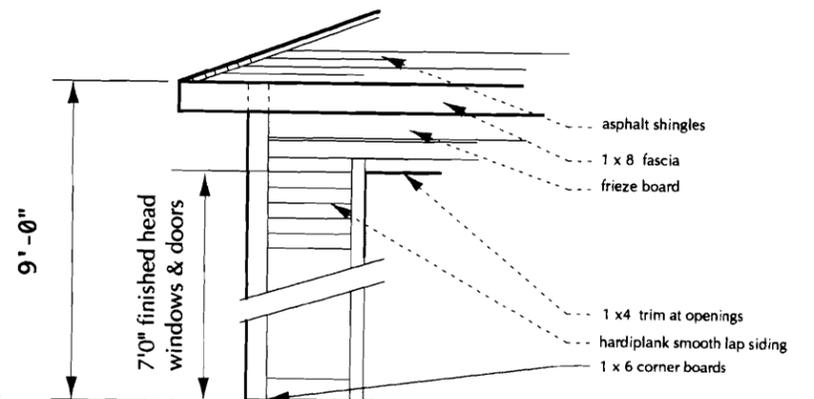
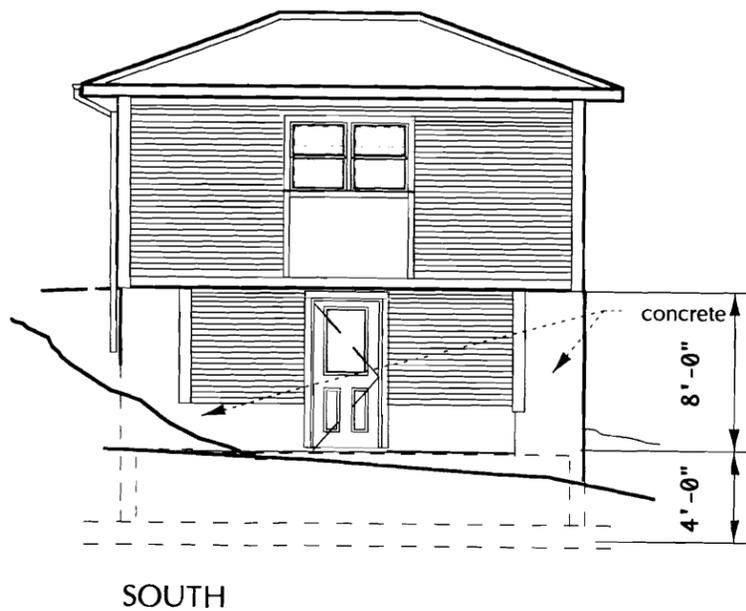
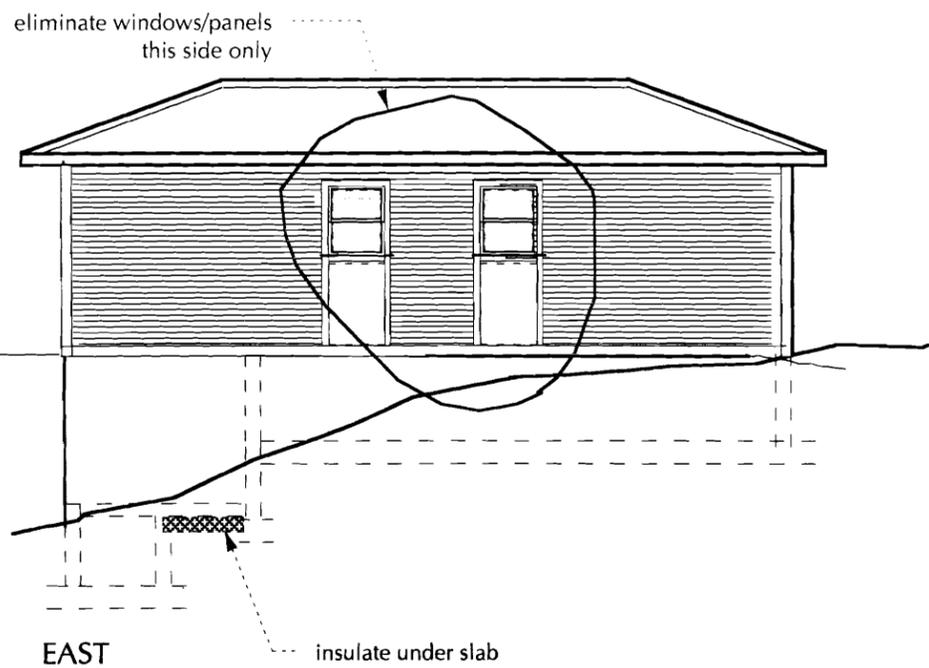


SIDING
 hardiplank smooth lap sliding to match house
 hardiplank panels painted to match house
 1x6 and 1x4 trim painted to match house trim

ROOF
 modified hip roof, trusses
 fiberglass shingle and membrane roofing
 1x8 fascia
 5" aluminum 1/2 round gutter, downspout

WINDOWS/ DOORS
 Doors - ThermaTru smooth fiberglass; raised panels, no grille, S-1011 (3x7)
 Garage doors - new steel 8'0" wide
 Windows - Brosco double hung, single glazed, narrow mullion 2'6"x3'-5"



GARAGE REPLACEMENT
 380 DANFORTH ST.
 PORTLAND, ME 04102

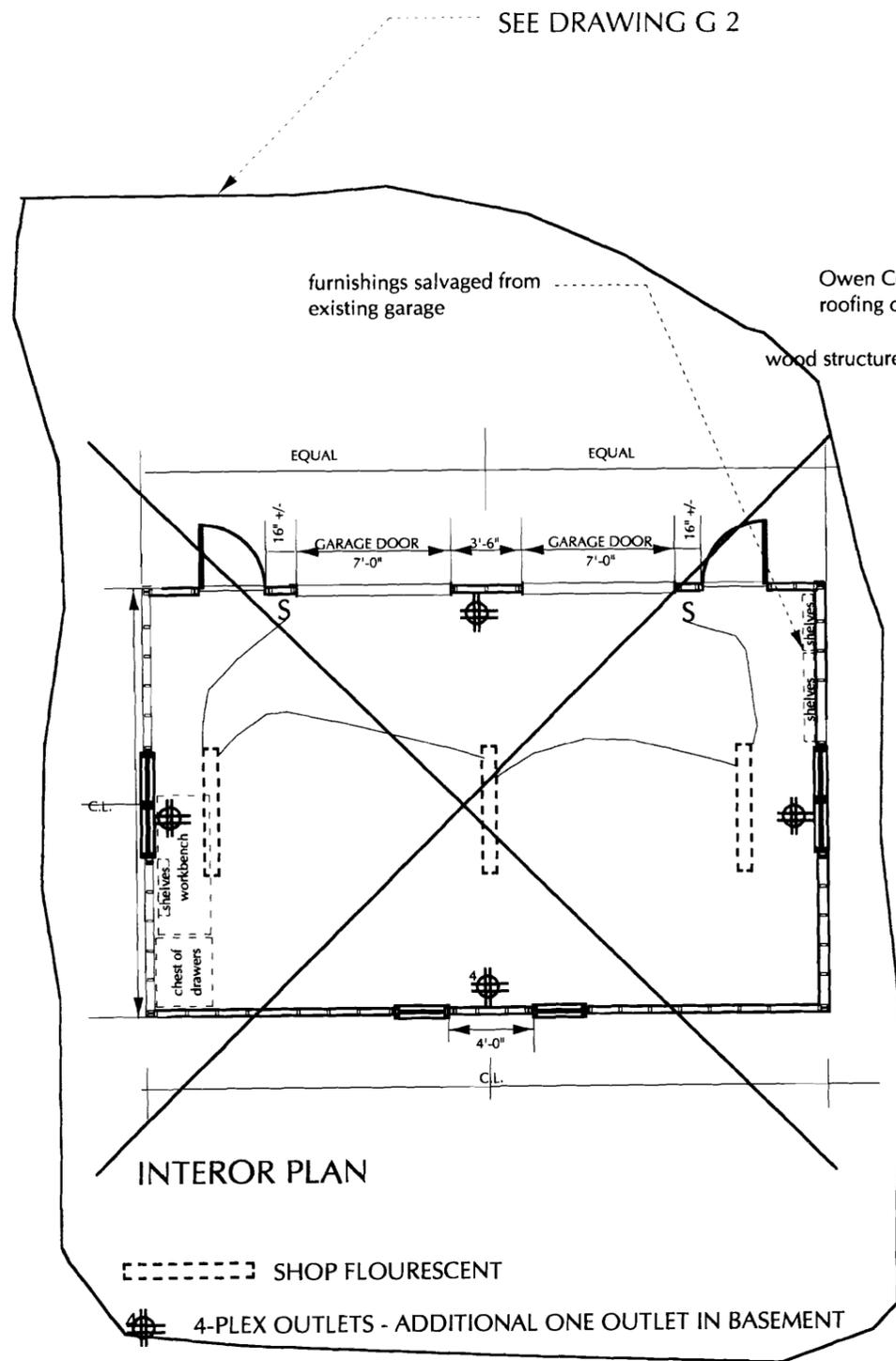
OWNER: WILLIAM R. MCFARLANE
CONSTANCE BLOOMFIELD

ELEVATIONS/ MATERIALS

CONSTANCE BLOOMFIELD ARCHITECT
 380 DANFORTH STREET
 PORTLAND, MAINE 04102
 207-773-7769

SCALE: 1/8" = 1' - 0"
 SEPTEMBER 25, 2007





header list:
 (2) 8'-span (2) 2x12
 (2) 4'-span (2) 2x6
 (2) 3'-span - (3) 2x6

GARAGE REPLACEMENT
 380 DANFORTH ST.
 PORTLAND, ME 04102

OWNER: WILLIAM R. MCFARLANE
 CONSTANCE BLOOMFIELD

GARAGE FLOOR & ROOF PLAN; SECTION

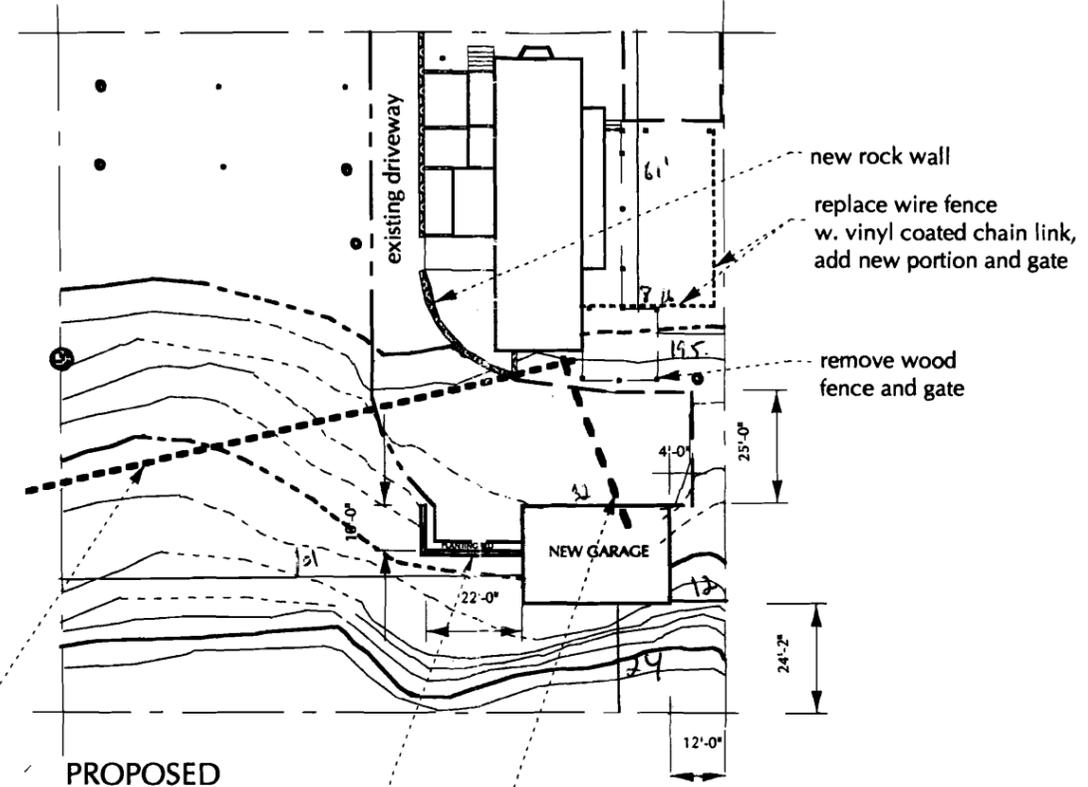
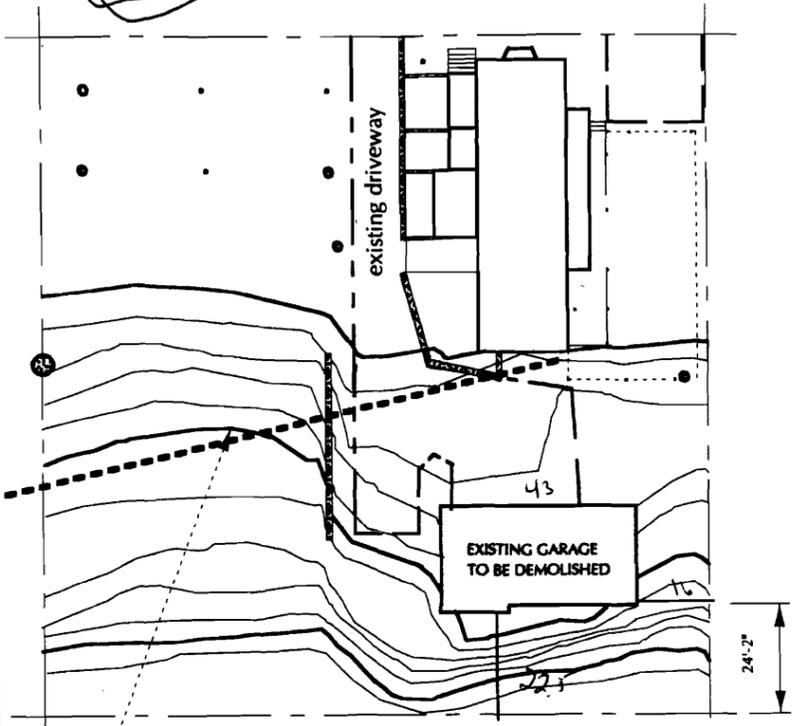
SCALE: 1/8" = 1'-0"
 SEPT. 25, 2007

CONSTANCE BLOOMFIELD ARCHITECT
 380 DANFORTH STREET
 PORTLAND, MAINE 04102
 207-773-7769

G4

See New drawing
9/27/07

R4
 front - 25' min. (or average) - garage ok
 rear - 25' min. - garage - 24' 2" but no closer than old garage and new garage smaller; not as close in one part.
 side - 1 or 1 1/2 10' - garage is 12' -
 2 14' - decks 19.5.
 lot coverage $30\% \text{ of } 19023 = 5706.9$ ok 1963



EXISTING
 house = 2107
 43x22 946 old garage - 976
 15x2=30
 1131
 704 new garage 32x22
 128 new deck part 8x16
 1963

SCOPE OF WORK

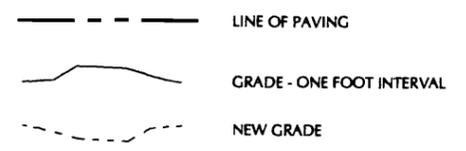
Existing Garage:
 Demolish existing garage, retaining brick basement, and garage floor joists above basement.
 Remove and retain for re-use: garage doors & any re-usable lumber.

New Garage:
 Construct new two-car garage as indicated on drawings, including repair to brick basement & reinforcing of existing floor joists.

Deck:
 Replace existing deck posts and expand as indicated on D2 and D3.

Driveway:
 Alter lower portion of driveway, including unit retaining wall.
 Remove and rebuild stone wall planting area (sub to Highland Gardens-775-7337).
 New asphalt (3") driveway on tamped base from street, no curb.

Site Work:
 Remove piled rocks, cobbles and marble slabs and store elsewhere on site.
 Install chain link fence and gate.
 Re-contour site as shown on drawings using existing fill on site and supplementing as necessary with new fill.
 Provide topsoil, fertilize and install seeded fabric.



GARAGE REPLACEMENT/ADDITION TO DECK
 380 DANFORTH ST.
 PORTLAND, ME 04102

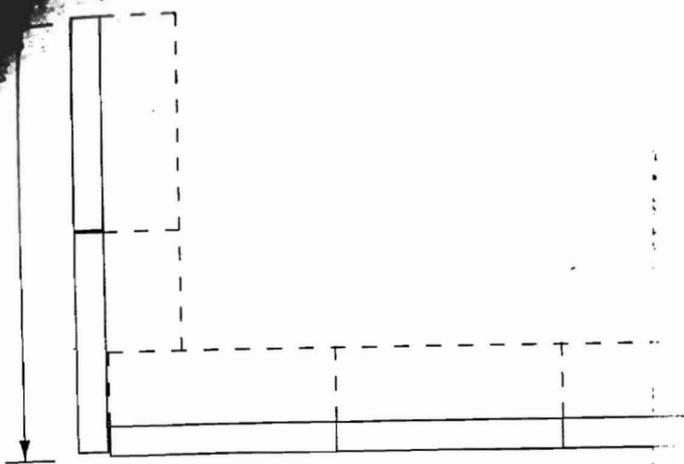
OWNER: WILLIAM R. MCFARLANE
 CONSTANCE BLOOMFIELD

SITE PLANS

CONSTANCE BLOOMFIELD ARCHITECT
 380 DANFORTH STREET
 PORTLAND, MAINE 04102
 207-773-7769

SCALE: 1" = 40'-0"
 JUNE 15, 2007

10'-0"



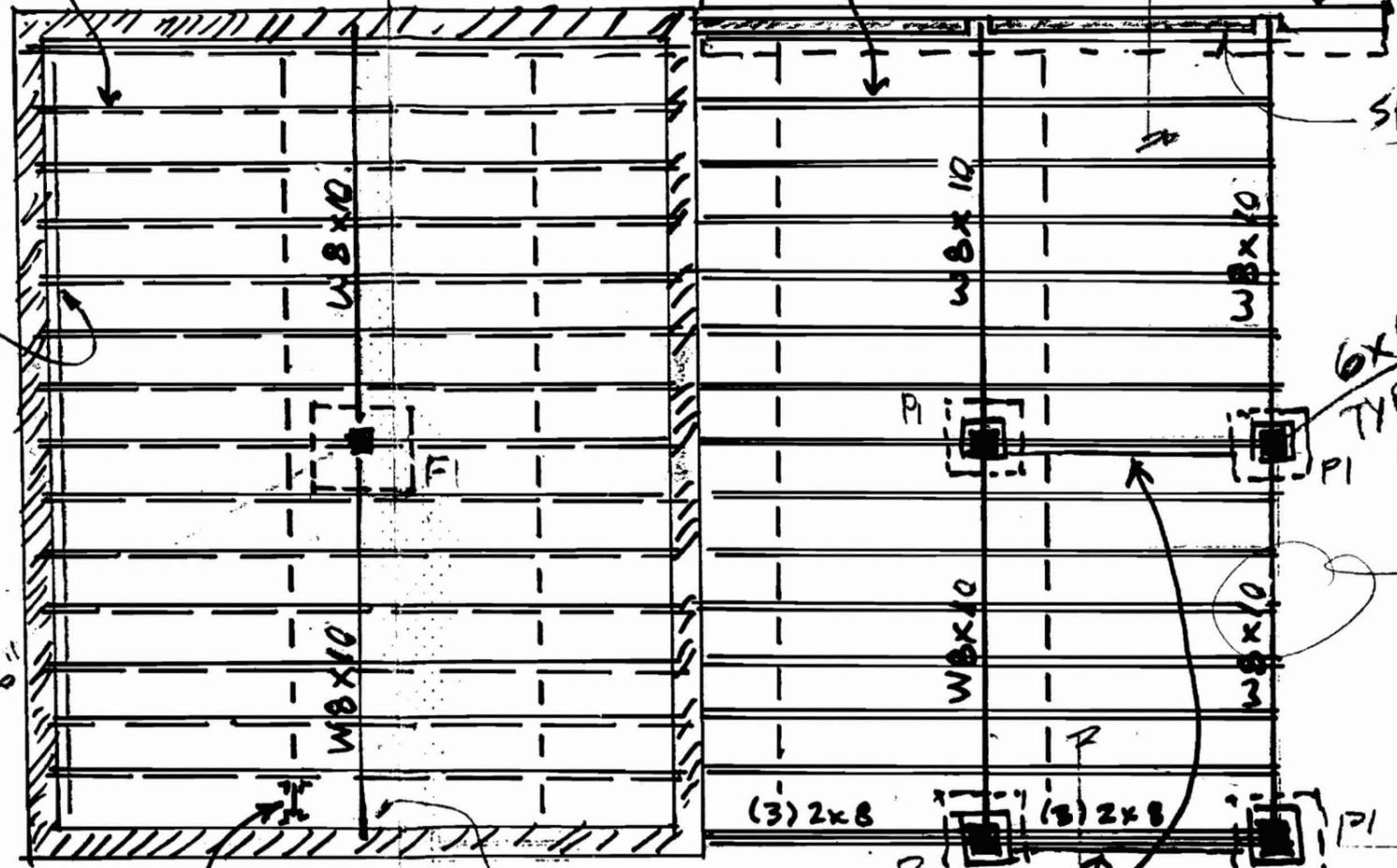
2x4 STUD WALL TO EXG BRICK SHELF.

EXIST 2x8 @ 16" W/ NEW 2x8 PT @ 16"

NEW (2) 2x8 @ 16" OC

8" CONC RET WALL

SHELF



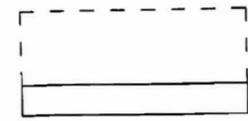
3" Ø STL PIPE COL @ 0.216"

6x6 PT TYP (4) PLUS

IS?



EXISTING TO REMAIN



RETAINING WALL UNIT

2x8 BLOKING ALONG WHL LINE USE JOIST HGRS.

POCKET INTO EXTG BRICK

2x2x4 STRUT

What is relative 3x3x4

NOTE ALL NEW FRAMING SHALL BE PT.

F1 = FTG 2x2x10" w/ 2-#4 EV
PI = PIER w/ 1-6" Ø RE 12# VERT

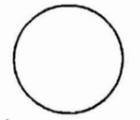
REPLACEMENT OF EXISTING GARAGE
380 DANFORTH ST.
PORTLAND, ME 04102

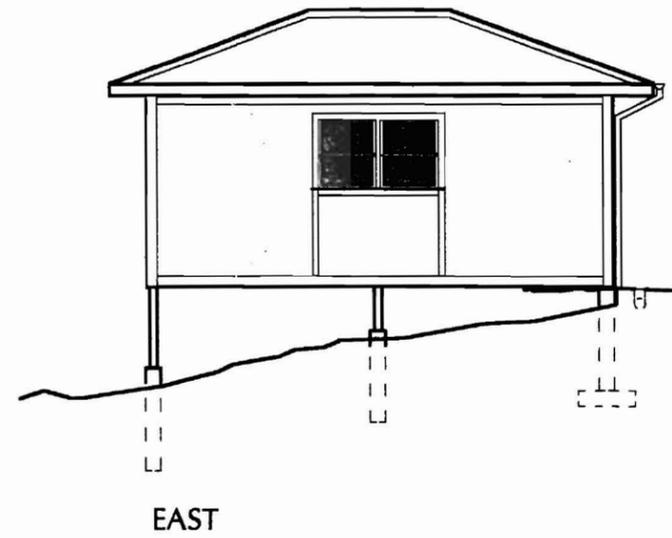
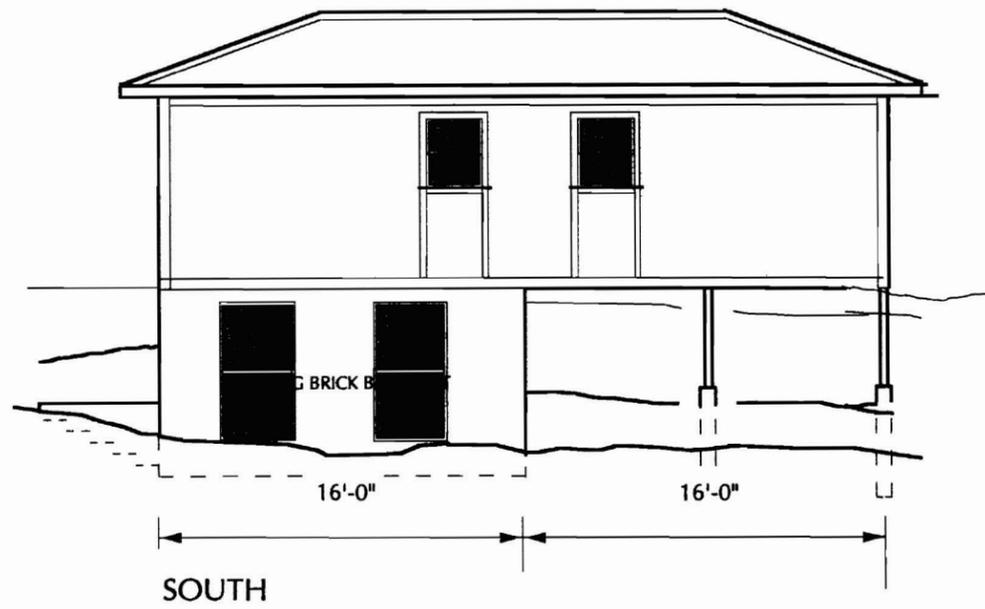
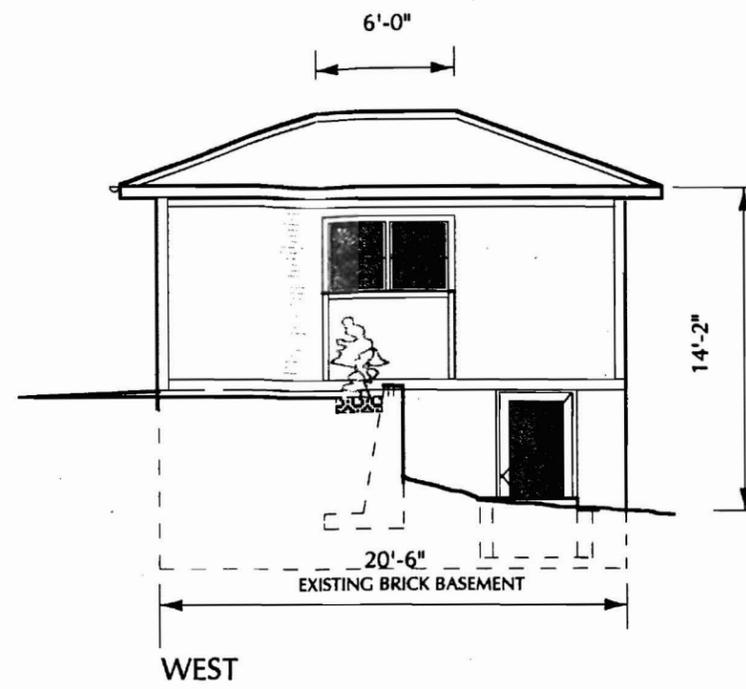
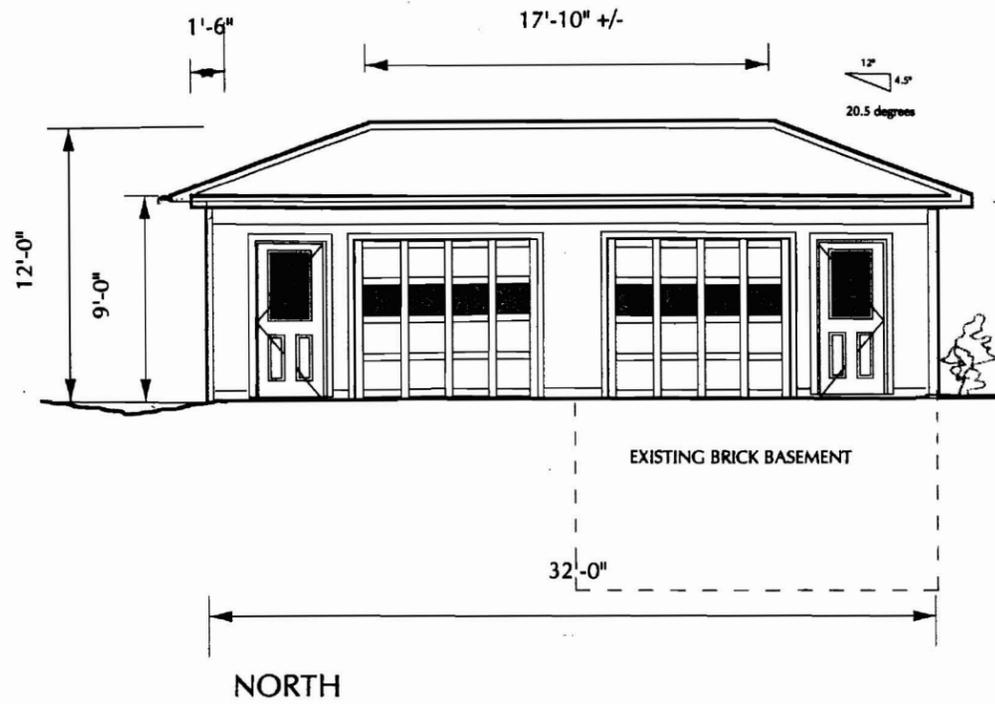
OWNER: WILLIAM R. MCFARLANE
CONSTANCE BLOOMFIELD

FOUNDATION, FOOTINGS, RETAINING WALLS

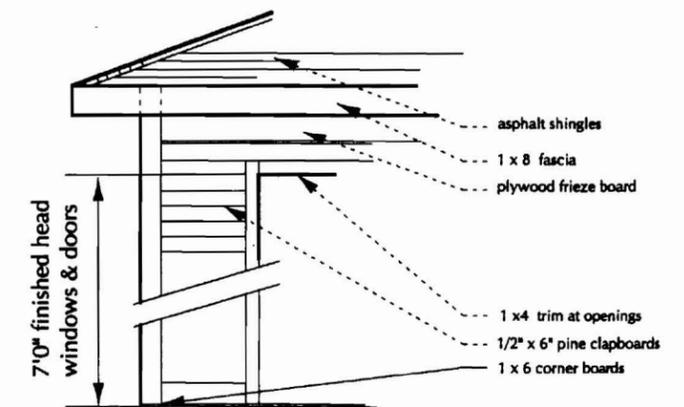
SCALE: 1/4" = 1'-0"
APRIL 15, 2007

CONSTANCE BLOOMFIELD ARCHITECT
380 DANFORTH STREET
PORTLAND, MAINE 04102
207-773-7769





- SIDING**
 1/2" x 6" pine clapboards; solid stain
 3/4" exterior finish grade plywood panels; solid stain
 1x6 and 1x4 trim
- ROOF**
 modified hip roof, trusses
 fiberglass shingle and membrane roofing
 1x8 fascia
 5" aluminum 1/2 round gutter, downspout
- WINDOWS/ DOORS**
 Doors - ThermaTru smooth fiberglass; raised panels, no grille, S-1011
 Garage doors - reused, on-site
 Windows - Brosco double hung, single glazed, narrow mullion 2'6"x3'-5"



GARAGE REPLACEMENT
 380 DANFORTH ST.
 PORTLAND, ME 04102

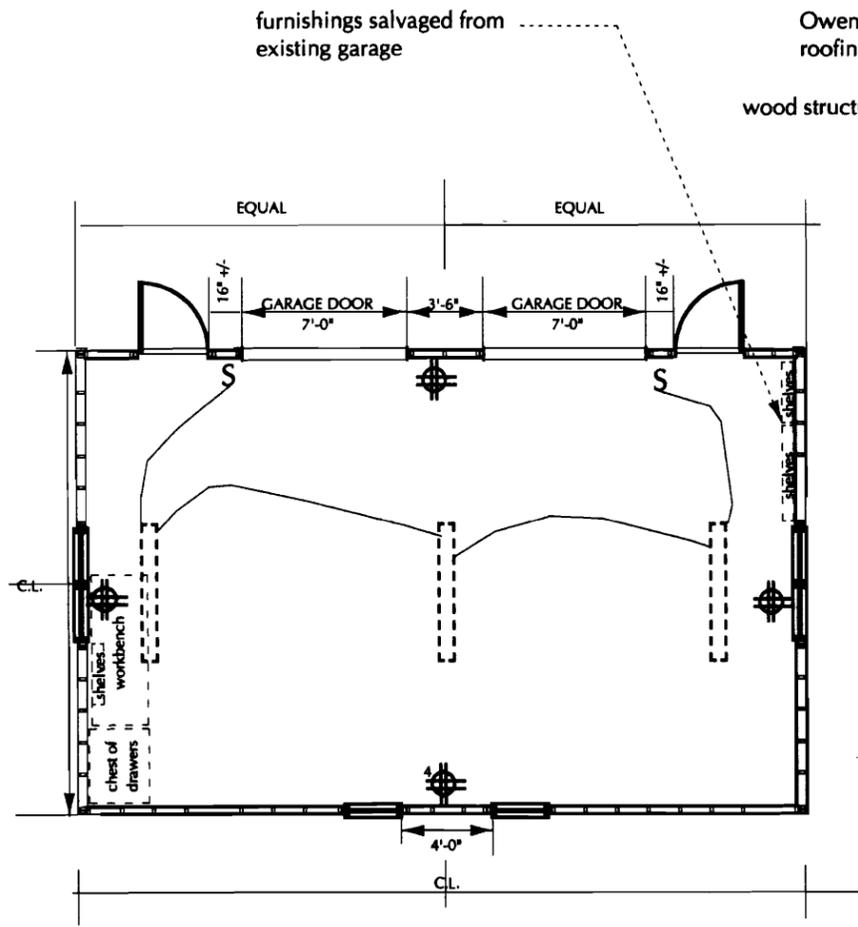
OWNER: WILLIAM R. MCFARLANE
CONSTANCE BLOOMFIELD

ELEVATIONS/ MATERIALS

CONSTANCE BLOOMFIELD ARCHITECT
 380 DANFORTH STREET
 PORTLAND, MAINE 04102
 207-773-7769

SCALE: 1/8" = 1' - 0"
 JUNE 20, 2007

G3

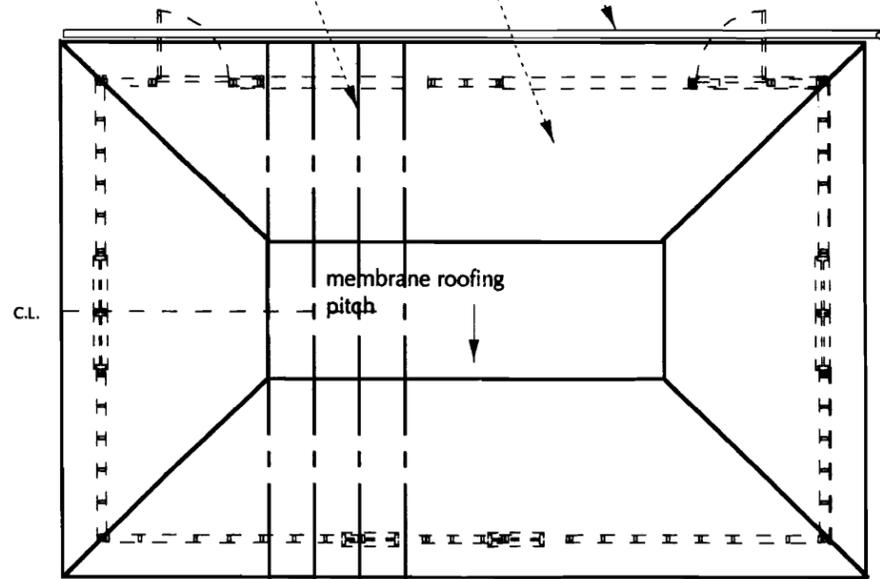


INTERIOR PLAN

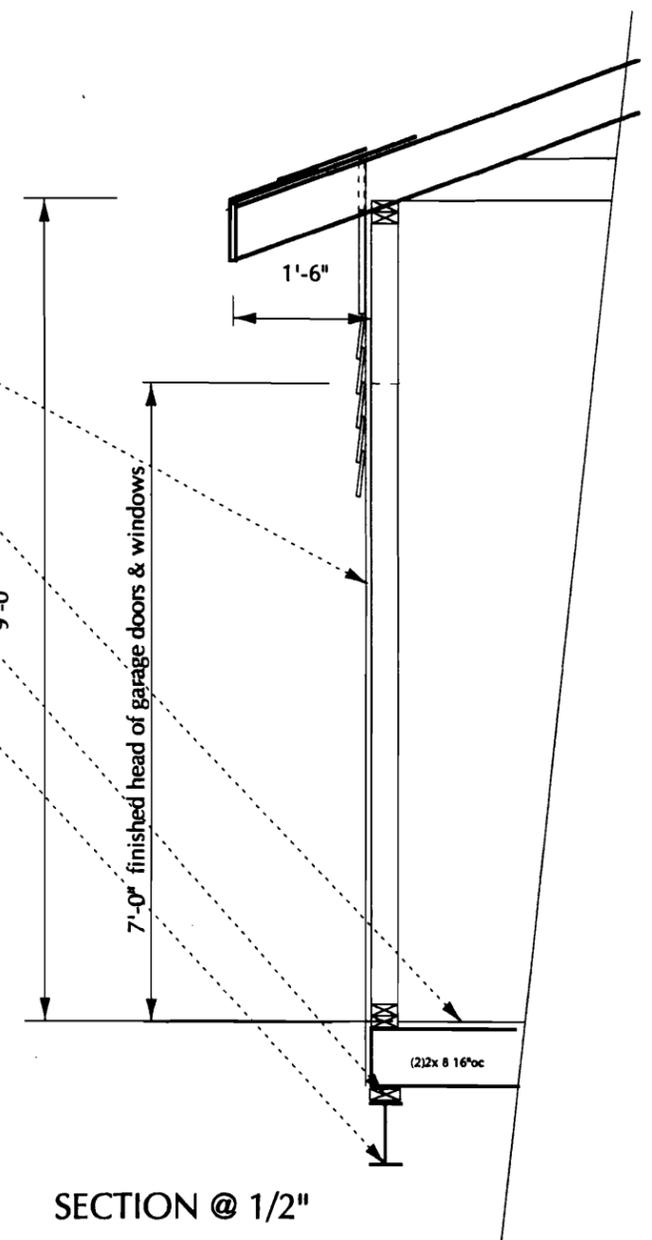
----- SHOP FLOURESCENT

⊕ 4-PLEX OUTLETS - ADDITIONAL ONE OUTLET IN BASEMENT

gutter & downspout
 Owen Corning fiberglass shingle (Estate Grey) roofing on pitched roof
 wood structures truss @ 24" oc, typ.
 1/2" plywd or board sheathing
 1" exterior grade plywood
 2x6 ripped to 4" width w. 1/2" bolts @24" staggered
 W8 steel beam



ROOF PLAN



SECTION @ 1/2"

GARAGE REPLACEMENT
 380 DANFORTH ST.
 PORTLAND, ME 04102

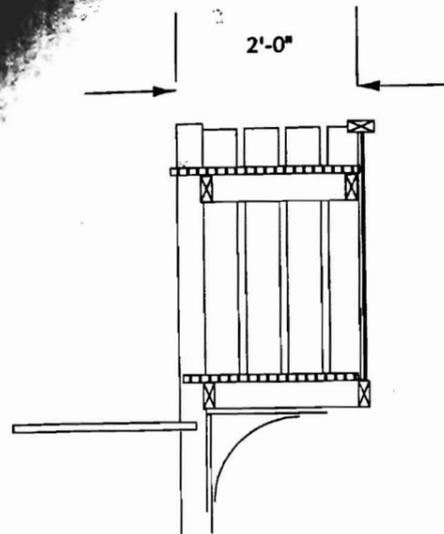
OWNER: WILLIAM R. MCFARLANE
CONSTANCE BLOOMFIELD

GARAGE FLOOR & ROOF PLAN; SECTION

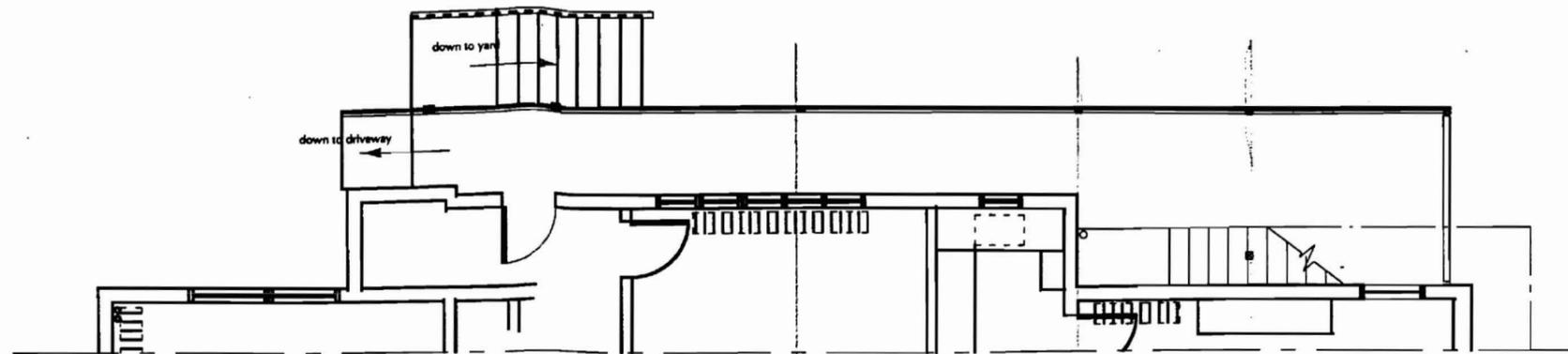
SCALE: 1/8" = 1'-0"
 JUNE 20, 2007

CONSTANCE BLOOMFIELD ARCHITECT
 388 DANFORTH STREET
 PORTLAND, MAINE 04102
 207-773-7769

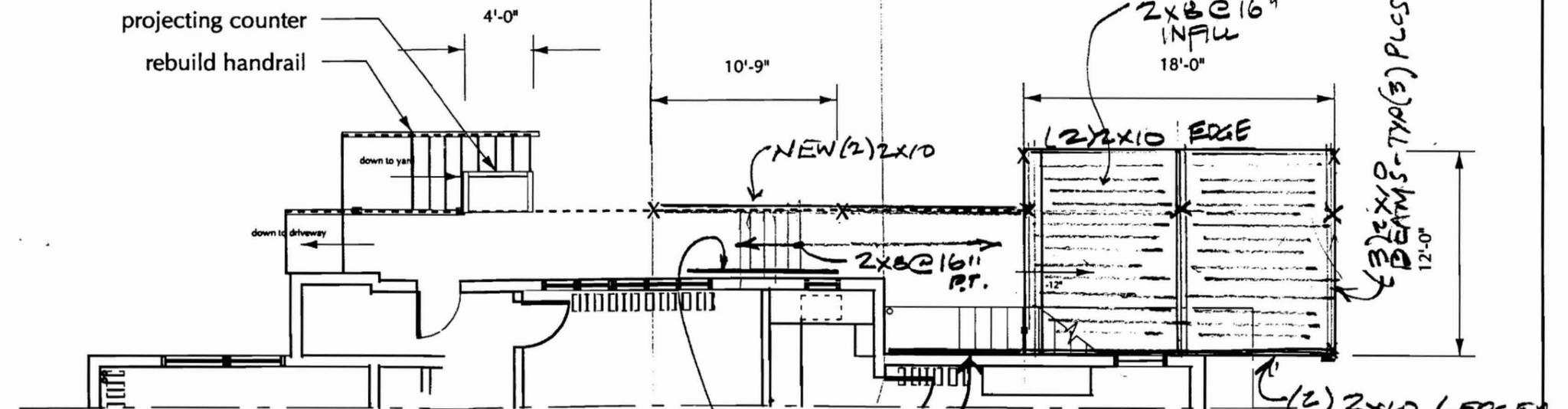




PROJECTING COUNTER, section



EXISTING DECK



PROPOSED DECK

QUESTIONS FOR PAUL: CAN EXISTING POST LOCATIONS BE CHANGED W/O REFRAMING?
 SIZING OF EXTENSION POSTS, ETC. BRACING; WOULD STEEL FOR EXTENSION POST (AND BEAMS?)
 GIVE IT MORE OR LESS ' SUBSTANCE? BRACING IF STEEL OR WOOD? COST OF WOOD VS. STEEL;
 DON'T WANT TO CHANGE FIRST 2 POSTS. I THINK FOOTINGS WHICH ARE PIER-LIKE WOULD READ AS MORE SUBSTANTIAL
 FOOTINGS: OVERSIZED NOT SONOTUBES, MAYBE CULVERT FORMS AND TINTED CONCRETE.

2x8 PT LEDGER
 W/ 3/4" Ø EPDM POLTS @ 16" OS IN BRUCE
 OR 3/4" Ø LAGS INTO EXTG ND @ 16"

ADDITION TO DECK
 380 DANFORTH ST.
 PORTLAND, ME 04102

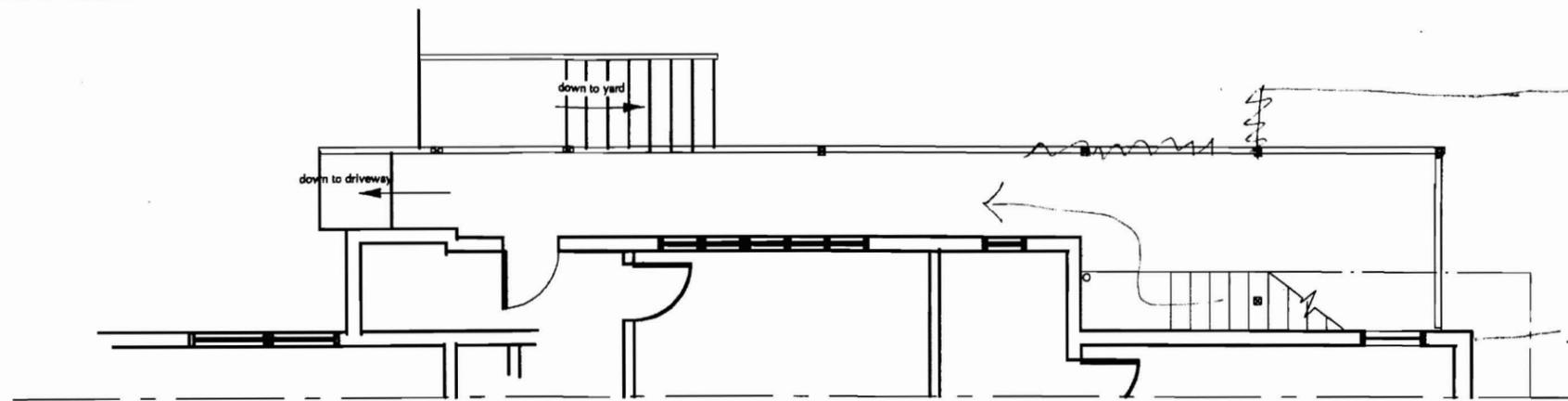
OWNER: WILLIAM R. MCFARLANE
 CONSTANCE BLOOMFIELD

DECK PLANS

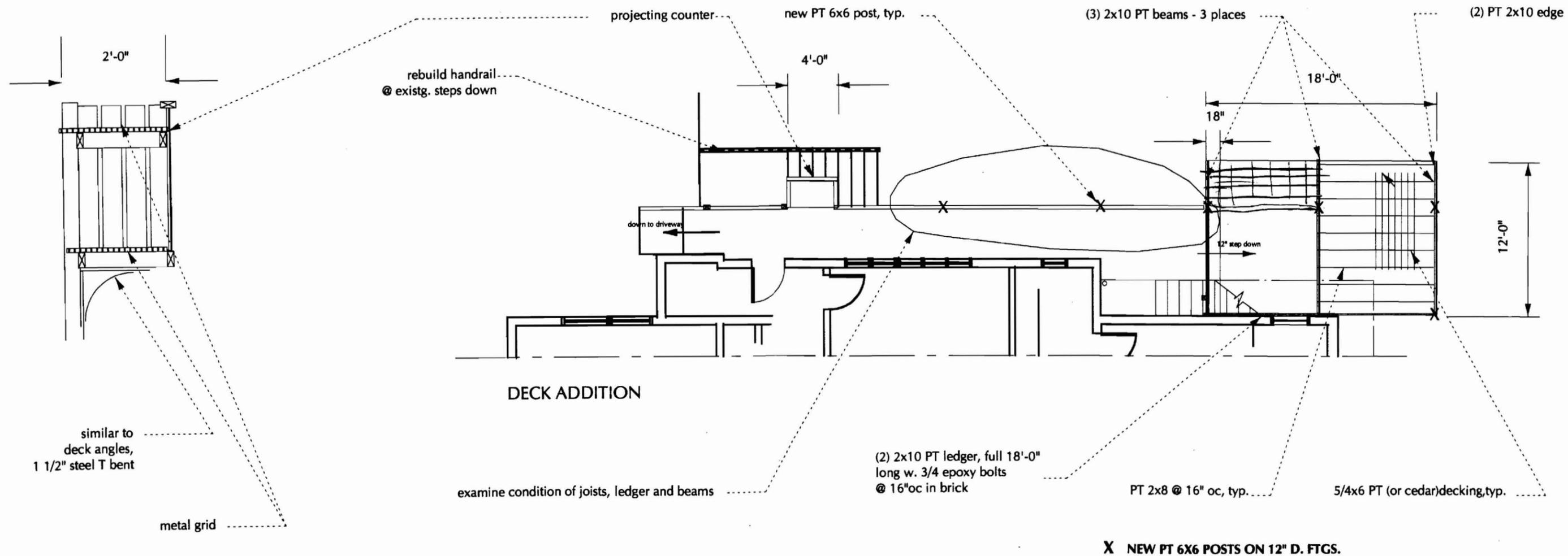
SCALE: 1/8" = 1' - 0"
 APRIL 28, 2007

CONSTANCE BLOOMFIELD ARCHITECT
 380 DANFORTH STREET
 PORTLAND, MAINE 04102
 207-773-7769





EXISTING DECK



DECK ADDITION

ADDITION TO DECK
380 DANFORTH ST.
PORTLAND, ME 04102

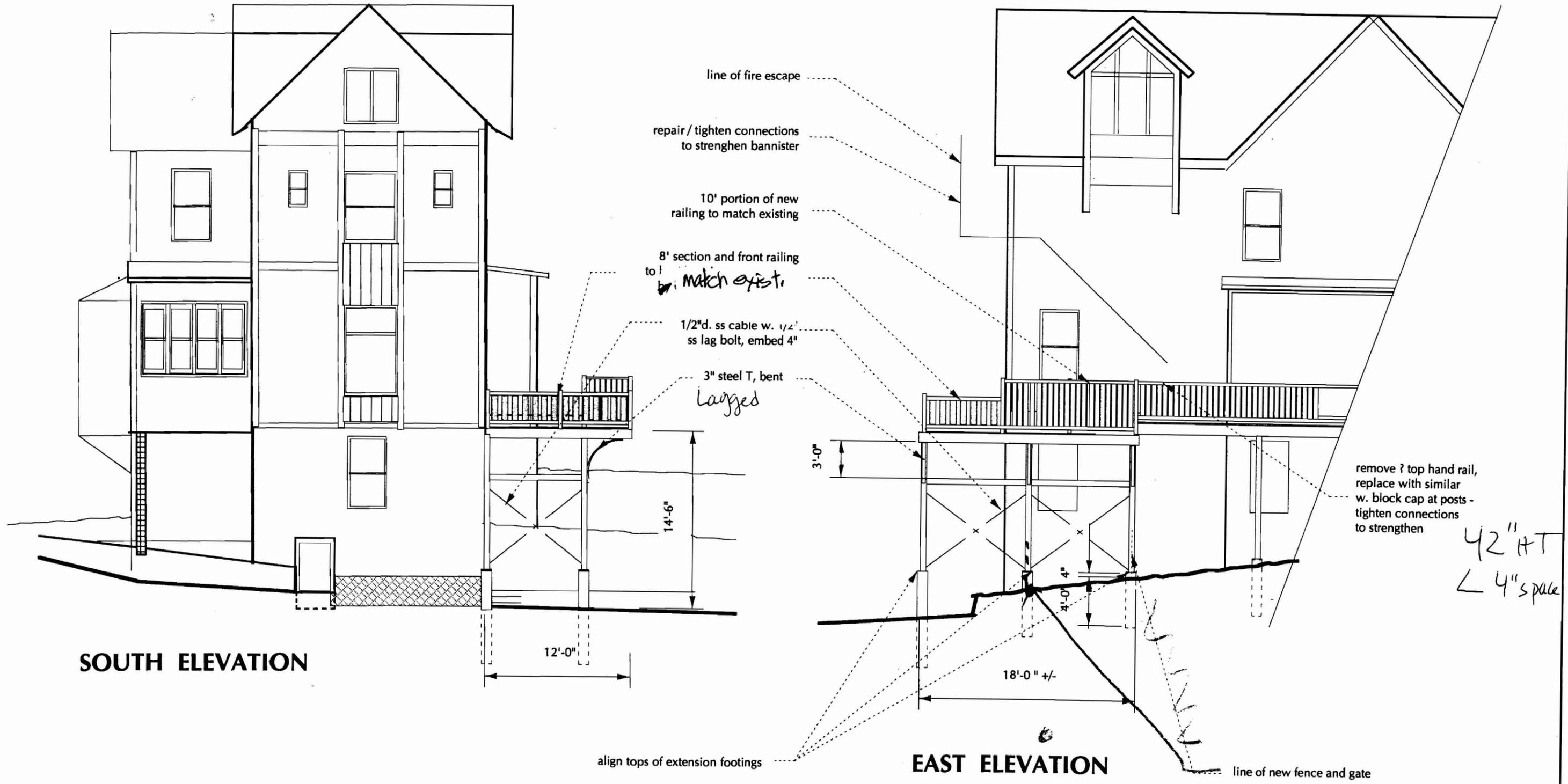
OWNER: WILLIAM R. MCFARLANE
CONSTANCE BLOOMFIELD

DECK PLANS

SCALE: 1/8" = 1'-0"
JUNE 15, 2007

CONSTANCE BLOOMFIELD ARCHITECT
380 DANFORTH STREET
PORTLAND, MAINE 04102
207-773-7769

D2



SOUTH ELEVATION

EAST ELEVATION

ADDITION TO DECK
380 DANFORTH ST.
PORTLAND, ME 04102

OWNER: WILLIAM R. MCFARLANE
CONSTANCE BLOOMFIELD

DECK ELEVATIONS

SCALE: 1/8" = 1'-0"
JUNE 15, 2007

CONSTANCE BLOOMFIELD ARCHITECT
380 DANFORTH STREET
PORTLAND, MAINE 04102
207-773-7769

D3

380 DANFORTH



COMMERCIAL ST. - WINTER VIEW



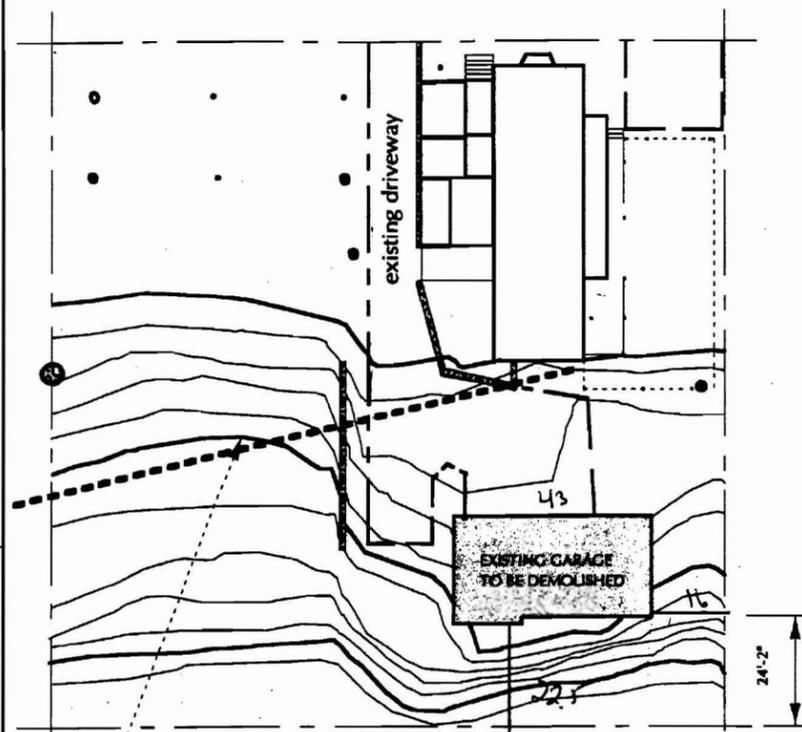
LOCATION - NEW GARAGE

4.4.4



R4

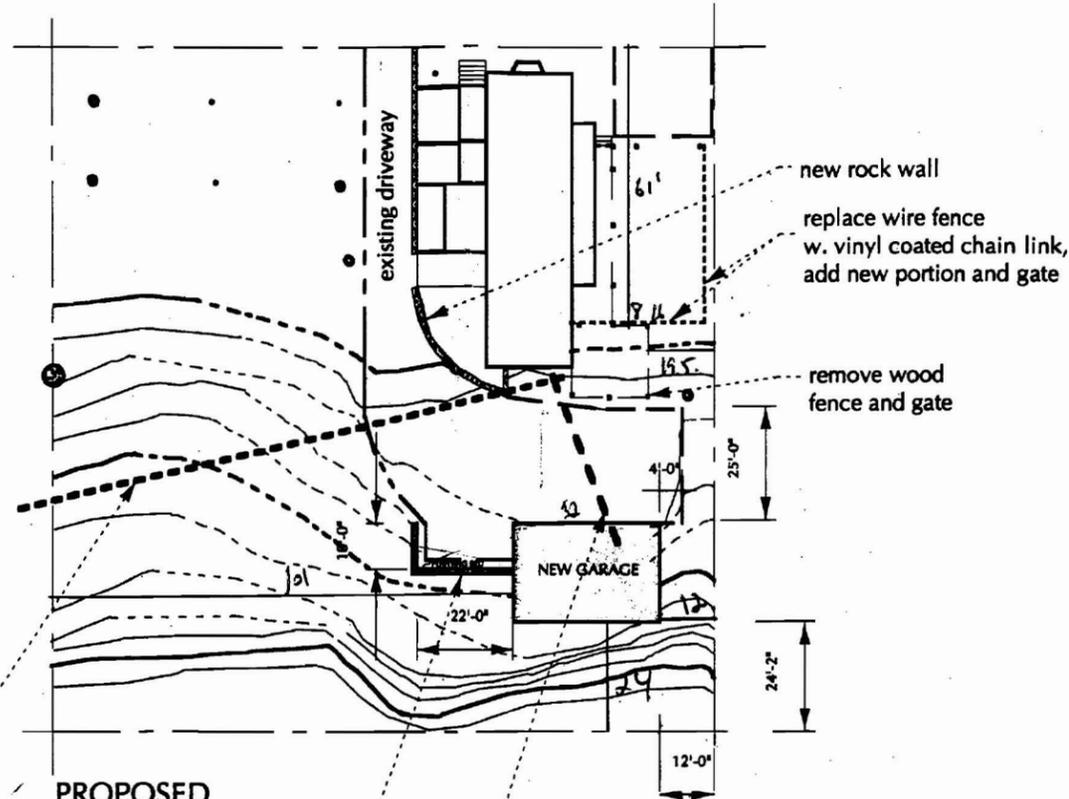
front - 25' min (or average) - garage ok
 rear - 25' min. - garage - 24' 2" but no closer than old garage and new garage smaller; not as close in one part.
 side - 1 or 1 1/2 10' - garage is 12' -
 2 14' - deck is 19.5.
 lot coverage 30% of 19023 = 5706.9 (1963)



EXISTING

house = 2107
 43x22 946 old garage - 976.
 15x2=30
 1131
 704 new garage 32x22
 128 new deck part 8x16
 1963

buried sewer line/ use utmost care/no heavy equipment



PROPOSED

SCOPE OF WORK

Existing Garage:

Demolish existing garage, retaining brick basement, and garage floor joists above basement.

Remove and retain for re-use: garage doors & any re-usable lumber.

New Garage:

Construct new two-car garage as indicated on drawings, including repair to brick basement & reinforcing of existing floor joists.

Deck:

Replace existing deck posts and expand as indicated on D2 and D3.

Driveway:

Alter lower portion of driveway, including unit retaining wall. Remove and rebuild stone wall planting area (sub to Highland Gardens-775-7337).

New asphalt (3") driveway on tamped base from street, no curb.

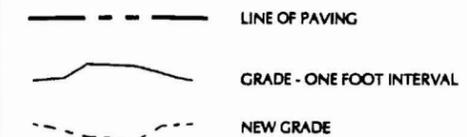
Site Work:

Remove piled rocks, cobbles and marble slabs and store elsewhere on site.

Install chain link fence and gate.

Re-contour site as shown on drawings using existing fill on site and supplementing as necessary with new fill.

Provide topsoil, fertilize and install seeded fabric.



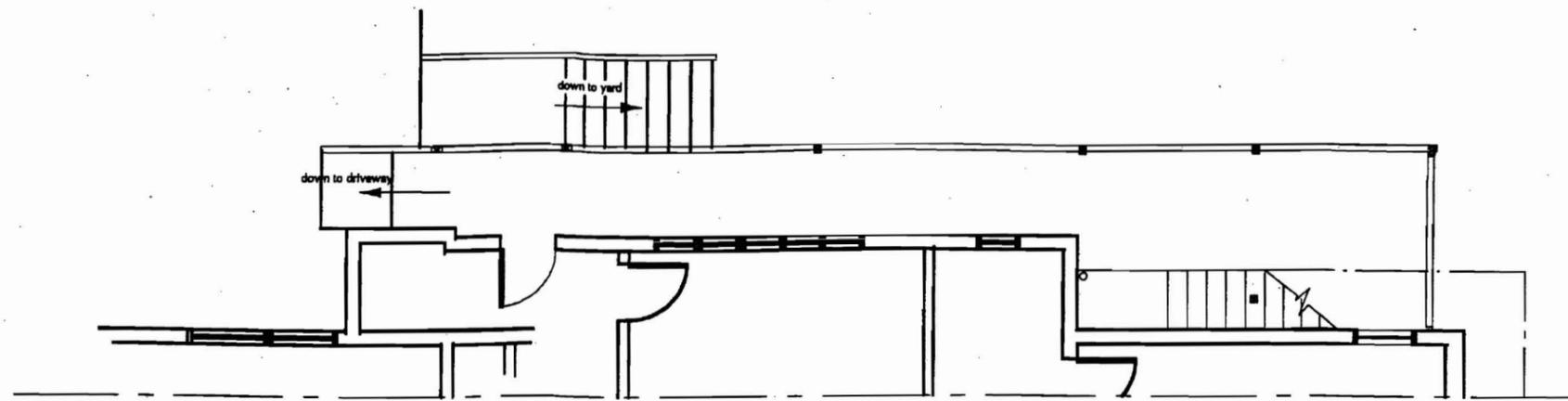
GARAGE REPLACEMENT/ADDITION TO DECK
 380 DANFORTH ST.
 PORTLAND, ME 04102

OWNER: WILLIAM R. MCFARLANE
 CONSTANCE BLOOMFIELD

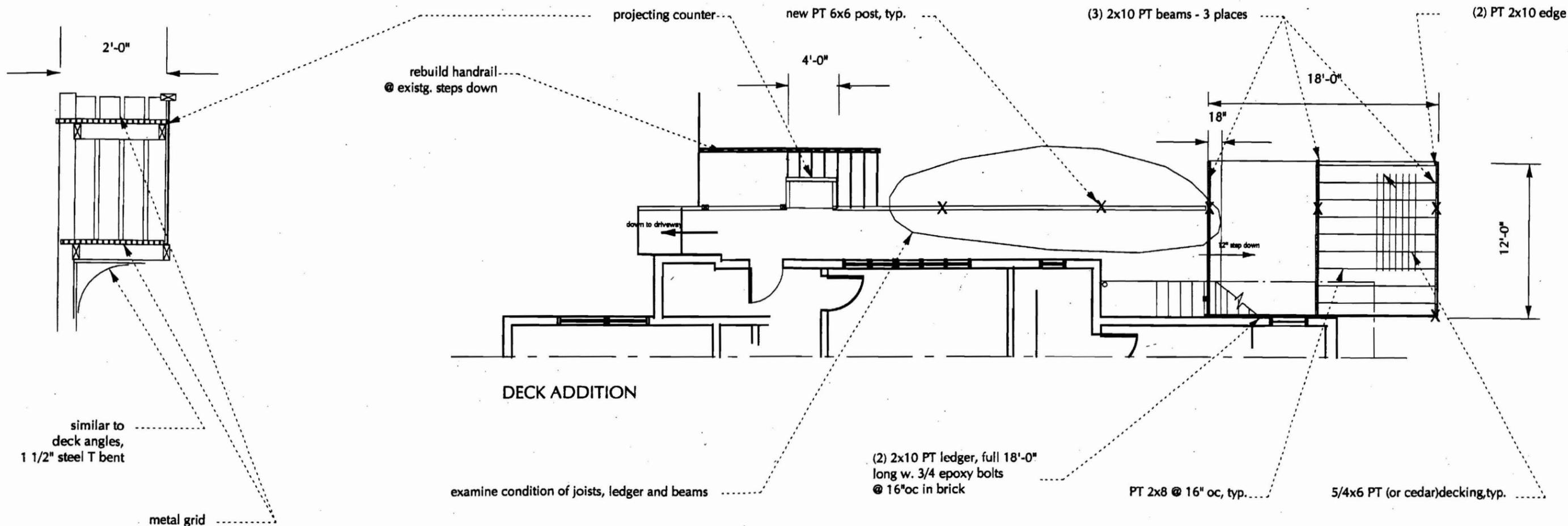
SITE PLANS

CONSTANCE BLOOMFIELD ARCHITECT
 380 DANFORTH STREET
 PORTLAND, MAINE 04102
 207-773-7769

SCALE: 1" = 40'-0"
 JUNE 15, 2007



EXISTING DECK



DECK ADDITION

X NEW PT 6X6 POSTS ON 12" D. FTGS.