

Permit # 1001001

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1655	Issue Date: NOV 23 2004	CBL: 061 1001001
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Location of Construction: 400 Danforth St	Owner Name: Shaw David E & Marjorie R Jts	Owner Address: 400 Danforth St	Phone:
Business Name:	Contractor Name: Wright Ryan Construction, Inc	Contractor Address: 10 Danforth Street Portland	Phone: 2077733625
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R4

Past Use: Single Family Home	Proposed User: Single Family Home - Renovations and small addition to single family home.	Permit Fee: \$2,361.00	Cost of Work: \$260,000.00	CEO District: 2
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R3 Type: SB IRC 2003 Signature: JMB 11/22/04				

Proposed Project Description:
Renovations and small addition to single family home.

Signature: _____ Date: _____

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 10/28/2004	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <input checked="" type="checkbox"/> Denied Date: 9/11/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions See form to D.A. Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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12/21/04 - Checked setbacks + depth + size

for rear addition - OK to pour (40)

1/10/05 structural details submitted - Ask about PDF file JMB

2-17-05 Checked framing & electrical &
plumbing on rear addition
Tom

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number 041655

This is to certify that Shaw David E & Marjorie R Wright Construction, Inc.

has permission to Renovations and small additions to single family home

AT 400 Danforth St Permit No. 061 I001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permit is procured before this building or part thereof is laid or closed-in.
HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Janis Banke 11/22/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: **400 DAWFORTH STREET**

Total Square Footage of Proposed Structure

Square Footage of Lot

#400 7323 s/f

EXISTING HOUSE - 170 144 SF NEW GARAGE - 1694 SF

#408 21370 s/f

Tax Assessor's Chart, Block & Lot

Owner:

Telephone:

Chart# **61** Block# **I** Lot# **1**

MARJORIE SHAW

773-9638

#400
#408

Lessee/Buyer's Name (If Applicable)

Applicant name, address & telephone:

Cost Of

**PETER HABEN
WRIGHT-RYAN CONSTRUCTION
10 DAWFORTH ST. PORTLAND
773-3625**

Work: \$ ~~160,000.00~~

Fee: \$ **5938**

260 000

Current Specific use: **RESIDENTIAL**

2361 / 100

Proposed Specific use: **SAME**

Project description: **TWO AREAS OF WORK**

- 1. RENOVATIONS AND SMALL ADDITION TO EXISTING HOUSE**
- 2. NEW CONSTRUCTION; GARAGE/CARRIAGE HOUSE**

Contractor's name, address & telephone: **WRIGHT-RYAN CONSTRUCTION**

Who should we contact when the permit is ready: **PETER HABEN**

OCT 28 2004

Mailing address: **10 DAWFORTH ST.
PORTLAND, ME 04101**

Phone: **773-3625**

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

P. Haben

Date:

10/28/04

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	071 C001001
Location	404 DANFORTH ST
Land Use	VACANT LAND
Owner Address	SHAW DAVID E & MARJORIE R JTS 400 DANFORTH ST PORTLAND ME 04102
Book/Page	9747/339
Legal	71-C-1 DANFORTH ST 404-408 21370 SF

Valuation Information

Land	Building	Total
\$105,630	\$ 0.00	\$105,630

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.491	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
10/04/1991	LAND + BLDING		09747-339

Picture and Sketch

<u>Picture</u>	<u>Sketch</u>	<u>Tax Map</u>
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed.](#)



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	061 I001001
Location	400 DANFORTH ST
Land Use	SINGLE FAMILY
Owner Address	SHAW DAVID E & MARJORIE R JTS 400 DANFORTH ST PORTLAND ME 04102
Book/Page	7420/13
Legal	61-I-1 DANFORTH ST 398-402 7323 SF

Valuation Information

Land	Building	Total
\$135,240	\$178,290	\$313,530

Property Information

Year Built 1861	Style old style	Story Height 2	Sq. Ft. 3092	Total Acres 0.168		
Bedrooms 4	Full Baths 4	Half Baths 1	Total Rooms 11	Attic None	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

<u>Picture</u>	<u>Sketch</u>	<u>Tax Map</u>
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Business Name:	Contractor Name: Wright Ryan Construction, Inc	Contractor Address: 10 Danforth Street Portland	Phone (207) 773-3625
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - Renovations and small addition to single family home.	Proposed Project Description: Renovations and small addition to single family home.
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Dept: Historical Status: Approved with Conditions Reviewer: Deborah Andrews Approval Date: 11/19/2004

Note: Ok to Issue:

- 1) * Construction and details shall not deviate from plans approved by Historic Preservation Committee on August 4, 2004.

Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 11/18/2004

Note: "K" Street is no longer a paper street - it was not one that the City kept in their 1999 evaluation - per J. Robbins in Public Works - however the City retains easement rights to the sewer underneath it Ok to Issue:

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is within a Historic District.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages. It is noted that a detached deck at the rear of the property is projecting onto another property. This office has not approved any such deck. This apparent encroachment should be corrected at this time.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. This approval predates a separate permit application for another dwelling on this lot.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 11/22/2004

Note: 11/22 spoke w/Peter H. @ W/R about structural details, will have those plans stamped & submit. Also need detail of stair construction w/g & h rails. Ok to Issue:

- 1) Per tel/con with Peter H. From W/R on 11/22/04, a stamped plan of the structural steel and the curved radius on the deck outlook & the stair and railing details, will be submitted to this office prior to construction.
- 2) Separate permits are required for any electrical, plumbing, or heating.

Dept: Fire Status: Approved Reviewer: Lt. MacDougal Approval Date: 11/03/2004

Note: Ok to Issue:

PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegermen, Director

December 16, 2004

Marjorie Shaw
400 Danforth Street
Portland, ME 04102

RE: Residential Expansion and Garage / 400 and 408 Danforth Street
Application #2004-0226, CBL #061 1001001

Dear Mrs. Shaw:

On December 14, 2004, the Portland Planning Authority, finding all applicable standards of the zoning code and site plan ordinance met, approved the above referenced site plan application. The approval is based on plans dated November 24, 2004.

The approval is for alterations to an existing residence at 400 Danforth Street, the construction of a new '24 x '36 garage with a single dwelling unit above at 408 Danforth Street, and related site improvements as depicted in the plans. The site plan approval does not imply acceptance of the existing deck on the southern edge of the applicant's property as indicated in condition #5 below.

Conditions of Approval

1. Considering the site topography and so as to protect abutting property from adverse drainage impacts, the applicant shall provide a stone drip edge and French drain along/under the North and East roof edges of the proposed new garage building and shall wye said drain into the foundation drain shown on the approved plan.
2. The applicant shall field locate the existing sanitary sewer line and, prior to installation, shall provide the DRC and Public Works with final pipe size, location, and invert of the sewer lateral to serve the proposed garage.
3. The applicant's site survey shall be revised to show the property line separating the two subject properties at the centerline of "K Street", a former paper street, now vacated by

the City of Portland.

4. Prior to issuance of a Certificate of Occupancy, the applicant shall record a 30 ft. wide drainage and maintenance easement to the City of Portland over the existing sanitary sewer line as it traverses the subject property. The City shall prepare said easement for the applicant's signature.
5. The legal status of the existing "40 Passage Way" to the South of the subject site shall be researched and understood. Depending on the findings of this research, the existing deck, which encroaches on said passage, may be found in violation of City Code. If that proves to be the case, the City reserves the right to require the removal of the deck. The applicant shall work with the City of Portland to resolve this matter prior to the issuance of a Certificate of Occupancy.

General Provisions and Requirements

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact

Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Appeal

Please be advised that, as per city code section 14-527:

(a) When the planning authority has finally approved or disapproved a site plan, any person aggrieved may appeal the decision to the Planning Board within ten (10) days of the decision being rendered. Upon the taking of such an appeal, the application shall be reviewed as if referred by the planning authority, except that the Planning Board may not decline to accept the reference.

(b) When the Planning Board has finally approved or disapproved a site plan, any person aggrieved or the city may appeal the decision of the superior court, pursuant to Rule 80B of the Maine Rules of Civil Procedure, within thirty (30) day of the decision being rendered.

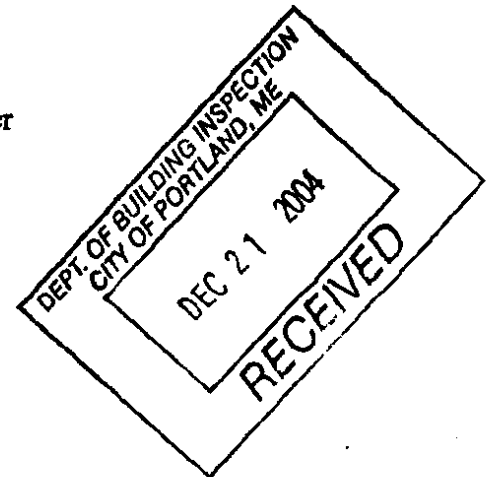
If there are any questions or concerns, please contact Ethan Boxer-Macomber, Planner at 756-8083 or ebm@portlandmaine.gov.

Sincerely,



Alex Jaegerman, Planning Division Director

cc: Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division
Eric Labelle, City Engineer
Penny Littell, Associate Corporation Counsel
Approval Letter File



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- N/A Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

SAC If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

11/24/04
Date

Donna Martin Admin Asst.
Signature of Inspections Official

11 24 04
Date

CBL: 061 E001

Building Permit #: 041655

Wright-Ryan Construction Inc

TRANSMITTAL

No. 00004

Street
04101

Phone: 207-773-3625
Fax: 207-773-5173

City of Portland - Building Permit
Portland City Hall
Congress Street

PROJECT: Marjorie Shaw House

PROJECT NO.: 0416

DATE: 1/10/2005

to: Jeanine Bourke

REF: Permitting Plans

Phone:

Fax:

WHAT ARE SENDING:	SUBMITTED FOR:	ACTION TAKEN:
<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input type="checkbox"/> Letter	<input checked="" type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input type="checkbox"/> Prints	<input checked="" type="checkbox"/> As Requested	<input type="checkbox"/> Returned After Loan
<input type="checkbox"/> Change Order	<input type="checkbox"/> Review and Comment	<input type="checkbox"/> Resubmit
<input type="checkbox"/> Plans		<input type="checkbox"/> Submit
<input type="checkbox"/> Samples	SENT VIA:	<input type="checkbox"/> Returned
<input type="checkbox"/> Specifications	<input type="checkbox"/> Attached	<input type="checkbox"/> Returned for Corrections
<input type="checkbox"/> Other:	<input type="checkbox"/> Separate Cover Via:	<input type="checkbox"/> Due Date:

ITEM NO.	COPIES	DATE	ITEM NUMBER	REV. NO.	DESCRIPTION	STATUS
A1.1	1	12/1/2004	DWG		Arch first floor plan	
A3.0	1	12/1/2004	DWG		Exterior elevations	
S1.0	1	12/1/2004	DWG		Foundation plan	
S1.1	1	12/1/2004	DWG		First floor framing	
S1.2	1	12/31/2004	DWG		Second floor framing	
S2.1	1	12/30/2004	DWG		Structural details	
S2.2	1	12/30/2004	DWG		Structural details	

Remarks: The following are the drawings you requested for the Shaw Addition located at 400 Danforth Street.



CC:

Signed: _____

Peter Haber

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 1-12-05
 Permit # 054047
 CBL# 61 I 001

LOCATION: 400 Danforth St METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER Marjory Shaw
 TENANT _____ PHONE # _____

						TOTAL	EACH FEE	
OUTLETS	<u>20</u>	Receptacles	<u>10</u>	Switches		Smoke Detector	.20	
FIXTURES	<u>20</u>	Incandescent		Fluorescent		Strips	.20	
SERVICES		Overhead		Underground		TTL AMPS <800	15.00	
		Overhead		Underground		>800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS	25.00	
							25.00	
METERS		(number of)					1.00	
MOTORS		(number of)					2.00	
RESID/COM		Electric units					1.00	
HEATING		oil/gas units		Interior		Exterior	5.00	
	APPLIANCES	Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-Hot		Water heaters		Fans	2.00	
		Dryers		Disposals		Dishwasher	2.00	
		Compactors		Spa		Washing Machine	2.00	
		Others (denote)					2.00	
MISC. (number of)		Air Cond/win					3.00	
		Air Cond/cent				Pools	10.00	
		HVAC		EMS		Thermostat	5.00	
		Signs					10.00	
		Alarms/res					5.00	
		Alarms/com					15.00	
		Heavy Duty(CRKT)					2.00	
		Circus/Carnv					25.00	
		Alterations					5.00	
		Fire Repairs					15.00	
		E Lights					1.00	
		E Generators					20.00	
PANELS		Service		Remote		Main	4.00	
TRANSFORMER		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	
						TOTAL AMOUNT DUE		
						MINIMUM FEE/COMMERCIAL 45.00	MINIMUM FEE 35.00	<u>35.00</u>

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JAN 12 2005
RECEIVED

CONTRACTORS NAME John Perry Electric Co MASTER LIC. # 3695
 ADDRESS 381 Danforth St. LIMITED LIC. # _____
 TELEPHONE 329-3033

SIGNATURE OF CONTRACTOR [Signature]