

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that MABEL M BLIND MCDONOUGH

Located At 342 DANFORTH ST

Job ID: 2012-10-5305-ALTR

CBL: _061- H-009-001

has permission to Install new windows and rebuild and enlarge rear decks and stairs on ground and first floor levels provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-10-5305-ALTR

Located At: 342 DANFORTH ST

CBL: 061- H-009-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Historic

1. Outside edge of deck on east side of property (left side when facing the front of the house) to be set back 18" from the rear corner of the existing house. Project architect to provide revised drawing confirming this revision.

Building

1. Application approval based upon information provided by the applicant or design professional, including revisions dated received 12/4/12. Any deviation from approved plans requires separate review and approval prior to work.
2. Provide details of the attachment of the 2nd level roof railings on the EPDM membrane prior to installation.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

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REQUIRED INSPECTIONS:

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-10-5305-ALTR	Date Applied: 10/30/2012	CBL: 061- H-009-001	
Location of Construction: 342 DANFORTH ST	Owner Name: MARGARETA KUKUCKA & BENJAMIN FARRELL	Owner Address: 342 DANFORTH ST PORTLAND, ME 04102	Phone: 770-328-4428
Business Name:	Contractor Name: TBD	Contractor Address	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-4
Past Use: Single family	Proposed Use: Same – single family – expand existing ground floor & main floor decks- ground floor (7.5'x7' & 11'x 13'2") & main floor deck (28'9"x11', 7.5'x7', 10'x7')	Cost of Work: 12000.000000	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A Signature: <i>[Signature]</i>	Inspection: Use Group: R-3 Type: S MUBEC '09 Signature: <i>[Signature]</i>
Proposed Project Description: New Windows & Enlarge decks		Pedestrian Activities District (P.A.D.) 12/4/12	
Permit Taken By: Brad		Zoning Approval	

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>OK w/ condition 12/3/12 Brad</i>	Date:	Date: <i>[Signature]</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



R-4
hisbiz

General Building Permit Application

Extend 10/30/12

(R2)

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012-10-5305-ALR

Location/Address of Construction: 342 DANFORTH STREET		
Total Square Footage of Proposed Structure EXISTING TO REMAIN - expansion of 321.75 sq ft		Square Footage of Lot 8,734 SF
Tax Assessor's Chart, Block & Lot Chart# 061 Block# H009 Lot# 001	Owner: Benjamin Furell MARGARETA KUKUCKA 342 DANFORTH STREET PORTLAND, MAINE 04102	Telephone: 770.328.4428
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: MARK MUELLER ARCHITECTS 100 COMMERCIAL STREET - SUITE 205 PORTLAND, MAINE 04101 P: 207.774.9057	Cost Of Work: \$ 12,000 Historical 50.00 Fee: \$ 140.00 C of O Fee: \$ N/A
Current Specific use: SINGLE FAMILY RESIDENTIAL \$ 190.00 If vacant, what was the previous use? N/A Proposed Specific use: SINGLE FAMILY RESIDENTIAL		
Project description: NEW EXTERIOR WINDOWS & ENLARGED EXISTING EXTERIOR DECKS.		
Contractor's name, address & telephone: T.B.D.		
Who should we contact when the permit is ready: MARGARETA KUKUCKA Mailing address: 342 DANFORTH STREET Phone: 770.328.4428 PORTLAND, MAINE 04102		

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OCT 30 2012
Dept. of Building Inspections
City of Portland Maine

Please submit all of the information outlined in the Commercial Application Checklist.

- Failure to do so will result in the automatic denial of your permit.
- In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: OCTOBER 30, 2012
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This is not a permit; you may not commence ANY work until the permit is issued.

Jeanie Bourke - Re: 342 Danforth Street - Revised Drawings

From: Jeanie Bourke
To: Matt Provencal
Date: 12/4/2012 2:26 PM
Subject: Re: 342 Danforth Street - Revised Drawings

Thank you Matt, works for me!
 The permit will be ready by 3pm,
 Jeanie

Jeanie Bourke
 CEO/LPI/Plan Reviewer

City of Portland
 Planning & Urban Development Dept./ Inspections Division
 389 Congress St. Rm 315
 Portland, ME 04101
 jmb@portlandmaine.gov
 Direct: (207) 874-8715
 Office: (207) 874-8703

>>> "Matt Provencal" <matt@muellerarchitects.com> 12/4/2012 2:02 PM >>>

Jeanie,

Please find attached a PDF of the revised drawings for 342 Danforth Street; I've just included the entire set for ease.

I spoke with Aaron Jones (Structural Integrity) and he rather stamp the framing drawings, which you'll see.

To recap our phone conversation:

- **Structural Certification:** Aaron Jones has stamped & signed the framing plans
- **Exterior Deck Stair:** I've included a detail
- **Deck edge location:** I've shown it 30" smaller, which is 18" inside the limit of the exterior wall
- **Roof Deck:** You'll approve on the condition that if it does get built, construction details on the decking and guardrail attachment must be submitted.
- **Lateral Deck Connection:** Aaron spoke about a 1500# min resistance that needed to be met. The Simpson DT connectors are an easy way to do it, however the decking framing as shown meet & exceed the minimum requirements with the HUC connectors and epoxy anchors into the masonry.

Could you also please let me know when the permit is officially ready, that way we can just pick it up at your office?



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Receipts Details:

Tender Information: Check , BusinessName: Mueller Arch, Check Number: 2873
Tender Amount: 50.00

Receipt Header:

Cashier Id: Ldobson
Receipt Date: 10/30/2012
Receipt Number: 49811

Receipt Details:

Referance ID:	8592	Fee Type:	BP-HRAD
Receipt Number:	0	Payment Date:	
Transaction Amount:	50.00	Charge Amount:	50.00
Job ID: Job ID: 2012-10-5305-ALTR - New Windows; Enlarge decks			
Additional Comments: HP 342 Danforth			

Thank You for your Payment!



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Receipts Details:

Tender Information: Check , Check Number: 2872
Tender Amount: 140.00

Receipt Header:

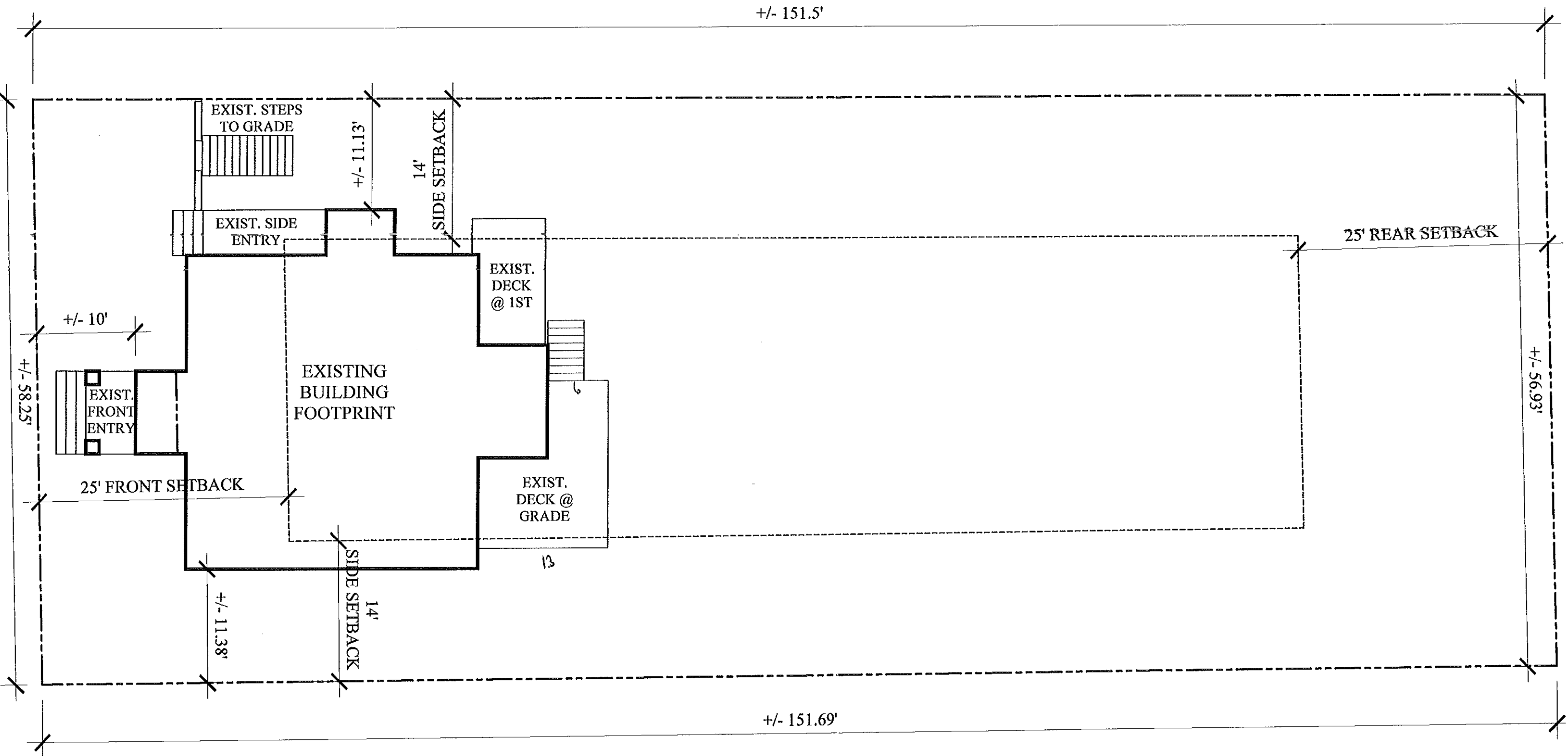
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Receipt Date: 10/30/2012
Receipt Number: 49799

Receipt Details:

Referance ID:	8591	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	140.00	Charge Amount:	140.00
Job ID: Job ID: 2012-10-5305-ALTR - New Windows; Enlarge decks			
Additional Comments: 342 Danforth			

Thank You for your Payment!

R-4
lot size - 8734φ



342 DANFORTH STREET
PORTLAND, MAINE

NOTE:
SITE PLAN IS FOR DIAGRAMATICAL PURPOSES ONLY & SHOWS APPROX.
AREA OF EXISTING BUILDING FOOTPRINT, NOT A BOUNDARY SURVEY

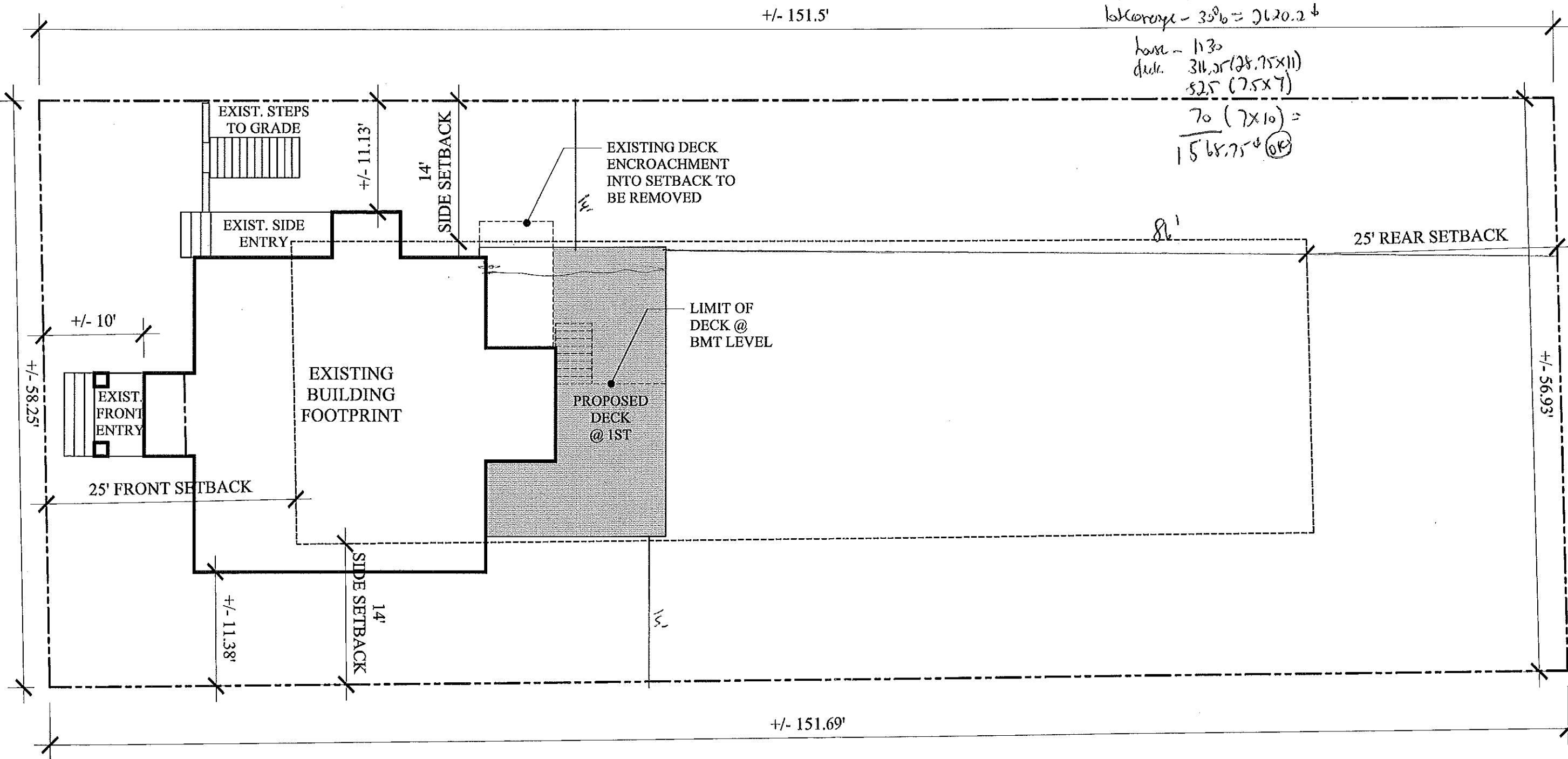
EXISTING SITE PLAN

SCALE: 1" = 10'-0"

OCTOBER 25, 2012

S-1.0

R-4
 lot size - 8734 sq ft
 front - N/A
 rear - 25' min - 86'
 side - 14' required - 14' scaled
 lot coverage - 35% = 3060.2 sq ft
 base - 1130
 deck 316.25 (28.75 x 11)
 52.5 (7.5 x 7)
 $70 (7 \times 10) =$
 $1568.75 \text{ sq ft } \textcircled{OK}$



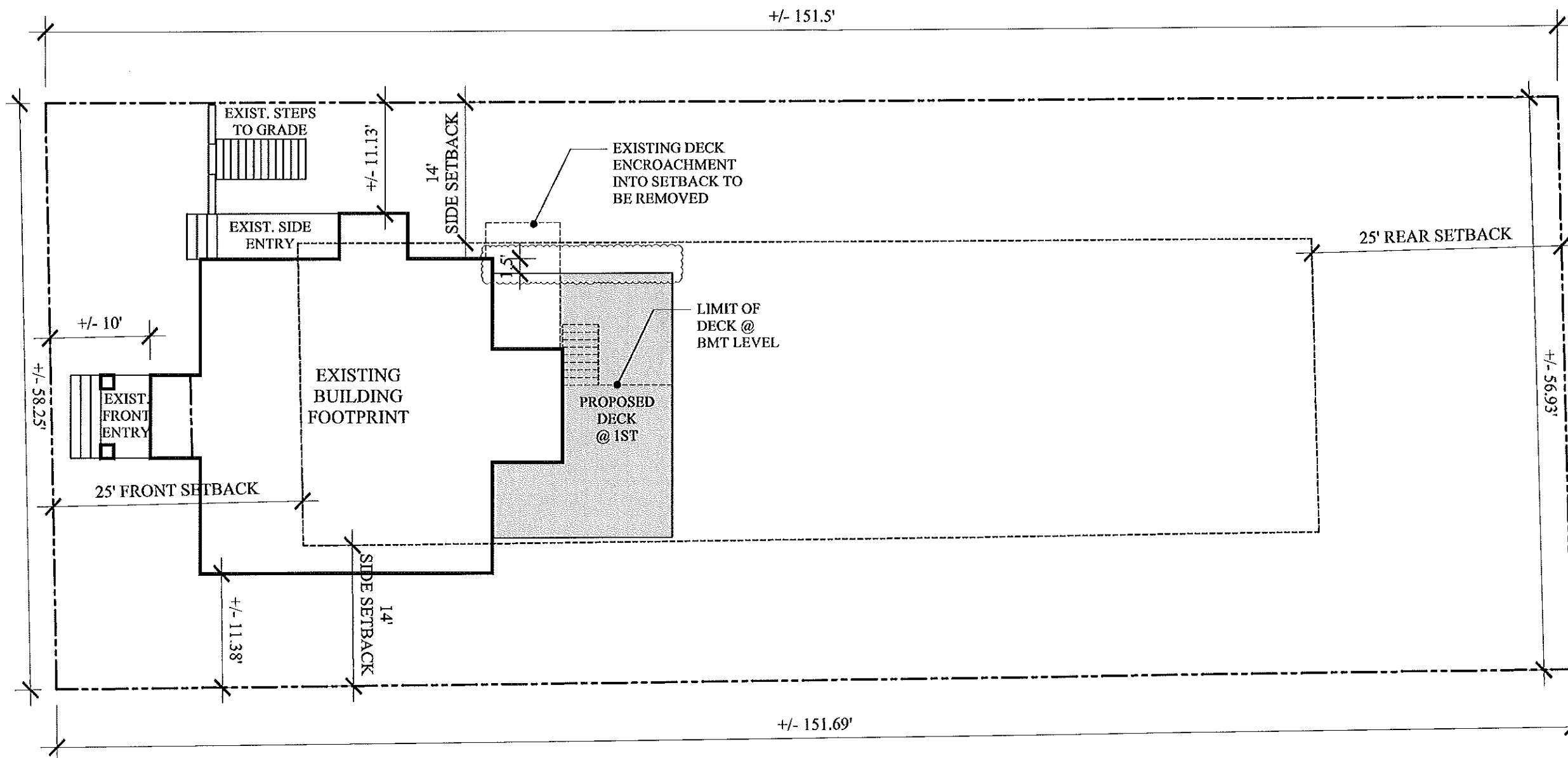
342 DANFORTH STREET
 PORTLAND, MAINE

NOTE:
 SITE PLAN IS FOR DIAGRAMMATICAL PURPOSES ONLY & SHOWS APPROX.
 AREA OF EXISTING BUILDING FOOTPRINT, NOT A BOUNDARY SURVEY

PROPOSED SITE PLAN
 SCALE: 1" = 10'-0"

REVISED: OCTOBER 30, 2012
 OCTOBER 25, 2012

S-1.1



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 AREA OF EXISTING BUILDING FOOTPRINT, NOT A BOUNDARY SURVEY

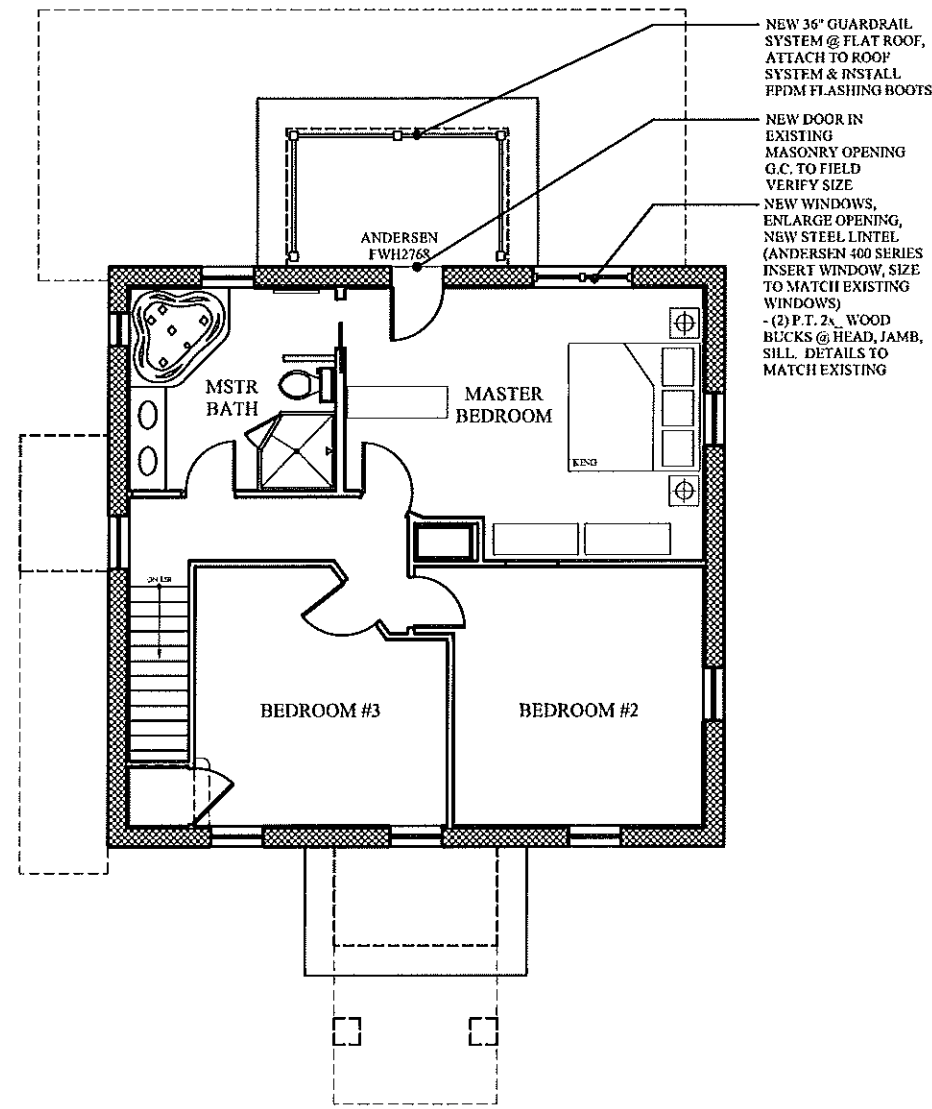
PROPOSED SITE PLAN
 SCALE: 1" = 10'-0"

REVISED: DECEMBER 04, 2012
 OCTOBER 25, 2012

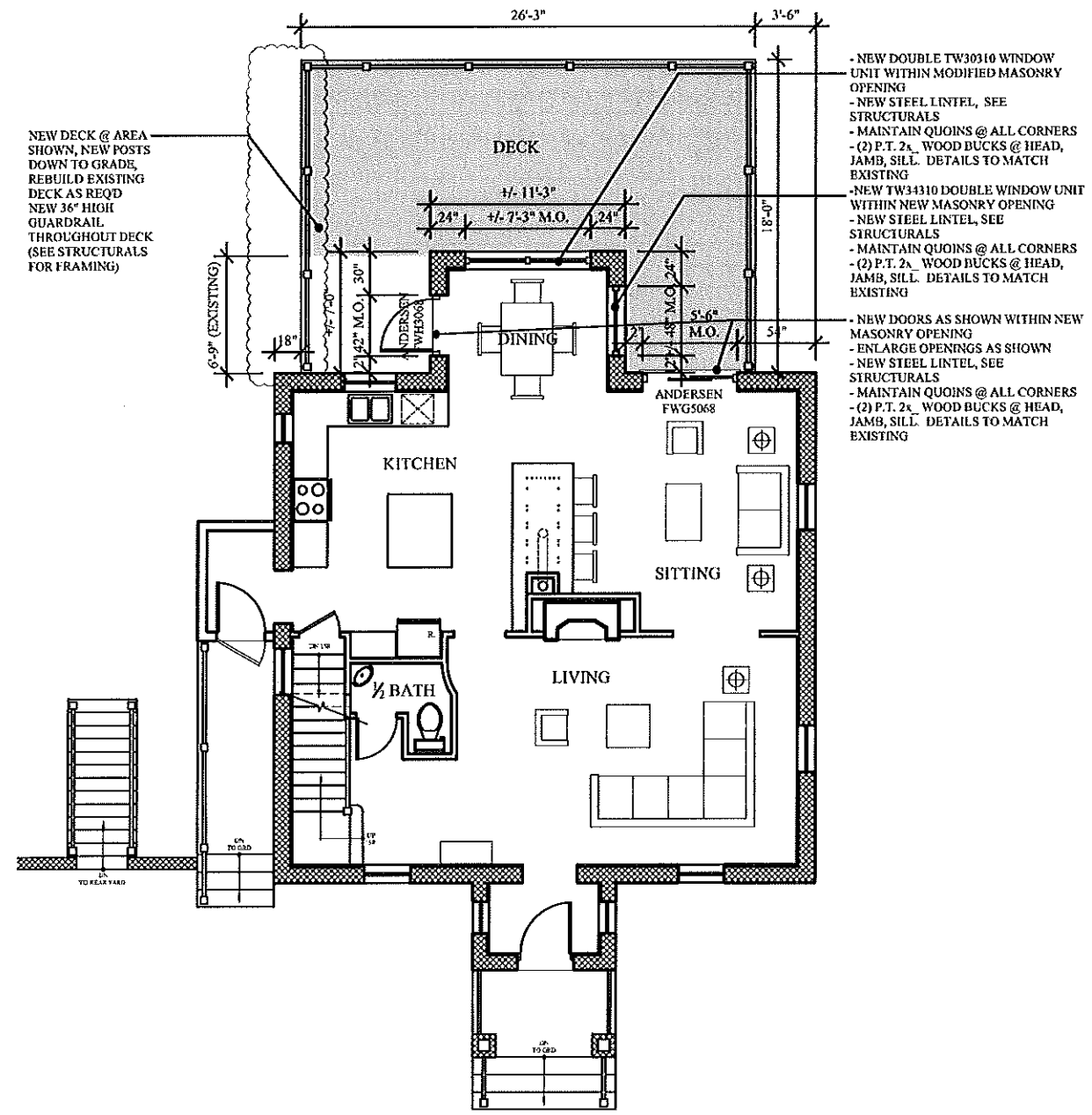
S-1.1

342 DANFORTH STREET
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PROPOSED 2ND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



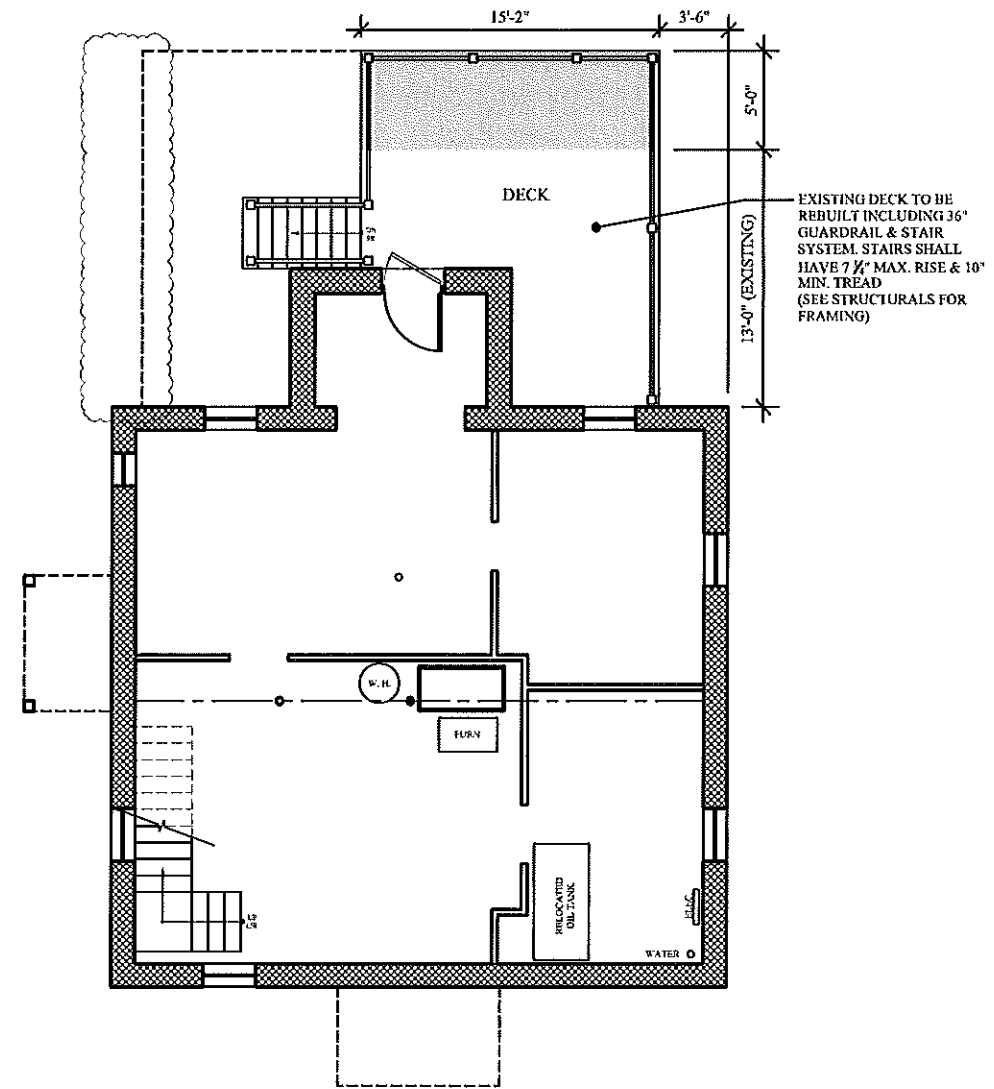
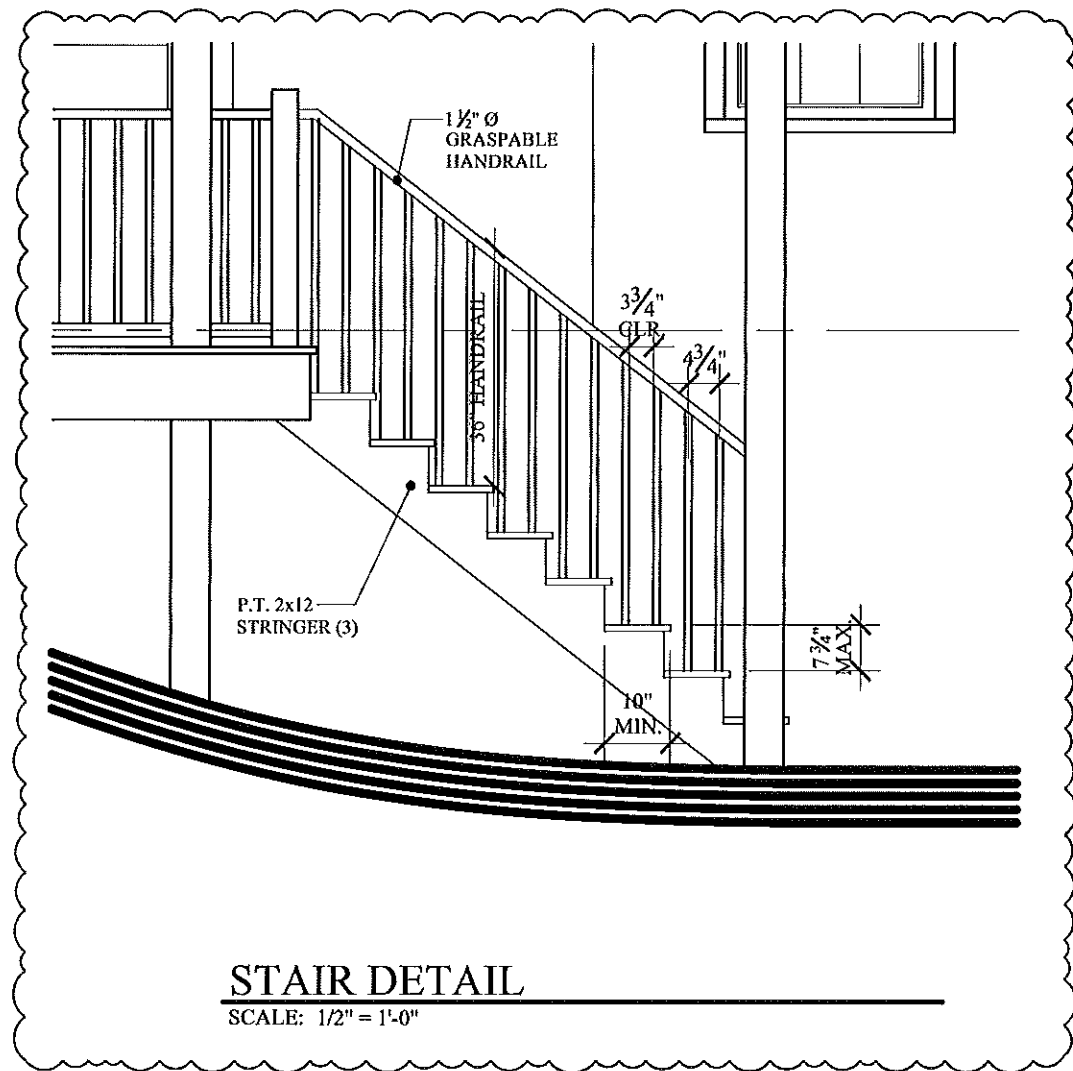
PROPOSED 1ST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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A-1.0

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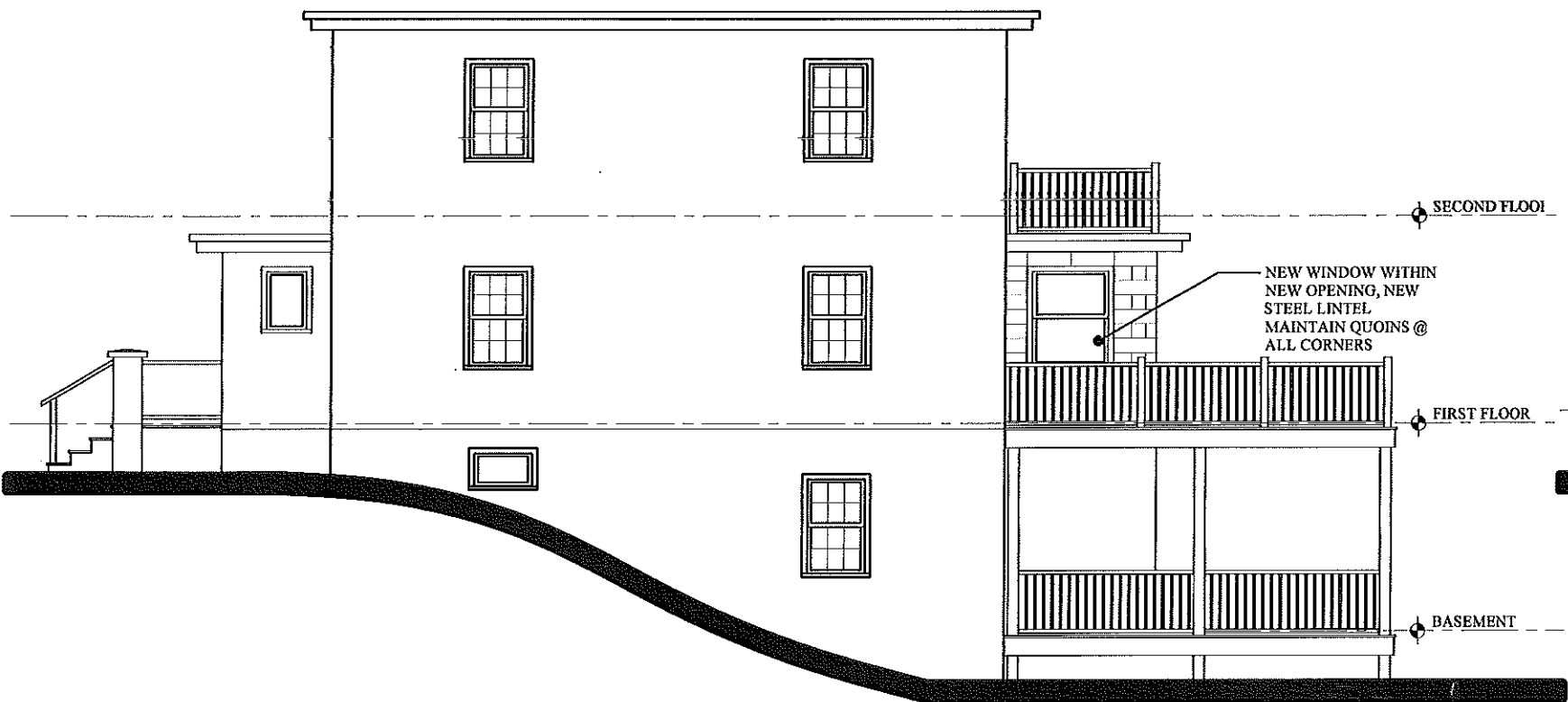


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OCTOBER 25, 2012

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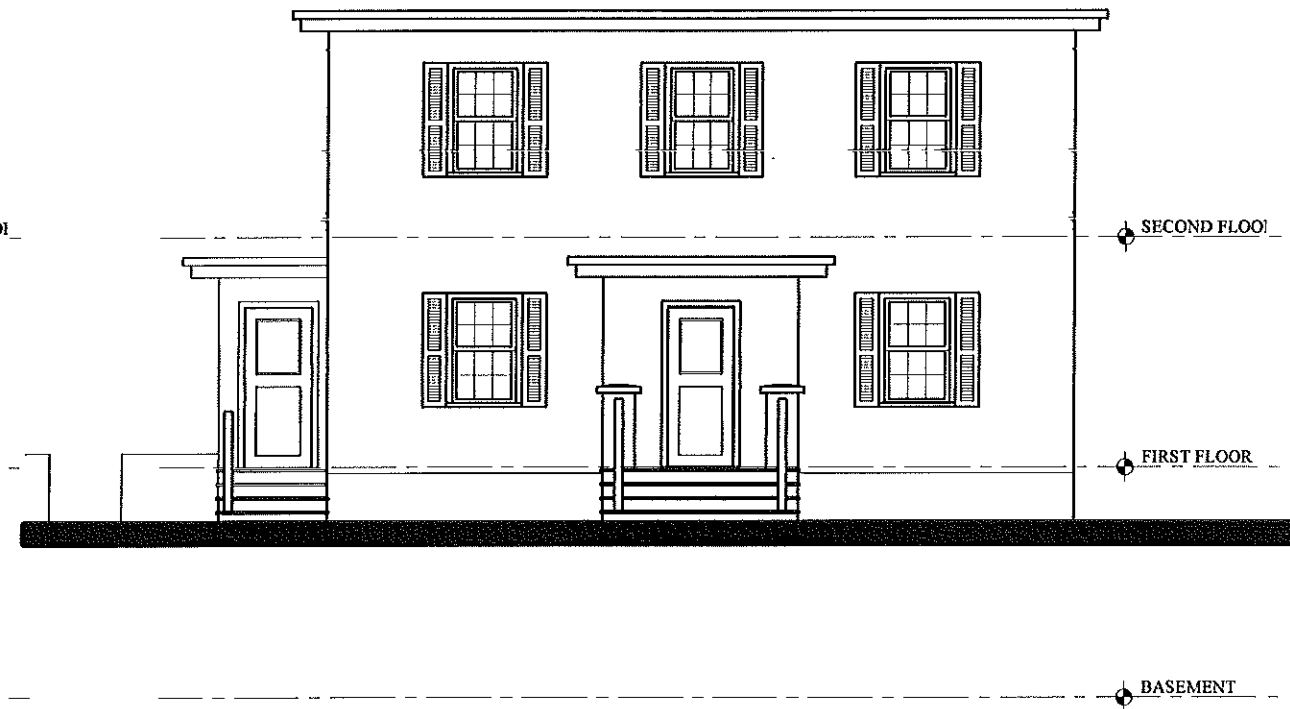
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City of Portland Maine



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



NEW 36" GUARDRAIL SYSTEM @ FLAT ROOF, ATTACH TO ROOF SYSTEM & INSTALL EPDM FLASHING BOOTS

NEW DOOR WITHIN NEW OPENING, NEW STEEL LINTEL MAINTAIN QUOINS @ ALL CORNERS

NEW DECK @ AREA SHOWN, NEW POSTS DOWN TO GRADE, REBUILD EXISTING DECK AS REQ'D NEW 36" HIGH GUARDRAIL THROUGHOUT DECK

LEFT ELEVATION

SCALE: 1/8" = 1'-0"



SECOND FLOOR

NEW SLIDING DOOR, ENLARGE OPENING, NEW STEEL LINTEL MAINTAIN QUOINS @ ALL CORNERS

FIRST FLOOR

NEW DECK @ AREA SHOWN ON P LANS, NEW POSTS DOWN TO GRADE, REBUILD EXISTING DECK AS REQ'D NEW 36" HIGH GUARDRAIL THROUGHOUT DECK

BASEMENT

NEW WINDOWS, ENLARGE OPENING, NEW STEEL LINTEL

NEW DOOR IN EXISTING MASONRY OPENING G.C. TO FIELD VERIFY SIZE

NEW 36" GUARDRAIL SYSTEM @ FLAT ROOF

NEW WINDOW IN EXISTING MASONRY OPENING

NEW DOUBLE WINDOW UNIT WITH MODIFIED MASONRY OPENING NEW STEEL LINTEL MAINTAIN QUOINS @ ALL CORNERS

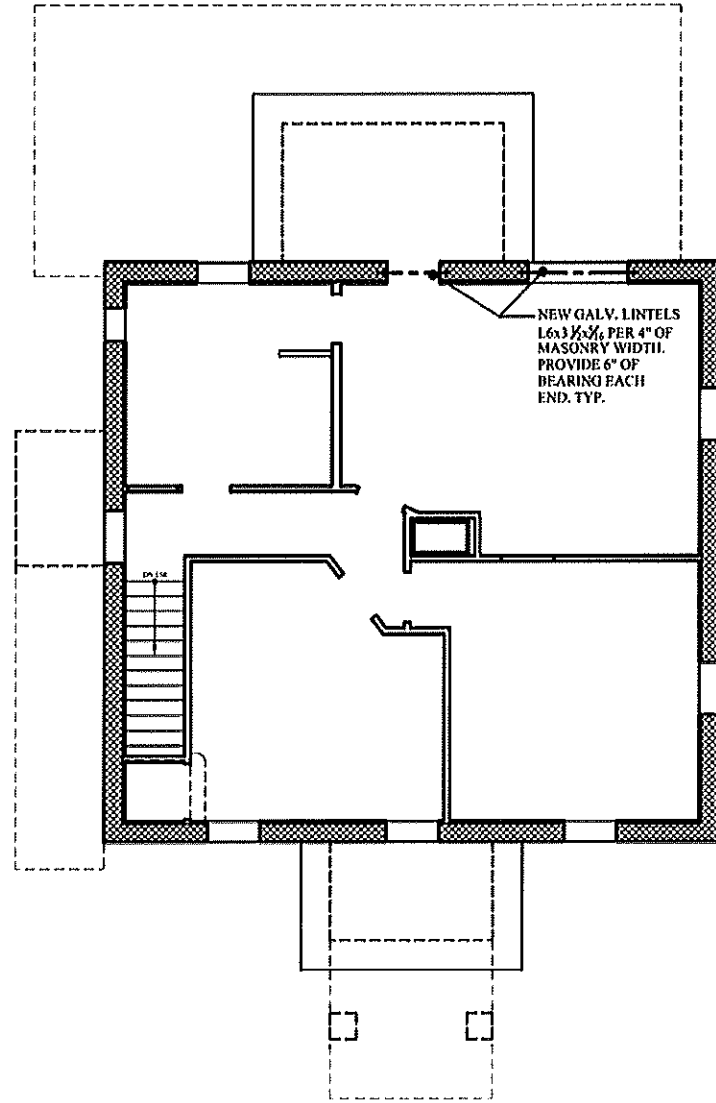
REAR ELEVATION

SCALE: 1/8" = 1'-0"

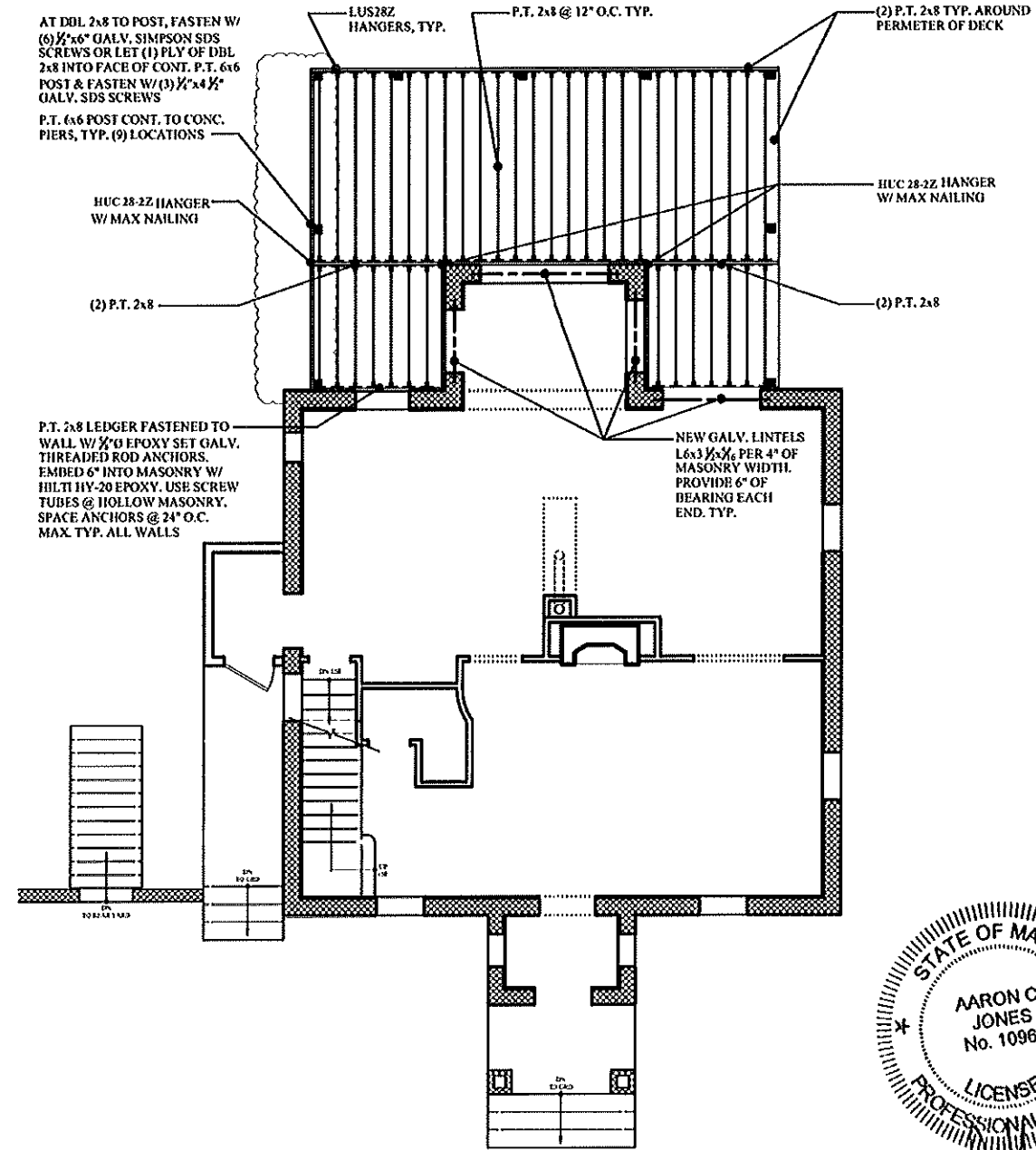
342 DANFORTH STREET
PORTLAND, MAINE

A-2.1

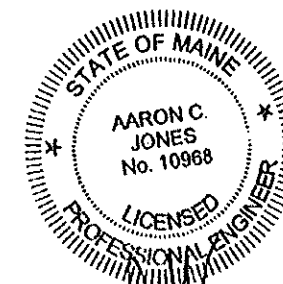
OCTOBER 25, 2012



2ND FLOOR PLAN FRAMING
SCALE: 1/8" = 1'-0"



1ST FLOOR PLAN FRAMING
SCALE: 1/8" = 1'-0"



*12/3/12
Structure
only.*

A-4.0

342 DANFORTH STREET
PORTLAND, MAINE

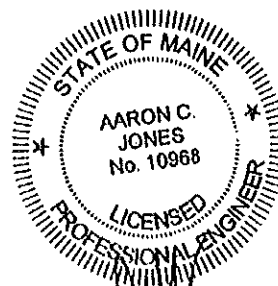
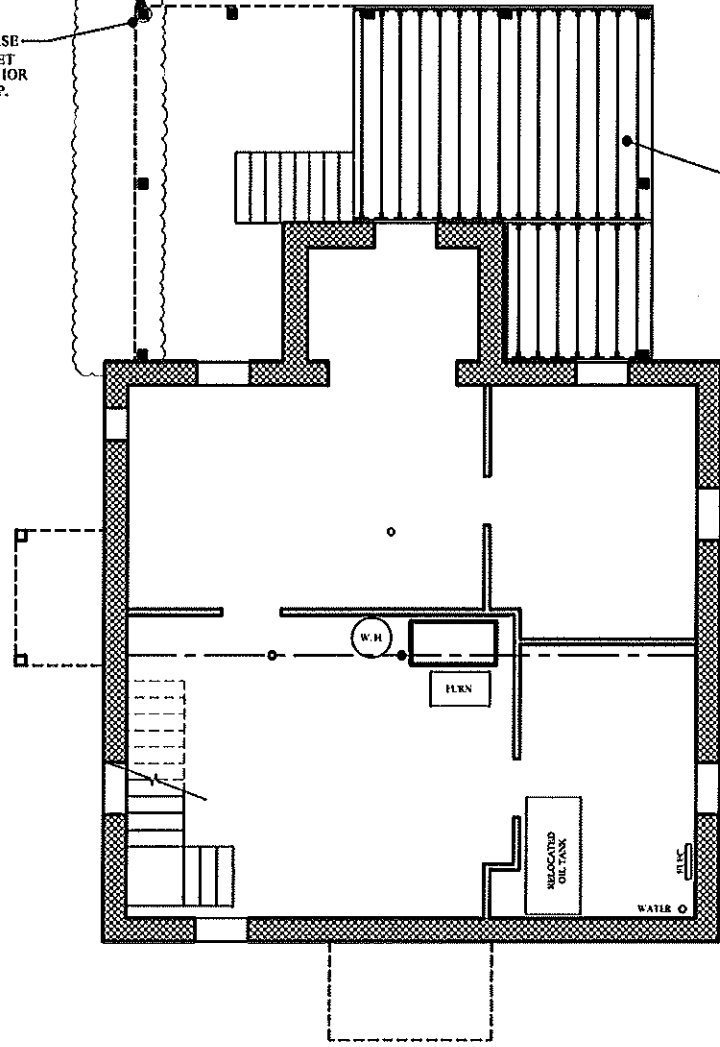
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10"Ø CONC. PIER W/
(3) #4 VERTS ON 34"Ø
BIG FOOT FOOTING
FORMS, TYP. (9)
LOCATIONS

ABUZ66 POST BASE
W/ 3/8"Ø EPOXY SET
GALV. ROD ANCHOR
6" INTO PIER, TYP.

DECK FRAMING THIS
LEVEL TO MATCH
FRAMING @ MAIN
LEVEL



12/3/12
Structive
only.

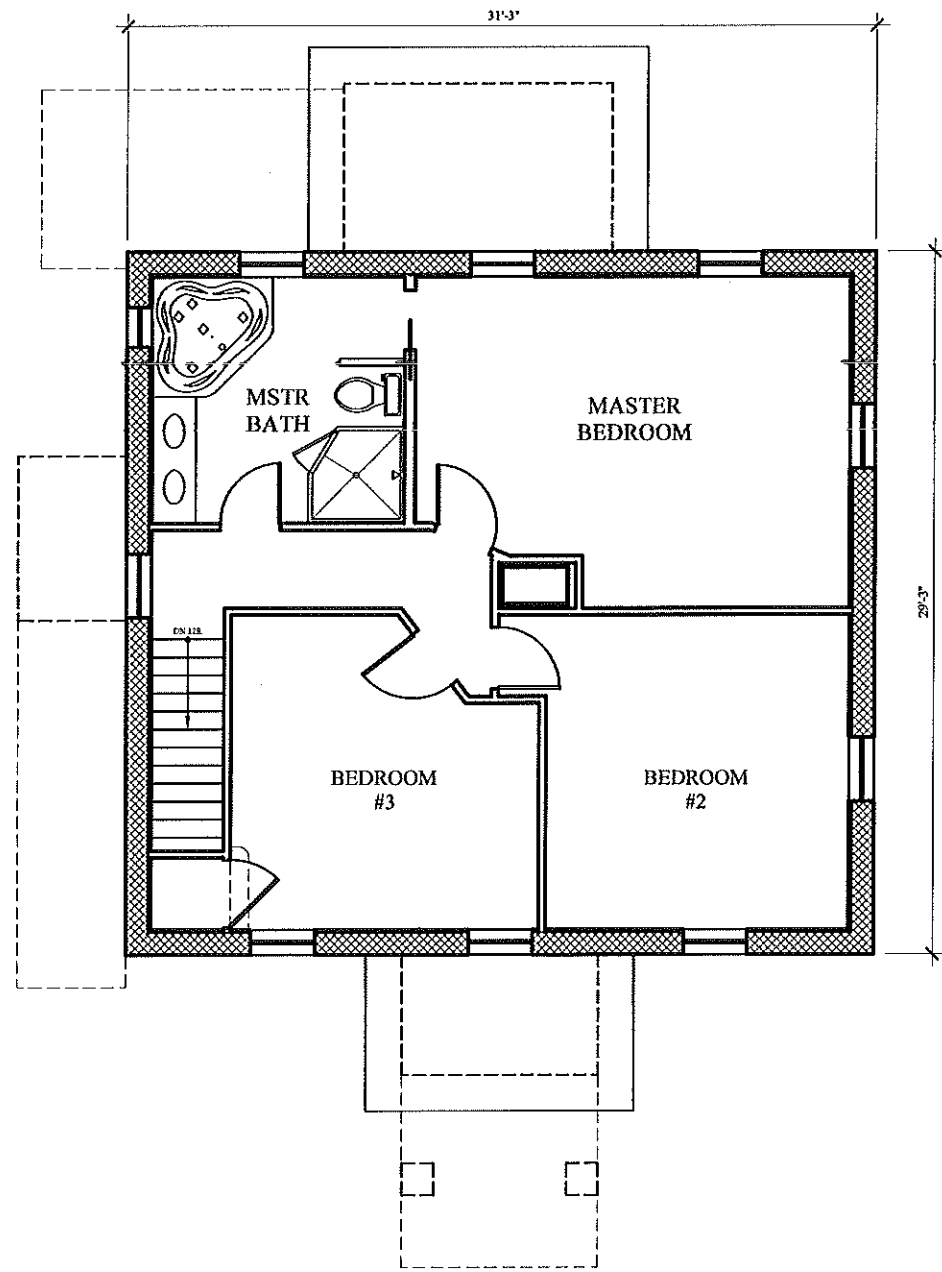
BASEMENT FRAMING PLAN
SCALE: 1/8" = 1'-0"

REVISED: DECEMBER 04, 2012
OCTOBER 25, 2012

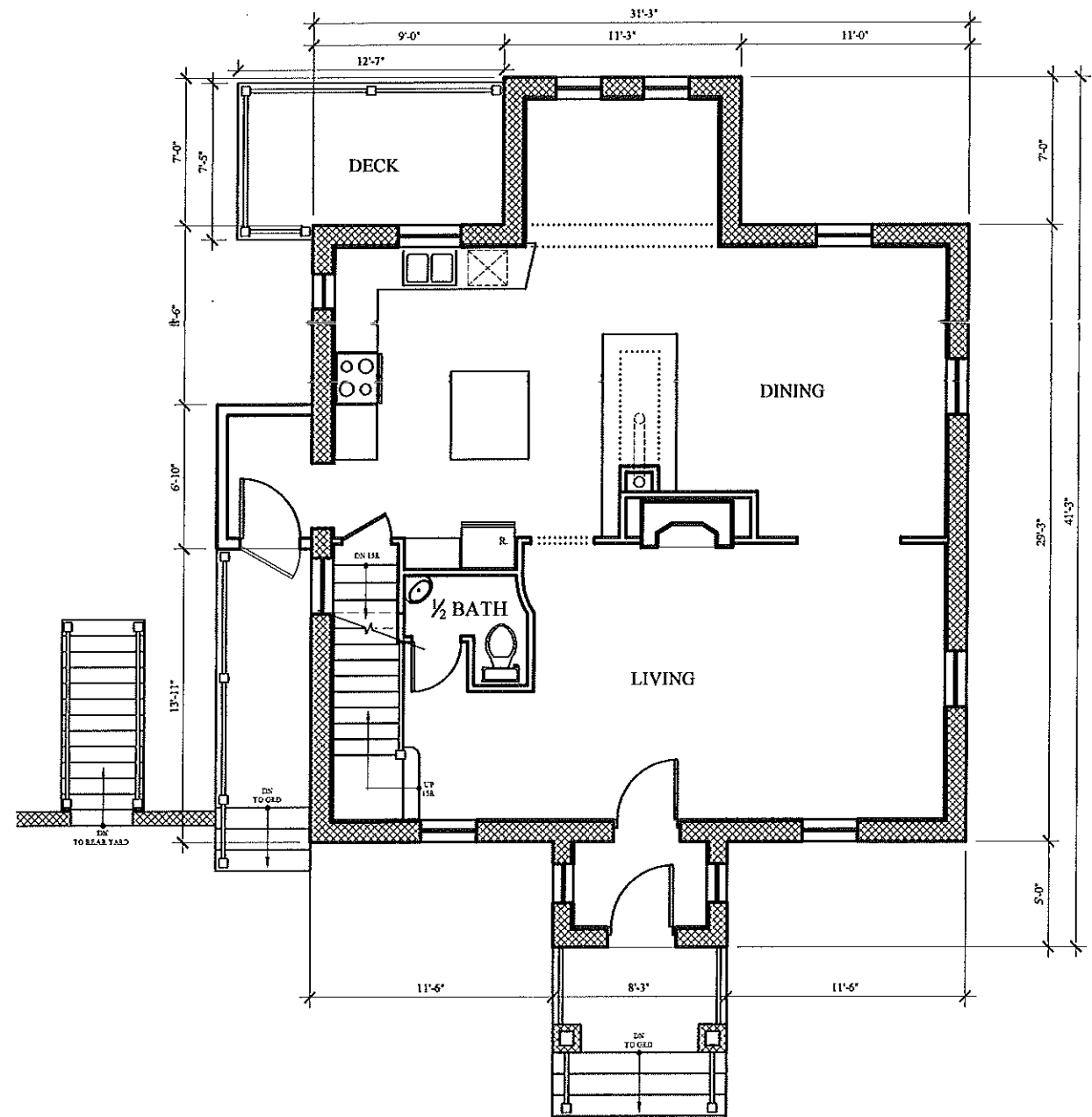
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EXISTING SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



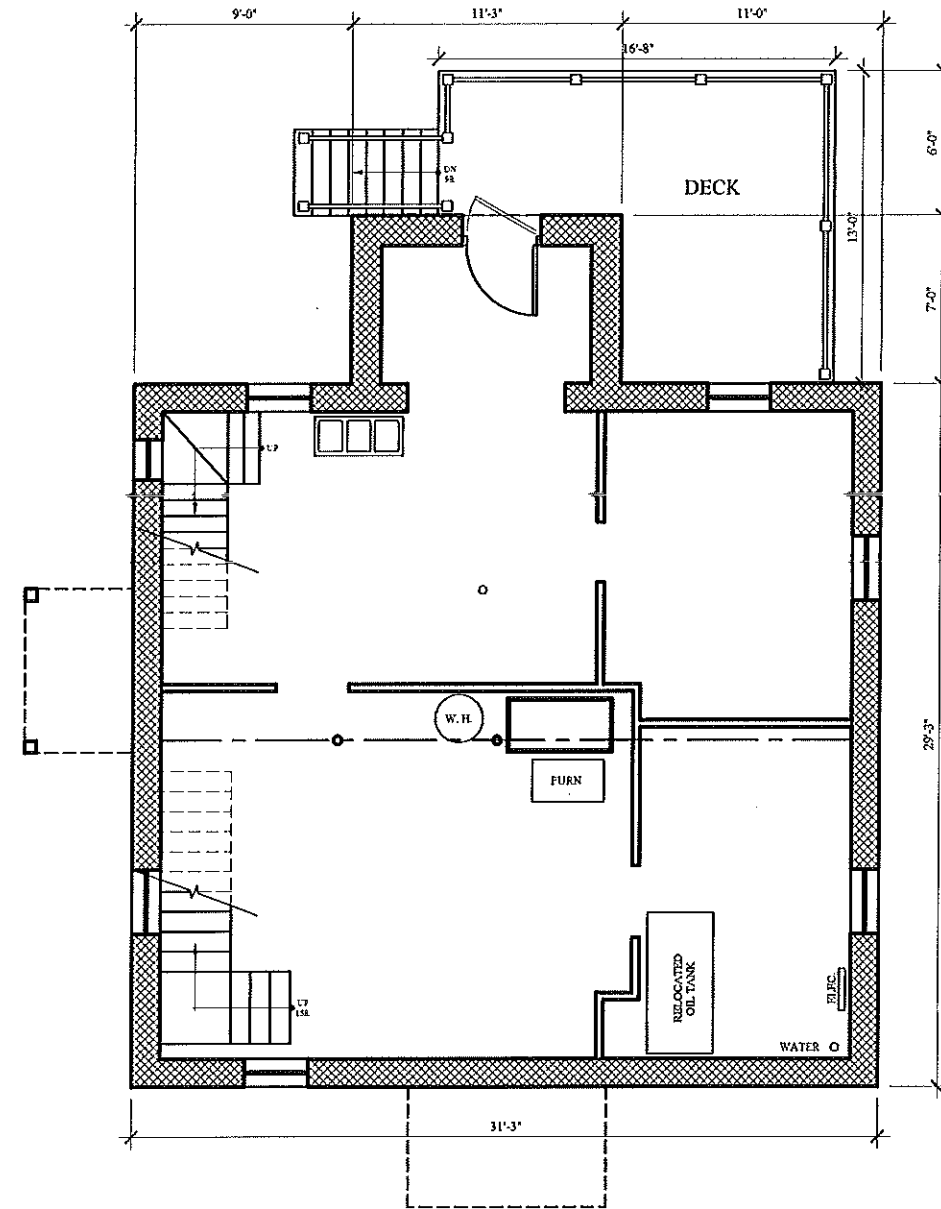
EXISTING 1ST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

OCTOBER 25, 2012

EC-1.0

342 DANFORTH STREET
 PORTLAND, MAINE

OCTOBER 25, 2012



EXISTING BASEMENT PLAN
SCALE: 1/8" = 1'-0"

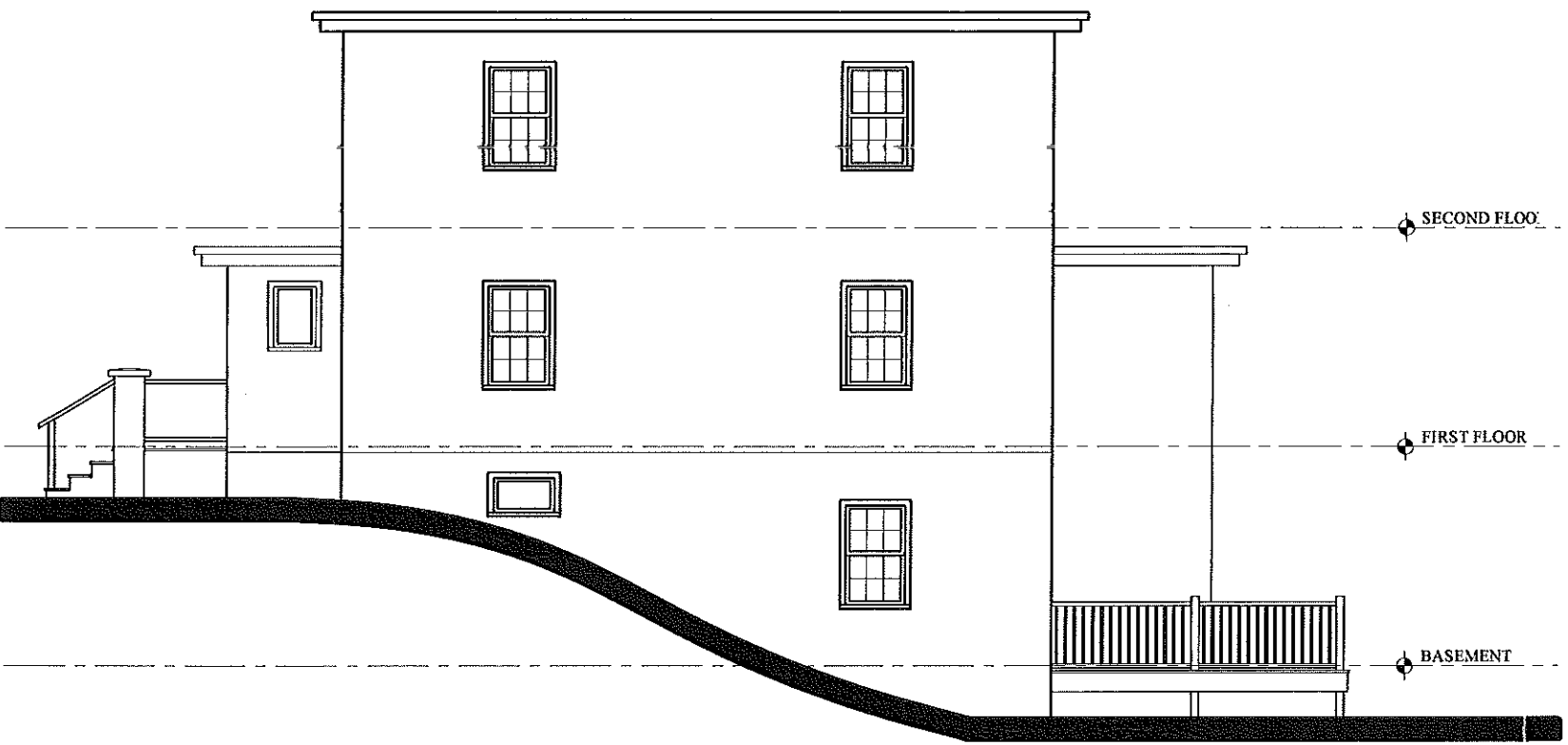
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342 DANFORTH STREET
PORTLAND, MAINE



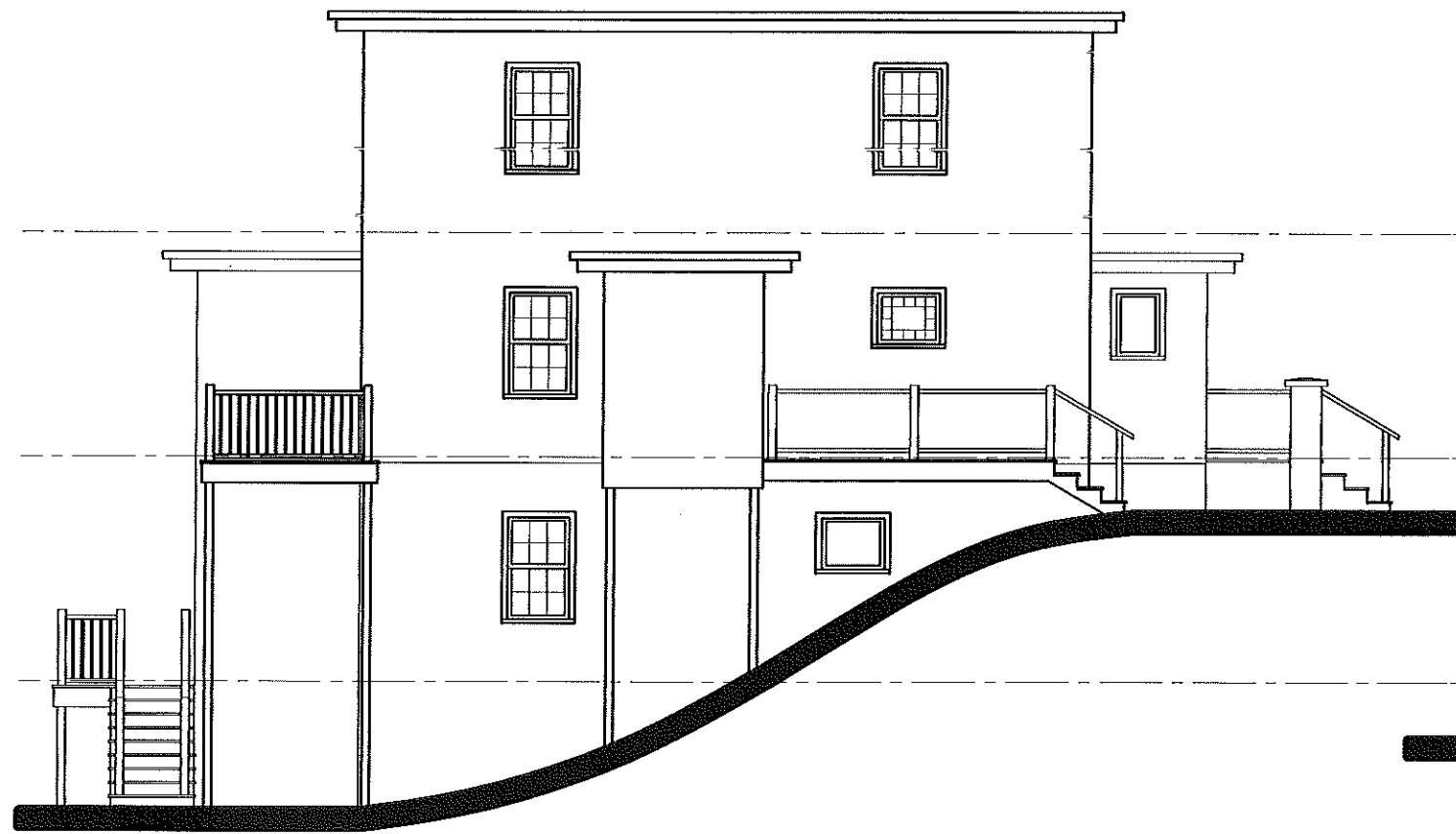
EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING LEFT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"

342 DANFORTH STREET
PORTLAND, MAINE

OCTOBER 25, 2012

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