteen (13) foot passageway described in a deed from Margaret C. Dudley to said Crisfield and Lowell, dated April 30, 1912, and recorded in said Cumberland County Registry of Deeds in Book 891, at page 310; thence north, seventy-one degrees (71°) thirty minutes (30') east, along the northwesterly side line of land conveyed by said Crisfield and said Lowell to said Romano, a distance of one hundred sixteen (116) feet to the northerly corner of land so conveyed and to the land of Charles Cook; thence south, eighteen degrees (18°) thirty minutes (30') east, by land of said Cook and by land of the late Edward Fox, along the northeasterly side line of land conveyed as aforesaid by said Crisfield and Lowell to said Romano, a distance of two hundred three and thirty-seven hundredths (203.37) feet to the point of beginning; together with said certain thirteen (13) foot passageway running from the lot hereby conveyed to Spring Street, said passageway being bounded on the west by land now or formerly of George P. Wescott and on the east by land now or formerly of Julia St. F. Thaxter, subject, however, to rights of passage and use heretofore granted to and in said passageway.

The grantor hereby conveys to The Waynflète School the right to maintain for efficient service to the property hereby conveyed, a sewer, water pipes and gas and electric connections in the present location of such sewer, water pipes and gas and electric connections or in any other location provided by said Raffaele Romano or his heirs and assigns.

The premises herein conveyed are subject to a right of way reserved by said Raffaele Romano for himself, his heirs and assigns, from the land now or formerly belonging to him adjoining the land hereby conveyed on the southwest to said passageway leading to Spring Street and also rights of passage over said passageway leading to Spring Street, said right of way to be an extension of said passageway.

This conveyance is made subject to a certain mortgage from the said Waynflète Latin School, Incorporated to the Maine Savings Bank, dated July 2, 1928 and recorded in said Cumberland County Registry of Deeds, Book 1294, Page 50, which grantee assumes and agrees to pay.

To Have and to Hold the aforesaid and bargained premises, with all the privileges and appurtenances thereof, to the said The Waynflète School, its successors and assigns, to its and their use and behoof forever. And it does covenant with the said grantee, its successors and assigns, that it is lawfully seized in fee of the premises; that they are free of all in cumberances; except as above set out,

that it has ~~have~~ good right to sell and convey the same to the said grantee to hold as aforesaid; and that it and its ~~heirs~~ <sup>successors</sup> shall and will warrant and defend the same to the said grantee, its successors and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, the said Waynflète Latin School, Incorporated has caused these Presents to be signed and its corporate seal to be hereunto affixed by Anne M. Gannett, its President and Philip C. Keith, its Treasurer, hereto duly authorized,

~~was~~ ~~and~~ ~~delivered~~ this 20th day of March in the year of our Lord one thousand nine hundred and thirty-five.

Signed, Sealed and Delivered  
in presence of

Florence M. Hollywood  
Florence M. Hollywood

WAYNFLETE LATIN SCHOOL, INCORPORATED  
CORPORATE SEAL  
By Anne M. Gannett, its President  
And Philip C. Keith, its Treasurer

State of Maine, CUMBERLAND, ss. March -- 1935.

Personally appeared

the above named Anne M. Gannett, by her signed and acknowledged the above instrument, to be the free act and deed of the Waynflète Latin School, Incorporated and of herself as President.  
Before me, Florence M. Hollywood, Notary Public, Notarial Seal.

Received March 20, 1935, at 3 o'clock 30 in. P. M., and recorded according to the original

U.S.I.R.  
\$1.00  
W.L.S.  
Inc.  
3/20/35

Received March 30, 1935, at 11h 25m A. M., and recorded according to the original

Parent  
Realty  
Co.  
to  
Waynflete  
School  
War.

U.S.I.R.  
\$1.00  
P.R.C.  
3/30/35

KNOW ALL MEN BY THESE PRESENTS, That Parent Realty Co., a corporation organized under and existing by the laws of the State of Maine and located at Portland, in the County of Cumberland and State of Maine, in consideration of one dollar and other good and valuable considerations to it paid by The Waynflete School, a literary, educational and scientific corporation organized and existing under the provisions of Chapter 70 of the Revised Statutes of Maine and all acts additional thereto and amendatory thereof, and located at said Portland, the receipt whereof is hereby acknowledged, do hereby give, grant, bargain, sell and convey unto the said The Waynflete School, its successors and assigns forever,

A certain lot or parcel of land situated on the Northerly side of Danforth Street, in Portland, in said County, and bounded and described as follows: Beginning on said side of said Danforth Street at the Southeasterly corner of a certain lot of land conveyed to Raffaele Romano by Caroline M. Crisfield and Agnes P. Lowell by deed dated July 20, 1922, and recorded in Cumberland County Registry of Deeds in Book 1110, Page 27, which corner is on the division line between the land hereby conveyed and land now or formerly of the Estate of Edward Fox, and running thence Northwesterly by said division line one hundred (100) feet, more or less, to land conveyed by said Romano to Waynflete Latin School, Incorporated, by deed dated December 10, 1923, and recorded in said Registry in Book 1158, Page 29; thence Southwesterly by said Waynflete Latin School land to the Southwesterly corner thereof; thence continuing Southwesterly to the Southeasterly corner of a lot of land conveyed by said Romano to Philip J. Deering, Jr., by deed dated September 13, 1926, recorded in said Registry in Book 1244, Page 437; thence continuing Southwesterly by said Deering land to Fletcher Street; thence Southeasterly by said Fletcher Street to Danforth Street; thence Northerly by said Danforth Street to the place of beginning.

Being the same premises conveyed to this Grantor by said Raffaele Romano by warranty deed dated May 19th, 1927, and recorded in said Registry in Book 1265, Page 286.

This conveyance is made subject to a reservation, however, in favor of said Raffaele Romano, his heirs and assigns, of the right to maintain and use a certain sewer running from a building on adjoining land of said Romano across the land hereby conveyed to Danforth Street, with the right to enter whenever necessary upon the land hereby conveyed for the purpose of cleaning, repairing, replacing and removing said sewer, and in the event of such entry the premises are to be restored to their previous condition at the expense of said Romano, his heirs and assigns, exercising such right. Provided, however, that said sewer right may be terminated at any time by the Grantee, its successors and assigns, by giving notice of such termination in writing to the then owner of said adjoining premises served by said sewer, and, in the event of such notice, the then owner of said adjoining premises shall, with

1465  
426

in ninety (90) days of the receipt of said notice, remove and discontinue the use of said sewer at his expense and shall have the right at his expense to run a sewer across the land hereby conveyed at a location to be designated by the Grantee, its successors or assigns, such location to be suitable for the proper drainage of said adjoining premises of said Romano, his heirs and assigns; and the owners of said adjoining premises and of the premises hereby conveyed shall have the same rights and privileges as to said sewer as are herein provided in connection with the existing sewer.

TO HAVE AND TO HOLD the aforegranted and bargained premises with all the privileges and appurtenances thereof, to the said The Wayfleete School, its successors and assigns, to its and their use and behoof forever.

And it does covenant with the said Grantee, its successors and assigns, that it is lawfully seized in fee of the premises, that they are free of all incumbrances except as above set out, that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that it and its successors, shall and will warrant and defend the same to the said Grantee, its successors and assigns forever, against the lawful claims and demands of all persons.

IN WITNESS WHEREOF, the said Parent Realty Co. has caused these presents to be signed and a wafer seal which it adopts as its corporate seal to be hereunto affixed by Spaulding Bisbee, its President and William D. Ireland, its Treasurer, hereto duly authorized this 30th day of March, in the year of our Lord one thousand nine hundred and thirty-five.

Signed, Sealed and Delivered in Presence of

Florence M. Hollywood

PARENT REALTY CO. Seal

By Spaulding Bisbee, Its President

And William D. Ireland Its Treasurer

State of Maine. Cumberland, ss. March 30th, 1935. Personally appeared the above named Spaulding Bisbee and acknowledged the above instrument by him signed to be the free act and deed of the Parent Realty Co. and of himself as President.

Before me, Roger V. Snow Justice of the Peace

Received March 30, 1935, at 11h 45m A. M., and recorded according to the original

KNOW ALL MEN BY THESE PRESENTS, That I, Claud H. Thomas of Otisfield, in the County of Cumberland and State of Maine mortgagee owner of a certain mortgage given by Lester F. Thomas of Otisfield, in the County of Cumberland and State of Maine to me dated March 30, 1934 A. D. and recorded in Cumberland Registry of Deeds, Book 1435, Page 196, do hereby acknowledge that I have received full payment and satisfaction of the same and of the debt thereby secured, and in consideration thereof I do hereby cancel and discharge said mortgage, and release unto the said Lester F. Thomas, his heirs and assigns forever the premises therein described.

IN WITNESS WHEREOF, I the said Claud H. Thomas have hereunto set my hand and seal this twenty-ninth day of March A. D. 1935.

Thomas  
to  
Thomas  
Disch.

# Know all Men by these Presents, That

I, Ethel Fox Baxter, of Cape Elizabeth in the County of Cumberland and State of Maine,

In consideration of one dollar and other valuable considerations paid by Waynflete School, a corporation organized and existing under the laws of the State of Maine and located at Portland in said County of Cumberland and State of Maine, the receipt whereof I do hereby acknowledge, do hereby give, grant, bargain, sell and convey unto the said Waynflete School, its successors and assigns forever, the following described property:

A certain lot or parcel of land with the buildings thereon situated on the northerly side of Danforth Street and westerly side of Storer Street in said City of Portland, bounded and described as follows: Beginning on the northerly side of Danforth Street at the easterly corner of land formerly of T. C. Hersey; thence easterly on Danforth Street one hundred seventy-four (174) feet six and one-half (6½) inches to the center line of Storer Street; thence northerly parallel with said Hersey line and in the middle line of said Storer Street two hundred twenty-seven (227) feet more or less to a point equally distant from Spring Street and Danforth Street; thence westerly one hundred seventy-four (174) feet six and one-half (6½) inches to said Hersey land; thence southerly by said Hersey land to said Danforth Street at the point of beginning, subject to the location of the westerly half of a way twenty-five (25) feet wide now known as Storer Street.

Being the same premises conveyed to me by Clinton L. Baxter, Trustee, by deed dated April 23, 1901, recorded in Cumberland County Registry of Deeds in Book 851, Page 77.

U.S.I.R.  
\$7.70  
E.F.B.  
10/1/42

Do Give and do Hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said Waynflete School, its successors

terms and assigns, to its and their use and behoof forever. And I do covenant with the said Grantee, its successors heirs and assigns, that I am lawfully seized in fee of the premises; that they are free of all incumbrances;

that I have good right to sell and convey the same to the said Grantee to hold as aforesaid; and that I and my heirs, shall and will warrant and defend the same to the said Grantee, its successors heirs and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, I, the said Ethel Fox Baxter by Ellen B. Moyer, my Attorney acting under power of Attorney, dated February 12, 1942 and recorded in Cumberland County Registry of Deeds, said Ethel Fox Baxter being a widow,

my hand and seal this first day of October one thousand nine hundred and forty-two. have hereunto set in the year of our Lord

Signed, Sealed and Delivered in presence of

John F. Dana

Ethel Fox Baxter

Seal

by Ellen B. Moyer, her attorney

State of Maine, CUMBERLAND, M. October 1, 1942.

Personally appeared

the above named Ellen B. Moyer, Attorney for Ethel Fox Baxter, and acknowledged the above instrument to be her free act and deed. in her said capacity and the free act and deed of said Ethel Fox Baxter. Before me, John F. Dana, Justice of the Peace.

Received October 1 1942, at 1 o'clock 44 m. P. M., and recorded according to the original.



2505 259

259

Know All Men by These Presents.

That We, ALBERT W. ROMANO and RALPH ROMANO, JR., both of Portland, in the County of Cumberland and State of Maine,

in consideration of One Dollar (\$1.00) and other valuable consideration,

paid by THE WAYNFLETE SCHOOL, a charitable and educational corporation organized and existing under the laws of the State of Maine and located in said Portland,

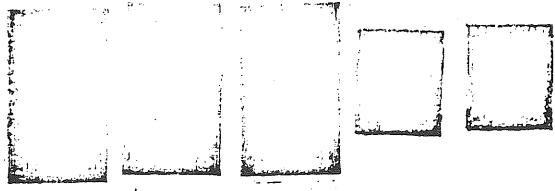
the receipt whereof we do hereby acknowledge, do hereby give, grant, bargain, sell and convey unto the said THE WAYNFLETE SCHOOL, its successors

and assigns forever, a certain lot or parcel of land with the buildings thereon situated in part on the easterly side of Fletcher Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a point marked by an iron on the said easterly side of Fletcher Street one hundred and ninety (190) feet northerly from a stone post located at the intersection of the northerly side of Danforth Street and the easterly side of said Fletcher Street, said point of beginning also being the northwesterly corner of land now or formerly of Philip J. Deering, Jr.; thence running easterly by said Deering land sixty (60) feet to an iron; thence running southerly at right angles with said last named course by said Deering land ninety (90) feet to an iron and land now or formerly of the Parent Realty Company one hundred and three (103) feet to an iron and land now or formerly of the Waynflete Latin School, Incorp.; thence northerly by land of said Waynflete Latin School, Incorp. one hundred fifty-three and three tenths (153.3) feet to a point; thence westerly at right angles with said last named course and by land of said Waynflete Latin School, Incorp. fifty-six (56) feet to an iron; thence northerly by land of said Waynflete Latin School, Incorp. fifty and one-tenth (50.1) feet to an iron situated at the southeast corner of land now or formerly of Sarah A. Wescott; thence westerly by land now or formerly of Sarah A. Wescott one hundred seven and seven tenths (107.7) feet to a passageway leading southerly from Spring Street to Fletcher and Orchard Streets; thence southerly by said passageway and by the easterly line of Fletcher Street ninety-three and nine tenths (93.9) feet to an iron; thence same course southerly twenty (20) feet to an iron and point of beginning.

Subject, however, to certain rights of way and easements as more particularly set forth in a certain Warranty Deed given by Raffaele Romano to Philip J. Deering, Jr., dated September 13, 1926 and recorded in Cumberland County Registry of Deeds in Book 1244, Page 437, to which deed reference is hereby made for a more particular description of said rights and easements.

The above described premises are a portion of the premises conveyed to said Raffaele Romano by Caroline M. Crisfield et al by Warranty Deed dated July 20, 1922 and recorded in said Registry of Deeds in Book 1110, Page 27.



WD  
10/8/59  
10/9/59

Romano & to Waynflete School -- War

SFS  
AWR  
Crista C. Romano (AWR)  
R.R. Jr.  
Gene B. Romano (AWR)

Chandler  
ever.  
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andler,

ring  
s this  
r Lord



1959

ndeed.  
is Peace

Know All Men by these Presents.

That I, RUTH COOK HYDE of Portland in the County of Cumberland and State of Maine

Hyde

to

in consideration of One Dollar (\$1.00) and other valuable considerations, being less than One Hundred Dollars (\$100.00)

Waynflete School

paid by WAYNFLETE SCHOOL, a corporation organized and existing under the laws of Maine and located at Portland in the County of Cumberland and State of Maine

War

the receipt whereof I do hereby acknowledge, do hereby give, grant, bargain, sell and convey unto the said Waynflete School, its successors

Heirs and Assigns forever.

the following described property:

A certain lot or parcel of land situated in said Portland beginning at the southeasterly corner of land of the Grantor adjoining the southwesterly corner of land, now or formerly, of Donald P. Hurd et al; thence northerly by said Hurd land eighty (80) feet, more or less, to its northwesterly corner; thence westerly eighty-seven and one-half (87½) feet to the northeasterly corner of land of the Grantee; thence southerly by Grantee's land seventy-eight (78) feet, more or less, to an angle and other land of the Grantee; thence easterly by the Grantee's land eighty-seven and one-half (87½) feet to the point of beginning.

Being the southerly portion of the premises conveyed to Charles Cook by Joseph W. Symonds, Assignee, by deed dated December 23, 1886, recorded in Cumberland County Registry of Deeds in Book 531, Page 430, and by Anna Louise Wilson by deed dated June 23, 1887, recorded in said Registry of Deeds in Book 533, Page 323.

This conveyance is made subject to the following restrictions which shall run with the land for the benefit of the remaining portion of said premises:

- (1) said lot shall not be used as a playground;
- (2) no structure shall be built upon any portion of said premises except that a building not exceeding in height above sea level the present roof of Sills Hall, so-called, may be erected upon the most southerly twenty (20) feet of said land.

WD  
6/1/62  
8/29/63

S+S  
RCH  
(widow)

2908-73

73  
73

(108)

**Know all Men by these Presents,**

That We, DONALD P. HURD and JOSEPHINE A. HURD, both of Portland,  
in the County of Cumberland and State of Maine,

in consideration of One Dollar (\$1.00) and other good and valuable  
considerations to us

paid by WAYNFLETE SCHOOL, a charitable corporation located in Portland  
in said County and State,

the receipt whereof we do hereby acknowledge, do hereby  
give, grant, bargain, sell and convey unto the said Waynflete School, its  
successors ~~and~~ assigns forever,

a certain lot or parcel of land, with the buildings thereon situated  
on the westerly side of Storer Street in Portland, in the County of  
Cumberland and State of Maine, bounded and described as follows:

Beginning on said westerly side of Storer Street and the north-  
easterly corner of land formerly of Edward Fox; thence westerly by  
said Fox land and parallel with Spring Street to land formerly of  
J. S. Wilson; thence northerly by said Wilson land about eighty (80)  
feet to land formerly of Seth C. Dyer; thence easterly by said Dyer  
land and parallel with said first described line to said westerly side  
of said Storer Street; thence southerly by said westerly side of said  
Storer Street about eighty (80) feet to the point begun at, together  
with all our right, title and interest in and to said Storer Street.

Reference may be had to deed from Joshua C. Libby to Alice  
Milliken Libby dated August 3, 1928 and recorded in Cumberland County  
Registry of Deeds, Book 1302, Page 77 and deeds therein mentioned.

Being the same premises conveyed to us by Warranty Deed of  
James C. Foster and Ann F. Foster recorded in Cumberland County  
Registry of Deeds.

Hurd &

to

Waynflete  
School

War

74

To Have and to Hold the aforegranted and bargained premises with all the privileges and appurtenances thereof to the said Waynflete School, its successors

And we assigns, to them and their use and behoof forever. And we COVENANT with the said Grantee, its successors and assigns, that we are lawfully seized in fee of the premises that they are free of all encumbrances: that we have good right to sell and convey the same to the said Grantee to hold as aforesaid; and that we and our heirs shall and will WARRANT and DEFEND the same to the said Grantee, its successors and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, We the said DONALD P. HURD

and JOSEPHINE A. HURD, being husband and wife

and each

joining in this deed as Grantor, and relinquishing and conveying all rights by descent and all other rights in the above described premises, have hereunto set our hands and seals this 12 day of July in the year of our Lord one thousand nine hundred and sixty-five.

Signed, Sealed and Delivered in presence of

Donald P. Hurd (Donald P. Hurd) Josephine A. Hurd (Josephine A. Hurd)



State of Maine, Cumberland

July 12, 1965

Personally appeared the above named Donald P. Hurd

and acknowledged the above



instrument to be his free act and deed.

Before me, Mary E. Butterfield Notary Public Justice of the Peace.

My Commission Expires January 31, 1977

STATE OF MAINE

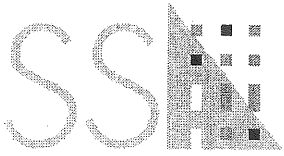
CUMBERLAND, ME.

REGISTRY OF DEEDS

Received at 2:15 P.M. on JUL 14 1965 and recorded in Book 2908 Page 73

Attest Donald P. Hurd

Register



Scott Simons Architects

MEMO

15 Franklin St.  
Portland, ME 04101

(207) 772-4656  
(207) 828-4656 FAX  
E MAIL: austin@simonsarchitects.com

Date: February 5, 2001  
Project name/number: Waynflete Arts Center, SSA #00116.00  
Re: Additional Information for Planning Board Workshop  
From: Scott Simons  
To: Deb Andrews and the Planning Board  
Cc: H. Gulak, C. Beaven, A. Smith, Jobfile 3.1

---

Attached please find a copy of the Site Review Pre-application Form and the Construction Budget for the proposed Arts Center Addition at the Waynflete School. The School will be sending you copies of the Deeds directly.

As noted in the Site Plan Application, all parcels proposed to be developed are owned by The Waynflete School, 360 Spring Street, Portland, Maine 04102. The Construction Budget is estimated between \$4,014,000-4,554,000.00, as outlined on the attached budget summary sheets.

Please review this submittal at your earliest convenience and let me know if you need any additional information.

Thank you, Scott Simons

1410  
FEB - 5

**Site Review Pre-Application**  
**Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling**  
**or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.

<u>The Waynflete School</u>	<u>02/05/01</u>
Applicant	Application Date
<u>360 Spring Street, Portland 04102</u>	<u>Waynflete Arts Center</u>
Applicant's Mailing Address	Project Name/Description
<u>Scott Simons Architects</u>	<u>Storer Street, Portland</u>
Consultant/Agent	Address Of Proposed Site
<u>707-772-4656</u>	

Applicant/Agent Daytime telephone and FAX \_\_\_\_\_ Assessor's Reference, Chart#, Block, Lot# \_\_\_\_\_

Proposed Development (Check all that apply)  New Building  Building Addition  Change of Use  Residential  Office  Retail  Manufacturing  Warehouse/Distribution  Other(Specify) \_\_\_\_\_

<u>23,000 SF Addition / 9,000 SF Renovations</u>	<u>TOTAL CAMPUS = 5.5 ACRES</u>	
Proposed Building Square Footage and /or # of Units	<u>PROJECT SITE = 0.8 ACRES</u>	<u>R-4 Western Prom</u>
	Acreage of Site	Zoning

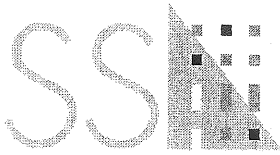
You must include the following with you application:  
A Copy of Your Deed or Purchase and Sale Agreement  
9 sets of Site Plan packages containing the information found in the attached sample plans and checklist.  
Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce provisions of the codes applicable to this approval.

Signature of applicant: <u>[Signature]</u>	Date: <u>02/05/01</u>
--	-----------------------

Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.



Scott Simons Architects

15 Franklin St.  
Portland, ME 04101

(207) 772-4656  
(207) 828-4656 FAX  
E MAIL: austin@simonsarchitects.com

Date: November 14, 2000  
Project name/number: Wayflete Arts Center, SSA #00116.00  
Re: Recommendation  
From: Scott Simons  
To: Board of Trustees  
Cc: Committee Members, Jobfile 3.1

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### **Recommendation**

The Wayflete Arts Center

After careful consideration of the many options reviewed by the Building Committee, we would like to recommend Scheme #6, as revised for the November 13, 200 Committee Meeting, as the preferred design scheme. We feel it represents the best combination of all schemes considered, and offers the most cost effective solution for the new Arts Center project. Our recommendation includes reducing the size of the Auditorium from 325 to 275 seats, as agreed at the last Committee meeting.

### **Scheme #6, Revised: November 13, 2000**

•New Construction:		
Classrooms, etc.	19,500 SF @ \$135-150/SF	2,632-2,925,000.00
New Auditorium	4,100 SF @ \$180-200/SF	738- 840,000.00
Sub-total		\$3,360-3,765,000.00
•Waldron Auditorium:	4,100 SF @ \$50/SF	205,000.00
Renovate for new Multi-purpose Room/Studios/Rehearsal Rooms		
•Daveis Hall	8,980 SF @ \$50-65/SF	449-584,000.00
Renovate for classrooms		
<b>Total Estimated Construction Cost:</b>		<b>\$4,014-4,554,000.00</b>
<b>Total Estimated Project Cost:</b>		<b>\$5,017-5,692,500.00</b>

## Phase One Recommendation

This phasing options is presented for your consideration. The goal was to achieve a phase of work during the summer of 2001 that would add a significant amount of program the space available in the arts complex for the study of performing and visual arts, while preserving as many options as possible for future Phases.

Phase One would include the addition of three studio/rehearsal spaces of approximately 1,000-1,200 SF each, as well as a new entrance, some sitework, and renovations to the back section of Daveis. We also recommend minor renovations to the auditorium, to fix the roof, insulate, and make it function better for theatrical productions. No additional seating is proposed with this Phase.

1.	Build a three-story addition in the "L" of Daveis, with one large studio/classroom per floor: 4,320 SF @ \$135-150/SF	\$ 583,200-	648,000
2.	Build the new entrance and gallery: 1,200 SF @ \$135-150/SF	\$ 162,000-	180,000
3.	Reconfigure site around new entrance	\$ 30,000-	50,000
4.	Renovate "L" of Daveis, all three floors: 3,000 SF @ \$50-65/SF:	\$ 150,000-	195,000
5.	Minor renovations to Auditorium: 4,200 SF @ \$20-25/SF	\$ 84,000-	105,000
<b>Total Estimated Construction Cost:</b>		<b>\$1,009,200-</b>	<b>1,178,000</b>
<b>Total Estimated Project Cost:</b>		<b>\$1,261,500-</b>	<b>1,472,500</b>



**WAYNFLETE SCHOOL ARTS CENTER**  
**Project Budget**

11/14/00

**CATEGORY**

**SCHEME #6**

**Phase One**

**REMARKS**

**Part I: Construction**

1	New Construction		3,550,000	790,000	
2	Renovation		725,000	170,000	
3	Asbestos Removal				
4	Site Development		INCLUDED	40,000	
5	Special Construction				
6	5% Estimating contingency		213,750	48,200	
7		Part I Subtotal	<b>4,488,750</b>	<b>1,048,200</b>	

**Part II: Administrative Cost & Reserve**

8	Land		0	0	
9	Furniture, Fixtures & Equipment		100,000	25,000	Allowance
10	Advertising/Printing		5,000	1,200	Allowance
11	Insurance/Legal		0	0	
12	One Percent for Art		0	0	
13	Bid Contingency		213,750	48,200	5% of Lines 1 & 2
14	Construction Contingency		213,750	48,200	5% of Lines 1 & 2
15		Part II Subtotal	<b>532,500</b>	<b>122,600</b>	

**Part III: Fees & Services**

16	Architect/Engineer (New Construction)		319,500	71,100	9% of Line 1
17	Architect/Engineer (Renovation)		65,250	15,300	9% of Line 2
18	A/E Reimbursables		5,000	1,500	
19	Survey/Soils/Borings		5,000	2,500	
20	Materials Testing		2,500	2,500	
21	Life Cycle Cost Analysis		0	0	
22	Construction Clerk		0	0	
23		Part III Subtotal	<b>397,250</b>	<b>92,900</b>	
24					
25		<b>Total Cost</b>	<b>5,418,500</b>	<b>1,263,700</b>	

CITY OF PORTLAND, MAINE  
PLANNING BOARD

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Jaimey Caron, Chair  
Deborah Krichels, Vice Chair  
Kenneth M. Cole III  
Cyrus Y. Hagge  
Erin Rodriguez  
Mark Malone  
Orlando E. Delogu

May 23, 2001

Mr. Scott Simons  
Scott Simons Architects  
15 Franklin Street  
Portland, ME 04101

RE: Arts Center Addition to the Waynflete School  
(ID# 20010016, CBL#061-F-006)

Dear Mr. Simons:

On May 22, 2001 the Portland Planning Board voted 5-0 (Malone and Krichels absent) that the plan meets the Standards for Review of Construction and the Standards for Review of Alterations of the Historic Preservation Ordinance.

The Planning Board also voted 5-0 (Malone and Krichels absent) that the plan is in conformance with the Conditional Use Standards of the Land Use Code.

The Planning Board also voted 5-0 (Malone and Krichels absent) that the plan is in conformance with the Site Plan Standards of the Land Use Code with the following conditions:

1. *The applicant will provide staff with catalog cuts for wall and pole mounted fixtures that are in compliance with the lighting standards.*
2. *The applicant will coordinate and satisfactorily determine the function of the existing 8" pipes that will be impacted by the project. If they are determined to be pipes that carry combined flows of sewer and storm water, then the Public Works Dept. must be contacted and any possible removal or other remedial measures made to offset any new flows introduced into the system.*
3. *The applicant and their contractor must contact the DRC during construction to inspect the trench drain and storm drain installation with specific emphasis on the gradation of materials. The Stormwater report contains specific statements regarding the required materials and evidence of material acceptance should be required during construction.*
4. *The applicant will maintain all streets free and clear of mud and debris and shall be responsible to sweep or clean the streets immediately upon notice from the Public Works or Planning Departments.*

5. *The applicant, upon completing a realignment of the proposed parking lot requiring minimal tree removal, shall meet with staff and have staff approve the proposed changes.*
6. *Tree protection methods for all trees must be demonstrated and no re-grading, site work or storage of materials should occur within the drip-line.*
7. *The existing crabtrees or comparable plantings will be transplanted or planted to screen the proposed parking area.*
8. *Eight additional 5-6' high evergreens be planted within the remaining pine grove.*
9. *If the Hemlock trees cannot be saved in the area between the proposed parking area and the building on Emery Street, additional trees will be planted at a ratio of 3:1 in the area to assist in the screening of the parking area.*

Please note the following provisions and requirements for all site plan approvals:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

# CITY OF PORTLAND, MAINE

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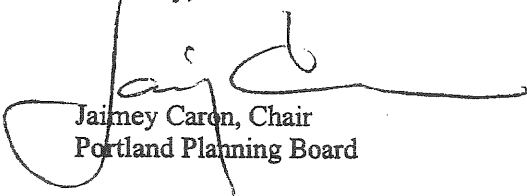
## PLANNING BOARD

Jaimey Caron, Chair  
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Erin Rodriguez  
Mark Malone  
Orlando E. Delogu

6. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

The approval is based on the submitted application, site plan, and stated conditions. If there are any questions, please contact the planning staff.

Sincerely,



Jaimey Caron, Chair  
Portland Planning Board

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development  
Alexander Jaegerman, Chief Planner  
Jonathan C. Spence, Planner  
P. Samuel Hoffses, Chief Building Inspector  
✓ Marge Schmuckal, Zoning Administrator  
William Bray, Deputy Director/City Traffic Engineer  
Jeff Tarling, City Arborist  
Lt. Gaylen McDougall, Fire Prevention  
Penny Littell, Associate Corporation Counsel  
Mary Gresik, Building Permit Secretary  
Development Review Coordinator  
Lee Urban, Director of Economic Development  
Susan Doughty, Assessor's Office  
Approval Letter File

Inspection Services  
Michael J. Nugent  
Manager



Department of Urban Development  
Joseph E. Gray, Jr.  
Director

## CITY OF PORTLAND LEGAL NOTICE

February 8, 2001

**Site Location:** 26-36 Storer Street  
**Nature of Project:** 23,000 s.f. addition  
**C/B/L:** 061-f-006

Dear Property Owner;

A Major Site Plan Application was submitted to the City of Portland Inspections Office on February 2, 2001 from Scott Simons Architects representing Waynflete Schools. The applicant is requesting to 23,000 s.f. Arts Center, which will include a new auditorium seating 282 people, two small dance rehearsal spaces, two large art studios, a theatrical shop and storage space at 26-36 Storer Street. .

In accordance with section 14-32.3 of the Portland Land Use Ordinance notices of site plan applications must be sent to immediate abutters.

The review of the application is now starting and it must go through several steps prior to approval, including staff technical review and possible Planning Board approval, which may include a public hearing.

The technical submissions are available in the Planning Office, 389 Congress St., 4<sup>th</sup> floor.

Segar -

Will look at admini office as part of phase III.

Lowry -

no problem -

cautionary note - if need space, should look at.

Public Works needs to look at drainage and sewage backup in people's home.

Mark Segar, Ann Hagstrom, Eric ..

①

Scott Simons/Austin Smith

↳ presentation on the project.

Explain the two phases → approved & proposed

Parking lot -

- seeking LEED certification

- need vehicle access to the stage & trash container.

HIP roof as Davies

Brick on bottom

Phase III → in the future

Auditorium - very modest - not huge

Floor plan-wise → phase significant build out  
→ new proposal more modest.

rate theater → starts high and comes down.

Support → dark room, general storage

Auditorium has not changed - same shape and same height.

theater

(2)

Introduce Daylight - huge windows  
classroom below - dance stage above.

Design keeps design rhythms.

Difficult to put large-scale addition in  
residential neighborhood →

modern arch. → brick building → brick  
(set back) → modern back up.

granite pavers - benches  
landscaping & groundcover.

Questions:

Hall - parking lot → II parking area  
Phase III - what happens to parking lot

→ still access area to auditorium

Parking lot across - grading & landscaping area  
silk - original conditions  
↳ pertands



③

Silk - project 3 Storer St.

Q raised to use residential for non-residential  
↳ to what extent, if any, ~~take~~ taking available space for administrative office.

Mark Sager -

bulk is theater,  
can't shoe horn the administrative use  
in this phase but maybe in phase  
III.

Silk - no net increase in traffic

Smith → no increase in # seats, therefore no  
increase to traffic. Use is for school  
purposes only.

Segar - rent out space in neighborhood. This  
project will use on campus facilities  
~~and not~~ ∴ less foot traffic / vehicle

Lowry -

- approval to 2001.

↳ letter & site plan } staff.

- parking analysis from the applicant

Lowry -  
stormwater & civic details

Useful - ~~stat~~ Update State of affairs.  
↳ Updated Master plan.

Patterson -

fly space - is it contained within?

Yes, roof line is exactly contained within the space.

See proposed 11 park space lot.

- 6 existing
- 2 for classroom
- 3 for theater.

Parking along Danforth St - concerned.

<sup>look into</sup> Other options/areas.

How does the parking fit into design guidelines

Lowry

- any changes in P-Y since 2001 that will effect the project.
- Site plan - legends needed - hard to read.

Public Comments:  
Eliz. Begin - ask for comments

(6)

Phase II be consider for all

No objection to Phase II

asking to approval for overlay zone that excludes all homes from storer st, Fletcher street.

Ann Pringle -

backing up of sewage - DPW

⇒ roof drainage

make Waynflete strict to having admini.  
as part of Phase III.

Silk

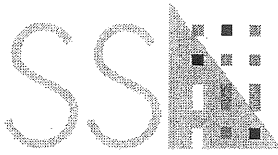
Take photographs as to what is proposed and what exists.

This does not have anything to do w/ 3 Storer's Street.

This is a smaller of what is approved in 2001.

what was approved & conditions.

Lowry



Scott Simons Architects

MEMO

15 Franklin St.  
Portland, ME 04101

(207) 772-4656  
(207) 828-4656 FAX  
E MAIL: austin@simonsarchitects.com

Date: February 1, 2001  
Project name/number: Waynflete Arts Center, SSA #00116.00  
Re: Introduction for Planning Board Workshop  
From: Scott Simons  
To: Deb Andrews and the Planning Board  
Cc: Jobfile 3.1

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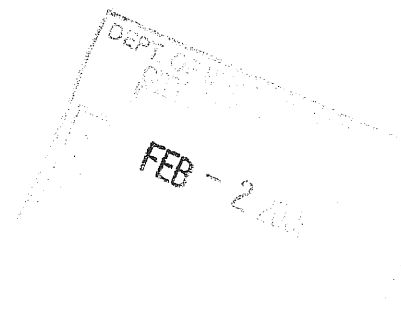
Attached please find nine copies of the preliminary site plan, floor plans, elevations, sections, and interior elevations for the proposed Arts Center Addition at the Waynflete School, site photos of the existing buildings, and a summary space program.

We will be meeting with you on February 13th for two purposes. First we will be presenting revisions to the Campus Master Plan, to fill you in on the School's revised long term plans for development of their campus. Areas to be addressed include:

- Revisions to the Loop Road and Pedestrian Entrance
- Middle School play area
- Changes in the Lower School Playground
- Addition of a Greenhouse to the Lower School
- Changes to the Upper School Quadrangle green space, including relocation of the parking lot.
- New Acquisition: 3 Storer Street.
- Relocation of the recycling center and trash collection area.
- The Arts Center Project

Secondly, we will be introducing you to the Arts Center project, including review of the design development level drawings, the site plan, floor plans, elevations, sections, and interior elevations. Areas to be addressed include:

- Meetings with the neighborhood
- Meetings with Historic Preservation and Landmarks
- Overall size and configuration of the Center
- Urban design intentions
- Site development intentions
- Design concept, including floor plans, elevations and sections
- Phasing options
- Proposed schedule



The Arts Center Project includes a new auditorium, attached along the south edge of the existing Waldron Auditorium. The new auditorium has approximately 282 seats. The existing auditorium is renovated to provide much needed interior recreation (lower school gymnasium) space. Two small two story additions are planned along the south and east sides of the new auditorium, housing music and dance rehearsal spaces of various sizes, two large art studios, a theatrical shop, and storage space. The existing Daveis building is renovated to provide reconfigured classroom space and a ceramics studio in the basement. A one story addition is planned along the north side of the Daveis "L", housing the new entrance and gallery spaces.

Total new space: approximately 23,000 SF.

We appreciate your assistance and guidance during this stage of design, and look forward to a successful collaboration throughout the project.  
Thank you.

# Waynflete Arts Center

Schematic Design Space Program: Revised 11.14.00

## General Public Spaces

	Lobby	Direct access to Auditorium	1,000 sf
	Gallery	Safe for/from kids	800 sf
		Storage space for display fixtures	80 sf
	Public Restrooms	Direct access to Lobby	400 sf
	Departmental Office	Central to Arts Center	250 sf
<b>Subtotal</b>			<b>2,530 sf</b>

## Performing Arts

THEATRE	Auditorium	More seating	900 sf addl.
		Real Stage	(5,000 sf total)
		Side & back wing space	
		Light booth access	
		Follow spot platform	
	Light/Sound Booth		100 sf
	Shop	Near Stage	800 sf
		Big sink	
		Wash area	
Storage	High ceiling	1,000 sf	
	Projects in progress		
	Old sets and flats		
	Furniture		
BAND ROOM	Large Rehearsal Space	Grades 6-12	2,400 sf
		40 x 60 x 10	
		Live Sound	
		Direct access to backstage	
	Faculty Workrooms	Internet/phone	120 sf
Instrument Storage	Lockers	400 sf	
STEEL BAND	Medium Rehearsal Space	Grades 6-12	768 sf
		Dead Sound	
		Auditorium floor level	
		Open onto audience space	

**Performing Arts (cont'd)**

CHORUS	Large Rehearsal Space	Grades 4-12	1,000 sf
		35x35x10	
		Live Sound	
	Large Closet	Music Storage	80 sf
	Medium Rehearsal/Classroom	Same size as stage	768 sf
DRAMA	Classroom		600 sf
DANCE	Large Rehearsal Space	Wood floor (or new tech)	1,000 sf
		Mirrors	
	Dressing Room (s)	Access to bathrooms	100 sf
	Storage		100 sf
PRACTICE/LESSON ROOMS	5 Rehearsal Rooms	1 @ 168 sf	528 sf
		2 @ 80 sf	
		2 @ 100 sf	
LOWER SCHOOL MUSIC	Classroom Space	Grades EC-5	600 sf
		Built in risers	
		Dead Sound	
		Near L.S.	
		Lockable Shelving	12 sf
<b>Subtotal</b>			<b>11,376 sf</b>

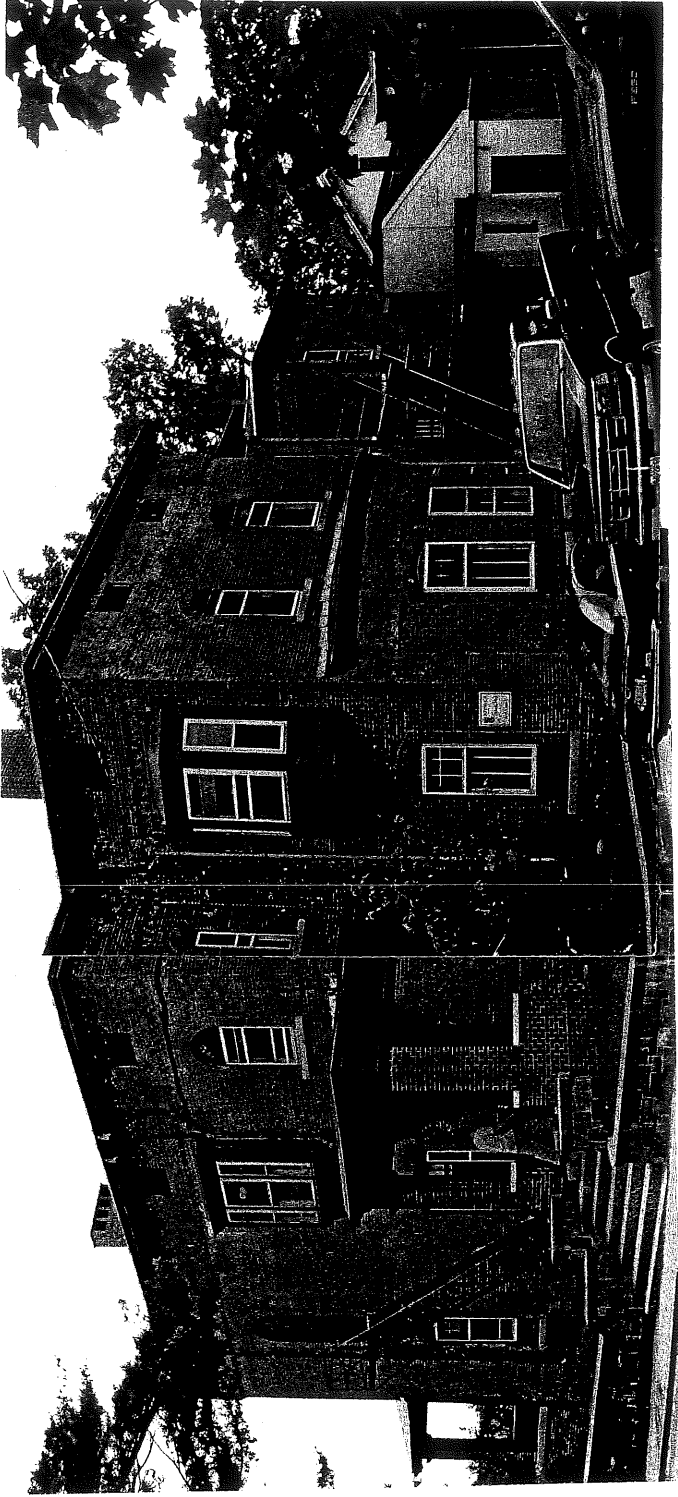
**Visual Arts**

STUDIOS	Two Large Studios	1,600 sf each	3,200 sf
		Spray booth in 1 studio	
	Computer Room	Equipment	150 sf
PRINTMAKING	Press Room/Printmaking	Access from all studios	500 sf
3-D STUDIO	Sculpture Studio Space	Combined with Ceramics	0 sf
WOODWORKING	Woodworking Studio Space	Combined with Shop	0 sf
CERAMICS	Ceramics Studio Space	Near kiln room	1,000 sf
	Kiln Room	Vented	200 sf
PHOTOGRAPHY	Dark Room Space	Equipment	200 sf
OTHER	Faculty workroom		120 sf
	General Art Storage		200 sf
<b>Subtotal</b>			<b>5,570 sf</b>

**Summary**

General Public Spaces	2,530 sf
Performing Arts	11,376 sf
Visual Arts	5,570 sf
Sub-total (net square feet)	19,476 sf
Circulation, mechanical, etc. @ 25%	4,869 sf
<b>Total (gross square feet)</b>	<b>24,345 sf</b>

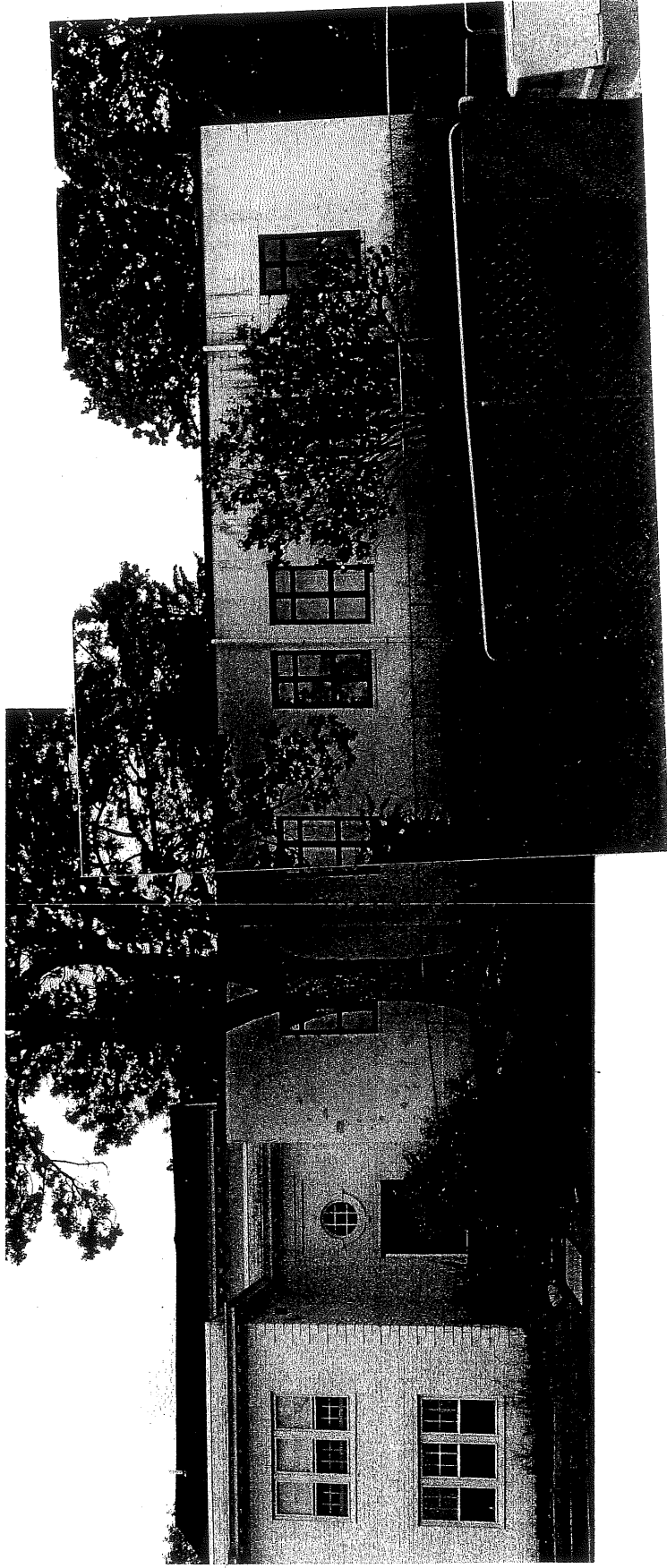




**The Waynflete School**

360 Spring Street, Portland, Maine

View of Daveis Hall along Stover Street



**The Waynflete School**

360 Spring Street, Portland, Maine

View of Waldron Auditorium from Danforth Street

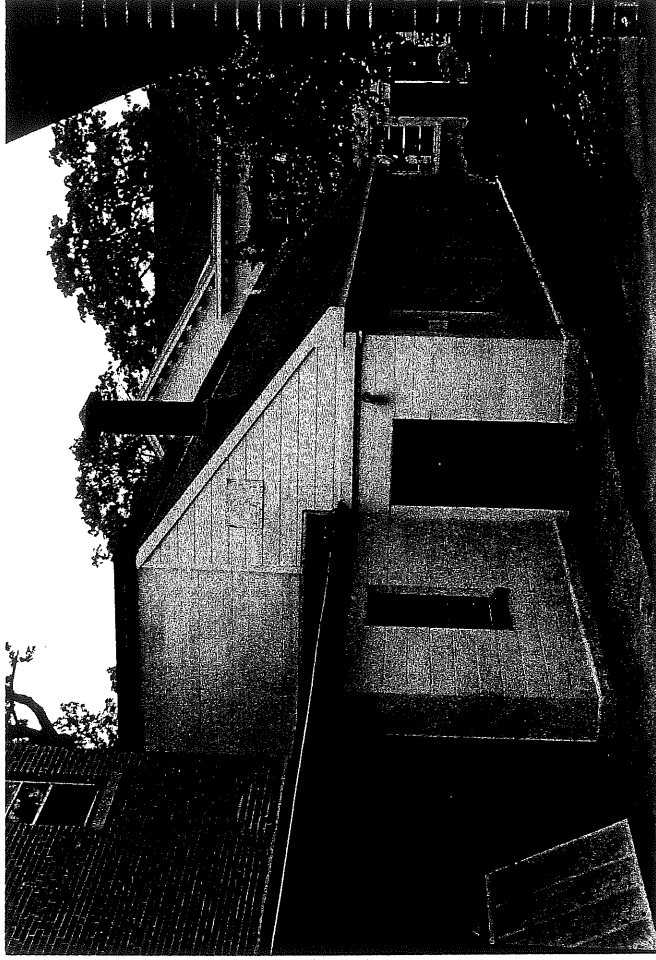
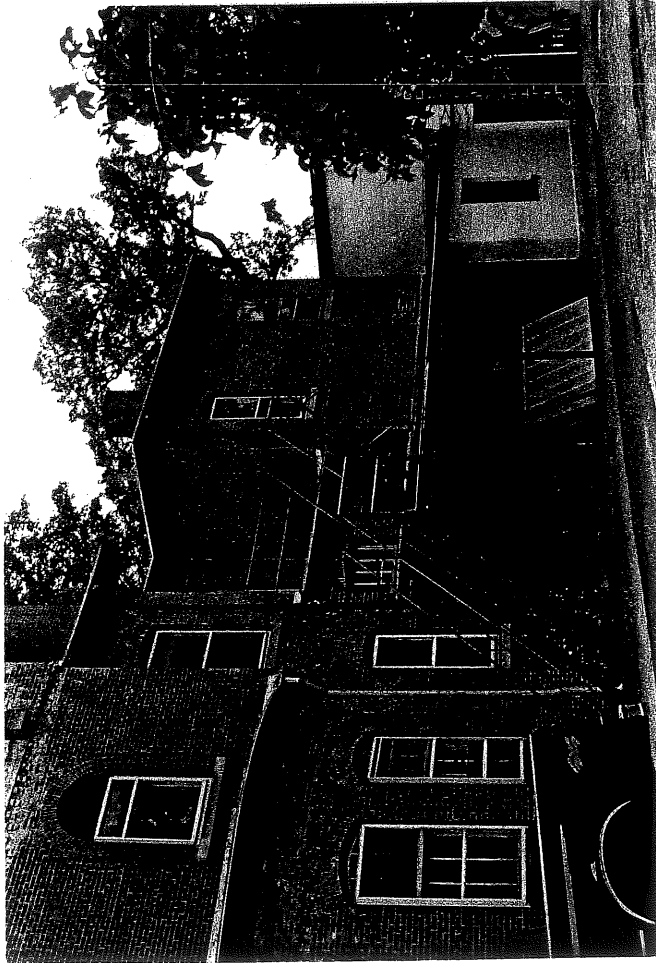


39 courses

# The Waynflete School

360 Spring Street, Portland, Maine

View of Daves Hall from Danforth Street



**The Waynflete School**

360 Spring Street, Portland, Maine

View of Waldron Auditorium, North Entrance

8. *List all state and federal regulatory approvals to which the development may be subject, the status of any pending applications, and the anticipated time frame for obtaining such permits or that a determination of no jurisdiction from the agency will be requested:*
  - An initial review has been conducted by the State Fire Marshall's Office in Augusta. Due to the scope of the work the Fire Marshall's office will also certify compliance with the Americans' with Disabilities Act (ADA) A final review will be necessary by the SFM. Final approval will be received in May, 2001.
  - A building permit will be required from the City of Portland. Plans must also be reviewed by the Portland Fire Department for life safety issues. These will be done in late May or early June of 2001.
  
9. *Evidence of financial and technical capacity to undertake and complete the development including, but not limited to, a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved, if requested to do so:*
  - See attached letter from the Waynfilete School.
  
10. *Evidence of the applicant's title, right, or interest in the property, including without limitation deeds, leases, purchase options or any other documentation:*
  - See enclosed plot plan and deeds.
  
11. *A narrative describing any unusual natural areas, wildlife and fishery habitats, or archaeological sites located on or near the project site and a description of the methods that will be used to protect such areas or sites:*
  - The School is located in an urban area. The buildings have existed in their current form for many years (recorded on tax documents of 1951). There are no unusual natural areas, wildlife and fishery habitats, or archaeological sites on or near the proposed building additions and parking area

00116.00/04.26.01

3c

**HISTORIC PRESERVATION COMMITTEE  
CITY OF PORTLAND MAINE**

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**PUBLIC HEARING  
WAYNFLETE SCHOOL – ARTS CENTER ADDITION**

**TO:** Chair Hobler and the Historic Preservation Committee

**FROM:** Deborah Andrews, Historic Preservation Program Manager  
Jeffrey A. Harris, Preservation Compliance Coordinator

**DATE:** March 29, 2001

**RE:** April 4, 2001 – Public Hearing – HP Report #05-01

Application for: Certificate of Appropriateness—New Construction

Address: Waynflete School  
Vicinity of Spring, Storer & Danforth Streets

Applicant: Waynflete School  
Represented by Scott Simons, Scott Simons Architects

Introduction:

The applicant is requesting final review and approval of a new arts center, proposed for the east end of Waynflete School's playing field along Danforth Street. The public hearing and final deliberations follow three preliminary workshops on the project, which were held on October 4, 2000, January 17 and March 21, 2001.

Committee members are reminded that given the scale of the project, which includes the renovation of Daveis Hall and 23,000 square feet of new construction, it is considered for review purposes a major development. As such, the Planning Board will be making the final determination regarding the project's conformance with historic preservation ordinance standards and will decide whether to approve a Certificate of Appropriateness. The Committee's action will be in the form of a recommendation to the Planning Board.

Project Context:

Waynflete School is situated in the heart of the West End neighborhood. Its campus is bounded by Fletcher, Spring, Emery, and Danforth Streets. Many of the school's classrooms and offices are located in former residential properties along Spring and Storer Streets, which tends to blur the lines of distinction between the surrounding

The south and west elevations of this addition are intended to be only temporarily visible, as this addition will eventually be subsumed within the Phase II addition.

### *Phase II*

In this second phase of development, a large addition is to extend south from Daveis Hall, including a one-story, 5,000 square foot auditorium and a two-story, 12,000 square foot music rehearsal and art studio addition. Other work associated with this phase includes a plaza in front of a side entrance to the auditorium from Storer Street, and the replacement of the existing parking lot across Storer Street in the Upper School Quadrangle with a 24-car parking lot located further south on the quadrangle.

The Phase II addition will be dominated by a 256-seat auditorium, which will feature a stucco exterior and a gabled roof. Due to the curve of the auditorium walls, the roof has a saddle-like appearance when viewed from the east and west. The peak of the auditorium roof rises much higher than the rest of the Phase II addition, but is a few feet lower than the peak of the Daveis Hall roof. The west elevation of the auditorium features three tall, symmetrically arranged windows rising nearly the full height of the wall, which help to break up the expanse of the stuccoed wall. Along the east side of the auditorium are two floors of corridors with glass walls serving as the east edge of the addition. The upper corridor also serves as a Storer Street entrance to the auditorium, accessed from stairs leading from a small plaza.

The portion of the Phase II addition south of the auditorium includes one level of music rehearsal rooms on the ground floor and art studios on the second floor. This section wraps around one end of the auditorium and extends out slightly to the east and west, presenting a long elevation to Danforth Street. Here, the addition is clad in two shades of brick—a darker color on the ground floor and lighter above. On all three elevations, the brick walls are punched with a variety of square and rectangular window openings arranged in an irregular pattern.

The overall mass of this addition is broken up by dividing the elevation into distinct brick-clad “blocks” separated by glass- and wood-clad sections or setbacks. As a result, the elevation of this section of the Phase II addition “reads” as two separate blocks along Storer Street, three blocks along Danforth, and two blocks as viewed from Fletcher Street. Two of the blocks feature clerestory windows above the brick walls that are topped by a deep, projecting cornice with a hipped, standing-seam metal roof set back far from the cornice edge.

### *Workshop #3*

The third, and final, workshop, held on March 21, 2001, focused on details of the site plan and items such as building materials, roof treatments, and composition of facades. The project was also assessed in its Phase I and Phase II configurations. Committee members were generally satisfied with the site and building treatments, including the material choices and the fenestration patterns. Given the transparency of the glass walls at the new entrance, the Committee discussed in depth the nature of the transition from outside to inside, encouraging a uniform treatment of the granite pavers on the exterior plaza and the granite floor tiles inside. Committee members also inquired about the Dryvit exterior building material on the auditorium, discussing its color, texture, and its relationship to the exposed wood columns separating the window bays on the west façade.

For the public hearing, Committee members requested more detail on the cornice treatment along the roof edges, wall sections, and more information about the proposed Dryvit stucco for the auditorium exterior.

The enclosed submission illustrates the final design development drawings for both Phase I and II of the project. Only minor changes to the drawings presented at the March 21 workshop have occurred, including the expansion of the Phase II parking lot to one that includes spaces for 24 cars, and slightly altered fenestration patterns on the Storer Street elevation of the Phase II addition. A finalized site plan was not available at the time of this report, but will be made available at the public hearing.

#### Applicable Review Standards:

As the project entails modifications to the historic Daveis Hall and a major new addition, the project is reviewable under both the Standards for Review of Alterations (Sec. 14-650) and the Standards for Review of Construction (Sec. 14-651). See enclosed ordinance standards and excerpt from the Historic Resource Design Manual, which includes guidelines for applying the new construction standards.

In assessing the new addition, the ordinance identifies the following general compatibility factors for consideration:

#### Scale and Form

Height

Width

Proportion of principal facades

Roof shapes

Scale of the structure



2. On the basis of the above findings, the Historic Preservation Committee recommends to the Planning Board (**approval/ denial**) of a Certificate of Appropriateness for the proposed new building addition to Daveis Hall at Waynflete School.

Attachments:

1. Phase I site plan, elevations, and floor plans
2. Phase II site plan, elevations, and floor plans
3. Wall sections (keyed to Phase I elevations)
4. Auditorium column and wall detail
5. Photos of Daveis Hall
6. Photos of site context
7. Standards for review of construction



Scott Simons Architects

15 Franklin St.  
Portland, ME 04101

(207) 772-4656

(207) 828-4656 FAX

E MAIL: austin@simonsarchitects.com

MEMORANDUM

Date: March 28, 2001  
Project name/number: Waynflete Arts Center, SSA # 00116.00  
Re: Site Plan Review, Revised  
From: Scott Simons  
To: City of Portland Planning Department  
Cc: Hymie Gulak, Business Manager  
Chris Beaven, Chair of Building Committee  
Jobfile

---

*REVISED 04.26.01*  
**APPLICATION FOR SITE PLAN REVIEW**

In accordance with the City of Portland Land Use Code, Section 14-525, we are submitting the following information for your consideration, regarding the proposed addition and site improvements at the Waynflete School, 360 Spring Street, Portland, Maine.

1. *Description of proposed uses to be located on the site, including quantity and type of residential units, if any:*
  - The existing school use is to remain. In accordance with the Waynflete School Masterplan, as updated January, 2001, the School intends to undertake the building of the Arts Center Addition and Renovations to the existing Daveis Hall on Storer Street.
  - The School proposes to add a 23,000 SF classroom, studio, gallery, and auditorium addition to the south edge of the existing 2 1/2 story brick Daveis Hall. The existing building and the adjacent Waldron Auditorium will undergo interior renovations. The project also includes site improvements around the new entrance, in the area known as the Sanctuary, as shown on the Site Plan, and landscaping along all edges of the proposed project.
  - In order to build this addition it will be necessary to demolish an existing 600 SF single story masonry storage (garage) building at the edge of the Sanctuary, and a one story masonry shed addition along the edge of the existing Auditorium.
  - There will be no change in the size of the School population or the use of the arts facilities as a result of this Project. All programs that will use this facility are existing.



Scott Simons Architects

15 Franklin St.  
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(207) 772-4656  
(207) 828-4656 FAX  
E MAIL: austin@simonsarchitects.com

MEMO

Date: March 28, 2001  
Project name/number: Waynflete Arts Center, SSA #00116.00  
Re: Site Plan Application for Planning Board Workshop  
From: Scott Simons  
To: Sarah Hopkins, Planning Staff @ Portland City Hall  
Cc: H. Gulak, Jobfile 3.1

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Attached please find seven 11" x 17" copies of the site survey, revised site plan, floor plans, elevations, sections, and interior elevations for the proposed Arts Center Addition at the Waynflete School. We have organized the packages in two separate parts, Phase One and Phase Two, as discussed at our last workshop. Hopefully this will make it clearer for the Board members.

Also included are site photos of the existing buildings, a summary space program, a letter of financial capacity from the School and one from their bank, lot coverage calculations, and a revised drainage report including calculations, drainage analysis, and a stormwater management report of the Arts Center project prepared by Pinkham and Greer. From earlier submittals from our office you have copies of the deeds for The Waynflete School property and the School's letter to Marge Schmuckal re: parking requirements,

We will be meeting with you on May 8, 2001 to request approval for Phases One and Two of the Arts Center Project. The Arts Center Project includes a new auditorium, attached along the south edge of the existing Waldron Auditorium. The new auditorium has approximately 275 seats. The existing auditorium is renovated to provide much needed interior recreation (lower school gymnasium) space. Two small two story additions are planned along the south and east sides of the new auditorium, housing two large music and rehearsal spaces and music support spaces of various sizes, two large art studios, a theatrical set-building shop, and storage space.

The existing Daveis building is renovated to provide reconfigured classroom space and a ceramics studio in the basement. A one story addition is planned along the north side of the Daveis "L", housing the new entrance and gallery spaces.

Total new space: approximately 23,000 SF.

We appreciate your assistance and guidance during this stage of development, and look forward to a successful collaboration throughout the remainder of the project.

Thank you.

- The project will be built in two phases. Phase one will include the renovation of the Daveis Building, the addition of the new entrance and gallery, the addition of three large classrooms in the "L" of Daveis Hall, and a new elevator making the entire facility accessible. Phase Two includes the new Auditorium, two art studios, two music rehearsal rooms, and various support spaces. In Phase Two, the School plans to expand the parking across the street, as shown on the Master Plan.

2. *Total land area of the site and the total floor area and ground coverage of each proposed building and structure:*

- The Waynfilet School site is comprised of twelve classroom/administration buildings and five storage buildings (garages). The buildings are of various sizes and shapes, ranging from the one story wood frame garages of 600 SF to the three story brick Upper School building of approximately 30,000 SF.

- Total area of combined parcels = 244,239 SF

- Existing total lot coverage of combined parcels = 53,473 SF or 21.89%

- Proposed total lot coverage of combined parcels = 65,748 SF or 26.92%

*NOTE: For existing and proposed site coverage calculations, see attached Lot Coverage Calculations, dated 04.06.01.*

3. *General summary of existing and proposed easements or other burdens now existing or to be placed on the property:*

- There are no easements or burdens that we are aware of. See attached survey drawing.

4. *The types and estimated quantities of solid waste to be generated by the development:*

- There will be no change in use or occupant load.

Four toilets will be removed during the renovations; nine toilets will be built in the new additions, for a net gain of five toilets.

5. *Evidence of the availability of off-site facilities including sewer, water and streets:*

- The site is bordered on the south by Danforth Street and on the east by Storer Street.

- For sanitary waste in Phase One, a new 6" pvc sanitary line will connect to the existing 6" vitreous combined storm/sewer @ Storer Street. For Phase Two a new 8" pvc sanitary line will connect to the existing 14" combined sewer/storm line @ Danforth Street.

- For stormwater in Phase One, sheet drainage from the sanctuary area (to the north of the proposed addition) will be collected in a new catch basin and brought underground to a new catch basin in the middle of the field, then to the existing catch basin at the corner of Fletcher and Danforth Streets. Roof drainage will be collected with internal drains and taken underground to the new catch basin in the middle of the field, then to the catch basin @ Fletcher/Danforth. Sheet drainage from the field below the proposed addition will be collected in a drainage trench, as shown on drawing L-3.1, then into a new underground line to the Fletcher/Danforth catch basin.

For Phase Two, additional roof drainage will be taken to the trench drain and then onto to the existing Danforth Street combined sewer/storm line via the Fletcher/Danforth catch basin. The need to collect sheet drainage from that portion of the field will be eliminated when the second phase addition is built, freeing up the new storm lines, catch basins, and trench drain to handle the capacity of the new roof drains.

- Water service will continue from Storer Street and is adequate to service both domestic and fire protection needs for both Phases 1 and 2.

- Electrical service is currently provided overhead from Storer Street. Proposed new service to be three phase and run overhead from existing pole on Spring Street to a pad mounted transformer across Storer Street from Daveis Hall, then underground into the basement of Daveis Hall.

- Existing gas service from Fletcher Street into basement of Founders Hall will be extended into the basement of Daveis Hall, where two new gas boilers will service the existing building and new additions.

6. *A narrative describing the existing surface drainage on the site and a stormwater management plan indicating measures which will be taken to control surface water runoff:*
- Existing drainage pattern of the entire parcel is surface to street curbs.
  - New site and roof drainage is as described in the attached civil engineering report prepared by Stephen Stearns from Pinkham and Greer, and as shown on the Site Drawings, also attached..

7. *A construction plan outlining the anticipated sequence of construction of the major aspect of the proposed project, including without limitation roads, retention basins, sewer lines, seeding and other erosion control measures, and pollutant abatement measures, and also setting forth the approximate dates for commencement and completion of the project:*

**Phase One:**

- Demolition of 600 SF single story garage and shed addition along edge of Auditorium. One month, June 2001.
- Construction of renovations to Daveis Hall, including all new electrical service and wiring, new heating plant for Phases One and Two (installed in basement), new sprinkler system as required by governing codes, various partitions changes as shown on the plans, and upgrade of interior finishes. Six months, July through December, 2001.
- Construction of a 4,200 SF addition in the "L" of the existing Daveis Hall, and a 1,200 SF entry and gallery addition along the north side of the Daveis "L". Six months, concurrent with renovations to Daveis Hall, July to December 2001.
- School to remain in operation throughout construction. Electrical, mechanical, and plumbing connectors for Phase Two to be stubbed off at west elevation of Phase One. Staging area of approx. 5,000 sf will be provided to south of construction site (same location as existing construction staging area), with access from Storer Street. All construction areas to be enclosed by temporary fencing. Six to seven months, July to January or February 2002.
- Sitework and landscaping improvements around entire Phase One addition, including plaza at new entrance.

**Phase Two:**

- Construction of a 5,000 SF one story Auditorium addition, and a 12,000 SF Music Rehearsal and Art Studio addition, as shown on the floor plans. Ten months, starting summer of 2002, or as funds become available.
- Sitework and landscaping improvements around entire Phase Two addition, including landscaping at new side entrance off Storer Street. Summer of 2003, after completion of the building additions.
- Construction of a new 24 car parking lot across Storer Street from new Arts Center Additions, as shown on Site Plan. Removal of existing 14 car parking lot along north edge of Upper School Quadrangle (just east of Storer Street) and re-landscaping of same. Summer of 2003, after completion of the building additions.
- Construction site to be accessed from Storer Street with staging area at new parking area across the street to the east.

**From:** Shukria Wiar  
**To:** Alex Jaegerman ; Barbara Barhydt  
**Date:** 3/20/2008 11:39:31 AM  
**Subject:** Waynflete School abutter

Hello Alex and Barbara,

Sonia Robinson of 336 Danforth called earlier this week to discuss the current project under construction on the Waynflete School campus. She wanted to go on record that she and her husband are not happy with the parking layout facing their home. Mrs. Robinson stated she was unaware that the parking was going in the approved location; she also knows that this location is temporary per Historic Preservation conditions. She also expressed concerns that vehicles' glare onto private properties and into their homes. Mrs. Robinson was aware of the condition of approval that wood guardrails are required at the parking lot and thanked the Planning Board for putting such a condition.

She also asked that once the project is complete and before C of O, that someone comes into her house (or any of the homes that abut this parking lot) and see if any of the vehicle's headlights or glare is coming to their home.

I checked Urban Insight to see if she got noticed and her name was on the list of abutters.

Her information is as follows:

John and Sonia Robinson  
336 Danforth Street  
774-1288

Thanks.

Shukria

104 West Street  
Portland, ME 04102  
August 9, 2007

ATTN: Mr. Michael Patterson, Chair  
Portland Planning Board  
Planning & Development Department  
389 Congress Street  
Room 308  
Portland, ME 04101

Dear Mr. Patterson,

We have recently learned that Waynflete School will be before the Planning Board on August 14 for a hearing on its application for a building project including a new theater facility. We would like to express support for this project and ask for your favorable consideration.

We relocated to Portland less than a year ago, and in choosing the city, the availability of a quality independent school choice was an important consideration. Waynflete's reputation and its center city location were both positive elements in our choice. It has proved to be a very good school for our daughter, and it has been an important part of our good experience of Portland.

Maintaining a campus that meets the educational needs of the present but lives in harmony with the character of its historic neighborhood is a tremendous challenge for the school, but it is the essential challenge if Waynflete is to continue to provide a resource so important to the city.

Our understanding of the current project is that the school has worked hard to meet the needs of its students and to add construction that is modest but attractive, environmentally responsible and harmonious with the surroundings.

Thank you for your consideration of these observations.

Sincerely,



Craig and Libby Owens

## WESTERN PROMENADE NEIGHBORHOOD ASSOCIATION

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August 10, 2007

Portland Planning Board  
389 Congress Street  
Portland, ME 04101

Dear Members of the Planning Board:

The Western Promenade Neighborhood Association continues to closely follow the growth and development at Waynflete School. And while the primary interest is to protect this historic residential neighborhood from continued encroachment by the school, the design and materials of all projects generate interest and examination.

The Phase Two presently before you is a scaled back plan of the original proposal, which was previously approved. The original proposal was elegant in scale and design. The new parking area on the east side of Storer St. was especially welcome. The revised proposal does not have the feel and flow of the former. This is, we suspect, because the applicant is trying to make all the elements of the first fit into the budget constraints of the second.

The two parts of the project which give the greatest cause for concern are the parking area and the dumpster placement. Presently, cars, trucks and the dumpster are parked on a grassy site in a haphazard way. And while this is certainly unattractive, it gives the impression (and the reassurance) that it is temporary. The new parking lot, with black top, fencing and lighting is permanent. And to place the entire rubbish removal system of a school with more than 550 students and 150 faculty and staff, smack dab in the middle of campus is discouraging.

Since the revised design began working its way through the approval process there has been an assumption by all parties that there had to be a parking area in front of the new addition and bordering Danforth St. There has been a great deal of discussion regarding fencing and landscaping which is intended to screen neighboring residences from headlights. We would ask the Historic Preservation Board to consider the option of approving the building, without the parking lot, and requiring the parking area to remain as originally proposed off of Storer St. The proposed new building is surrounded on three sides by historic residences. For the past 60 plus years the playing field in front of the school has stretched for the entire block of Danforth St. between Fletcher St. and Storer St. To break this expanse of open space with fencing and black top creates a landscape that strays way to far outside its residential setting, in an area that is after all, zoned residential.

These objections were the subject of consideration and discussion at the Historic Preservation Board meeting on August 8. As a result of these deliberations a condition to the approval of the site plan is being developed by HPC staff and will be voted on at a later HPC meeting. It is understood that the condition will concern a timeline or trigger for the removal of the parking lot and dumpster from the 20 Storer St. site.

It would be the preference of the Western Promenade Neighborhood Association that the proposed parking area be eliminated from the plan before you. Considering the hundreds of cars parked on neighboring streets by students, faculty and staff, it is hard to see any appreciable improvement in the removal of 8 or 10 cars from the street. We would propose that a driveway, capable of meeting delivery and trash truck needs be built instead.. This would eliminate the need for extensive shielding of neighborhood windows from headlights, avoid a large expanse of black top on a significant corner and may help to save the tree that is considered an important part of the site plan (Jeff Tarling memo).



The Neighborhood Association has been involved in a long and difficult struggle with the school regarding its plans and how they include the purchase and conversion of adjoining properties. Included with these comments is a time line created by Planning staff in the 2006. This almost 20 year history is as useful as an illustration of the long history of the school and the neighborhood. And while we recognize that a conversion is not the issue here, the very fact that there is so much discussion about headlights in second story windows of the homes across the street suggests that we are once again struggling with the issue of institutional expansion. And it is never far from the minds of many in the neighborhood that the request to convert a portion of the Pratt House to non residential use is still on the table of the Planning Board.

We urge the Planning Board to direct Waynflete and the WPNA to commence discussions regarding a defined overlay zone, with a set campus definition, to prevent the further encroachment that neighbors so fear and that the City's Comprehensive Plan discourages.

Very truly yours,



Elizabeth W. Begin  
Institutional Impact Chair  
Western Promenade Neighborhood Association

**CHRONOLOGY OF WAYNFLETE CONDITIONAL USE AND SITE PLAN REVIEW APPLICATION**  
(Note: Historic Preservation files were also checked but all minor)

Address	Proposal	Hearing Date	Decision	Conditions	Comments	PE #
<b>Ruth Cook Hyde House</b>						
Vic. 340 Spring St; "Hyde House"	Conversion of first floor into school administrative offices	Oct 6, 1987	Approved subject to condition	That the duration of the conditional use permit be limited to 3 years	Related to temporary need resulting from fire at Storer House; a later report mentions that Board requested a Master Plan prior to considering other applications	#79
"Cook Hyde House"	Conditional use of the first floor of Cook Hyde House for administrative offices.	May 11, 1993	Approved	none		#16
"Ruth Cook Hyde House"	Conditional use request for RCH House to make permanent the conditional use of the first floor and authorizes the expansion of the conditional use to the second and third floors of the building	Feb. 25, 1997	Approved	"based on submitted application, campus master plan, and testimony provided at the meeting"	Updated Master Plan was requested at the Workshop; Waynflete submitted letter from Board of Trustees confirming that it has no plans at this time for further property acquisitions in the W. Promenade neighborhood	#7-5
<b>Morrill House</b>						
338 and 342 Spring Street	Cond use, SPR and HP for construction of a 3 story building addition which will connect the Cook Hyde and Morrill houses	June 22, 1999	Approved subject to conditions	that a sample mock up of the brickwork and final window detail be reviewed and approved by HP staff; tree to be planted in front of addition; re fixture of light fixtures.	Does not result in loss of Res. Use; makes more efficient use of existing facilities; issues largely to do with impact of the building on Spring Street	#24-5
<b>3 Storer Street (Pratt House)</b>						
3 Storer Street (Pratt House)	Rev. approved site plan & cond use (for arts center) to accommodate displaced uses: A. Allow temp. classroom & storage space in Pratt House; OR B. Allow a modular classroom and storage trailer	July 10, 2001	"the Portland Planning Board voted 3-1 (Delogu opposed; Krichels, Hagge and Rodriguez absent) a motion to approve cond. Use/site plan for the temporary modular. Failing four votes the item was tabled to the next meeting (however, the applicant has subsequently withdrawn the application)."		Tape is not audible for parts. Option A seemed 'unpalatable' to most of Board; Housing Committee policies mentioned re loss of housing.	#18-5

Address	Proposal	Hearing Date	Decision	Conditions	Comments	PB Rep # review
<b>Library</b>						
64 Emery Street	Conditional use & SP approval for the library expansion project	May 11, 1993	Approved	That the rear property line of 305 Danforth Street be relocated to meet all required setbacks. A copy of the recorded deed shall be submitted to Planning staff.		#16-93
64 Emery Street; Building Addition	Conditional Use, Site Plan and Historic Preservation Review to construct 9064 sq ft building addition to 64 Emery Street	July 27, 1999	Approved subject to conditions	That the existing hedge along the southern edge of the Emery building property adjacent to Emery Street be preserved or replaced in kind.	Heading in report: "PROJECTS CONFORMANCE WITH CAMPUS MASTER PLAN  "In 1995, Waynflete completed a campus master plan based on projected programmatic and infrastructure needs. The campus master plan was undertaken at the urging of the Planning Board, which informed the school that no further conditional use requests, building or infrastructure projects would be considered until Waynflete addressed its campus needs in a comprehensive planning effort"	#34-99
<b>Parking Lots and Access Roadways</b>						
Loop Road Project; Thomas Ho. 360 Spring St	Cond Use & SPR for construction of loop road surrounding Thomas House (to address safety concerns for children getting on/off school buses)	July 8, 2003	Approved subject to conditions. That prior to the commencement of site work, the applicant shall submit a plan for review and approval by the City Arborist for the planting of up to 4 additional street trees along the Spring Street frontage of the campus.	That prior to commencement of site work, the applicant shall submit lighting specifications for Planning staff review and approval.  That prior to commencement of site work, the applicant shall amend the plans and details as outlined in Mr. Lombardo's comments of 5/9/03 and as outlined in James Seymour's memo of June 16, 2003.  That the removable basketball hoop shall be installed no earlier than 7:30 am nor later than 5:30pm Monday through Friday and not during summer recess.	The last condition was added by the PB; Waynflete requested reconsideration of this condition and to substitute:  That the removable basketball hoop shall be installed no earlier than 7:30 am nor later than 5:30pm Monday through Friday while school is in session, and during that portion of the summer in which summer program activities are conducted.	#27-03 and #27A-0.

Address	Proposal	Hearing Date	Decision	Conditions	Comments	PB Report # reviewed
Arts Center (phased)						#18-01
Storer Street/Danforth St.	<p>Cond Use, HP and SPR for Art Center addition of 23,000 sq ft (Phase 1: 3-story addition to Davies Bldg; 1 story addition to same bldg; 5 parking spaces); Phase 2: construction of auditorium, its attached 2-story addition and new 24 space parking lot. (17 parking spaces to be removed)</p>	May 22, 2001	<p>Approved subject to Site Plan conditions: The applicant will provide staff with catalog cuts for wall and pole mounted fixtures that are in compliance with the lighting standards.</p> <p>The applicant will coordinate and satisfactorily determine the function of the existing 8" pipes that will be impacted by the project. If they are determined to be pipes that carry combined flows of sewer and storm water, then the Public Works Dept. must be contacted and any possible removal or other remedial measures made to offset any new flows introduced into the system.</p> <p>The applicant and their contractor must contact the DRC during construction to inspect the trench drain and storm drain installation with specific emphasis on the gradation of materials. The Stormwater report contains specific statements regarding the required materials and evidence of material acceptance should be required during construction.</p> <p>The applicant will maintain all streets free and clear of mud and debris and shall be responsibility to sweep or clean the streets immediately upon notice from the Public Works or Planning Departments.</p> <p>The applicant, upon completing a realignment of the proposed parking lot requiring minimal tree removal, shall meet with staff and have staff approve the proposed changes.</p> <p>Tree protection methods for all trees must be demonstrated and no re-grading, site work or storage of materials should occur within the drip-line.</p> <p>The existing crabtrees or comparable plantings will be transplanted or planted to screen the proposed parking area.</p> <p>Eight additional 5-6' high evergreens be planted within the remaining pine grove.</p> <p>If the Hemlock trees cannot be saved in the area between the proposed parking area and the building on Emery Street, additional trees will be planted at a ratio of 3:1 in the area to assist in the screening of the parking area.</p>	<p>The applicant will coordinate and satisfactorily determine the function of the existing 8" pipes that will be impacted by the project. If they are determined to be pipes that carry combined flows of sewer and storm water, then the Public Works Dept. must be contacted and any possible removal or other remedial measures made to offset any new flows introduced into the system.</p> <p>The applicant and their contractor must contact the DRC during construction to inspect the trench drain and storm drain installation with specific emphasis on the gradation of materials. The Stormwater report contains specific statements regarding the required materials and evidence of material acceptance should be required during construction.</p> <p>The applicant will maintain all streets free and clear of mud and debris and shall be responsibility to sweep or clean the streets immediately upon notice from the Public Works or Planning Departments.</p> <p>The applicant, upon completing a realignment of the proposed parking lot requiring minimal tree removal, shall meet with staff and have staff approve the proposed changes.</p> <p>Tree protection methods for all trees must be demonstrated and no re-grading, site work or storage of materials should occur within the drip-line.</p> <p>The existing crabtrees or comparable plantings will be transplanted or planted to screen the proposed parking area.</p> <p>Eight additional 5-6' high evergreens be planted within the remaining pine grove.</p> <p>If the Hemlock trees cannot be saved in the area between the proposed parking area and the building on Emery Street, additional trees will be planted at a ratio of 3:1 in the area to assist in the screening of the parking area.</p>		
<b>Master Plan (note: 3 Storer Street was purchased by Waynflete in 2000 and is not included in these Master Plans)</b>						
Master Plan July 11, 1995	Initial version submitted to Planning board Workshop	N/A	N/A	Large part of the Master Plan is about the control of parking; copy will be available at Hearing	Informational Workshop	Memo
Master Plan Update April 13, 1999	Updated version	N/A	N/A	Not found in files	Informational Workshop	Memo

**From:** JOCELYN POLLARD <jocelynlp@verizon.net>  
**To:** <shukriaw@portlandmaine.gov>  
**Date:** 7/24/2007 11:31:31 AM  
**Subject:** waynflete

My concern for several years has been the territorial expansion of Waynflete. It has accumulated much residential property( which denies taxation to the city ) and continues its crawling to swallow its neighbors .

This and other concerns over the years have been disregarded and Waynflete has been allowed to do what it wishes, so I am seeking another avenue. If the school is allowed to go ahead with its new building ,we the neighbors, will be unfortunate enough to live through another two years of construction with its accompanying trucks dumping and backing up and blowing dirt and moving earth, all of which begins at 7A.M. during what we refer to as a quiet summer in Maine. Think about it: is this really fair to us who ask no more than to live peacefully in our own homes---on which we pay high taxes---?

I am told that the school looks on the Planning Board's previous approval of the new construction as a going ahead sign. I suggest that time changes viewpoints and circumstances and that Waynflete can live within its own adjustments as we all do. The United States government approved the invasion of Iraq and now look.

Jocelyn Pollard  
320 Danforth St

ANNE B. PRINGLE

44 Neal Street Portland, ME 04102-3527 207/774-0437  
[oldmayor@maine.rr.com](mailto:oldmayor@maine.rr.com)

August 14, 2007

Portland Planning Board  
389 Congress Street  
Portland, ME 04101

Dear Chair Patterson and Members of the Board:

Having read the material contained in your packet for today's Public Hearing, I have the following comments as a 34-year resident of the Western Prom neighborhood:

**Overlay Zone, including Campus Definition** As Elizabeth Begin has specified at an earlier workshop, our neighborhood is heavily impacted by a variety of institutions, including churches, Maine Med and Waynflete. While those buying in the area should certainly be aware of existing non-residential uses, they should also reasonably expect that the City would diligently protect them from further institutional encroachment, as stated as a policy objective in its Comprehensive Plan.

Indeed, the City Council and Maine Med agreed last year, with the support of the Planning Board, to establish a campus definition, as well as a plan to divest over time residential buildings that had, over decades, been acquired and converted to institutional use. The Western Promenade Neighborhood Association, by its comment on the project before you, has asked that the Planning Board direct the WPNA and Waynflete to enter discussions regarding an overlay zone and use provisions, just as it so directed USM and its neighborhood. I strongly endorse this request.

As the Planning Staff's 20 Year Chronology of Waynflete expansion makes clear, there are been significant incremental encroachment into our historic neighborhood. Most recently, in May 2001, shortly after WPNA spoke in favor of the original Arts Center Project, we were blindsided by the news that Waynflete had purchased the Mason Pratt House, which it two months later asked to use for "temporary" classroom space, the kind of use which the record shows eventually becomes permanent. Conversion of the first floor of the Pratt House is still on the table and Waynflete's 2006 Master Plan shows interest in the Webber residence on Fletcher Street and declares the future need for "short term and long term faculty housing", which needless to say concerns nearby residents. When will it stop?...

**Combined Stormwater/Sewer Problems** Our neighborhood, including Danforth Street, is increasingly suffering from sewage backflows into residential basements, caused by torrential rainstorms (such as that on August 6), which overwhelm the City's system, resulting in intolerable backups. As I expressed in a workshop, we are very concerned that

additional waterflows will exacerbate this already serious problem. I suggest that any approval require not just that the applicant revise plans in accordance with Dan Goyette's memo dated 8/8/07, but that Dan Goyette specifically approve the plan as not adding to an already intolerable situation.

**Parking** Having closely followed the progression of Waynflete projects in recent years, I do not recall that parking was allowed in the approval of the Phase I of this project. My recollection is that six temporary spots were approved during construction of Phase I, with the rest to be built on the other side of Storer Street. I encourage you to reject the proposed parking and dumpster location and require Waynflete to follow the originally approved plan, subject to further review if necessary. The Historic Preservation Board was clearly reluctant to approve the parking location, but somehow felt constrained to review it only from a design standpoint. The provision of these eleven spaces is in no way going to alleviate the significant neighborhood disruption that occurs at drop-off and pick-up times and from student and faculty parking in the neighborhood rather than at a remote location. Waynflete needs a formal parking master plan and I strongly encourage the Planning Board to request this as part of the Overlay Zone process we ask you to encourage.

**Auditorium** Waynflete is representing that the auditorium will not be used for other than school use. I suggest that the Board require that this be stated in writing, without any qualification such as "at this time", which has become another loophole opening to retreat from past promises re uses.

While this project may seem like a simple one for site plan consideration only, I submit to you that is part of the fabric of an ever-evolving school, from which evolution and encroachment the neighborhood is entitled to be protected. I respectfully urge you to heed these requests, especially for creation of an overlay zone with campus definition.

Very truly yours,

Anne B. Pringle

## WESTERN PROMENADE NEIGHBORHOOD ASSOCIATION

---

August 10, 2007

Portland Planning Board  
389 Congress Street  
Portland, ME 04101

Dear Members of the Planning Board:

The Western Promenade Neighborhood Association continues to closely follow the growth and development at Waynflete School. And while the primary interest is to protect this historic residential neighborhood from continued encroachment by the school, the design and materials of all projects generate interest and examination.

The Phase Two presently before you is a scaled back plan of the original proposal, which was previously approved. The original proposal was elegant in scale and design. The new parking area on the east side of Storer St. was especially welcome. The revised proposal does not have the feel and flow of the former. This is, we suspect, because the applicant is trying to make all the elements of the first fit into the budget constraints of the second.

The two parts of the project which give the greatest cause for concern are the parking area and the dumpster placement. Presently, cars, trucks and the dumpster are parked on a grassy site in a haphazard way. And while this is certainly unattractive, it gives the impression (and the reassurance) that it is temporary. The new parking lot, with black top, fencing and lighting is permanent. And to place the entire rubbish removal system of a school with more than 550 students and 150 faculty and staff, smack dab in the middle of campus is discouraging.

Since the revised design began working its way through the approval process there has been an assumption by all parties that there had to be a parking area in front of the new addition and bordering Danforth St. There has been a great deal of discussion regarding fencing and landscaping which is intended to screen neighboring residences from headlights. We would ask the Historic Preservation Board to consider the option of approving the building, without the parking lot, and requiring the parking area to remain as originally proposed off of Storer St. The proposed new building is surrounded on three sides by historic residences. For the past 60 plus years the playing field in front of the school has stretched for the entire block of Danforth St. between Fletcher St. and Storer St. To break this expanse of open space with fencing and black top creates a landscape that strays way to far outside its residential setting, in an area that is after all, zoned residential.

These objections were the subject of consideration and discussion at the Historic Preservation Board meeting on August 8. As a result of these deliberations a condition to the approval of the site plan is being developed by HPC staff and will be voted on at a later HPC meeting. It is understood that the condition will concern a timeline or trigger for the removal of the parking lot and dumpster from the 20 Storer St. site.

It would be the preference of the Western Promenade Neighborhood Association that the proposed parking area be eliminated from the plan before you. Considering the hundreds of cars parked on neighboring streets by students, faculty and staff, it is hard to see any appreciable improvement in the removal of 8 or 10 cars from the street. We would propose that a driveway, capable of meeting delivery and trash truck needs be built instead. This would eliminate the need for extensive shielding of neighborhood windows from headlights, avoid a large expanse of black top on a significant corner and may help to save the tree that is considered an important part of the site plan (Jeff Tarling memo).



The Neighborhood Association has been involved in a long and difficult struggle with the school regarding its plans and how they include the purchase and conversion of adjoining properties. Included with these comments is a time line created by Planning staff in the 2006. This almost 20 year history is a useful as an illustration of the long history of the school and the neighborhood. And while we recognize that a conversion is not the issue here, the very fact that there is so much discussion about headlights in second story windows of the homes across the street suggests that we are once again struggling with the issue of institutional expansion. And it is never far from the minds of many in the neighborhood that the request to convert a portion of the Pratt House to non residential use is still on the table of the Planning Board.

We urge the Planning Board to direct Waynflete and the WPNA to commence discussions regarding a defined overlay zone, with a set campus definition, to prevent the further encroachment that neighbors so fear and that the City's Comprehensive Plan discourages.

Very truly yours,



Elizabeth W. Begin  
Institutional Impact Chair  
Western Promenade Neighborhood Association

CHRONOLOGY OF WAYNFLETE CONDITIONAL USE AND SITE PLAN REVIEW APPLICATIONS  
(Note: Historic Preservation files were also checked but all minor)

Address	Proposal	Hearing Date	Decision	Conditions	Comments	PB #
Ruth Cook Hyde House Vic. 340 Spring St; "Hyde House"	Conversion of first floor into school administrative offices	Oct 6, 1987	Approved subject to condition	That the duration of the conditional use permit be limited to 3 years	Related to temporary need resulting from fire at Storer House; a later report mentions that Board requested a Master Plan prior to considering other applications	#79
"Cook Hyde House"	Conditional use of the first floor of Cook Hyde House for administrative offices.	May 11, 1993	Approved	none		#16
"Ruth Cook Hyde House"	Conditional use request for RCH House to make permanent the conditional use of the first floor and authorizes the expansion of the conditional use to the second and third floors of the building	Feb. 25, 1997	Approved	"based on submitted application, campus master plan, and testimony provided at the meeting".	Updated Master Plan was requested at the Workshop; Waynelete submitted letter from Board of Trustees confirming that it has no plans at this time for further property acquisitions in the W. Promenade neighborhood	#7-5
Morrill House 338 and 342 Spring Street	Cond use, SPR and HP for construction of a 3 story building addition which will connect the Cook Hyde and Morrill houses	June 22, 1999	Approved subject to conditions	that a sample mock up of the brickwork and final window detail be reviewed and approved by HP staff; tree to be planted in front of addition; re fixture of light fixtures.	Does not result in loss of Res. Use; makes more efficient use of existing facilities; issues largely to do with impact of the building on Spring Street	#24-
Storer Street (Pratt House) 3 Storer Street (Pratt House)	Rev. approved site plan & cond use (for arts center) to accommodate displaced uses: A. Allow temp. classroom & storage space in Pratt House; OR B. Allow a modular classroom and storage trailer	July 10, 2001	"the Portland Planning Board voted 3-1 (Delogu opposed; Krichels, Hagge and Rodriguez absent) on a motion to approve cond. Use/site plan for the temporary modular. Failing four votes the item was tabled to the next meeting (however, the applicant has subsequently withdrawn the application)."		Tape is not audible for parts. Option A seemed 'unpalatable' to most of Board; Housing Committee policies mentioned re loss of housing.	#18-

Address	Proposal	Hearing Date	Decision	Conditions	Comments	PB Rep # review
64 Emery Street <i>Library</i>	Conditional use & SP approval for the library expansion project	May 11, 1993	Approved			#16-93
64 Emery Street, Building Addition	Conditional Use, Site Plan and Historic Preservation Review to construct 9064 sq ft building addition to 64 Emery Street	July 27, 1999	Approved subject to conditions	<p><i>That the rear property line of 305 Danforth Street be relocated to meet all required setbacks. A copy of the recorded deed shall be submitted to Planning staff.</i></p> <p><i>That the existing hedge along the southern edge of the Emery building property adjacent to Emery Street be preserved or replaced in kind.</i></p>	<p>Heading in report: "PROJECTS CONFORMANCE WITH CAMPUS MASTER PLAN"</p> <p>"In 1995, Waynflete completed a campus master plan based on projected programmatic and infrastructure needs. The campus master plan was undertaken at the urging of the Planning Board, which informed the school that no further conditional use requests, building or infrastructure projects would be considered until Waynflete addressed its campus needs in a comprehensive planning effort"</p>	#34-99
<b>Parking, Loops and Access Roadways</b>						
Loop Road Project; Thomas Ho. 360 Spring St	Cond Use & SPR for construction of loop road surrounding Thomas House (to address safety concerns for children getting on/off school buses)	July 8, 2003	Approved subject to conditions: <i>That prior to the commencement of site work, the applicant shall submit a plan for review and approval by the City Arborist for the planting of up to 4 additional street trees along the Spring Street frontage of the campus.</i>  <i>That prior to commencement of site work, the applicant shall submit lighting specifications for Planning staff review and approval.</i>  <i>That prior to commencement of site work, the applicant shall amend the plans and details as outlined in Mr. Lombardo's comments of 5/9/03 and as outlined in James Seymour's memo of June 16, 2003.</i>  <i>That the removable basketball hoop shall be installed no earlier than 7:30 am nor later than 5:30pm Monday through Friday and not during summer recess.</i>		<p>The last condition was added by the PB; Waynflete requested reconsideration of this condition and to substitute:  <i>That the removable basketball hoop shall be installed no earlier than 7:30 am nor later than 5:30pm Monday through Friday while school is in session, and during that portion of the summer in which summer program activities are conducted.</i></p>	#27-03 and #27A-0.

Address	Proposal	Hearing Date	Decision	Conditions	Comments	PB Repor. # reviewed
Arts Center (phased)						
Storer Street/Danforth St.	<p>Cond Use, HP and SPR for Art Center addition of 23,000 sq ft (Phase 1: 3-story addition to Davies Bldg; 1 story addition to same bldg; 5 parking spaces); Phase 2: construction of auditorium, its attached 2-story addition and new 24 space parking lot. (17 parking spaces to be removed)</p>	May 22, 2001	<p>Approved subject to Site Plan conditions. The applicant will provide staff with catalog cuts for wall and pole mounted fixtures that are in compliance with the lighting standards.</p> <p>The applicant will coordinate and satisfactorily determine the function of the existing 8" pipes that will be impacted by the project. If they are determined to be pipes that carry combined flows of sewer and storm water, then the Public Works Dept. must be contacted and any possible removal or other remedial measures made to offset any new flows introduced into the system.</p> <p>The applicant and their contractor must contact the DRC during construction to inspect the trench drain and storm drain installation with specific emphasis on the gradation of materials. The Stormwater report contains specific statements regarding the required materials and evidence of material acceptance should be required during construction.</p> <p>The applicant will maintain all streets free and clear of mud and debris and shall be responsible to sweep or clean the streets immediately upon notice from the Public Works or Planning Departments.</p> <p>The applicant, upon completing a realignment of the proposed parking lot requiring minimal tree removal, shall meet with staff and have staff approve the proposed changes.</p> <p>Tree protection methods for all trees must be demonstrated and no re-grading, site work or storage of materials should occur within the drip-line.</p> <p>The existing crabtrees or comparable plantings will be transplanted or planted to screen the proposed parking area.</p> <p>Eight additional 5-6' high evergreens be planted within the remaining pine grove.</p> <p>If the Hemlock trees cannot be saved in the area between the proposed parking area and the building on Emery Street, additional trees will be planted at a ratio of 3:1 in the area to assist in the screening of the parking area.</p>			#18-01
<p><b>Master Plan (note: 3 Storer Street was purchased by Waynflete in 2000 and is not included in these Master Plans)</b></p>						
Master Plan July 11, 1995	Initial version submitted to Planning board Workshop	N/A	N/A	Large part of the Master Plan is about the control of parking; copy will be available at Hearing	Informational Workshop	Memo
Master Plan Update April 13, 1999	Updated version	N/A	N/A	Not found in files	Informational Workshop	Memo



# PORTLAND MAINE

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**Planning and Development Department**  
Lee D. Urban, Director

**Planning Division**  
Alexander Jaegerman, Director

May 31, 2007

Austin Smith, Architect  
Scott Simons Architects  
75 York Street  
Portland, ME 04101

**RE: Conditional Use and Site Plan Application**  
**Applicant: Waynflete School: 20 Storer Street**

Dear Mr. Smith,

I refer to the application for an Auditorium addition on Storer Street submitted May 18, 2007. The various departments are currently reviewing the proposal, any comments will be forwarded to you as I receive them.

This application will be considered at a Planning Board Workshop on June 12<sup>th</sup>, 2007. The Planning Board will review the application in the context of the applicable standards as set out in Sections 14-103 (b) and 14-474. Further information, as outlined below, is requested to help the Board make a determination:

1. Please provide a narrative as to what was approved in May of 2001 and what is being proposed for this Phase II project. Compare and contrast the two proposals. Please provide this for the workshop hearing.
2. Technical and Financial letter shall be submitted; we will require the in writing what grants and amounts being used to fund this project. A letter of financial capacity is requested from the school and one from their bank.
3. In a narrative please address how this project is meeting the conditions of Section 14-103 (b) and Section 14-474.
4. According to the City's Technical and Design Standards and Guidelines, section 2(A) (b), a two-way drive shall be 24' and the site plan shows 20'. The applicant can request a formal waiver of this standard.

5. According to the City's Technical and Design Standards and Guidelines, section 3(A), Parking stalls shall be 9' x 19'. Please show this on the site plan or submit a waiver of the standard.
6. There are various complains about parking in this neighborhood, what has the School done to address the parking demand? Please provide a narrative in regard to this.
7. The City's Traffic Engineer has requested parking analysis to be submitted.
8. The Waynflete School Campus Master Plan 2006, it shows a 24-space parking lot on Storer Street, diagonal from the proposed project site, why isn't this space being used for parking instead of the proposed parking lot.
9. Is the Art and Music Studios, which was included as part of the approved phase II plan, being proposed as the third phase. Please explain in detail.
10. A utilities plan shall be submitted. The plan shall show all existing and proposed utilities. This shall show the location of the transformer on Storer Street.
11. Lighting – catalog cuts showing height, wattage, type, etc. All proposed lighting fixtures need to meet the City's standards. A photometric plan shall be submitted.
12. Are there any solid waste (trash) containers being proposed on the site? What is being proposed for trash removal?
13. Submit a copy of the most current master plan for the campus.
14. Submit a capacity letters from the various utilities are required.
15. Submit copies of deeds for the Waynflete School property.
16. Submit Architectural renderings of the proposed addition.
17. The project proposes a new roof top mechanical unit, submit evidence of the measurement to be taken to lower the noise level.
18. When the proposal to convert part of 3 Storer House (Pratt House) into administrative offices came before the Planning Board (June 2006), there were suggestions that this phase should include the space needed. Explain in detail as to how the School is meeting the administrative space that is needed and why it is not being proposed in this development.
19. Department of Public Works comments
  - a. A stormwater plan has not been submitted for review. It should include pre and post development flows, an updated capacity letter for the tie in to the combined sewer, and modeling information.
  - b. A large number of civil site details are missing. Catch basin details, granite curb installation details, tie in details, brick sidewalk details, pipe trench details, and trench repair details all should be included.

## MEMORANDUM



TO: Shukria Wiar  
FROM: Dan Goyette  
DATE: May 29, 2007  
RE: Waynflete Arts Center Phase Two

Woodard & Curran has performed a review of the site plan application for the Waynflete Arts Center Phase Two Project.

### Documents Reviewed

- Site Plan Application for Waynflete Arts Center Phase Two Project, dated May 18, 2007, Scott Simons Architects.

### Comments

- A stormwater plan has not been submitted for review. It should include pre and post development flows, an updated capacity letter for the tie in to the combined sewer, and modeling information.
- A large number of civil site details are missing. Catch basin details, granite curb installation details, tie in details, brick sidewalk details, pipe trench details, and trench repair details all should be included.
- No proposed stormwater or sewer infrastructure is shown on the plans. Locations for proposed piping and where connections to the existing system are proposed should be indicated on the plans.
- New handicap ramps should be constructed at the corner of Storer and Danforth Streets. The associated details will need to be included.
- The condition of the existing sidewalk should be indicated.

DRG  
203943.



## Site Plan Application

Department of Planning and Development  
Portland Planning Board

<b>Address of Proposed Development:</b> <i>20 STORER STREET Zone: R4</i> <i>PORTLAND, MAINE 04102</i>		
<b>Project Name:</b> <i>WAYNFLETE ARTS CENTER, PHASE TWO</i>		
<b>Existing Building Size:</b> <i>18,437 sq. ft.</i>	<b>Proposed Building Size:</b> <i>10,807 sq. ft.</i>	
<b>Existing Acreage of Site:</b> <i>244,238 sq. ft.</i>	<b>Proposed Acreage of Site:</b> <i>244,238 sq. ft.</i>	
<b>Tax Assessor's Chart, Block &amp; Lot:</b> Chart# <i>061</i> Block # <i>F</i> Lot# <i>8</i>	<b>Property Owners Mailing address:</b> <i>360 SPRING STREET</i> <i>PORTLAND, MAINE</i> <i>04102</i>	<b>Telephone #:</b> <i>207.683.2201</i>  <b>Cell Phone #:</b>
<b>Consultant/Agent Contact Name and mailing address, Telephone # and Cell Phone #:</b> <i>SCOTT SIMONS ARCHITECTS</i> <i>AUSTIN SMITH</i> <i>75 YORK STREET</i> <i>PORTLAND, MAINE 04101</i> <i>207.722.4656</i>	<b>Applicant's Name/Mailing Address:</b> <i>WAYNFLETE SCHOOL</i> <i>ANNE HAGSTROM</i> <i>DIRECTOR OF FINANCE</i> <i>AND OPERATIONS</i> <i>360 SPRING STREET</i> <i>PORTLAND, MAINE 04102</i>	<b>Telephone #:</b> <i>207.774.7863</i> <i>EXT. 227</i>  <b>Cell Phone #:</b>
<b>Fee For Service Deposit (all applications)</b> <u>  <i>✓</i>  </u> (\$200.00)		
<b>Proposed Development (check all that apply)</b> <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Storm water Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
<b>Major Development (more than 10,000 sq. ft.)</b> <input checked="" type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		

RECEIVED

MAY 12 2007

City of Portland  
Planning

~ Please see next page ~



**Minor Site Plan Review**

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

**Plan Amendments**

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Who billing will be sent to:

RECEIVED

MAY 18 2007

City of Portland  
Engineering


Submittals shall include (7) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11x17 plans

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: [portlandmaine.gov](http://portlandmaine.gov)

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit

**This application is for site review only; a Building Permit application and associated fees will be required prior to construction.**

Signature of Applicant::  Scott Kinnison Architects for Weymouth School	Date: May 17, 2007
--	-----------------------

Attachment 1a.

*Site Plan Application*  
**WAYNFLETE ARTS CENTER, PHASE TWO**  
*360 Spring Street*  
*Portland, Maine 04102*



Scott Simons Architects

75 York Street  
Portland, Maine 04101  
phone 207 772 4656  
fax 207 828 4656  
www.simonsarchitects.com

**MEMORANDUM** *Site Plan Application*

**date:** May 18, 2007  
**project:** WAYNFLETE ARTS CENTER, PHASE TWO, 2003-0040  
**re:** Major Development, Site Plan Application  
**to:** Planning Department City of Portland  
**from:** Austin Smith Scott Simons Architects (SSA)  
**cc:** Scott Simons SSA  
Charles Young SSA  
Anne Hagstrom Waynflete  
David Cimino Stroudwater

In accordance with the City of Portland Land Use Code, Section 14-525, we are submitting the following information for your consideration, regarding the proposed addition and site improvements at the Waynflete School, 360 Spring Street, Portland, Maine.

1. *Description of proposed uses to be located on the site, including quantity and type of residential units, if any:*

•The existing school use is to remain. In accordance with the Waynflete School Masterplan, as updated March, 2005, the School intends to undertake the building of Phase Two of Arts Center Addition on Storer Street.

Phase One and Two of the Arts Center were submitted for Major Site Plan Review and Historic Preservation in May of 2001 with approval granted for both components. Construction of Phase One was completed in August of 2002. Due to the expiration of original approval, Phase Two is being re-submitted for Site Plan Review and Historic Preservation.

•The School proposes to add a 10,807 SF auditorium / theater addition with support space to the edge of the existing 2 1/2 story brick Daveis Hall. New construction will be to the south of Davies towards Danforth Street. The existing Waldron Auditorium will undergo interior renovations and upon completion, will be used as a gymnasium space.

The project also includes site improvements with new parking area at the edge of Danforth Street, as shown on the Site Plan. All edges of the proposed project are landscaped.

• There will be no change in the size of the School population or the use of the arts facilities as a result of this Project. All programs that will use this facility are existing.

**project:** Waynflete Arts Center, Phase Two  
**file:** 2003-0040.site plan application.doc

**date:** 5/18/07  
Page 1 of 1

2. *Total land area of the site and the total floor area and ground coverage of each proposed building and structure:*

- The Waynflete School site is comprised of twelve classroom/administration buildings and four storage buildings (garages). The buildings are of various sizes and shapes, ranging from the one story wood frame garages of 600 SF to the three story brick Upper School building of approximately 30,000 SF.

- Total area of combined parcels = 244,239 SF

- Existing total lot coverage of combined parcels = 56,464 SF or 23.12%

- Proposed total lot coverage of combined parcels = 63,229 SF or 25.89%

- For existing and proposed site coverage calculations, see attached Lot Coverage Calculations, dated 05.17.07.

- For boundary and lot line configuration see enclosed property survey.

3. *General summary of existing and proposed easements or other burdens now existing or to be placed on the property:*

- There are no easements or burdens that we are aware of. See attached survey drawing.

4. *Description of existing soil conditions*

- See enclosed Geotechnical Engineering report by S.W. Cole dated April 18, 2001.

5. *The types and estimated quantities of solid waste to be generated by the development:*

- There will be no change in use or occupant load.

Six toilets and two urinals will be added during new construction.

6. *Evidence of the availability of off-site facilities including sewer, water and streets:*

- The site is bordered on the south by Danforth Street and on the east by Storer Street.

- For sanitary waste in Phase One, a 6" pvc sanitary line was connected to the 6" vitreous combined storm/sewer @ Storer Street. For Phase Two a new 8" pvc sanitary line will connect to the existing 14" combined sewer/storm line at Danforth Street.

Additional new roof drainage will be taken to the trench drain and then onto to the existing Danforth Street combined sewer/storm line via the Fletcher/Danforth catch basin. The need to collect sheet drainage from that portion of the field will be eliminated when the addition is built, freeing up the new storm lines, catch basins, and trench drain to handle the capacity of the new roof drains.

- Water service will continue from Storer Street and is adequate to service both domestic and fire protection needs for the addition of Phase Two.

- Electrical service is currently provided overhead from Storer Street. Existing service is three phase and runs overhead from existing pole on Spring Street to a pad mounted transformer across Storer Street from Davies Hall, then underground into the basement of Davies Hall. This service entry will remain with no change in electrical service required for Phase Two.

- Gas service from Fletcher Street currently extends into the basement of Davies Hall, where two existing gas boilers will service the existing building and new Phase Two addition.

7. *A narrative describing the existing surface drainage on the site and a stormwater management plan indicating measures which will be taken to control surface water runoff:*

- Storm-water analysis submitted and approved in May of 2001. Revised design of May 2007 has a decrease in impervious area. Calculations will be modified to reflect this.

8. *A construction plan outlining the anticipated sequence of construction of the major aspect of the proposed project, including without limitation roads, retention basins, sewer lines, seeding and other erosion control measures, and pollutant abatement measures, and also setting forth the approximate dates for commencement and completion of the project:*
- Construction of a 10,807 SF Theater/ Auditorium addition with support space to the Danforth Street side of Davies Hall Extent of new work shown on enclosed floor plans and elevations.
  - Construction to start in September of 2007 and be completed at the end of November of 2008; 14 to 16 months of construction.
  - Sitework and landscaping improvements around entire Phase Two addition, including landscaping at new side entrance off Storer Street. Fall of 2008, after substantial completion of the building addition.
  - Construction of a new paved, 11 car parking lot at southern end of Storer Street. This will replace the current unpaved, 6 car parking provided in Phase One.
  - Construction site to be accessed from Storer Street with staging area on site of proposed parking . Designated area to west of proposed addition will also be used for staging. Protective fencing to be installed to define limit of work.
9. *List all state and federal regulatory approvals to which the development may be subject, the status of any pending applications, and the anticipated time frame for obtaining such permits or that a determination of no jurisdiction from the agency will be requested:*
- A review will be conducted by the State Fire Marshall's Office in Augusta. The Fire Marshall's office will also certify compliance with NFPA and the Americans' with Disabilities Act (ADA). File to be established in June of 2007 with initial review of code summary. Final review to be conducted upon completion of construction documents in August of 2007.
  - A building permit will be required from the City of Portland. Application will be made upon completion of construction documents. Plans will also be reviewed by the Portland Fire Department for life safety issues.
  - Portland Fire Department Site Review documents enclosed.
10. *Evidence of financial and technical capacity to undertake and complete the development including, but not limited to, a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved, if requested to do so:*
- See attached letter from the Waynflete School.
11. *Evidence of the applicant's title, right, or interest in the property, including without limitation deeds, leases, purchase options or any other documentation:*
- See plot plans and deeds previously submitted.
12. *A narrative describing any unusual natural areas, wildlife and fishery habitats, or archaeological sites located on or near the project site and a description of the methods that will be used to protect such areas or sites:*
- The School is located in an urban area. The buildings have existed in their current form for many years (recorded on tax documents of 1951). There are no unusual natural areas, wildlife and fishery habitats, or archaeological sites on or near the proposed building additions and parking area.



75 York Street  
 Portland, Maine 04101  
 phone 207 772 4656  
 fax 207 828 4656  
 www.simonsarchitects.com

**MEMORANDUM** *Site Plan Application - Fire Department Checklist*

**date:** May 18, 2007  
**project:** WAYNFLETE ARTS CENTER, PHASE TWO, 2003-0040  
**re:** Major Development, Site Plan Application  
**to:** Planning Department City of Portland  
**from:** Charles Young Scott Simons Architects (SSA)  
**cc:** Scott Simons SSA  
 Austin Smith SSA  
 Anne Hagstrom Waynflete  
 David Cimino Stroudwater

In accordance with the City of Portland Land Use Code, Section 14-525, we are submitting the following information for your consideration, regarding the proposed addition and site improvements at the Waynflete School, 360 Spring Street, Portland, Maine. The information below directly addresses the Portland Fire Department Site Review Checklist.

1. *Name, address, and telephone number of applicant:*
  - Waynflete School, 360 Spring Street, Portland Maine, 04102. Ph. 207-683-2201.
2. *Name, address, and telephone number of architect:*
  - Scott Simons Architects. 75 York Street, Portland Maine 04101. Ph. 207-772-4656
3. *Proposed uses of any structures ( NFPA and IBC classification):*
  - NFPA and IBC: Non-separated Mixed Use Occupancy (Assembly and Educational )
4. *Square footage of all structures:*
  - Addition Total = 10,807 SF
    - a. Ground Floor: 6,819 SF
    - b. First Floor: 3,732 SF
    - c. Second Floor 256 SF
  - Existing Total = 18,437 SF
    - a. Ground Floor: 4,490 SF
    - b. First Floor: 9,864 SF
    - c. Second Floor 4,083 SF
  - Combined Total = 29,244 SF
    - a. Combined Ground Floor: 11,309 SF
    - b. Combined First Floor: 13,596 SF
    - c. Combined Second Floor 4,339 SF

**project:** Waynflete Arts Center, Phase Two  
**file:** 2003-0040.FD checklist.doc - Fire Dept. Checklist

**date:** 5/18/07  
 Page 1 of 1

5. *Elevation of all structures:*
  - Refer to Building Elevation drawing A2.1
6. *Proposed fire protection of all structures:*
  - Automatic Fire Sprinklers throughout entire building.
7. *Hydrant locations:*
  - Refer to site plans for proximity to existing street hydrants.
8. *Water main size and location:*
  - Water main located in Storer Street. Current fire protection line installed during Phase I connects from Storer St. main into existing buildings.
9. *Access to fire department connections:*
  - Standard, wall mounted "Storz" connection per City of Portland Fire Dept. requirements.
10. *Access to all structures: (Min. of 2 sides)*
  - Proposed addition has access to Storer Street on the east and to Danforth St. on the south. Refer to site plans for layout and orientation.
11. *Code summary referencing NFPA and all fire department technical standards.*
  - Building Code Summary:
  - IBC 2003, 2003 NFPA 101 Life Safety Code.

Use Group: Non Separated, Mixed Use – Assembly and Educational

Type of Construction: Type 3B, fully sprinklered.

Stages and Platforms: To meet Section 410 requirements for fire protection, construction and sprinklers. Stage height less than 50' = proscenium wall and curtain not required to be rated.

Automatic Sprinkler: Yes, to meet NFPA 13 per section 903.3.1

Max. Area allowed: per Table 503: 8,500 with 200% sprinkler increase = 17,000 SF per floor

Max. Stories allowed: Three stories allowed with sprinkler increase.

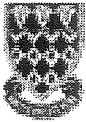
Max. Height allowed: 75 ft. with sprinkler increase. (Max. proposed height above grade = approx. 48 ft).

Means of Egress: Minimum of two exits per floor required.  
 Dead end limit = 20 ft.  
 Maximum distance to exit = 250 ft.  
 Stair enclosures: One hour rating ( less than 4 stories)  
 Corridors: Per Table 1016.1 IBC no rating required with fully sprinklered bldg.

Occupant Load :

496 (all floors, addition only)	
Auditorium fixed seats: =	276
Stage @ 15 nsf:	57
Classrooms and practice rooms @ 20 nsf:	163

12. *Elevators shall be sized to fit an 81" x 23" stretcher and two personnel.*
  - Variance to stretcher size requirement granted during approvals of Phase One. The existing elevator is to serve the addition -refer to building floor plans for location and size.



**Waynflete**

Attachment 1c.

Waynflete School  
360 Spring Street  
Portland, Maine 04102-3543  
207-774-5721  
Fax: 207-772-4782  
www.waynflete.org

**Memorandum**

**To: Michael J. Patterson, Chair, and Members of the Portland Planning Board**  
**From: Anne C. Hagstrom, Director of Finance and Operations**  
**Date: May 17, 2007**  
**Re: Financing for Construction of Theater and Gymnasium**

The construction of the theater and gymnasium is the next part of the three-phase project originally approved by the Planning Board. The first phase was completed in 2002.

Waynflete has undertaken a capital fundraising campaign and has sufficient funds to pay for the construction of the theater and gymnasium.



**GEOTECHNICAL ENGINEERING SERVICES  
PROPOSED ADDITION - WAYNFLETE SCHOOL  
360 SPRING STREET  
PORTLAND, MAINE**

**01-0120 S April 18, 2001**

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**S.W. COLE**  
ENGINEERING, INC.

• Geotechnical Engineering • Field & Lab Testing • Scientific & Environmental Consulting

01-0120 S  
April 18, 2001

Scott Simons Architects  
Attn: Austin Smith  
15 Franklin Street  
Portland, Maine 04101-4169

Subject: Geotechnical Engineering Services  
Proposed Building Addition-Waynflete School  
360 Spring Street  
Portland, Maine

Dear Mr. Smith:

In accordance with our Proposal dated February 27, 2001, we have made a subsurface investigation for the proposed Building Addition to Davies Hall at the Waynflete School Facility. This report summarizes our findings and its contents are subject to the limitations set forth in Attachment A.

## **1.0 INTRODUCTION**

### **1.1 Scope of Work**

The purpose of the investigation was to explore the subsurface conditions and provide recommendations relative to foundation design and earthwork associated with the proposed building addition. The investigation included the making of seven test boring explorations, two test pit explorations, laboratory testing, and a geotechnical evaluation of the findings as they relate to the proposed building construction. This report covers geotechnical aspects for construction of the building structure only.

### **1.2 Proposed Construction**

Based on the site plan you provided, we understand that a three level addition will cover a footprint of about 12,000 square feet. The new addition will be attached to the southerly side of Davies Hall and will house an auditorium, classroom and storage space. The proposed finish floor elevation for the lower level of the addition will be 127.5 feet with a depressed slab in the auditorium at an elevation of 125.5 feet. We understand that the structure will be steel framed with masonry veneer. The lower level

understand that the structure will be steel framed with masonry veneer. The lower level will be a day-lighted basement with foundation walls supporting up to about 10 feet of soil. A hydraulic elevator with and underlying 4± foot deep pit is also proposed. The elevator will likely be controlled by hydraulic piston drilled into the underlying soil. Current grades within the proposed building addition area vary from about elevation 125 feet at the southerly side, near Danforth Street, up to 138 feet at the northerly side, adjacent to the existing Davies Hall structure. Thus, tapered fills of about 2 feet and cuts of about 11 feet will be needed to achieve floor grade. Deeper cuts will be needed for foundation and elevator pit areas. It also appears that cuts adjacent to the existing school will extend below existing floor and foundation elevations. Details regarding the proposed and existing site features are shown on "Exploration Location Plan" attached as sheet 1.

## **2.0 EXPLORATION AND TESTING**

### **2.1 Exploration**

Great Works Test Boring, Inc. of Rollinsford, NH made seven test borings at the site on March 16, 2001. Shaw Brothers Construction of Gorham, Maine, made two backhoe-dug test pit explorations on March 16, 2001. The exploration locations were selected and located at the site by personnel from S.W. COLE ENGINEERING, INC. based on a plan provided by Scott Simons Architects. The approximate exploration locations are shown on the "Exploration Location Plan", attached as Sheet 1. Sheet 1 is based on a site plan provided by Scott Simons Architects. Logs of the explorations, based on our observations and testing of samples are attached as Sheets 2 through 9. A key to the notes and symbols used on the logs is attached as Sheet 10. The elevations noted on the logs were estimated from topographic contours shown on the site plan.

### **2.2 Laboratory Testing**

Samples recovered from the explorations were visually examined and classified in our laboratory. Laboratory testing was performed on selected samples recovered from the explorations. Moisture content test results are noted on the logs. The results of five grain size analyses are presented graphically on Sheet 11.

### **3.0 SITE AND SUBSURFACE CONDITIONS**

#### **3.1 Site Location and Surficial Conditions**

The site is located on the northwesterly corner of the intersection of Danforth and Storer Streets in Portland, Maine. The addition will be attached to the southerly side of the existing Davies Hall. The site is currently open with grass or gravel at the surface. A contractor is currently using a portion of the site as a construction storage yard. The site is benched with a relatively flat upper bench at a about elevation 137 feet adjacent to the southerly side of Davies Hall. About ten feet south of Davies Hall, surface grades slope steeply downward to the lower bench over the southerly portion of the site. The lower bench slopes gently downward to the south from about elevation 128 to 125.

#### **3.2 Subsurface Conditions**

In general, the test boring explorations encountered loose to medium dense granular fill soils overlying native medium dense to very dense glacial till. The fill varied from about 3.5 to 6.0 in thickness at the explorations. A 1.5± foot thick layer of sand with some silt and gravel was found below the fill at boring B-2 which may also be a fill layer. The explorations were terminated in the till soils at depths ranging from 12 to 17 feet below the existing ground surface. Refusal surfaces (possible bedrock) were encountered in borings B-3, B-4 and B-7 at depths of 15.7, 15.8 and 16.5 feet.

Test pits TP-1 and TP-2 were made adjacent to the southerly side of the existing structure to assess the existing foundation configuration. The explorations encountered 4 to 5± feet of foundation backfill overlying native gray glacial till. Test pit TP-1, made adjacent to the older section of Davies Hall, encountered a stone and mortar foundation wall to a depth of about 3 feet below the ground surface. The stone and mortar wall appears to be founded on a 1± foot layer of rock, cobbles and mortar overlying glacial till. Test pit TP-2, made adjacent to the newer portion of the structure encountered a cast-in-place concrete foundation wall with a footing depth of about 5 feet below the existing ground surface overlying glacial till. Foundation underdrains were not observed at the test pit explorations. Photographs of the existing foundation configurations observed at the test pit locations are presented in Appendix A. Refer to the attached exploration logs for a more detailed description of the findings.

### **3.3 Groundwater**

Groundwater was observed in the open boreholes at the completion of drilling at depths varying from about 7 to 10 feet at borings B-1, B-4 and B-5. The remainder of the explorations encountered moist to wet soils. Seepage was also observed at test pit TP-2 at a depth of about 5 feet. It should be noted that due to the slow draining characteristics of the existing soils, accurate water levels could not be obtained during drilling. A ground water monitoring well was installed at boring B-6. The groundwater was measured to be at a depth of 2 feet below the existing ground surface on April 16, 2001. Long-term groundwater levels are not known, but it should be anticipated that levels would fluctuate seasonally and during periods of heavy precipitation and/or snowmelt.

## **4.0 EVALUATION AND RECOMMENDATIONS**

### **4.1 General Findings**

Based on the findings at the explorations and our knowledge of the proposed construction, it appears that the site is suitable for the proposed construction from a geotechnical standpoint. Spread footing foundation and on-grade floor slabs are suitable for the proposed construction. Perimeter foundation underdrains as well as sub-slab underdrains will be needed.

The principal geotechnical concerns relative to the design, construction and long-term performance of the proposed construction are moisture sensitive and frost susceptible existing soils, an apparent shallow groundwater depth and loose existing fill soils. Additionally, excavation work adjacent to the existing building will likely require braced sheeting or underpinning to preclude undermining existing foundations. A clean imported granular fill will be needed for backfill adjacent to foundations. Groundwater will need to be controlled long term with perimeter and sub-slab underdrains as well as a crushed stone drainage layer directly below the slab. The existing fills will need to be removed from beneath all foundation areas and existing fill beneath slab areas will need to be densified prior to placing the sub-slab crushed stone.

### **4.2 Subgrade Preparation**

Subgrade preparation should include removal of all existing topsoil, and organics and existing structures (retaining wall, stairways, etc.) from beneath areas of construction.

All existing fill spoils should be removed from beneath proposed foundation areas. Existing soils should be removed to a depth of at least 8 inches below bottom of all slab areas to allow for a layer of compacted crushed stone fill. Geotextile fabric should be placed beneath the crushed stone layer. The elevator pit area should be overexcavated by at least 8 inches and replaced with 8 inches of crushed stone.

Based on the information obtained at the exploration locations, it appears that the existing fill is granular (silty sands), but generally loose. Considering this, we recommend that the slab subgrade be densified using a vibrator roller compactor weighing at least 8 tons prior to placing the crushed stone layer. A S.W. COLE ENGINEERING Technician should make at least 5 passes with observation. Any areas that continue to yield should be overexcavated and the soil replaced with compacted select fill.

#### **4.3 Foundation Design**

The design freezing index for the Portland, Maine area is approximately 1250 Fahrenheit degree-days. Thus, all perimeter foundations should be placed at least 4.5 feet below exterior finish grade to provide frost protection.

All wall footings should be at least 18 inches in width. Column footings should be at least 24 inches in their smallest dimension. Footing and foundation wall design should consider the following soil parameters:

Net Allowable Bearing Pressure = 4.0 ksf (compacted granular fill or undisturbed native till)

Design Frost Depth = 4.5 feet below exterior finish grade

Base Friction Factor = 0.40

( $K_p$ ) Passive Lateral Earth Pressure Coefficient = 3.0 (compacted select fill)

( $K_o$ ) At-Rest Lateral Earth Pressure Coefficient = 0.50 (restrained wall)

( $K_a$ ) Active Lateral Earth Pressure Coefficient = 0.33 (restrained wall)

( $\gamma_T$ ) Unit Weight of Backfill = 125 pcf (compacted select fill)

Relative to seismic design evaluation, we recommend that design consider soil profile type  $S_1$  with a site coefficient of 1.0. We anticipate that total post-construction

settlements of properly designed footings bearing on properly prepared subgrades should not exceed 1/2-inch. Foundation wall design will also need to consider surcharge loads from construction activity and compaction equipment.

#### **4.4 Slab-on-Grade Floors**

Concrete slab-on-grade floors may be designed using a subgrade reaction modulus of 300 pci (pounds per cubic inch) provided the floor is underlain by at least 8 inches of compacted crushed stone over densified fills.

A vapor retarder to limit the upward migration of moisture vapors should be considered beneath floor slabs covered with moisture sensitive flooring. The vapor retarder should have a permeance that is less than the floor covering being applied on the slab. Vapor retarders should be installed according to the manufacturer's requirements. Flooring suppliers should be consulted relative to acceptable vapor retarder systems for use with their products.

We recommend that control joints be installed within floor slabs to accommodate shrinkage in the concrete as it cures. In general, joints are typically installed at 10 to 15 foot spacing, but should be determined by the structural engineer with consideration to slab thickness. Floor slabs should be wet-cured for a period of least 7 days after casting as a measure to reduce the potential for curling of the concrete and excessive drying/shrinkage.

We recommend that consideration be given to using curing paper or curing compound over concrete slabs to further improve the quality of the completed floor.

#### **4.5 Foundation Drainage**

We recommend that an interior and exterior perimeter underdrain system be provided at footing grade for the lower floor level. We also recommend that sub-slab underdrains be provided beneath the lower level slab at a spacing of about 20 feet on the center. An underdrain should also be provided within the crushed stone layer below the proposed elevator pit and the proposed depressed slab area in the auditorium area.

Rigid underdrain pipe, 4 inches in diameter, should be utilized. The underdrain pipes should have perforations of 1/4 to 5/8 inch. We recommend that at least 6 inches of 3/4 inch crushed stone bedding be provided around the foundation underdrains and that the



stone be wrapped with a geotextile filter fabric having an apparent opening size of at least 70. The underdrain system must have a positive gravity outlet. Exterior foundation backfill should be sealed with a surficial layer of clayey or loamy soil in areas that are not to be paved or occupied by entrance slabs or pavements. This is to reduce direct surface water infiltration into the backfill. Exterior grades should be sloped to promote drainage away from the building. A general underdrain detail is provided on Sheet 12.

We also recommend that all below grade concrete walls be damp proofed. Consideration should be given to placing a layer of rigid insulation adjacent to the exterior side of all basement walls. This would help reduce thermal conductivity and the potential for condensation.

#### **4.6 Excavation Work**

Excavation work will encounter topsoil, existing granular fill soils, silty sands with varying amounts of gravel and possibly cobbles, (glacial till). Groundwater should be expected in excavations depending upon the time of year of construction and recent precipitation amounts. Sloping of excavation sidewalls or shoring may likely be needed to control slumping and sloughing. A layer of geotextile fabric and crushed stone may also be appropriate on some subgrades to provide a drainage layer and stable subgrade. Ditching with sumping and pumping dewatering methods should be adequate to dewater excavations.

Care must be exercised during construction to minimize disturbance of subgrade soils. Should the subgrade become loose, or difficult to work, we recommend that the unsuitable soils be removed and replaced with compacted select fill or crushed stone. Construction equipment should not operate directly on the silty sand fill or glacial till subgrades, if wet.

Based on our conversations and the plan you provided, the lower level of the new addition will extend below existing foundations by about 7 feet. Observations made at test pits TP-1 and TP-2 indicate that the existing foundations are likely founded on the native glacial till. Excavation in these areas will likely require underpinning or braced sheeting to support the existing foundation walls. S.W. COLE ENGINEERING, INC. is available to assist with the assessment of underpinning or braced sheeting options, as

needed. In any case, excavations must be properly shored and/or sloped in accordance with OSHA trenching regulations to prevent sloughing and caving of the sidewalls during construction.

#### **4.7 Backfill and Compaction**

The native soils are frost susceptible, and therefore not suitable for foundation backfill. We recommend that fill placed adjacent to the foundation walls (both inside and out) meet the gradation for Select Fill given below.

Sieve Size	Percent Finer By Weight	
	Select Fill	Crushed Stone
4 inch	100	---
3 inch	90-100	---
2 inch	---	100
1½ -inch	---	95-100
¾ -inch	---	35-70
¼ -inch	25-90	---
⅜ -inch	---	10-30
#4	---	0-5
#40	0-30	---
#200	0-5	---

Sub-slab fill and fill placed below foundations should be compacted to at least 95 percent of its maximum dry density as determined by ASTM D-1557. Basement wall backfill (above slab elevation) should be compacted between 92 and 95 percent beneath paved areas, entrance slabs and adjacent sidewalk areas. Hand operated compaction equipment should be utilized adjacent to basement walls. This is to help reduce lateral pressures on the basement level walls. Crushed stone should be compacted to 100 percent of its maximum dry rodded unit weight in accordance with ASTM C-29.

#### **4.8 Entrances and Sidewalks**

The existing site soils are susceptible to frost heaving. Entrances and sidewalks should be designed to reduce the effects of differential frost action. We recommend excavation beneath entrances and sidewalks continue to 4.5 feet below finish grade. The 4.5 foot depth should extend from the building outward to the full width of the entrance slabs and sidewalks. The entrance and sidewalk areas should be backfilled with compacted select fill. Alternatively, the entrance sidewalk or exterior slab may be underlain with a combination of compacted select fill and rigid, extruded, closed-cell polystyrene insulation. We can assist with design aspects of an insulation option as needed. Subgrades beneath entrances and sidewalks should be sloped to promote water movement toward the underdrain system. The zone of select fill should transition up to any adjacent pavement sub-base at a 1V to 3H slope or flatter from the 4.5 foot depth (see sheet 12).

#### **4.9 Weather Considerations**

If foundation construction takes place during cold weather, subgrades, foundations, and floor slabs must be protected during freezing conditions. Fill and concrete not be placed on frozen soil and once placed, the soil and concrete must be protected from freezing. Further, the native soils are slow draining, and as such subgrades will be susceptible to disturbance during wet or freezing conditions. Consequently, site work and construction activities should take appropriate measures to protect exposed subgrades, particularly when wet. This may require the use of temporary haul roads and staging areas to preclude subgrade damage due to construction traffic. Geotextile fabric may also be needed below construction haul roads and/or proposed paved areas to help stabilize subgrades.

#### **4.10 Plan Review and Construction Testing**

We request that S. W. COLE ENGINEERING, INC. be provided the opportunity to review the final design and specifications to determine that our earthwork and foundation recommendations have been properly interpreted and implemented. It is important that a S. W. COLE ENGINEERING, INC. representative be on-site to observe subgrade soils, installation of underdrains, compaction of fill soils and placement of concrete and asphalt. This is to observe compliance with the design concepts, specifications, and design recommendations and to allow changes in the design if subsurface conditions are found to differ from those anticipated. We would be pleased



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April 18, 2001

to assist in developing a scope of services for construction materials testing services.

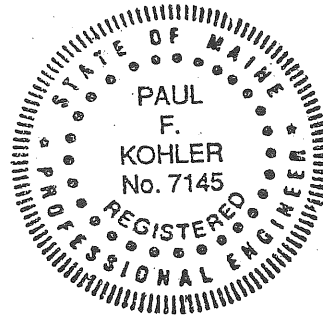
**5.0 CLOSURE**

We look forward to providing continued assistance during the design review and construction phases of this project. If you have any questions or if we may be of further assistance, please do not hesitate to contact us.

Sincerely,

**S. W. COLE ENGINEERING, INC.**

Paul F. Kohler, P.E.  
Vice President



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cc: Dan Burne-Becker Structural Engineers, Inc.

## **ATTACHMENT A LIMITATIONS**

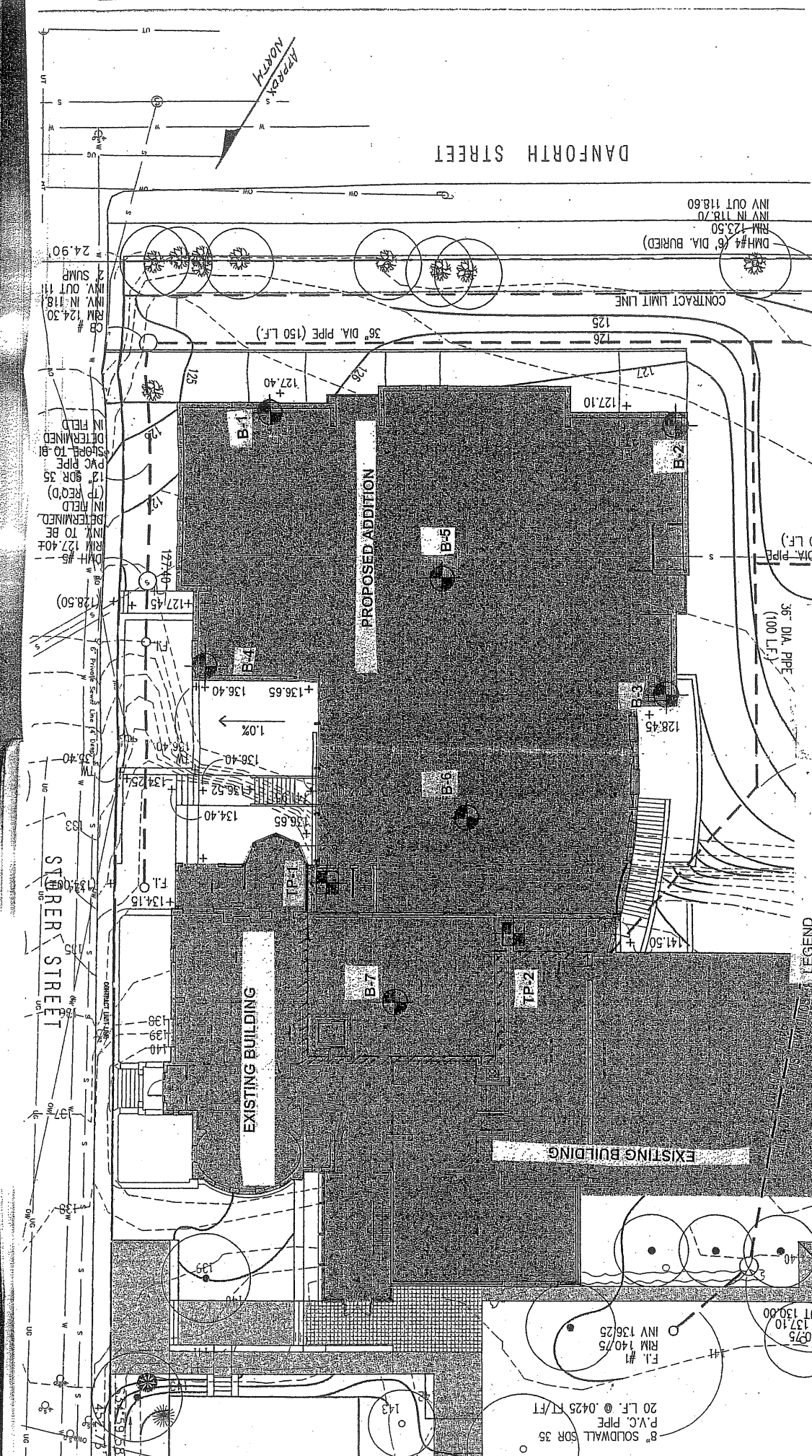
This report has been prepared for the exclusive use of Scott Simons Architects for specific application to the proposed Building Addition to the existing Davies Hall at the Waynflete School in Portland Maine. S. W. COLE ENGINEERING, INC. has endeavored to conduct the work in accordance with generally accepted soil and foundation engineering practices. No other warranty, expressed or implied, is made.

The soil profiles described in the report are intended to convey general trends in subsurface conditions. The boundaries between strata are approximate and are based upon interpretation of exploration data and samples.

The analyses performed during this investigation and recommendations presented in this report are based in part upon the data obtained from subsurface explorations made at the site. Variations in subsurface conditions may occur between explorations and may not become evident until construction. If variations in subsurface conditions become evident after submission of this report, it will be necessary to evaluate their nature and to review the recommendations of this report.

Observations have been made during exploration work to assess site groundwater levels. Fluctuations in water levels will occur due to variations in rainfall, temperature, and other factors.

Recommendations contained in this report are based substantially upon information provided by others regarding the proposed project. In the event that any changes are made in the design, nature, or location of the proposed project, S. W. COLE ENGINEERING, INC. should review such changes as they relate to analyses associated with this report. Recommendations contained in this report shall not be considered valid unless the changes are reviewed by S. W. COLE ENGINEERING, INC.



**SWCOLF**  
ENGINEERING, INC.

Scott Simons Architecture  
**EXPLORATION LOCATION PLAN**  
 WAYNFLETS SCHOOL ADDITION  
 360 SPRING STREET  
 PORTLAND, MAINE

PROJECT NO. 01-0120      SCALE: 1" = 20'

Approximate Test Pit Location  
 Approximate Test Boiling Location



**NOTES**

1. Base plan provided by Scott Simons Architects
2. Exploration locations were determined in the field by taped measurements from existing site features.



# BORING LOG

BORING NO.: B-1  
 SHEET: 1 OF 1  
 PROJECT NO.: 01-0120  
 DATE START: 3/16/01  
 DATE FINISH: 3/16/01  
 ELEVATION: 126.5 +/-  
 SWC REP.: MTT

PROJECT / CLIENT: PROPOSED DAVIES HALL ADDITION / WAYNFLETE SCHOOL  
 LOCATION: PORTLAND, MAINE  
 DRILLING FIRM: GREAT WORKS TEST BORINGS DRILLER: JEFF LEE

CASING: TYPE \* SIZE I.D. HAMMER WT. HAMMER FALL  
HSA 4 1/4"  
 SAMPLER: SS 1 3/8" 140 lb 30"  
 CORE BARREL: \_\_\_\_\_

WATER LEVEL INFORMATION  
Water Observed @ 10' +/-  
in open borehole

CASING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER 6"				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6	6-12	12-18	18-24		
	1D	24"	24"	2.0'	7	10	9	6	3.5'	DARK BROWN GRAVELLY SILTY SAND, TRACE ORGANICS AND BRICK (FILL) ~ MEDIUM DENSE ~
	2D	24"	20"	7.0'	12	14	13	11	15.0'	BROWN SILTY SAND WITH SOME GRAVEL (TILL) ~ MEDIUM DENSE ~
	3D	24"	18"	12.0'	10	14	15	15	17.0'	GRAY SILTY SAND WITH TRACE GRAVEL (TILL) ~ VERY DENSE ~
	4D	24"	12"	17.0'	11	50	48	23		BOTTOM OF EXPLORATION @ 17.0'
										NOTE: APPROXIMATE 2' OF FROST AT SURFACE

SAMPLES: SOIL CLASSIFIED BY:  
 D = SPLIT SPOON  DRILLER - VISUALLY  
 C = 3" SHELBY TUBE  SOIL TECH. - VISUALLY  
 U = 3.5" SHELBY TUBE  LABORATORY TEST

REMARKS:  
 STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.



# BORING LOG

BORING NO.: B-2  
 SHEET: 1 OF 1  
 PROJECT NO.: 01-0120  
 DATE START: 3/16/01  
 DATE FINISH: 3/16/01  
 ELEVATION: 125 +/-  
 SWC REP.: MTT

PROJECT / CLIENT: PROPOSED DAVIES HALL ADDITION / WAYNFLETE SCHOOL  
 LOCATION: PORTLAND, MAINE  
 DRILLING FIRM: GREAT WORKS TEST BORINGS DRILLER: JEFF LEE

CASING: TYPE HSA • SIZE I.D. 4 1/4" HAMMER WT. 140 lb HAMMER FALL 30"  
 SAMPLER: SS 1 3/8"  
 CORE BARREL:

WATER LEVEL INFORMATION  
 Soils Wet/Saturated @ 10' +/-

CASING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER 6"				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6	6-12	12-18	18-24		
	1D	24"	16"	2.0'	3	7	10	10	0.4'	BROWN ORGANIC TOPSOIL w = 22.0%
									5.5'	DARK BROWN SILTY SAND TRACE ORGANICS AND GRAVEL (FILL) ~ MEDIUM-DENSE ~
	2D	24"	16"	7.0'	2	6	9	22	7.0'	BROWN GRAVELLY SAND WITH SOME SILT (PROBABLE FILL) w = 7.5% ~MEDIUM DENSE~
									14.0'	~DENSE~ BROWN GRAVELLY SILTY SAND (TILL) w = 9.6%
	3D	24"	18"	12.0'	8	16	21	24	17.0'	~ MEDIUM DENSE ~ GRAY SILTY SAND WITH TRACE GRAVEL (TILL) w = 12.9%
	4D	24"	21"	17.0'	5	4	5	17		BOTTOM OF EXPLORATION @ 17.0'
										NOTE: APPROXIMATE 1' FROST AT SURFACE

SAMPLES: SOIL CLASSIFIED BY:  
 D = SPLIT SPOON  DRILLER - VISUALLY  
 C = 3" SHELBY TUBE  SOIL TECH. - VISUALLY  
 U = 3.5" SHELBY TUBE  LABORATORY TEST

REMARKS: STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.





# BORING LOG

BORING NO.: B-3  
 SHEET: 1 OF 1  
 PROJECT NO.: 01-0120  
 DATE START: 3/16/01  
 DATE FINISH: 3/16/01  
 ELEVATION: 126.5 +/-  
 SWC REP.: MTT  
 WATER LEVEL INFORMATION  
No Free Water Observed  
Soils Moist to Wet

PROJECT / CLIENT: PROPOSED DAVIES HALL ADDITION / WAYNFLETE SCHOOL  
 LOCATION: PORTLAND, MAINE  
 DRILLING FIRM: GREAT WORKS TEST BORINGS DRILLER: JEFF LEE

CASING: HSA TYPE HSA SIZE I.D. 4 1/4" HAMMER WT. 140 lb HAMMER FALL 30"  
 SAMPLER: SS TYPE SS SIZE I.D. 1 3/8" HAMMER WT. 140 lb HAMMER FALL 30"  
 CORE BARREL: \_\_\_\_\_

CASING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER 6"				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6"	6-12"	12-18"	18-24"		
	1D	24"	16"	2.0'	1	2	1	4	0.5'	BROWN ORGANIC TOPSOIL - LOOSE -
									4.5'	BROWN SAND WITH SOME SILT, TRACE GRAVEL (FILL)
	2D	24"	20"	7.0'	18	23	19	30	9.0'	- DENSE - BROWN GRAVELLY SILTY SAND (TILL)
	3D	24"	24"	12.0'	8	38	45	50	15.7'	- VERY DENSE - GRAY SILTY SAND WITH TRACE GRAVEL (TILL)
	4D	8"	8"	15.7'	45	50/0"				BOTTOM OF EXPLORATION @ 15.7' PRACTICAL REFUSAL - POSSIBLE BEDROCK

SAMPLES: ) = SPLIT SPOON  
 ) = 3" SHELBY TUBE  
 ) = 3.5" SHELBY TUBE

SOIL CLASSIFIED BY:  DRILLER - VISUALLY  
 SOIL TECH. - VISUALLY  
 LABORATORY TEST

REMARKS: STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.

4

BORING NO.: B-3



# BORING LOG

BORING NO.: B-4  
 SHEET: 1 OF 1  
 PROJECT NO.: 01-0120  
 DATE START: 3/16/01  
 DATE FINISH: 3/16/01  
 ELEVATION: 127.5 +/-  
 SWC REP.: MTT

PROJECT / CLIENT: PROPOSED DAVIES HALL ADDITION / WAYNFLETE SCHOOL  
 LOCATION: PORTLAND, MAINE  
 DRILLING FIRM: GREAT WORKS TEST BORINGS DRILLER: JEFF LEE

CASING: TYPE HSA SIZE I.D. 4 1/4" HAMMER WT. 140 lb HAMMER FALL 30"  
 SAMPLER: SS 1 3/8"  
 CORE BARREL: \_\_\_\_\_

WATER LEVEL INFORMATION  
Water Observed @ 7' +/-  
In Open Borehole

CASING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER 6"				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6"	6-12"	12-18"	18-24"		
	1D	24"	18"	2.0'	5	7	15	19	3.5'	- MEDIUM DENSE - BROWN SILTY SAND WITH SOME GRAVEL (FILL)
	2D	24"	17"	7.0'	27	27	37	40		- VERY DENSE - GRAY SILTY SAND WITH SOME GRAVEL (TILL)
	3D	24"	18"	12.0'	17	31	24	29		
	4D	9"	3"	15.8'	33	50/3"			15.8'	REFUSAL @ 15.8' PRACTICAL REFUSAL - POSSIBLE BEDROCK
										NOTE: APPROXIMATE 2' FROST AT SURFACE

SAMPLES: SOIL CLASSIFIED BY:  
 = SPLIT SPOON  
 = 3" SHELBY TUBE  
 = 3.5" SHELBY TUBE  
 DRILLER - VISUALLY  
 SOIL TECH. - VISUALLY  
 LABORATORY TEST

REMARKS: STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.

(5)

BORING NO.: B-4



# BORING LOG

PROJECT / CLIENT: PROPOSED DAVIES HALL ADDITION / WAYNFLETE SCHOOL  
 LOCATION: PORTLAND, MAINE  
 DRILLING FIRM: GREAT WORKS TEST BORINGS DRILLER: JEFF LEE

BORING NO.: B-5  
 SHEET: 1 OF 1  
 PROJECT NO.: 01-0120  
 DATE START: 3/16/01  
 DATE FINISH: 3/16/01  
 ELEVATION: 126.5 +/-  
 SWC REP.: MTT

CASING: \_\_\_\_\_  
 SAMPLER: SS TYPE HSA SIZE I.D. 4 1/4" HAMMER WT. 140 lb HAMMER FALL 30"  
 CORE BARREL: \_\_\_\_\_

WATER LEVEL INFORMATION  
Water Observed @ 10.0' +/-  
In Open Borehole

CASING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER 6'				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6	6-12	12-18	18-24		
	1D	24"	18"	2.0'	7	15	26	20	3.5'	- MEDIUM DENSE - DARK BROWN SILTY SAND WITH SOME GRAVEL, TRACE ORGANICS (FILL) w = 13.3%
	2D	24"	18"	7.0'	4	8	11	15	12.0'	- MEDIUM DENSE - BROWN SILTY SAND WITH SOME GRAVEL (TJLL) w = 10.9%
	3D	24"	16"	12.0'	9	17	18	22		w = 10.5%
										BOTTOM OF EXPLORATION @ 12.0'
										NOTE: APPROXIMATELY 2' FROST AT SURFACE

APPLS: \_\_\_\_\_  
 SOIL CLASSIFIED BY: \_\_\_\_\_  
 SPLIT SPOON   
 3" SHELBY TUBE   
 3.5" SHELBY TUBE   
 DRILLER - VISUALLY \_\_\_\_\_  
 SOIL TECH. - VISUALLY \_\_\_\_\_  
 LABORATORY TEST \_\_\_\_\_

REMARKS: STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.

(6)

BORING NO.: B-5



# BORING LOG

BORING NO.: B-6  
 SHEET: 1 OF 1  
 PROJECT NO.: 01-0120  
 DATE START: 3/16/01  
 DATE FINISH: 3/16/01  
 ELEVATION: 127.5 +/-  
 SWC REP.: MTT

PROJECT / CLIENT: PROPOSED DAVIES HALL ADDITION / WAYNFLETE SCHOOL  
 LOCATION: PORTLAND, MAINE  
 DRILLING FIRM: GREAT WORKS TEST BORINGS DRILLER: JEFF LEE

CASING: TYPE HSA SIZE I.D. 4 1/4" HAMMER WT. 140 lb HAMMER FALL 30"  
 SAMPLER: SS 1 3/8" 140 lb 30"  
 CORE BARREL: \_\_\_\_\_

WATER LEVEL INFORMATION  
No Free Water Observed  
Soils Moist to Wet

CASING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER 5'				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6	6-12	12-18	18-24		
	1D	18"	16"	1.5'	1	3	8		0.4'	BROWN ORGANIC TOPSOIL ~ LOOSE ~ BROWN SILTY SAND SOME GRAVEL (FILL)
									4.5'	~ VERY DENSE ~ BROWN SILTY SAND WITH SOME GRAVEL (TILL)
	2D	24"	20"	7.0'	26	39	33	37	9.0'	~ DENSE TO VERY DENSE ~ GRAY SILTY SAND WITH TRACE GRAVEL (TILL)
	3D	24"	24"	12.0'	10	19	27	44	17.0'	BOTTOM OF EXPLORATION @ 17.0'
	4D	24"	24"	17.0'	8	18	20	27		

NOTE: 1" DIAMETER PVC GROUNDWATER MONITORING WELL INSTALLED AT 15.0' WITH 5.0' SCREEN GROUNDWATER MEASURED AT 2.0 FEET BELOW THE EXISTING GROUND SURFACE ON 4/16/01.

SAMPLES: \_\_\_\_\_ SOIL CLASSIFIED BY: \_\_\_\_\_  
 ) = SPLIT SPOON  
 ) = 3" SHELBY TUBE  
 J = 3.5" SHELBY TUBE

DRILLER - VISUALLY  
 SOIL TECH. - VISUALLY  
 LABORATORY TEST

REMARKS: STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.



# BORING LOG

BORING NO.: B-7  
 SHEET: 1 OF 1  
 PROJECT NO.: 01-0120  
 DATE START: 3/16/01  
 DATE FINISH: 3/16/01  
 ELEVATION: 138 +/-  
 SWC REP.: MTT

PROJECT / CLIENT: PROPOSED DAVIES HALL ADDITION / WAYNFLETE SCHOOL  
 LOCATION: PORTLAND, MAINE  
 DRILLING FIRM: GREAT WORKS TEST BORINGS DRILLER: JEFF LEE

TESTING: TYPE SIZE I.D. HAMMER WT. HAMMER FALL  
 HSA 4 1/4"  
 AMPLER: SS 1 3/8" 140 lb 30"  
 CORE BARREL:

WATER LEVEL INFORMATION  
 No Free Water Observed Soils Moist to Wet

BLASTING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER FOOT				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6	6-12	12-18	18-24		
	1D	24"	6"	2.0'	1	1	2	4	0.4'	BROWN ORGANIC TOPSOIL - LOOSE - BROWN SILTY SANDY GRAVEL, TRACE ORGANICS (FILL)
	2D	24"	18"	7.0'	2	2	13	21	6.0'	~DENSE~ BROWN SILTY SAND WITH SOME GRAVEL (TILL) w=9.4%
	3D	24"	24"	12.0'	11	25	38	53	9.0'	GRAY SILTY SAND WITH TRACE GRAVEL (TILL) w = 10.1%  ~ VERY DENSE ~
	4D	24"	16"	16.5'	16	17	50/5"		16.5'	w = 9.1%
										BOTTOM OF EXPLORATION @ 16.5' PRACTICAL REFUSAL - POSSIBLE BEDROCK

SAMPLES: SOIL CLASSIFIED BY:  
 SPLIT SPOON  DRILLER - VISUALLY  
 3" SHELBY TUBE  SOIL TECH. - VISUALLY  
 3.5" SHELBY TUBE  LABORATORY TEST

REMARKS:  
 STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.





**KEY TO THE NOTES & SYMBOLS**  
**Test Boring and Test Pit Explorations**

All stratification lines represent the approximate boundary between soil types and the transition may be gradual.

**Key to Symbols Used:**

W	-	water content, percent (dry weight basis)
q <sub>u</sub>	-	unconfined compressive strength, kips/sq. ft. - based on laboratory unconfined compressive test
S <sub>v</sub>	-	field vane shear strength, kips/sq. ft.
L <sub>v</sub>	-	lab vane shear strength, kips/sq. ft.
q <sub>p</sub>	-	unconfined compressive strength, kips/sq. ft. based on pocket penetrometer test
O	-	organic content, percent (dry weight basis)
W <sub>L</sub>	-	liquid limit - Atterberg test
W <sub>P</sub>	-	plastic limit - Atterberg test
WOH	-	advance by weight of hammer
WOM	-	advance by weight of man
WOR	-	advance by weight of rods
HYD	-	advance by force of hydraulic piston on drill
RQD	-	Rock Quality Designator - an index of the quality of a rock mass. RQD is computed from recovered core samples.
γ <sub>T</sub>	-	total soil weight
γ <sub>B</sub>	-	buoyant soil weight

**Description of Proportions:**

0 to 5% TRACE  
5 to 12% SOME  
12 to 35% "Y"  
35+% AND

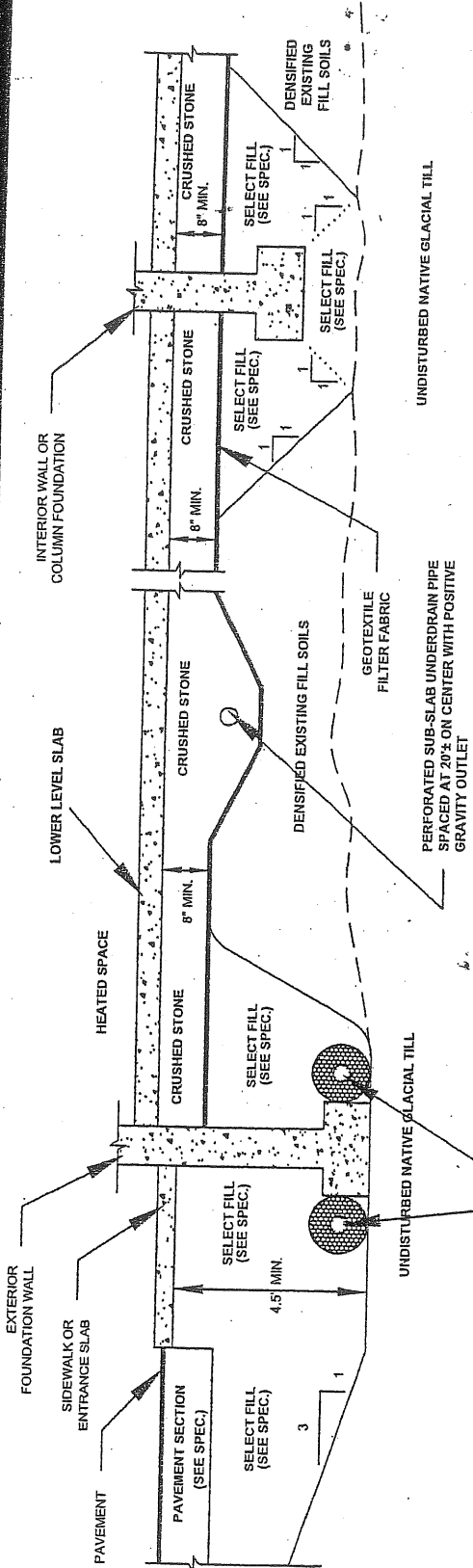
**REFUSAL: Test Boring Explorations** - Refusal depth indicates that depth at which, in the drill foreman's opinion, sufficient resistance to the advance of the casing, auger, probe rod or sampler was encountered to render further advance impossible or impracticable by the procedures and equipment being used.

**REFUSAL: Test Pit Explorations** - Refusal depth indicates that depth at which sufficient resistance to the advance of the backhoe bucket was encountered to render further advance impossible or impracticable by the procedures and equipment being used.

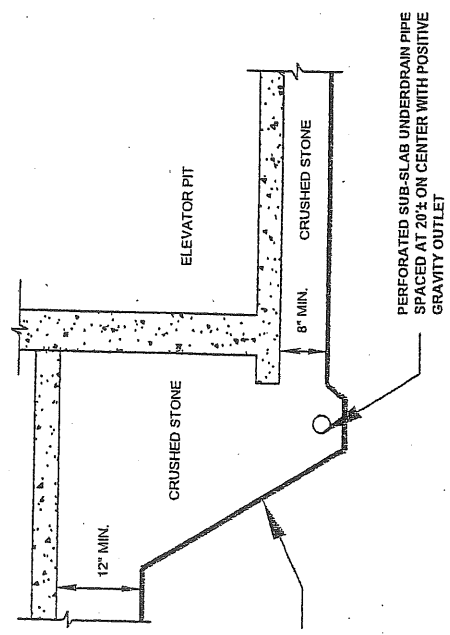
Although refusal may indicate the encountering of the bedrock surface, it may indicate the striking of large cobbles, boulders, very dense or cemented soil, or other buried natural or man-made objects or it may indicate the encountering of a harder zone after penetrating a considerable depth through a weathered or disintegrated zone of the bedrock.





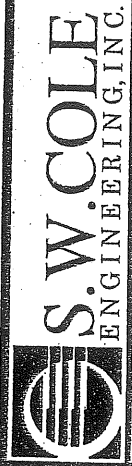


PERFORATED UNDERDRAIN PIPE,  
 BEDDED IN 6" OF 3/4" CRUSHED STONE  
 WRAPPED IN GEOTEXTILE FILTER FABRIC  
 WITH POSITIVE GRAVITY OUTLET



**NOTES:**

- 1.) All existing fill should be removed from beneath foundations.
- 2.) Suitable existing fill can remain below slab areas (see report).

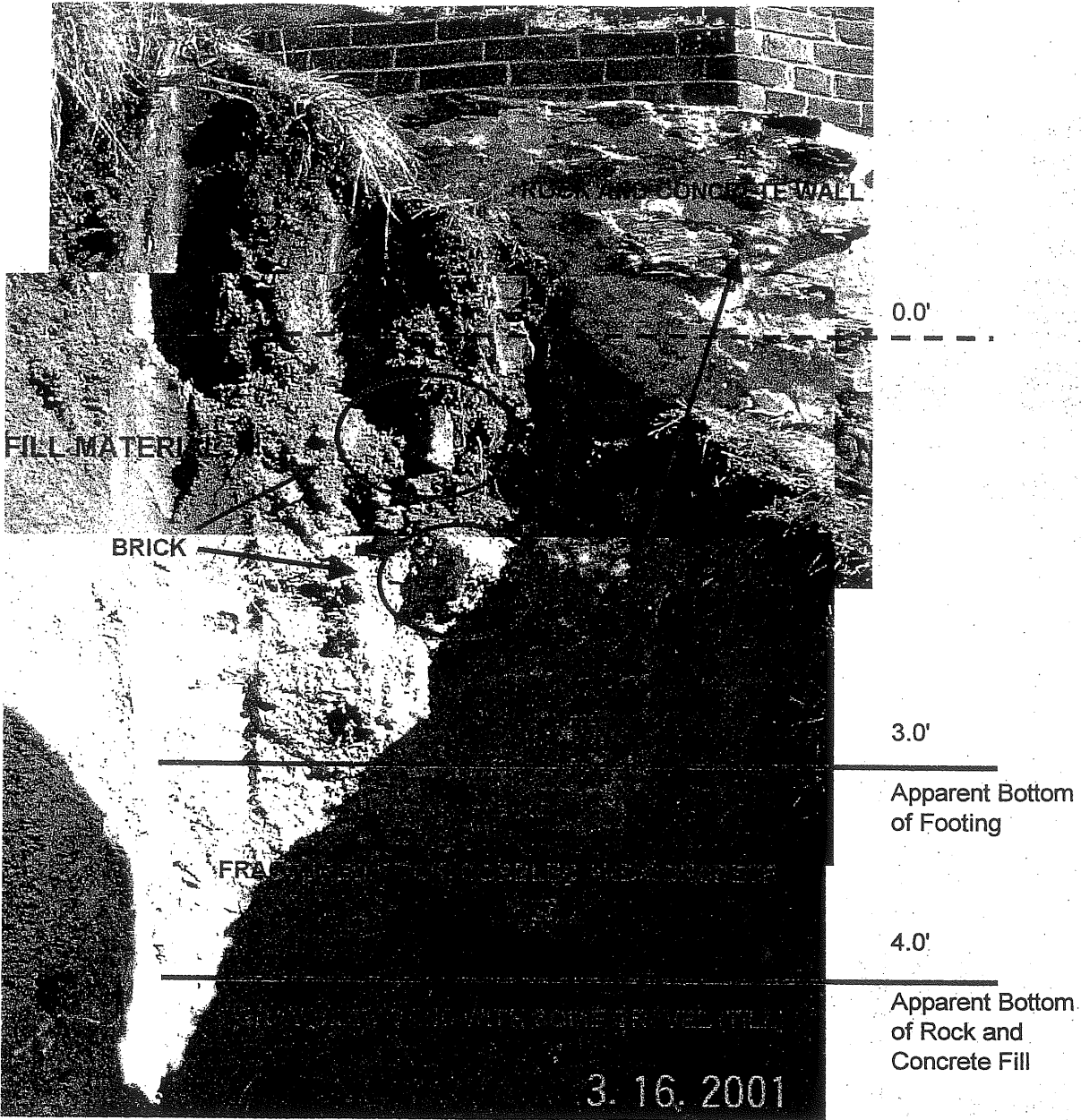


**SCOTT SIMONS ARCHITECTS**  
**UNDERDRAIN DETAIL**

Proposed Building Addition  
 Waynflete School  
 360 Spring Street  
 Portland, Maine

Job No.	01-0120 S	Scale	Not to Scale
Date:	04/17/01	Sheet	12

TP-1

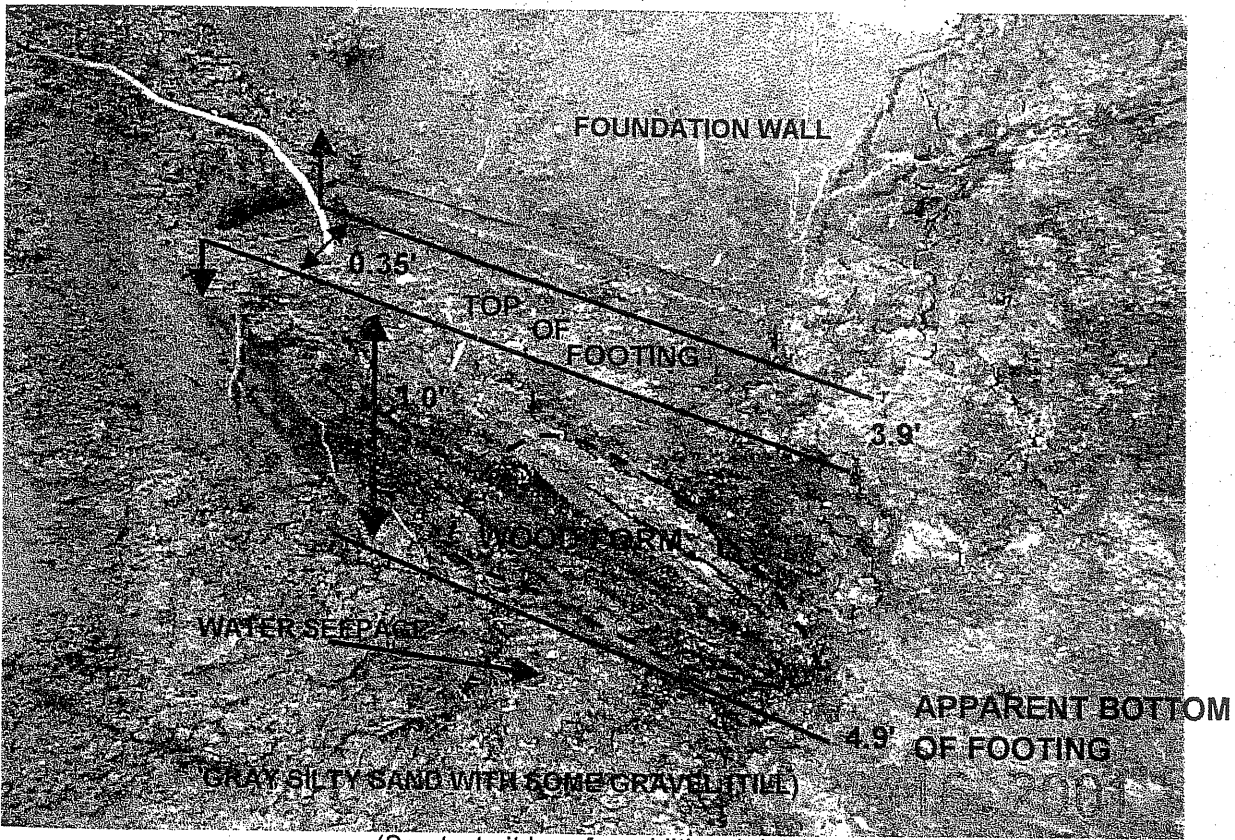
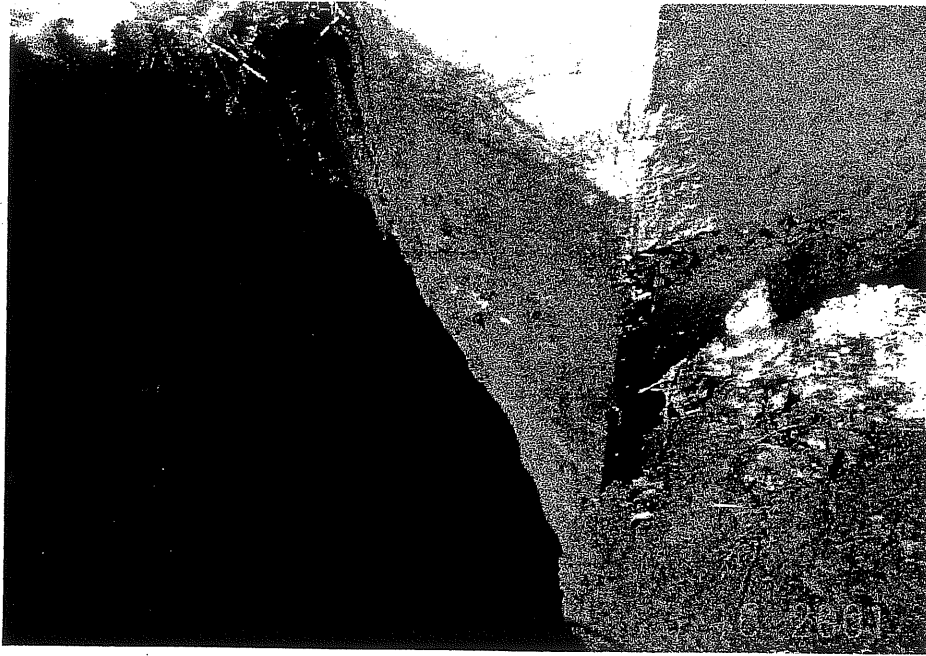


(See test pit logs for additional data)

Note: measurements taken from existing ground surface

01-0120  
Waynflete School

TP-2



(See test pit logs for additional data)

Note: measurements taken from existing ground surface

01-0120  
Waynflete School



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**To:** Chair Patterson and Members of the Portland Planning Board

**From:** Shukria Wiar, Planner

**Date:** Prepared on: June 7, 2007  
Prepared for: June 12, 2007

**Re:** **Waynflete Art Center- Phase Two; 360 Spring Street**

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### INTRODUCTION

The Waynflete School has requested site plan approval for the addition of a 10,807 sq. ft. Theater/ Auditorium that will extend from the existing Davies Hall on the Spring Street Campus. This is the second phase of two-phased project that was approved by the Planning Board in May of 2001. Construction of Phase One was completed in August of 2002. Due to the expiration of original approval, Phase Two is being re-submitted for site plan review and conditional use review by the Planning Board and concurrent review by the Historic Preservation Board.

The addition complex is comprised of a 275-seat auditorium and the existing Waldron Auditorium will undergo interior renovations and upon completion, will be used as a gymnasium space. The first phase of the project consisted of the construction of a three-story addition to the south of the Davies Building, a one story addition to the north of the same building and the placement of six (6) parking spaces. The second phase will consist of the construction of the auditorium, its attached two-story addition and a new eleven (11)-space parking lot. The site is approximately .8 acres and is zoned R-4. The development would be reviewed for conditional use as an institutional use in the R-4 zone and site plan review. The standards for the institutional conditional use and the regular conditional use are included in the memo.

This workshop is the first of two planned workshops before the Planning Board to discuss the Arts Center. This first workshop will be a brief overview of the project for identification of project scope and issues of concern. The second workshop, tentatively scheduled for July 10, 2007, will be more focused on the site plan and how it meets the site plan and conditional use permit standards.

The contact person for Waynflete School is Anne Hagstrom and the consultant is Austin Smith, of Scott Simons Architects. The applicant's submission is included as Attachment 1 and the plan set is included as Attachment 2. This memorandum includes staff review comments and requests for additional information, which have been compiled for this memo. The applicant has not had an opportunity to respond to these points prior to this workshop.

### SUMMARY OF FINDINGS

**Zoning:** R4- Residential

<b>Proposal:</b>	Waynflete School proposes to add a 10,807 sq. ft. auditorium/ theater addition with support space
<b>Parcel Size:</b>	244, 238 sq. ft
<b>Parking Spaces:</b>	11 parking spaces
<b>Building Addition:</b>	10, 807 sq. ft.
<b>Building Floor Area:</b>	Ground Floor: 6, 819 SF First Floor: 3,732 SF Second Floor: 256 SF

## **BACKGROUND INFORMATION**

Waynflete School is located in the core of the West End neighborhood. Danforth, Emery, Spring and Fletcher Streets bound its campus. Many of the School's classrooms and offices are located in former residential properties along Spring and Storer Streets, which tends to blur the lines of distinction between the surrounding neighborhood and the campus itself, lending the school a more residential and less institutional feel.

Originally the Waynflete Art Center project had submitted site plans for Major Site Plan and Conditional Use review, and Historic Preservation; approval was granted for both phases in May of 2001. The first phase of the project consisted of having Davies Hall completely renovated on the interior and added a one-story, 1,200 square foot addition on the north side of the Hall. This addition currently serves as the entrance to the Arts Center as well as the gallery. This Phase I built out was completed in 2002 and Phase II approval lapsed. The Waynflete School wants to proceed with the phase two and have re-submitted the site plans with some major changes.

As part of the approved Phase II site plan in 2001, a large addition was to extend south from Davies Hall, including a one-story, 5,000 square foot auditorium and a two-story, 12,000 square foot music rehearsal and art studio addition. Other work that was associated with the project included a plaza in front of a side entrance to the auditorium from Storer Street, and the replacement of the existing parking lot across Storer Street in the Upper School Quadrangle with a 24-car parking lot located further south on the quadrangle, as shown on the Waynflete School Master Plan updated May 9, 2006 ([Attachment 3](#)).

## **PROPOSED DEVELOPMENT**

The new proposed project calls for an auditorium addition with support space and an eleven (11)-space parking lot south of the addition. This parking lot will run along the edge of Danforth Street; the parking lot is separated from Danforth Street by a row of landscaping.

The Waynflete School site is comprised of twelve classroom/ administration buildings and four storage building (garages). The buildings are various sizes and shapes, ranging from the one-story wood frame garages of 600 sq. ft. to the three story brick Upper School building of approximately 30,000 sq. ft.

Since the original approval for Phase II expired, the applicant is resubmitting this phase for review. Waynflete School proposes to add a 10,807 sq. ft. auditorium/ theater addition with support space to the edge of the existing two and half story brick Davies Hall. The addition will be located to the south of this existing building toward Danforth Street. The project also includes interior renovations to the Waldron Auditorium, which will be converted to gymnasium space.

The site improvements also include new parking space are at the edge of Danforth Street. The new parking lot will consist of eleven (11) parking spaces, which will replace the current unpaved six car parking spaces that were provided in Phase I of the project. The access to the building will be from Storer Street. The project will also consist of landscaping around the addition as well as the parking lot.

The applicant states that there will be no changes in the size of the school population or the use of the arts facilities as result of this project. All programs that will use this facility exist. The site currently has numerous existing buildings used for the daily operation of this K-12 private school.

**STAFF REVIEW**

The proposal will be reviewed for compliance with the Conditional Use Standards of the R-4 Residential Zone, and the Site Plan Ordinance. The plan has been distributed and being reviewed by Zoning, Traffic, Fire and Department of Public Works.

**CONDITIONAL USE REVIEW**

1. The following standards apply for review of an institutional expansion in the R-4 zone.

Section 14-88(2)

- i. In the case of expansion of existing such uses onto land other than the lot on which the principal use is located, it shall be demonstrated that the proposed use cannot reasonably be accommodated on the existing site through more efficient utilization of land or buildings, and will not cause significant physical encroachment into established areas; and
- ii. The proposed use will not cause significant displacement or conversion of any residential uses as of June 1, 1983, or thereafter; and
- iii. In the case of a use or use expansion, which constitutes a combination of an above-listed use with capacity for concurrent operations, the applicable minimum lot sizes shall be cumulative.

2. The following standards apply for all conditional uses:

Section 14-474(2)

- i. There are unique or distinctive characteristics or effects associated with the proposed conditional use;
- ii. There will be an adverse impact upon the health, safety, or welfare of the public or the surrounding area; and
- iii. Such impact differs substantially from the impact, which would normally occur from such a use in that zone.

### *Other On-site Projects*

The Waynflete School had requested conditional use approval for the change in use of the first floor of the single family dwelling at 3 Storer Street (Pratt House) in September of 2006. The proposed use was for administrative/admissions offices and related seminar/meeting rooms. The house is small scale totaling approximately 3,135 square feet, with the first floor footprint about 1695 square feet. The Planning Board tabled the project, which failed to pass on a 3 – 3 vote. The school has not returned to the Board with that proposal, however, we have had some discussions about Waynflete applying for an overlay zone, similar to the University of Southern Maine USM Overlay Zone, to resolve the issues associated with the long-term boundaries of the campus, including the Pratt House utilization.

When reviewing institutional conditional uses in residence zones, the Board has frequently requested or required a presentation of the institutional master plan, so that individual projects can be understood in the context of the institution's future plans. Our files include a comprehensive Campus Master Plan dating back to 1994, and an update in 2006 depicting existing, buildings, approved additions, and future building plans. (Attachment 3) It is appropriate to inquire as to the status of the Master Plan and to review the most current edition.

The Planning Office has heard expressions of general public concern from neighborhood residents (Anne Pringle and Elizabeth Begin of the Western Prom Improvement Association) that this residential property will be “nibbled away” as other residential properties have been in the past. The applicant does not include any administrative offices and/or classrooms as part of this addition. The Board should inquire about the how the School is addressing available space on campus for administrative offices and classrooms. This question is relevant to institutional conditional use standard 1(i) (above) pertaining to efficient utilization of land or buildings before considering encroachment into residential locations.

### **SITE PLAN REVIEW**

#### 1. Traffic/Circulation/Parking

Access to the site will be from Danforth, Spring and Storer Streets via existing driveways. The applicant states that the project will not create additional parking requirements/demands, as there is no projected increase in the number of students.

#### *Parking*

The Waynflete School is proposing an eleven-space parking lot at the edge of Danforth Street. According to the applicant's cover letter, “[t]here will be no change in the size of the school population or the use of the arts facilities as a result of this Project. All programs that will use this facility are existing.” (Attachment 1a) Therefore the project does not create additional parking requirements, as there is no projected increase in the number of students. Zoning Administration agrees with this assessment, as the auditorium will not be used for non-school activities.

Since the parking lot is being proposed along the edge of Danforth Street and is in the Historic District, the placement of the parking lot suggests concerns of aesthetics. According to the School's Master Plan 2006, there is a twenty-four-space parking lot proposed across Storer Street (this parking lot concept was approved in the original application in 2001). The Board should inquire as to why the applicant is proposing parking at the proposed site and not across Storer Street, in accordance with the campus Master Plan.

Through the different previous projects that the City has received from the applicant, there has always been an issue concerning the lack of available parking in the surrounding neighborhood. In the past the Waynflete School has attempted to manage its parking through various measures including a parking sticker program and establishing designated parking areas with neighborhood input. The applicant has been asked to outline approaches taken to remedy difficulties with parking and circulation in the area. The City's Traffic Engineer has requested a parking analysis from the applicant.

2. Bulk, Location, Height of Building and Uses Thereof

Since the approved site plans, there are changes to the exterior materials. The approved Phase II addition was to be dominated by a 256-seat auditorium, which featured a stucco exterior and a gabled roof. Due to the curve of the auditorium walls, the roof had a saddle-like appearance when viewed from the east and west. The portion of the Phase II addition south of the auditorium included one level of music rehearsal rooms on the ground floor and art studios on the second floor. This section wrapped around one end of the auditorium and extended out slightly to the east and west, as seen in Attachment 6. Here, the addition was clad in two shades of brick—a darker color on the ground floor and lighter above.

The new proposal still includes the auditorium but not the Music and Art Center. The applicant has changed the exterior material as well; the auditorium exterior will consist of wood siding and EIFS. The Planning Department has not received a narrative in regard to exterior material and therefore has requested this information from the applicant.

The Historic Preservation Committee had conducted a detailed analysis of both phases of the project in May of 2001. The committee had voted to recommend to the Planning Board approval of a Certificate of Appropriateness for the project. The applicant has resubmitted Phase II of this project to the Historic Preservation Board for review. Since the new site plan changed tremendously from the approved plan, the project will need to go through a full review before the Historic Preservation Board. Their review will address issues relating to the location, height, massing and materials for the project. A workshop hearing on the Art's Center proposal will be held on June 20, 2007. (Note that the ordinances have been amended since the prior review, and the Historic Preservation Board now has authority to approve the Certificate of Appropriateness.)

3. Utilities/Easements/Solid Wastes

The applicant is proposing to tie into existing sanitary sewer and water lines in Danforth and Storer Streets. Existing electrical and gas service will be extended and expanded to accommodate the project.

4. Stormwater

According to the applicant, any new roof drainage will be taken to the trench drain and then into to the existing Danforth Street combined sewer/ storm line via the Fletcher/ Danforth catch basin. The need to collect sheet drainage from that portion of the field will be eliminated when the addition is built, freeing up the new storm lines, catch basins and trench drain to handle the capacity of the new roof drains.

Dan Goyette, the Development Review Consultant, did preliminary review of the plans and requests the following information to perform a more detailed review:



- a. A stormwater plan has not been submitted for review. It should include pre and post development flows, an updated capacity letter for the tie in to the combined sewer, and modeling information.
- b. A large number of civil site details are missing. Catch basin details, granite curb installation details, tie in details, brick sidewalk details, pipe trench details, and trench repair details all should be included.
- c. No proposed stormwater or sewer infrastructure is shown on the plans. Locations for proposed piping and where connections to the existing system are proposed should be indicated on the plans.
- d. New handicap ramps should be constructed at the corner of Storer and Danforth Streets. The associated details will need to be included.
- e. The condition of the existing sidewalk should be indicated.

5. Landscaping

A landscaping plan was submitted along with the application (Attachment 2f). The proposed landscaping for phase two will include two new trees (Green Ash) to be located along the Storer Street side of the proposed auditorium as well as one tree (Scarlet Oak) on the south side of the parking lot. The landscape plans shows eight different kinds of groundcover.

There is landscaping being proposed along the edge of the property between the parking lot and Danforth Street but does not list the type of species to be used. This portion of the project should be heavily landscaped so the parking area cannot be seen from the Danforth Street as well as Storer Street.

6. Lighting

The applicant has provided a lighting plan but does not including photometric and catalog cuts for the proposed fixtures. The proposed fixtures are not the “cut off” design and therefore are not in compliance with the lighting standards. The applicant needs to provide staff with catalog cuts for wall and pole mounted fixtures that are in compliance with the lighting standards.

7. Fire Safety

The site plan is in review by the Fire Department.

8. Financial Capability

The applicant has provided a letter from Anne Hagstrom, Director of Finance and Operations at Waynflete School attesting that the School has sufficient funds to pay for the construction of the theater and gymnasium. See Attachment 1c. Applicant has been request to submit in writing as to adequacy of resources available to fund this project.

9. Zoning

The uses of the proposed structures are permitted as conditional uses of the R-4 zone district.

**NEXT STEPS**

1. Address any additional information requested by the Planning Board
2. Provide the updated information requested in this memorandum.
3. Address technical issues raised in this Planning Board memorandum and the comments received from Marge Schmuckal, Dan Goyette, Jeff Tarling, Captain Cass and Michael Farmer.
4. Hold a Neighborhood Meeting

**ATTACHMENT:**

1. Site Plan Application
  - a. Coverletter
  - b. Fire Department Checklist Dated: 05.18.2007
  - c. Financial Capability Letter Dated: 05.17.2007
  - d. Geotechnical Engineering Services Dated: 04.18.2007
  
2. Site Plan Dated: 05.18.2007
  - a. A-0.0 Cover Sheet
  - b. Site Plan
  - c. Site Area Calculations
  - d. L-1.1 Layout and Material Plan
  - e. L-1.2 Grading Plan
  - f. L-1.3 Planting Plan
  - g. L-1.5 Site Details
  - h. D-1.1 Ground Floor Demolition Plan
  - i. D-1.2 First Floor Demolition Plan
  - j. D-1.3 Second Floor Demolition Plan
  - k. A-1.1 Ground Floor Plan
  - l. A-1.2 First Floor Plan
  - m. A-1.3 Second Floor Plan
  - n. A-1.4 Roof Plan
  - o. A-2.1 Building Elevations
  - p. A-3.1 Building Sections
  - q. A-3.2 Enlarged Building Sections
  - r. A-4.1 Wall Sections
  - s. A-4.2 Wall Sections
  - t. A-8.1 Schedules
  - u. E-2 Electrical Site Lighting Plan
  - v. Layout & Materials Plan Phase II
  
3. Waynflete School Campus Master Plan Dated: 06.09.2006
4. Correspondence Letter to Applicant Dated: 05.31.2007
5. Dan Goyette Memorandum Dated: 05.29.2007
6. 2001 Approved Site Plan for Phase II



# PORTLAND MAINE

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**Planning and Development Department**  
George D. Urban, Director

**Planning Division**  
Alexander Jaegerman, Director

May 31, 2007

Austin Smith, Architect  
Scott Simons Architects  
75 York Street  
Portland, ME 04101

**RE: Conditional Use and Site Plan Application**  
**Applicant: Waynflete School: 20 Storer Street**

Dear Mr. Smith,

I refer to the application for an Auditorium addition on Storer Street submitted May 18, 2007. The various departments are currently reviewing the proposal, any comments will be forwarded to you as I receive them.

This application will be considered at a Planning Board Workshop on June 12<sup>th</sup>, 2007. The Planning Board will review the application in the context of the applicable standards as set out in Sections 14-103 (b) and 14-474. Further information, as outlined below, is requested to help the Board make a determination:

1. Please provide a narrative as to what was approved in May of 2001 and what is being proposed for this Phase II project. Compare and contrast the two proposals. Please provide this for the workshop hearing.
2. Technical and Financial letter shall be submitted; we will require the in writing what grants and amounts being used to fund this project. A letter of financial capacity is requested from the school and one from their bank.
3. In a narrative please address how this project is meeting the conditions of Section 14-103 (b) and Section 14-474.
4. According to the City's Technical and Design Standards and Guidelines, section 2(A) (b), a two-way drive shall be 24' and the site plan shows 20'. The applicant can request a formal waiver of this standard.

5. According to the City's Technical and Design Standards and Guidelines, section 3(A), Parking stalls shall be 9' x 19'. Please show this on the site plan or submit a waiver of the standard.
6. There are various complains about parking in this neighborhood, what has the School done to address the parking demand? Please provide a narrative in regard to this.
7. The City's Traffic Engineer has requested parking analysis to be submitted.
8. The Waynflete School Campus Master Plan 2006, it shows a 24-space parking lot on Storer Street, diagonal from the proposed project site, why isn't this space being used for parking instead of the proposed parking lot.
9. Is the Art and Music Studios, which was included as part of the approved phase II plan, being proposed as the third phase. Please explain in detail.
10. A utilities plan shall be submitted. The plan shall show all existing and proposed utilities. This shall show the location of the transformer on Storer Street.
11. Lighting – catalog cuts showing height, wattage, type, etc. All proposed lighting fixtures need to meet the City's standards. A photometric plan shall be submitted.
12. Are there any solid waste (trash) containers being proposed on the site? What is being proposed for trash removal?
13. Submit a copy of the most current master plan for the campus.
14. Submit a capacity letters from the various utilities are required.
15. Submit copies of deeds for the Waynflete School property.
16. Submit Architectural renderings of the proposed addition.
17. The project proposes a new roof top mechanical unit, submit evidence of the measurement to be taken to lower the noise level.
18. When the proposal to convert part of 3 Storer House (Pratt House) into administrative offices came before the Planning Board (June 2006), there were suggestions that this phase should include the space needed. Explain in detail as to how the School is meeting the administrative space that is needed and why it is not being proposed in this development.
19. Department of Public Works comments
  - a. A stormwater plan has not been submitted for review. It should include pre and post development flows, an updated capacity letter for the tie in to the combined sewer, and modeling information.
  - b. A large number of civil site details are missing. Catch basin details, granite curb installation details, tie in details, brick sidewalk details, pipe trench details, and trench repair details all should be included.

## MEMORANDUM



TO: Shukria Wiar  
FROM: Dan Goyette  
DATE: May 29, 2007  
RE: Waynflete Arts Center Phase Two

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Woodard & Curran has performed a review of the site plan application for the Waynflete Arts Center Phase Two Project.

### Documents Reviewed

- Site Plan Application for Waynflete Arts Center Phase Two Project, dated May 18, 2007, Scott Simons Architects.

### Comments

- A stormwater plan has not been submitted for review. It should include pre and post development flows, an updated capacity letter for the tie in to the combined sewer, and modeling information.
- A large number of civil site details are missing. Catch basin details, granite curb installation details, tie in details, brick sidewalk details, pipe trench details, and trench repair details all should be included.
- No proposed stormwater or sewer infrastructure is shown on the plans. Locations for proposed piping and where connections to the existing system are proposed should be indicated on the plans.
- New handicap ramps should be constructed at the corner of Storer and Danforth Streets. The associated details will need to be included.
- The condition of the existing sidewalk should be indicated.

DRG  
203943.

Memorandum  
Department of Planning and Development  
Planning Division



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**To:** Chair Patterson and Members of the Portland Planning Board

**From:** Shukria Wiar, Planner

**Date:** Prepared on: June 7, 2007  
Prepared for: June 12, 2007

**Re:** **Waynflete Art Center- Phase Two; 360 Spring Street**

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### INTRODUCTION

The Waynflete School has requested site plan approval for the addition of a 10,807 sq. ft. Theater/ Auditorium that will extend from the existing Davies Hall on the Spring Street Campus. This is the second phase of two-phased project that was approved by the Planning Board in May of 2001. Construction of Phase One was completed in August of 2002. Due to the expiration of original approval, Phase Two is being re-submitted for site plan review and conditional use review by the Planning Board and concurrent review by the Historic Preservation Board.

The addition complex is comprised of a 275-seat auditorium and the existing Waldron Auditorium will undergo interior renovations and upon completion, will be used as a gymnasium space. The first phase of the project consisted of the construction of a three-story addition to the south of the Davies Building, a one story addition to the north of the same building and the placement of six (6) parking spaces. The second phase will consist of the construction of the auditorium, its attached two-story addition and a new eleven (11)-space parking lot. The site is approximately .8 acres and is zoned R-4. The development would be reviewed for conditional use as an institutional use in the R-4 zone and site plan review. The standards for the institutional conditional use and the regular conditional use are included in the memo.

This workshop is the first of two planned workshops before the Planning Board to discuss the Arts Center. This first workshop will be a brief overview of the project for identification of project scope and issues of concern. The second workshop, tentatively scheduled for July 10, 2007, will be more focused on the site plan and how it meets the site plan and conditional use permit standards.

The contact person for Waynflete School is Anne Hagstrom and the consultant is Austin Smith, of Scott Simons Architects. The applicant's submission is included as Attachment 1 and the plan set is included as Attachment 2. This memorandum includes staff review comments and requests for additional information, which have been compiled for this memo. The applicant has not had an opportunity to respond to these points prior to this workshop.

### SUMMARY OF FINDINGS

**Zoning:** R4- Residential

**Proposa..**

**Parcel Size:**

**Parking Spaces:**

**Building Addition:**

**Building Floor Area:**

Waynflete School proposes to add a 10,807 sq. ft. auditorium/  
theater addition with support space

244, 238 sq. ft

11 parking spaces

10, 807 sq. ft.

Ground Floor: 6, 819 SF

First Floor: 3,732 SF

Second Floor: 256 SF

**BACKGROUND INFORMATION**

Waynflete School is located in the core of the West End neighborhood. Danforth, Emery, Spring and Fletcher Streets bound its campus. Many of the School's classrooms and offices are located in former residential properties along Spring and Storer Streets, which tends to blur the lines of distinction between the surrounding neighborhood and the campus itself, lending the school a more residential and less institutional feel.

Originally the Waynflete Art Center project had submitted site plans for Major Site Plan and Conditional Use review, and Historic Preservation; approval was granted for both phases in May of 2001. The first phase of the project consisted of having Davies Hall completely renovated on the interior and added a one-story, 1,200 square foot addition on the north side of the Hall. This addition currently serves as the entrance to the Arts Center as well as the gallery. This Phase I built out was completed in 2002 and Phase II approval lapsed. The Waynflete School wants to proceed with the phase two and have re-submitted the site plans with some major changes.

As part of the approved Phase II site plan in 2001, a large addition was to extend south from Davies Hall, including a one-story, 5,000 square foot auditorium and a two-story, 12,000 square foot music rehearsal and art studio addition. Other work that was associated with the project included a plaza in front of a side entrance to the auditorium from Storer Street, and the replacement of the existing parking lot across Storer Street in the Upper School Quadrangle with a 24-car parking lot located further south on the quadrangle, as shown on the Waynflete School Master Plan updated May 9, 2006 (Attachment 3).

**PROPOSED DEVELOPMENT**

The new proposed project calls for an auditorium addition with support space and an eleven (11)-space parking lot south of the addition. This parking lot will run along the edge of Danforth Street; the parking lot is separated from Danforth Street by a row of landscaping.

The Waynflete School site is comprised of twelve classroom/ administration buildings and four storage building (garages). The buildings are various sizes and shapes, ranging from the one-story wood frame garages of 600 sq. ft. to the three story brick Upper School building of approximately 30,000 sq. ft.

Since the original approval for Phase II expired, the applicant is resubmitting this phase for review. Waynflete School proposes to add a 10,807 sq. ft. auditorium/ theater addition with support space to the edge of the existing two and half story brick Davies Hall. The addition will be located to the south of this existing building toward Danforth Street. The project also includes interior renovations to the Waldron Auditorium, which will be converted to gymnasium space.

The site improvements also include new parking space are at the edge of Danforth Street. The new parking lot will consist of eleven (11) parking spaces, which will replace the current unpaved six car parking spaces that were provided in Phase I of the project. The access to the building will be from Storer Street. The project will also consist of landscaping around the addition as well as the parking lot.

The applicant states that there will be no changes in the size of the school population or the use of the arts facilities as result of this project. All programs that will use this facility exist. The site currently has numerous existing buildings used for the daily operation of this K-12 private school.

### **STAFF REVIEW**

The proposal will be reviewed for compliance with the Conditional Use Standards of the R-4 Residential Zone, and the Site Plan Ordinance. The plan has been distributed and being reviewed by Zoning, Traffic, Fire and Department of Public Works.

### **CONDITIONAL USE REVIEW**

1. The following standards apply for review of an institutional expansion in the R-4 zone.

#### Section 14-88(2)

- i. In the case of expansion of existing such uses onto land other than the lot on which the principal use is located, it shall be demonstrated that the proposed use cannot reasonably be accommodated on the existing site through more efficient utilization of land or buildings, and will not cause significant physical encroachment into established areas; and
- ii. The proposed use will not cause significant displacement or conversion of any residential uses as of June 1, 1983, or thereafter; and
- iii. In the case of a use or use expansion, which constitutes a combination of an above-listed use with capacity for concurrent operations, the applicable minimum lot sizes shall be cumulative.

2. The following standards apply for all conditional uses:

#### Section 14-474(2)

- i. There are unique or distinctive characteristics or effects associated with the proposed conditional use;
- ii. There will be an adverse impact upon the health, safety, or welfare of the public or the surrounding area; and
- iii. Such impact differs substantially from the impact, which would normally occur from such a use in that zone.



### *Other On-site Projects*

The Waynflete School had requested conditional use approval for the change in use of the first floor of the single family dwelling at 3 Storer Street (Pratt House) in September of 2006. The proposed use was for administrative/admissions offices and related seminar/meeting rooms. The house is small scale totaling approximately 3,135 square feet, with the first floor footprint about 1695 square feet. The Planning Board tabled the project, which failed to pass on a 3 – 3 vote. The school has not returned to the Board with that proposal, however, we have had some discussions about Waynflete applying for an overlay zone, similar to the University of Southern Maine USM Overlay Zone, to resolve the issues associated with the long-term boundaries of the campus, including the Pratt House utilization.

When reviewing institutional conditional uses in residence zones, the Board has frequently requested or required a presentation of the institutional master plan, so that individual projects can be understood in the context of the institution's future plans. Our files include a comprehensive Campus Master Plan dating back to 1994, and an update in 2006 depicting existing, buildings, approved additions, and future building plans. (Attachment 3) It is appropriate to inquire as to the status of the Master Plan and to review the most current edition.

The Planning Office has heard expressions of general public concern from neighborhood residents (Anne Pringle and Elizabeth Begin of the Western Prom Improvement Association) that this residential property will be "nibbled away" as other residential properties have been in the past. The applicant does not include any administrative offices and/or classrooms as part of this addition. The Board should inquire about the how the School is addressing available space on campus for administrative offices and classrooms. This question is relevant to institutional conditional use standard (1i) (above) pertaining to efficient utilization of land or buildings before considering encroachment into residential locations.

### SITE PLAN REVIEW

#### 1. Traffic/Circulation/Parking

Access to the site will be from Danforth, Spring and Storer Streets via existing driveways. The applicant states that the project will not create additional parking requirements/demands, as there is no projected increase in the number of students.

#### *Parking*

The Waynflete School is proposing an eleven-space parking lot at the edge of Danforth Street. According to the applicant's cover letter, "[t]here will be no change in the size of the school population or the use of the arts facilities as a result of this Project. All programs that will use this facility are existing." (Attachment 1a) Therefore the project does not create additional parking requirements, as there is no projected increase in the number of students. Zoning Administration agrees with this assessment, as the auditorium will not be used for non-school activities.

Since the parking lot is being proposed along the edge of Danforth Street and is in the Historic District, the placement of the parking lot suggests concerns of aesthetics. According to the School's Master Plan 2006, there is a twenty-four-space parking lot proposed across Storer Street (this parking lot concept was approved in the original application in 2001). The Board should inquire as to why the applicant is proposing parking at the proposed site and not across Storer Street, in accordance with the campus Master Plan.

Through the different previous projects that the City has received from the applicant, there has always been an issue concerning the lack of available parking in the surrounding neighborhood. In the past the Waynflete School has attempted to manage its parking through various measures including a parking sticker program and establishing designated parking areas with neighborhood input. The applicant has been asked to outline approaches taken to remedy difficulties with parking and circulation in the area. The City's Traffic Engineer has requested a parking analysis from the applicant.

2. Bulk, Location, Height of Building and Uses Thereof

Since the approved site plans, there are changes to the exterior materials. The approved Phase II addition was to be dominated by a 256-seat auditorium, which featured a stucco exterior and a gabled roof. Due to the curve of the auditorium walls, the roof had a saddle-like appearance when viewed from the east and west. The portion of the Phase II addition south of the auditorium included one level of music rehearsal rooms on the ground floor and art studios on the second floor. This section wrapped around one end of the auditorium and extended out slightly to the east and west, as seen in Attachment 6. Here, the addition was clad in two shades of brick—a darker color on the ground floor and lighter above.

The new proposal still includes the auditorium but not the Music and Art Center. The applicant has changed the exterior material as well; the auditorium exterior will consist of wood siding and EIFS. The Planning Department has not received a narrative in regard to exterior material and therefore has requested this information from the applicant.

The Historic Preservation Committee had conducted a detailed analysis of both phases of the project in May of 2001. The committee had voted to recommend to the Planning Board approval of a Certificate of Appropriateness for the project. The applicant has resubmitted Phase II of this project to the Historic Preservation Board for review. Since the new site plan changed tremendously from the approved plan, the project will need to go through a full review before the Historic Preservation Board. Their review will address issues relating to the location, height, massing and materials for the project. A workshop hearing on the Art's Center proposal will be held on June 20, 2007. (Note that the ordinances have been amended since the prior review, and the Historic Preservation Board now has authority to approve the Certificate of Appropriateness.)

3. Utilities/Easements/Solid Wastes

The applicant is proposing to tie into existing sanitary sewer and water lines in Danforth and Storer Streets. Existing electrical and gas service will be extended and expanded to accommodate the project.

4. Stormwater

According to the applicant, any new roof drainage will be taken to the trench drain and then into the existing Danforth Street combined sewer/ storm line via the Fletcher/ Danforth catch basin. The need to collect sheet drainage from that portion of the field will be eliminated when the addition is built, freeing up the new storm lines, catch basins and trench drain to handle the capacity of the new roof drains.

Dan Goyette, the Development Review Consultant, did preliminary review of the plans and requests the following information to perform a more detailed review:

- a. A stormwater plan has not been submitted for review. It should include pre and post development flows, an updated capacity letter for the tie in to the combined sewer, and modeling information.
- b. A large number of civil site details are missing. Catch basin details, granite curb installation details, tie in details, brick sidewalk details, pipe trench details, and trench repair details all should be included.
- c. No proposed stormwater or sewer infrastructure is shown on the plans. Locations for proposed piping and where connections to the existing system are proposed should be indicated on the plans.
- d. New handicap ramps should be constructed at the corner of Storer and Danforth Streets. The associated details will need to be included.
- e. The condition of the existing sidewalk should be indicated.

5. Landscaping

A landscaping plan was submitted along with the application (Attachment 2f). The proposed landscaping for phase two will include two new trees (Green Ash) to be located along the Storer Street side of the proposed auditorium as well as one tree (Scarlet Oak) on the south side of the parking lot. The landscape plans shows eight different kinds of groundcover.

There is landscaping being proposed along the edge of the property between the parking lot and Danforth Street but does not list the type of species to be used. This portion of the project should be heavily landscaped so the parking area cannot be seen from the Danforth Street as well as Storer Street.

6. Lighting

The applicant has provided a lighting plan but does not including photometric and catalog cuts for the proposed fixtures. The proposed fixtures are not the "cut off" design and therefore are not in compliance with the lighting standards. The applicant needs to provide staff with catalog cuts for wall and pole mounted fixtures that are in compliance with the lighting standards.

7. Fire Safety

The site plan is in review by the Fire Department.

8. Financial Capability

The applicant has provided a letter from Anne Hagstrom, Director of Finance and Operations at Waynflete School attesting that the School has sufficient funds to pay for the construction of the theater and gymnasium. See Attachment 1c. Applicant has been request to submit in writing as to adequacy of resources available to fund this project.

9. Zoning

The uses of the proposed structures are permitted as conditional uses of the R-4 zone district.

## NEXT STEPS

1. Address any additional information requested by the Planning Board
2. Provide the updated information requested in this memorandum.
3. Address technical issues raised in this Planning Board memorandum and the comments received from Marge Schmuckal, Dan Goyette, Jeff Tarling, Captain Cass and Michael Farmer.
4. Hold a Neighborhood Meeting

## ATTACHMENT:

1. Site Plan Application
  - a. Coverletter
  - b. Fire Department Checklist
  - c. Financial Capability Letter
  - d. Geotechnical Engineering Services

Dated: 05.18.2007  
Dated: 05.17.2007  
Dated: 04.18.2007
2. Site Plan Dated: 05.18.2007
  - a. A-0.0 Cover Sheet
  - b. Site Plan
  - c. Site Area Calculations
  - d. L-1.1 Layout and Material Plan
  - e. L-1.2 Grading Plan
  - f. L-1.3 Planting Plan
  - g. L-1.5 Site Details
  - h. D-1.1 Ground Floor Demolition Plan
  - i. D-1.2 First Floor Demolition Plan
  - j. D-1.3 Second Floor Demolition Plan
  - k. A-1.1 Ground Floor Plan
  - l. A-1.2 First Floor Plan
  - m. A-1.3 Second Floor Plan
  - n. A-1.4 Roof Plan
  - o. A-2.1 Building Elevations
  - p. A-3.1 Building Sections
  - q. A-3.2 Enlarged Building Sections
  - r. A-4.1 Wall Sections
  - s. A-4.2 Wall Sections
  - t. A-8.1 Schedules
  - u. E-2 Electrical Site Lighting Plan
  - v. Layout & Materials Plan Phase II
3. Waynflete School Campus Master Plan Dated: 06.09.2006
4. Correspondence Letter to Applicant Dated: 05.31.2007
5. Dan Goyette Memorandum Dated: 05.29.2007
6. 2001 Approved Site Plan for Phase II



## Site Plan Application

Department of Planning and Development  
Portland Planning Board

<b>Address of Proposed Development:</b> 20 STORER STREET Zone: R4 PORTLAND, MAINE 04102		
<b>Project Name:</b> WAYNFLETE ARTS CENTER, PHASE TWO		
<b>Existing Building Size:</b> 18,437 sq. ft.	<b>Proposed Building Size:</b> 10,807 sq. ft.	
<b>Existing Acreage of Site:</b> 244,238 sq. ft.	<b>Proposed Acreage of Site:</b> 244,238 sq. ft.	
<b>Tax Assessor's Chart, Block &amp; Lot:</b>  Chart# 061 Block # F Lot# 8	<b>Property Owners Mailing address:</b> 360 SPRING STREET PORTLAND, MAINE 04102	<b>Telephone #:</b> 207.683.2201  <b>Cell Phone #:</b>
<b>Consultant/Agent Contact Name and mailing address, Telephone # and Cell Phone #:</b> SCOTT SIMONS ARCHITECTS AUSTIN SMITH 75 YORK STREET PORTLAND, MAINE 04101 207.772.4656	<b>Applicant's Name/Mailing Address:</b> WAYNFLETE SCHOOL ANNE HAGSTROM DIRECTOR OF FINANCE AND OPERATIONS 360 SPRING STREET PORTLAND, MAINE 04102	<b>Telephone #:</b> 207.774.7863 EXT. 227  <b>Cell Phone #:</b>
<b>Fee For Service Deposit (all applications)</b> <input checked="" type="checkbox"/> (\$200.00)		
<b>Proposed Development (check all that apply)</b> <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Storm water Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
<b>Major Development (more than 10,000 sq. ft.)</b> <input checked="" type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		

**RECEIVED**

MAY 12 2007

City of Portland  
Planning

~ Please see next page ~

**Minor Site Plan Review**

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

**Plan Amendments**

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Who billing will be sent to:

RECEIVED

MAY 18 2007

City of Portland  
Planning Department

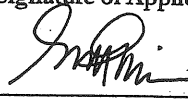
Submittals shall include (7) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11x17 plans

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: [portlandmaine.gov](http://portlandmaine.gov)

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**This application is for site review only; a Building Permit application and associated fees will be required prior to construction.**

Signature of Applicant::  Scott Simons Architects for Weynflake School	Date: May 17, 2007
---	-----------------------

Attachment 1a.

**Site Plan Application**  
**WAYNFLETE ARTS CENTER, PHASE TWO**  
*360 Spring Street*  
*Portland, Maine 04102*



Scott Simons Architects

75 York Street  
Portland, Maine 04101  
phone 207 772 4656  
fax 207 828 4656  
www.simonsarchitects.com

**MEMORANDUM Site Plan Application**

<b>date:</b>	May 18, 2007
<b>project:</b>	WAYNFLETE ARTS CENTER, PHASE TWO, 2003-0040
<b>re:</b>	Major Development, Site Plan Application
<b>to:</b>	Planning Department                      City of Portland
<b>from:</b>	Austin Smith                                      Scott Simons Architects (SSA)
<b>cc:</b>	Scott Simons                                      SSA
	Charles Young                                    SSA
	Anne Hagstrom                                  Waynflete
	David Cimino                                      Stroudwater

In accordance with the City of Portland Land Use Code, Section 14-525, we are submitting the following information for your consideration, regarding the proposed addition and site improvements at the Waynflete School, 360 Spring Street, Portland, Maine.

1. *Description of proposed uses to be located on the site, including quantity and type of residential units, if any:*

•The existing school use is to remain. In accordance with the Waynflete School Masterplan, as updated March, 2005, the School intends to undertake the building of Phase Two of Arts Center Addition on Storer Street.

Phase One and Two of the Arts Center were submitted for Major Site Plan Review and Historic Preservation in May of 2001 with approval granted for both components. Construction of Phase One was completed in August of 2002. Due to the expiration of original approval, Phase Two is being re-submitted for Site Plan Review and Historic Preservation.

•The School proposes to add a 10,807 SF auditorium / theater addition with support space to the edge of the existing 2 1/2 story brick Daveis Hall. New construction will be to the south of Davies towards Danforth Street. The existing Waldron Auditorium will undergo interior renovations and upon completion, will be used as a gymnasium space.

The project also includes site improvements with new parking area at the edge of Danforth Street, as shown on the Site Plan. All edges of the proposed project are landscaped.

• There will be no change in the size of the School population or the use of the arts facilities as a result of this Project. All programs that will use this facility are existing.

**project:** Waynflete Arts Center, Phase Two  
**file:** 2003-0040.site plan application.doc

**date:** 5/18/07  
Page 1 of 1



2. *Total land area of the site and the total floor area and ground coverage of each proposed building and structure:*

- The Waynflete School site is comprised of twelve classroom/administration buildings and four storage buildings (garages). The buildings are of various sizes and shapes, ranging from the one story wood frame garages of 600 SF to the three story brick Upper School building of approximately 30,000 SF.

- Total area of combined parcels = 244,239 SF

- Existing total lot coverage of combined parcels = 56,464 SF or 23.12%

- Proposed total lot coverage of combined parcels = 63,229 SF or 25.89%

- For existing and proposed site coverage calculations, see attached Lot Coverage Calculations, dated 05.17.07.

- For boundary and lot line configuration see enclosed property survey.

3. *General summary of existing and proposed easements or other burdens now existing or to be placed on the property:*

- There are no easements or burdens that we are aware of. See attached survey drawing.

4. *Description of existing soil conditions*

- See enclosed Geotechnical Engineering report by S.W. Cole dated April 18, 2001.

5. *The types and estimated quantities of solid waste to be generated by the development:*

- There will be no change in use or occupant load.

Six toilets and two urinals will be added during new construction.

6. *Evidence of the availability of off-site facilities including sewer, water and streets:*

- The site is bordered on the south by Danforth Street and on the east by Storer Street.

- For sanitary waste in Phase One, a 6" pvc sanitary line was connected to the 6" vitreous combined storm/sewer @ Storer Street. For Phase Two a new 8" pvc sanitary line will connect to the existing 14" combined sewer/storm line at Danforth Street.

Additional new roof drainage will be taken to the trench drain and then onto to the existing Danforth Street combined sewer/storm line via the Fletcher/Danforth catch basin. The need to collect sheet drainage from that portion of the field will be eliminated when the addition is built, freeing up the new storm lines, catch basins, and trench drain to handle the capacity of the new roof drains.

- Water service will continue from Storer Street and is adequate to service both domestic and fire protection needs for the addition of Phase Two.

- Electrical service is currently provided overhead from Storer Street. Existing service is three phase and runs overhead from existing pole on Spring Street to a pad mounted transformer across Storer Street from Davies Hall, then underground into the basement of Davies Hall. This service entry will remain with no change in electrical service required for Phase Two.

- Gas service from Fletcher Street currently extends into the basement of Davies Hall, where two existing gas boilers will service the existing building and new Phase Two addition.

7. *A narrative describing the existing surface drainage on the site and a stormwater management plan indicating measures which will be taken to control surface water runoff:*

- Storm-water analysis submitted and approved in May of 2001. Revised design of May 2007 has a decrease in impervious area. Calculations will be modified to reflect this.

project:  
file:

Waynflete Arts Center, Phase Two  
2003-0040.site plan application.doc

date: 5/18/07  
Page 2 of 3

8. *A construction plan outlining the anticipated sequence of construction of the major aspect of the proposed project, including without limitation roads, retention basins, sewer lines, seeding and other erosion control measures, and pollutant abatement measures, and also setting forth the approximate dates for commencement and completion of the project:*
- Construction of a 10,807 SF Theater/ Auditorium addition with support space to the Danforth Street side of Davies Hall Extent of new work shown on enclosed floor plans and elevations.
  - Construction to start in September of 2007 and be completed at the end of November of 2008; 14 to 16 months of construction.
  - Sitework and landscaping improvements around entire Phase Two addition, including landscaping at new side entrance off Storer Street. Fall of 2008, after substantial completion of the building addition.
  - Construction of a new paved, 11 car parking lot at southern end of Storer Street. This will replace the current unpaved, 6 car parking provided in Phase One.
  - Construction site to be accessed from Storer Street with staging area on site of proposed parking. Designated area to west of proposed addition will also be used for staging. Protective fencing to be installed to define limit of work.
9. *List all state and federal regulatory approvals to which the development may be subject, the status of any pending applications, and the anticipated time frame for obtaining such permits or that a determination of no jurisdiction from the agency will be requested:*
- A review will be conducted by the State Fire Marshall's Office in Augusta. The Fire Marshall's office will also certify compliance with NFPA and the Americans' with Disabilities Act (ADA). File to be established in June of 2007 with initial review of code summary. Final review to be conducted upon completion of construction documents in August of 2007.
  - A building permit will be required from the City of Portland. Application will be made upon completion of construction documents. Plans will also be reviewed by the Portland Fire Department for life safety issues.
  - Portland Fire Department Site Review documents enclosed.
10. *Evidence of financial and technical capacity to undertake and complete the development including, but not limited to, a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved, if requested to do so:*
- See attached letter from the Waynflete School.
11. *Evidence of the applicant's title, right, or interest in the property, including without limitation deeds, leases, purchase options or any other documentation:*
- See plot plans and deeds previously submitted.
12. *A narrative describing any unusual natural areas, wildlife and fishery habitats, or archaeological sites located on or near the project site and a description of the methods that will be used to protect such areas or sites:*
- The School is located in an urban area. The buildings have existed in their current form for many years (recorded on tax documents of 1951). There are no unusual natural areas, wildlife and fishery habitats, or archaeological sites on or near the proposed building additions and parking area.



Scott Simons Architects

75 York Street  
 Portland, Maine 04101  
 phone 207 772 4656  
 fax 207 828 4656  
 www.simonsarchitects.com

**MEMORANDUM Site Plan Application - Fire Department Checklist**

**date:** May 18, 2007  
**project:** WAYNFLETE ARTS CENTER, PHASE TWO, 2003-0040  
**re:** Major Development, Site Plan Application  
**to:** Planning Department City of Portland  
**from:** Charles Young Scott Simons Architects (SSA)  
**cc:** Scott Simons SSA  
 Austin Smith SSA  
 Anne Hagstrom Waynflete  
 David Cimino Stroudwater

In accordance with the City of Portland Land Use Code, Section 14-525, we are submitting the following information for your consideration, regarding the proposed addition and site improvements at the Waynflete School, 360 Spring Street, Portland, Maine. The information below directly addresses the Portland Fire Department Site Review Checklist.

1. *Name, address, and telephone number of applicant:*
  - Waynflete School, 360 Spring Street, Portland Maine, 04102. Ph. 207-683-2201.
2. *Name, address, and telephone number of architect:*
  - Scott Simons Architects. 75 York Street, Portland Maine 04101. Ph. 207-772-4656
3. *Proposed uses of any structures ( NFPA and IBC classification):*
  - NFPA and IBC: Non-separated Mixed Use Occupancy (Assembly and Educational)
4. *Square footage of all structures:*
  - Addition Total = 10,807 SF
    - a. Ground Floor: 6,819 SF
    - b. First Floor: 3,732 SF
    - c. Second Floor 256 SF
  - Existing Total = 18,437 SF
    - a. Ground Floor: 4,490 SF
    - b. First Floor: 9,864 SF
    - c. Second Floor 4,083 SF
  - Combined Total = 29,244 SF
    - a. Combined Ground Floor: 11,309 SF
    - b. Combined First Floor: 13,596 SF
    - c. Combined Second Floor 4,339 SF

**project:** Waynflete Arts Center, Phase Two  
**file:** 2003-0040.FD checklist.doc - Fire Dept. Checklist

**date:** 5/18/07  
 Page 1 of 1

5. *Elevation of all structures:*
  - Refer to Building Elevation drawing A2.1
6. *Proposed fire protection of all structures:*
  - Automatic Fire Sprinklers throughout entire building.
7. *Hydrant locations:*
  - Refer to site plans for proximity to existing street hydrants.
8. *Water main size and location:*
  - Water main located in Storer Street. Current fire protection line installed during Phase I connects from Storer St. main into existing buildings.
9. *Access to fire department connections:*
  - Standard, wall mounted "Storz" connection per City of Portland Fire Dept. requirements.
10. *Access to all structures: (Min. of 2 sides)*
  - Proposed addition has access to Storer Street on the east and to Danforth St. on the south. Refer to site plans for layout and orientation.
11. *Code summary referencing NFPA and all fire department technical standards.*
  - Building Code Summary:
  - IBC 2003, 2003 NFPA 101 Life Safety Code.

Use Group: Non Separated, Mixed Use – Assembly and Educational

Type of Construction: Type 3B, fully sprinklered.

Stages and Platforms: To meet Section 410 requirements for fire protection, construction and sprinklers. Stage height less than 50' = proscenium wall and curtain not required to be rated.

Automatic Sprinkler: Yes, to meet NFPA 13 per section 903.3.1

Max. Area allowed: per Table 503: 8,500 with 200% sprinkler increase = 17,000 SF per floor

Max. Stories allowed: Three stories allowed with sprinkler increase.

Max. Height allowed: 75 ft. with sprinkler increase. (Max. proposed height above grade = approx. 48 ft).

Means of Egress: Minimum of two exits per floor required.  
 Dead end limit = 20 ft.  
 Maximum distance to exit = 250 ft.  
 Stair enclosures: One hour rating (less than 4 stories)  
 Corridors: Per Table 1016.1 IBC no rating required with fully sprinklered bldg.

Occupant Load: 496 (all floors, addition only)

Auditorium fixed seats: =	276
Stage @ 15 nsf:	57
Classrooms and practice rooms @ 20 nsf:	163

12. *Elevators shall be sized to fit an 81" x 23" stretcher and two personnel.*
  - Variance to stretcher size requirement granted during approvals of Phase One. The existing elevator is to serve the addition -refer to building floor plans for location and size.



**Waynflete**

Attachment 1c.

Waynflete School  
360 Spring Street  
Portland, Maine 04102-3643  
207-774-5721  
Fax: 207-772-4782  
www.waynflete.org

**Memorandum**

**To:** Michael J. Patterson, Chair, and Members of the Portland Planning Board  
**From:** Anne C. Hagstrom, Director of Finance and Operations  
**Date:** May 17, 2007  
**Re:** Financing for Construction of Theater and Gymnasium

The construction of the theater and gymnasium is the next part of the three-phase project originally approved by the Planning Board. The first phase was completed in 2002.

Waynflete has undertaken a capital fundraising campaign and has sufficient funds to pay for the construction of the theater and gymnasium.

**GEOTECHNICAL ENGINEERING SERVICES  
PROPOSED ADDITION - WAYNFLETE SCHOOL  
360 SPRING STREET  
PORTLAND, MAINE**

**01-0120 S April 18, 2001**

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01-0120 S  
April 18, 2001

Scott Simons Architects  
Attn: Austin Smith  
15 Franklin Street  
Portland, Maine 04101-4169

Subject: Geotechnical Engineering Services  
Proposed Building Addition-Waynflete School  
360 Spring Street  
Portland, Maine

Dear Mr. Smith:

In accordance with our Proposal dated February 27, 2001, we have made a subsurface investigation for the proposed Building Addition to Davies Hall at the Waynflete School Facility. This report summarizes our findings and its contents are subject to the limitations set forth in Attachment A.

## **1.0 INTRODUCTION**

### **1.1 Scope of Work**

The purpose of the investigation was to explore the subsurface conditions and provide recommendations relative to foundation design and earthwork associated with the proposed building addition. The investigation included the making of seven test boring explorations, two test pit explorations, laboratory testing, and a geotechnical evaluation of the findings as they relate to the proposed building construction. This report covers geotechnical aspects for construction of the building structure only.

### **1.2 Proposed Construction**

Based on the site plan you provided, we understand that a three level addition will cover a footprint of about 12,000 square feet. The new addition will be attached to the southerly side of Davies Hall and will house an auditorium, classroom and storage space. The proposed finish floor elevation for the lower level of the addition will be 127.5 feet with a depressed slab in the auditorium at an elevation of 125.5 feet. We understand that the structure will be steel framed with masonry veneer. The lower level



understand that the structure will be steel framed with masonry veneer. The lower level will be a day-lighted basement with foundation walls supporting up to about 10 feet of soil. A hydraulic elevator with and underlying 4± foot deep pit is also proposed. The elevator will likely be controlled by hydraulic piston drilled into the underlying soil. Current grades within the proposed building addition area vary from about elevation 125 feet at the southerly side, near Danforth Street, up to 138 feet at the northerly side, adjacent to the existing Davies Hall structure. Thus, tapered fills of about 2 feet and cuts of about 11 feet will be needed to achieve floor grade. Deeper cuts will be needed for foundation and elevator pit areas. It also appears that cuts adjacent to the existing school will extend below existing floor and foundation elevations. Details regarding the proposed and existing site features are shown on "Exploration Location Plan" attached as sheet 1.

## **2.0 EXPLORATION AND TESTING**

### **2.1 Exploration**

Great Works Test Boring, Inc. of Rollinsford, NH made seven test borings at the site on March 16, 2001. Shaw Brothers Construction of Gorham, Maine, made two backhoe-dug test pit explorations on March 16, 2001. The exploration locations were selected and located at the site by personnel from S.W. COLE ENGINEERING, INC. based on a plan provided by Scott Simons Architects. The approximate exploration locations are shown on the "Exploration Location Plan", attached as Sheet 1. Sheet 1 is based on a site plan provided by Scott Simons Architects. Logs of the explorations, based on our observations and testing of samples are attached as Sheets 2 through 9. A key to the notes and symbols used on the logs is attached as Sheet 10. The elevations noted on the logs were estimated from topographic contours shown on the site plan.

### **2.2 Laboratory Testing**

Samples recovered from the explorations were visually examined and classified in our laboratory. Laboratory testing was performed on selected samples recovered from the explorations. Moisture content test results are noted on the logs. The results of five grain size analyses are presented graphically on Sheet 11.

### 3.0 SITE AND SUBSURFACE CONDITIONS

#### 3.1 Site Location and Surficial Conditions

The site is located on the northwesterly corner of the intersection of Danforth and Storer Streets in Portland, Maine. The addition will be attached to the southerly side of the existing Davies Hall. The site is currently open with grass or gravel at the surface. A contractor is currently using a portion of the site as a construction storage yard. The site is benched with a relatively flat upper bench at a about elevation 137 feet adjacent to the southerly side of Davies Hall. About ten feet south of Davies Hall, surface grades slope steeply downward to the lower bench over the southerly portion of the site. The lower bench slopes gently downward to the south from about elevation 128 to 125.

#### 3.2 Subsurface Conditions

In general, the test boring explorations encountered loose to medium dense granular fill soils overlying native medium dense to very dense glacial till. The fill varied from about 3.5 to 6.0 in thickness at the explorations. A  $1.5\pm$  foot thick layer of sand with some silt and gravel was found below the fill at boring B-2 which may also be a fill layer. The explorations were terminated in the till soils at depths ranging from 12 to 17 feet below the existing ground surface. Refusal surfaces (possible bedrock) were encountered in borings B-3, B-4 and B-7 at depths of 15.7, 15.8 and 16.5 feet.

Test pits TP-1 and TP-2 were made adjacent to the southerly side of the existing structure to assess the existing foundation configuration. The explorations encountered 4 to  $5\pm$  feet of foundation backfill overlying native gray glacial till. Test pit TP-1, made adjacent to the older section of Davies Hall, encountered a stone and mortar foundation wall to a depth of about 3 feet below the ground surface. The stone and mortar wall appears to be founded on a  $1\pm$  foot layer of rock, cobbles and mortar overlying glacial till. Test pit TP-2, made adjacent to the newer portion of the structure encountered a cast-in-place concrete foundation wall with a footing depth of about 5 feet below the existing ground surface overlying glacial till. Foundation underdrains were not observed at the test pit explorations. Photographs of the existing foundation configurations observed at the test pit locations are presented in Appendix A. Refer to the attached exploration logs for a more detailed description of the findings.

### **3.3 Groundwater**

Groundwater was observed in the open boreholes at the completion of drilling at depths varying from about 7 to 10 feet at borings B-1, B-4 and B-5. The remainder of the explorations encountered moist to wet soils. Seepage was also observed at test pit TP-2 at a depth of about 5 feet. It should be noted that due to the slow draining characteristics of the existing soils, accurate water levels could not be obtained during drilling. A ground water monitoring well was installed at boring B-6. The groundwater was measured to be at a depth of 2 feet below the existing ground surface on April 16, 2001. Long-term groundwater levels are not known, but it should be anticipated that levels would fluctuate seasonally and during periods of heavy precipitation and/or snowmelt.

## **4.0 EVALUATION AND RECOMMENDATIONS**

### **4.1 General Findings**

Based on the findings at the explorations and our knowledge of the proposed construction, it appears that the site is suitable for the proposed construction from a geotechnical standpoint. Spread footing foundation and on-grade floor slabs are suitable for the proposed construction. Perimeter foundation underdrains as well as sub-slab underdrains will be needed.

The principal geotechnical concerns relative to the design, construction and long-term performance of the proposed construction are moisture sensitive and frost susceptible existing soils, an apparent shallow groundwater depth and loose existing fill soils. Additionally, excavation work adjacent to the existing building will likely require braced sheeting or underpinning to preclude undermining existing foundations. A clean imported granular fill will be needed for backfill adjacent to foundations. Groundwater will need to be controlled long term with perimeter and sub-slab underdrains as well as a crushed stone drainage layer directly below the slab. The existing fills will need to be removed from beneath all foundation areas and existing fill beneath slab areas will need to be densified prior to placing the sub-slab crushed stone.

### **4.2 Subgrade Preparation**

Subgrade preparation should include removal of all existing topsoil, and organics and existing structures (retaining wall, stairways, etc.) from beneath areas of construction.

All existing fill spills should be removed from beneath proposed foundation areas. Existing soils should be removed to a depth of at least 8 inches below bottom of all slab areas to allow for a layer of compacted crushed stone fill. Geotextile fabric should be placed beneath the crushed stone layer. The elevator pit area should be overexcavated by at least 8 inches and replaced with 8 inches of crushed stone.

Based on the information obtained at the exploration locations, it appears that the existing fill is granular (silty sands), but generally loose. Considering this, we recommend that the slab subgrade be densified using a vibrator roller compactor weighing at least 8 tons prior to placing the crushed stone layer. A S.W. COLE ENGINEERING Technician should make at least 5 passes with observation. Any areas that continue to yield should be overexcavated and the soil replaced with compacted select fill.

#### **4.3 Foundation Design**

The design freezing index for the Portland, Maine area is approximately 1250 Fahrenheit degree-days. Thus, all perimeter foundations should be placed at least 4.5 feet below exterior finish grade to provide frost protection.

All wall footings should be at least 18 inches in width. Column footings should be at least 24 inches in their smallest dimension. Footing and foundation wall design should consider the following soil parameters:

Net Allowable Bearing Pressure = 4.0 ksf (compacted granular fill or undisturbed native till)

Design Frost Depth = 4.5 feet below exterior finish grade

Base Friction Factor = 0.40

( $K_p$ ) Passive Lateral Earth Pressure Coefficient = 3.0 (compacted select fill)

( $K_o$ ) At-Rest Lateral Earth Pressure Coefficient = 0.50 (restrained wall)

( $K_a$ ) Active Lateral Earth Pressure Coefficient = 0.33 (restrained wall)

( $\gamma_T$ ) Unit Weight of Backfill = 125 pcf (compacted select fill)

Relative to seismic design evaluation, we recommend that design consider soil profile type  $S_1$  with a site coefficient of 1.0. We anticipate that total post-construction

settlements of properly designed footings bearing on properly prepared subgrades should not exceed 1/2-inch. Foundation wall design will also need to consider surcharge loads from construction activity and compaction equipment.

#### **4.4 Slab-on-Grade Floors**

Concrete slab-on-grade floors may be designed using a subgrade reaction modulus of 300 pci (pounds per cubic inch) provided the floor is underlain by at least 8 inches of compacted crushed stone over densified fills.

A vapor retarder to limit the upward migration of moisture vapors should be considered beneath floor slabs covered with moisture sensitive flooring. The vapor retarder should have a permeance that is less than the floor covering being applied on the slab. Vapor retarders should be installed according to the manufacturer's requirements. Flooring suppliers should be consulted relative to acceptable vapor retarder systems for use with their products.

We recommend that control joints be installed within floor slabs to accommodate shrinkage in the concrete as it cures. In general, joints are typically installed at 10 to 15 foot spacing, but should be determined by the structural engineer with consideration to slab thickness. Floor slabs should be wet-cured for a period of least 7 days after casting as a measure to reduce the potential for curling of the concrete and excessive drying/shrinkage.

We recommend that consideration be given to using curing paper or curing compound over concrete slabs to further improve the quality of the completed floor.

#### **4.5 Foundation Drainage**

We recommend that an interior and exterior perimeter underdrain system be provided at footing grade for the lower floor level. We also recommend that sub-slab underdrains be provided beneath the lower level slab at a spacing of about 20 feet on the center. An underdrain should also be provided within the crushed stone layer below the proposed elevator pit and the proposed depressed slab area in the auditorium area.

Rigid underdrain pipe, 4 inches in diameter, should be utilized. The underdrain pipes should have perforations of 1/4 to 5/8 inch. We recommend that at least 6 inches of 3/4 inch crushed stone bedding be provided around the foundation underdrains and that the

stone be wrapped with a geotextile filter fabric having an apparent opening size of at least 70. The underdrain system must have a positive gravity outlet. Exterior foundation backfill should be sealed with a surficial layer of clayey or loamy soil in areas that are not to be paved or occupied by entrance slabs or pavements. This is to reduce direct surface water infiltration into the backfill. Exterior grades should be sloped to promote drainage away from the building. A general underdrain detail is provided on Sheet 12.

We also recommend that all below grade concrete walls be damp proofed. Consideration should be given to placing a layer of rigid insulation adjacent to the exterior side of all basement walls. This would help reduce thermal conductivity and the potential for condensation.

#### **4.6 Excavation Work**

Excavation work will encounter topsoil, existing granular fill soils, silty sands with varying amounts of gravel and possibly cobbles, (glacial till). Groundwater should be expected in excavations depending upon the time of year of construction and recent precipitation amounts. Sloping of excavation sidewalls or shoring may likely be needed to control slumping and sloughing. A layer of geotextile fabric and crushed stone may also be appropriate on some subgrades to provide a drainage layer and stable subgrade. Ditching with sumping and pumping dewatering methods should be adequate to dewater excavations.

Care must be exercised during construction to minimize disturbance of subgrade soils. Should the subgrade become loose, or difficult to work, we recommend that the unsuitable soils be removed and replaced with compacted select fill or crushed stone. Construction equipment should not operate directly on the silty sand fill or glacial till subgrades, if wet.

Based on our conversations and the plan you provided, the lower level of the new addition will extend below existing foundations by about 7 feet. Observations made at test pits TP-1 and TP-2 indicate that the existing foundations are likely founded on the native glacial till. Excavation in these areas will likely require underpinning or braced sheeting to support the existing foundation walls. S.W.COLE ENGINEERING, INC. is available to assist with the assessment of underpinning or braced sheeting options, as

needed. In any case, excavations must be properly shored and/or sloped in accordance with OSHA trenching regulations to prevent sloughing and caving of the sidewalls during construction.

#### **4.7 Backfill and Compaction**

The native soils are frost susceptible, and therefore not suitable for foundation backfill. We recommend that fill placed adjacent to the foundation walls (both inside and out) meet the gradation for Select Fill given below.

Sieve Size	Percent Finer By Weight	
	Select Fill	Crushed Stone
4 inch	100	---
3 inch	90-100	---
2 inch	---	100
1½ -inch	---	95-100
¾ -inch	---	35-70
¼ -inch	25-90	---
⅜ -inch	---	10-30
#4	---	0-5
#40	0-30	---
#200	0-5	---

Sub-slab fill and fill placed below foundations should be compacted to at least 95 percent of its maximum dry density as determined by ASTM D-1557. Basement wall backfill (above slab elevation) should be compacted between 92 and 95 percent beneath paved areas, entrance slabs and adjacent sidewalk areas. Hand operated compaction equipment should be utilized adjacent to basement walls. This is to help reduce lateral pressures on the basement level walls. Crushed stone should be compacted to 100 percent of its maximum dry rodded unit weight in accordance with ASTM C-29.

#### **4.8 Entrances and Sidewalks**

The existing site soils are susceptible to frost heaving. Entrances and sidewalks should be designed to reduce the effects of differential frost action. We recommend excavation beneath entrances and sidewalks continue to 4.5 feet below finish grade. The 4.5 foot depth should extend from the building outward to the full width of the entrance slabs and sidewalks. The entrance and sidewalk areas should be backfilled with compacted select fill. Alternatively, the entrance sidewalk or exterior slab may be underlain with a combination of compacted select fill and rigid, extruded, closed-cell polystyrene insulation. We can assist with design aspects of an insulation option as needed. Subgrades beneath entrances and sidewalks should be sloped to promote water movement toward the underdrain system. The zone of select fill should transition up to any adjacent pavement sub-base at a 1V to 3H slope or flatter from the 4.5 foot depth (see sheet 12).

#### **4.9 Weather Considerations**

If foundation construction takes place during cold weather, subgrades, foundations, and floor slabs must be protected during freezing conditions. Fill and concrete not be placed on frozen soil and once placed, the soil and concrete must be protected from freezing. Further, the native soils are slow draining, and as such subgrades will be susceptible to disturbance during wet or freezing conditions. Consequently, site work and construction activities should take appropriate measures to protect exposed subgrades, particularly when wet. This may require the use of temporary haul roads and staging areas to preclude subgrade damage due to construction traffic. Geotextile fabric may also be needed below construction haul roads and/or proposed paved areas to help stabilize subgrades.

#### **4.10 Plan Review and Construction Testing**

We request that S. W. COLE ENGINEERING, INC. be provided the opportunity to review the final design and specifications to determine that our earthwork and foundation recommendations have been properly interpreted and implemented. It is important that a S. W. COLE ENGINEERING, INC. representative be on-site to observe subgrade soils, installation of underdrains, compaction of fill soils and placement of concrete and asphalt. This is to observe compliance with the design concepts, specifications, and design recommendations and to allow changes in the design if subsurface conditions are found to differ from those anticipated. We would be pleased





01-0120  
April 18, 2001

to assist in developing a scope of services for construction materials testing services.

**5.0 CLOSURE**

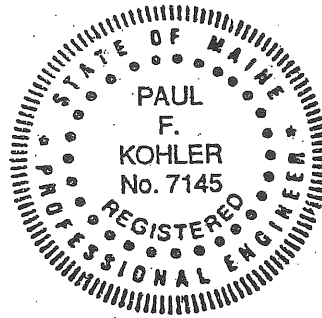
We look forward to providing continued assistance during the design review and construction phases of this project. If you have any questions or if we may be of further assistance, please do not hesitate to contact us.

Sincerely,

**S. W. COLE ENGINEERING, INC.**

Paul F. Kohler, P.E.

Vice President



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cc: Dan Burne-Becker Structural Engineers, Inc.