

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

BUILDING DEPARTMENT

Permit Number: 090616

Please Read Application And Notes, If Any, Attached

**PERMIT**

This is to certify that LUCY FLIGHT/Elder Investments  
has permission to addition of a 7'2" x 15'7" bedroom used as a secondary entrance of existing kitchen  
AT 320 SPRING ST CBL 061 G005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

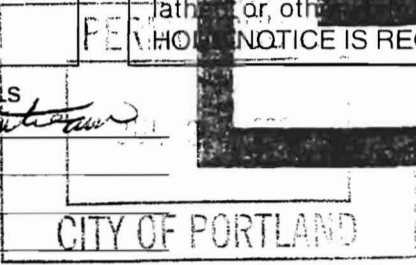
OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. [Signature]

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name



[Signature] 6/29/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0616	Issue Date:	CBL: 061 G005001
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<b>Location of Construction:</b> 320 SPRING ST	<b>Owner Name:</b> LUCY FLIGHT	<b>Owner Address:</b> 320 Spring Street	<b>Phone:</b> 799-0246
<b>Business Name:</b>	<b>Contractor Name:</b> Eider Investments	<b>Contractor Address:</b> 258 Black Point Road Scarborough	<b>Phone:</b> 2078830157
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	<b>Zone:</b> R-6
<b>Past Use:</b> Two Family Home	<b>Proposed Use:</b> Two Family Home - additon of a 7'2" x 15'7" mudroom used as a secondary entrance of existing kitchen	<b>Permit Fee:</b> \$450.00	<b>Cost of Work:</b> \$43,000.00
<b>Proposed Project Description:</b> additon of a 7'2" x 15'7" mudroom used as a secondary entrance of existing kitchen		<b>FIRE DEPT:</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	<b>INSPECTION:</b> Use Group: R3 Type: SB IRC 2003
		<b>Signature:</b> <i>KE</i>	<b>Signature:</b> <i>DM 6/29/09</i>
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature: _____ Date: _____			

<b>Permit Taken By:</b> Ldobson	<b>Date Applied For:</b> 06/15/2009	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan exemption in planning Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <i>OK with conditions</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>Any exterior work requires a separate review and approval 6/19/09 SBT</i>	
	<i>6/18/09</i>			

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_

ADDRESS \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_

<b>PERMIT ISSUED</b>	
DATE JUL 22 2009	PHONE
<b>CITY OF PORTLAND</b>	

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0616	Date Applied For: 06/15/2009	CBL: 061 G005001
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Location of Construction: 320 SPRING ST	Owner Name: LUCY FLIGHT	Owner Address: 320 Spring Street	Phone: ( ) 799-0246
Business Name:	Contractor Name: Eider Investments	Contractor Address: 258 Black Point Road Scarborough	Phone: (207) 883-0157
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Two Family Home - additon of a 7'2" x 15'7" mudroom used as a secondary entrance of existing kitchen	Proposed Project Description: additon of a 7'2" x 15'7" mudroom used as a secondary entrance of existing kitchen
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**Dept:** Historic      **Status:** Approved with Conditions      **Reviewer:** Scott Hanson      **Approval Date:** 06/19/2009

**Note:** Drawings submitted with building permit application show changes made to meet HP Board's conditions of approval.      **Ok to Issue:**

- 1) Approval conditional upon inspection of work when completed.

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 06/18/2009

**Note:**      **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 06/29/2009

**Note:**      **Ok to Issue:**

- 1) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating per Sec. 712 of IBC
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:**      **Approval Date:** 06/19/2009

**Note:**      **Ok to Issue:**

- 1) All construction shall comply with NFPA 101

**Comments:**

6/16/2009-mes: The applicant (contractor?) made out an application for a single family where our files show that it is a two family. Also the application indicates a 5'x5' addition where the drawings show 7'x15'. I called both the owner and contractor. Neither one was available at this time - left messages.

<b>Location of Construction:</b> 320 SPRING ST	<b>Owner Name:</b> LUCY FLIGHT	<b>Owner Address:</b> 320 Spring Street	<b>Phone:</b> ( ) 799-0246
<b>Business Name:</b>	<b>Contractor Name:</b> Eider Investments	<b>Contractor Address:</b> 258 Black Point Road Scarborough	<b>Phone</b> (207) 883-0157
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

6/17/2009-mes: Trevor thinks that this is a single family now - he will also check with the owner. He will also get something from the owner to show right title & Interest, like a copy of the deed and to fax it to me. He agreed that he goofed on the size of the mudroom. Permit still on hold.

6/18/2009-mes: The contractor sent me a copy of the deed and clarified that it is a two family.

6/19/2009-gg: received permit from historic as of 6/19/09. /gg

6/26/2009-gg: received granted sit exemptionas of 6/25/09, Filed with permit (residential) /gg

7/22/2009-jtm: Permit mailed to Eider Investments, 258 Black Point Road, Scarborough, Maine 04074.  
Carissa Hanratty

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY)**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

**Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

**Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

**Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

*Thomas H. Mahoney*

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

*6/29/09*

\_\_\_\_\_  
Date

CBL: 061 G005001

Building Permit #: 09-0616



# General Building Permit Application


If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>320 SPRING ST</u>		
Total Square Footage of Proposed Structure/Area <u>1091325</u>		Square Footage of Lot <u>9100</u>
Tax Assessor's Chart, Block & Lot Chart# <u>61</u> Block# <u>6005</u> Lot# <u>001</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>LUCY FLIGHT</u> Address <u>320 SPRING ST</u> City, State & Zip <u>PORTLAND ME 04102</u>	Telephone: <u>799-0246</u>
Lessee/DBA (If Applicable)  <u>JUN 15 2009</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>43,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>450.00</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> <u>two family exist</u> If vacant, what was the previous use? Proposed Specific use: <u>SINGLE FAMILY</u> <u>two family remaining</u> Is property part of a subdivision? <u>72' x 157'</u> If yes, please name _____ Project description: <u>THE ADDITION OF A 6'x6' BOX USED AS A SECONDARY ENTRANCE</u> <u>RENOVATION OF EXISTING KITCHEN</u>		
Contractor's name: <u>EIDER INVESTMENTS INC</u> <span style="float: right;"><u>Trevor</u> <u>xx Call</u></span>		
Address: <u>258 BLACK POINT RD</u>		
City, State & Zip <u>SCARBOROUGH ME 04074</u>		Telephone: <u>883 0157</u>
Who should we contact when the permit is ready: <u>TREVOR WATSON</u>		Telephone: <u>883 0157</u>
Mailing address: <u>258 BLACK POINT RD SCARBOROUGH ME 04074</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

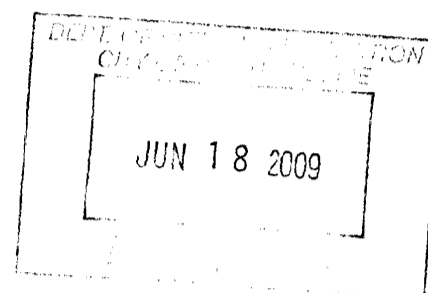
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 	Date: <u>6.12.09</u>
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This is not a permit; you may not commence ANY work until the permit is issue

874 - 8716  
% MARGE  
320 SPRING ST



\* PROOF OF OWNERSHIP

\* SPOKE w/ LUCY FLIGHT & SITE WOULD LIKE  
TO KEEP 320 A TWO-FAMILY

THANK YOU

TRAVEL

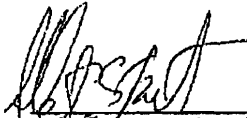
883-0157 - OFFICE

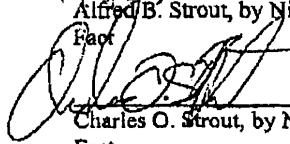
883-8202 - FAX


### WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS, that Alfred B. Strout and Charles O. Strout of 12924 Kings Row Lane St Louis, MO for consideration paid grants to Lucy F. Flight of 320 Spring Street, Portland, Maine with WARRANTY COVENANTS the premises in the City of Portland, County of Cumberland and State of Maine, being more particularly described in Exhibit A attached hereto and made a part hereof.

IN WITNESS WHEREOF, the said Alfred B. Strout and Charles Strout by their Attorney in Fact, Nicholas Dambrie has caused this instrument to be signed this 4/28/2009

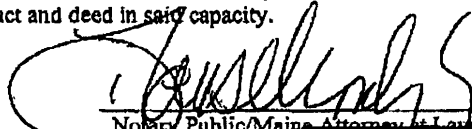
  
\_\_\_\_\_  
Alfred B. Strout, by Nicholas Dambrie, Attorney in Fact

  
\_\_\_\_\_  
Charles O. Strout, by Nicholas Dambrie, Attorney in Fact

  
\_\_\_\_\_  
Witness

State of Maine  
County of Cumberland

Then personally appeared before me this 28th day of April, 2009 the said Nicholas Dambrie, Attorney in Fact for Alfred B. Strout and Charles Strout, and acknowledged the foregoing to be his voluntary act and deed in said capacity.

  
\_\_\_\_\_  
Notary Public/Maine Attorney at Law  
Commission Expiration: \_\_\_\_\_



File Number: 09-0845

**EXHIBIT "A"**

**LEGAL DESCRIPTION**

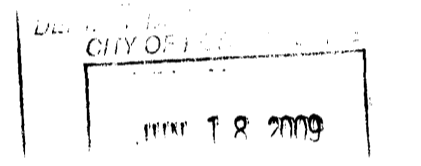
A certain lot or parcel of land, with the buildings thereon, situated in the City of Portland, County of Cumberland and State of Maine, and bounded and described as follows:

Beginning on the southerly sideline of Spring Street at the northeasterly corner of land formerly of Horace P. Storer; thence easterly by the southerly sideline of Spring Street fifty (50) feet to land formerly of Sullivan C. Andrews; thence southerly by land of said Andrews and land formerly of Charles S. Pobes about one hundred eighty-two (182) feet to land now or formerly of the Old Ladies Home; thence westerly by line of land of the Old Ladies Home, fifty (50) feet to land formerly of Horace P. Storer; thence northerly by the line of land of said Storer; one hundred eighty-two (182) feet to the southerly sideline of Spring Street and the point of beginning.

The southerly ten (10) feet on the above-described premises are conveyed subject to the restriction contained in the deed from Ethel M. Lovejoy to Gertrude M. Grant dated 1/17/1941 and recorded in the Cumberland County Registry of Deeds in Book 1627, Page 253.

The above-described premises are conveyed subject to a pole easement from Henry H. Grant, et al, to Central Maine Power Company, et al, dated 2/5/1970 and recorded in said Registry of Deeds in Book 3126, Page 745.

Meaning and intending to describe the same premises conveyed to the grantors herein by deed of Theodore R. Wilson, Personal Representative for the Estate of Anne E. Browning dated March 14, 2003 and recorded in the Cumberland County Registry of Deeds in Book 19030, Page 146. The life estate reserved therein by Theodore R. Wilson was extinguished upon his death on February 20, 2008.





**Application for Exemption from Site Plan Review**  
 Portland, Maine  
 Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: \_\_\_\_\_

PROJECT ADDRESS: 320 Spring Street - Portland

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)  
ADD 7'2" x 15'7" Entrance Addition

CHART/BLOCK/LOT: 61-G-005

JUN 25 2009

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Lucy Flight  
 Address: 320 Spring St  
 Zip Code: 04102  
 Work #: 799-0246  
 Home #: \_\_\_\_\_  
 Fax #: \_\_\_\_\_  
 E-mail: \_\_\_\_\_

CONSULTANT/AGENT

Name: Eider Investments Inc / Trevor Watson  
 Address: 250 Black Point Rd  
Scarborough, ME 04074  
 Zip Code: \_\_\_\_\_  
 Work #: 883-0157  
 Home #: \_\_\_\_\_  
 Fax #: \_\_\_\_\_  
 E-mail: \_\_\_\_\_

**Criteria for Exemptions:**

(See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Use Only
a) Is the proposal within existing structures?	<u>no</u>	<u>no</u>
b) Are there any new buildings, additions, or demolitions?	<u>yes</u>	<u>yes</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>yes</u>	<u>yes</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>no</u>	<u>no</u>
e) Are the curbs and sidewalks in sound condition?	<u>?</u>	<u>yes</u>
f) Do the curbs and sidewalks comply with ADA?	<u>?</u>	<u>yes</u>
g) Is there any additional parking?	<u>no</u>	<u>no</u>
h) Is there an increase in traffic?	<u>no</u>	<u>no</u>
i) Are there any known stormwater problems?	<u>?</u>	<u>no</u>
j) Does sufficient property screening exist?	<u>?</u>	<u>yes</u>
k) Are there adequate utilities?	<u>yes</u>	<u>yes</u>

**Planning Division Use Only**

Exemption Granted  Partial Exemption \_\_\_\_\_ Exemption Denied \_\_\_\_\_

Planner's Signature Barbara Berlydt

Date June 23, 2009



# General Building Permit Application


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Location/Address of Construction: <u>320 SPRING ST</u>		
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Lessee/DBA (If Applicable)  <u>JUN 15 2009</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>43,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>450.00</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> <u>two family exist</u> If vacant, what was the previous use? Proposed Specific use: <u>SINGLE FAMILY</u> <u>Two family perm &amp; mng</u> Is property part of a subdivision? <u>72 x 15</u> If yes, please name <u>ADROOM</u> Project description: <u>THE ADDITION OF A 6'x45' BOX USED AS A SECONDARY ENTRANCE</u> <u>RENOVATION OF EXISTING KITCHEN</u>		
Contractor's name: <u>EIDER INVESTMENTS INC</u> <span style="float: right;"><u>Trevor</u></span>		
Address: <u>258 BLACK POINT RD</u> <span style="float: right;"><u>xx Colo</u></span>		
City, State & Zip <u>SCARBOROUGH ME 04074</u>		Telephone: <u>883 0157</u>
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<b>Tenant/Ressee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	<b>Zone:</b> R-6

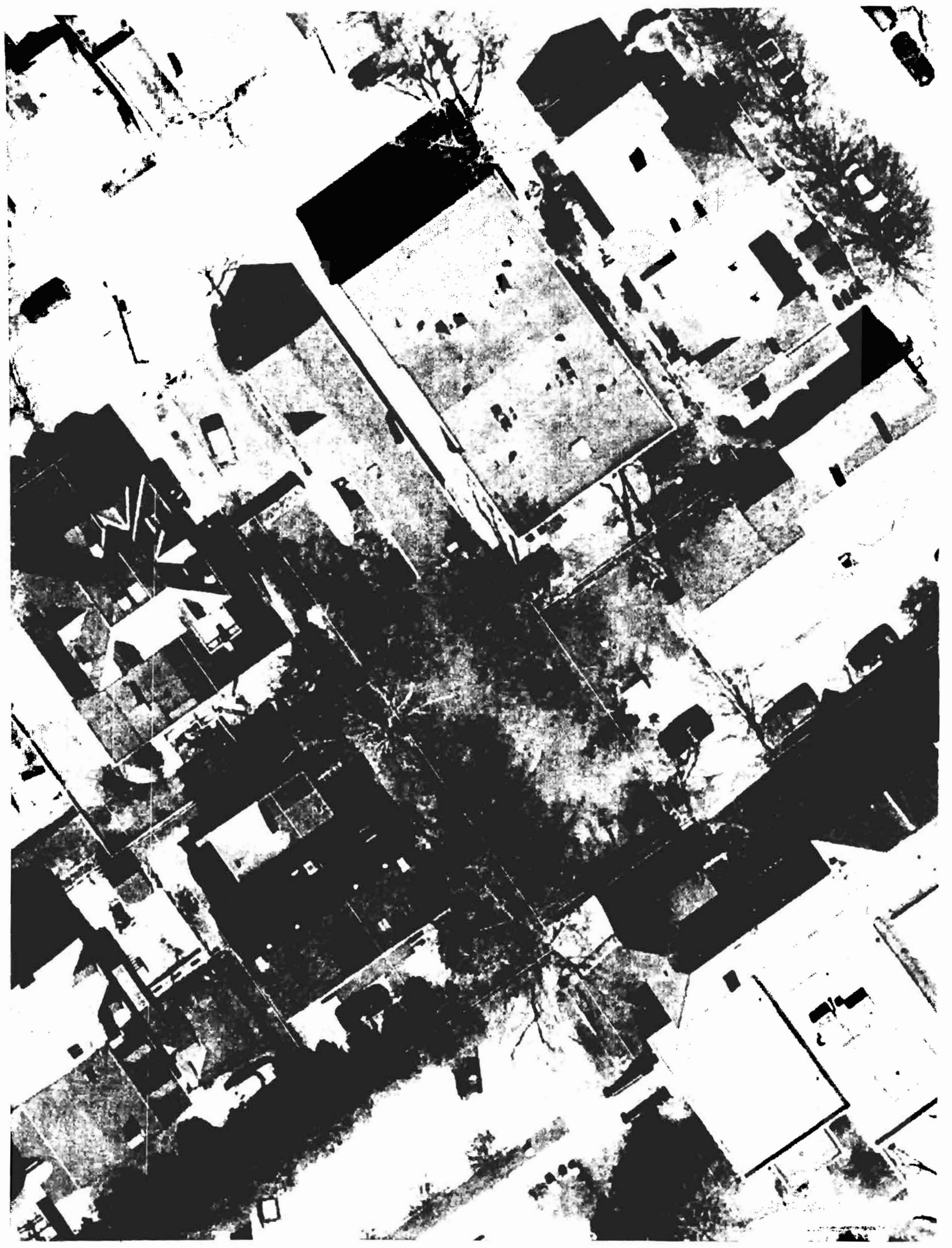
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<b>Proposed Project Description:</b> Addition of a 7'2" x 15'7" mudroom used as a secondary entrance of existing kitchen		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: Type:		
		Signature:	Signature:		
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>					
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied					
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<b>Permit Taken By:</b> Ldobson	<b>Date Applied For:</b> 06/15/2009	<b>Zoning Approval</b>		
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SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

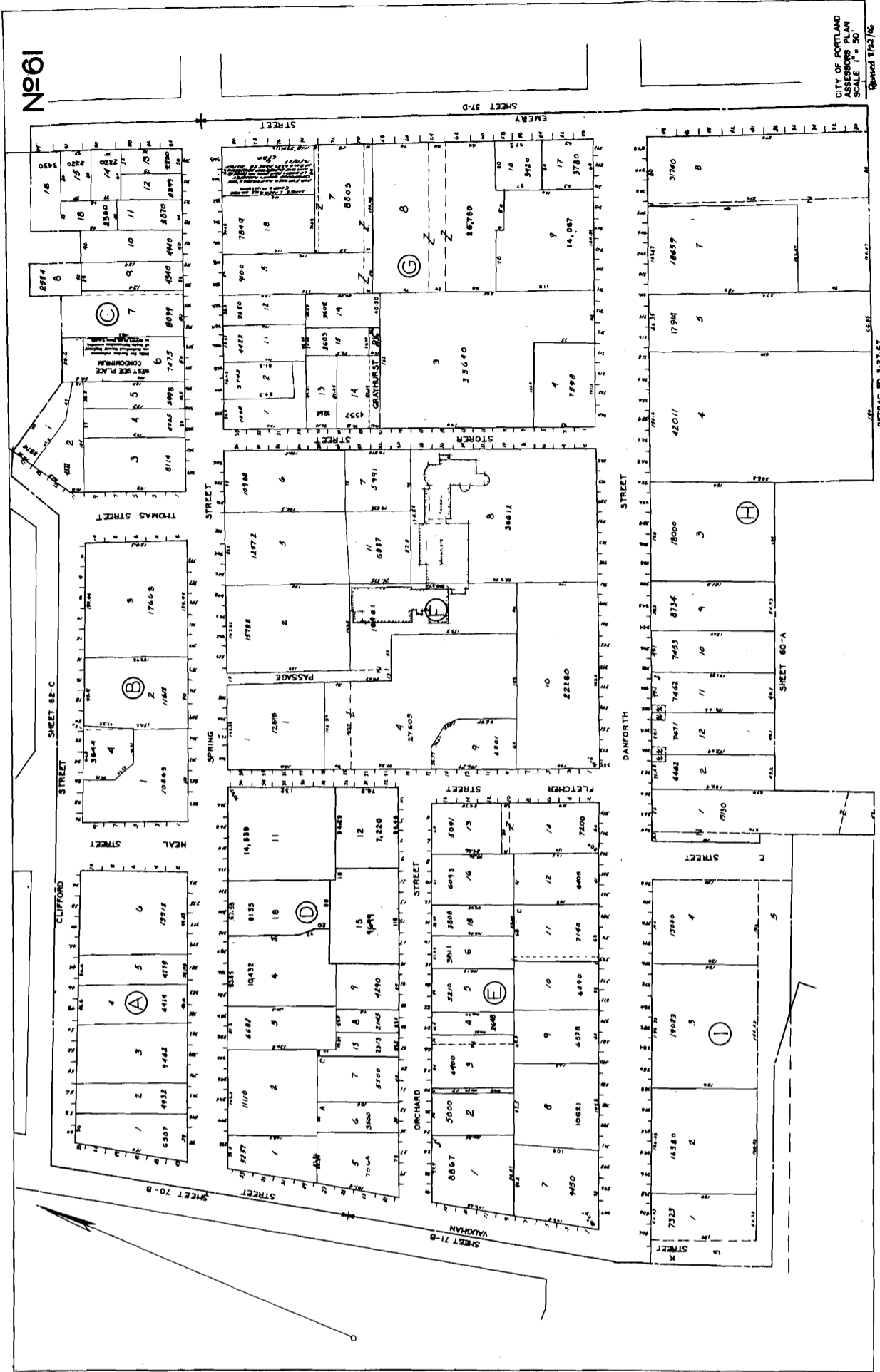




<http://www.portlandassessor.com/images/pictures/00895601.jpg>

6/19/2009

Nº61



CITY OF PORTLAND  
 PLANNING DEPARTMENT  
 SCALE 1" = 20'  
 Revised 11/23/76

RETRAC PD 3-27-87

SHEET 70-B

SHEET 71-B

SHEET 57-D

SHEET 80-A

SHEET 82-C

WALTON STREET

ORCHARD STREET

SPRING STREET

NEAL STREET

CLIFFORD STREET

THOMAS STREET

EMERY STREET

DANFORTH STREET

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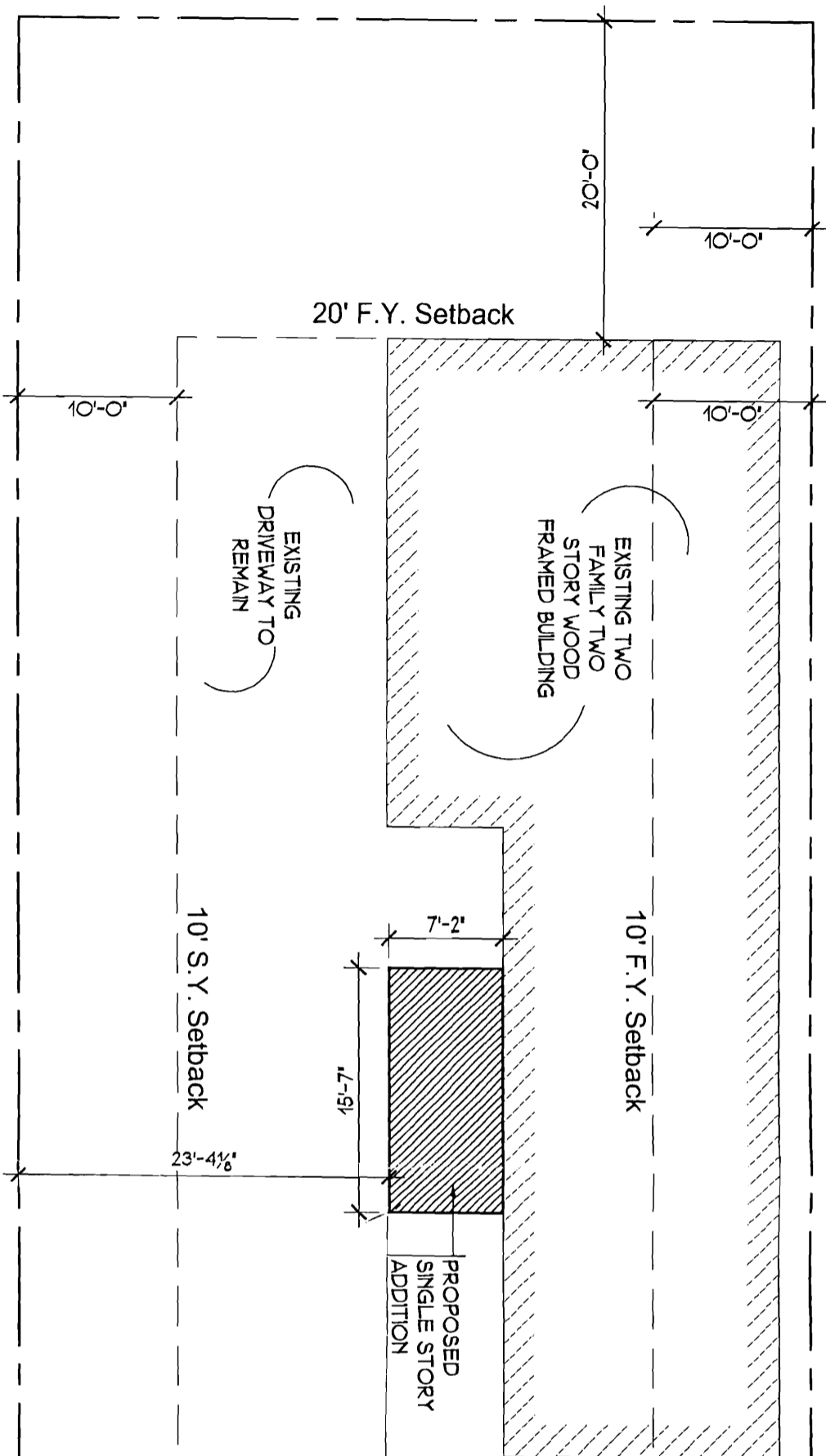
STREET

STREET

STREET

# SPRING STREET

1 PLOT PLAN  
SCALE: 1" = 10'-0"



320 SPRING STREET  
MAP 61 - LOT G005001  
9100 S.F.

6'9" setback

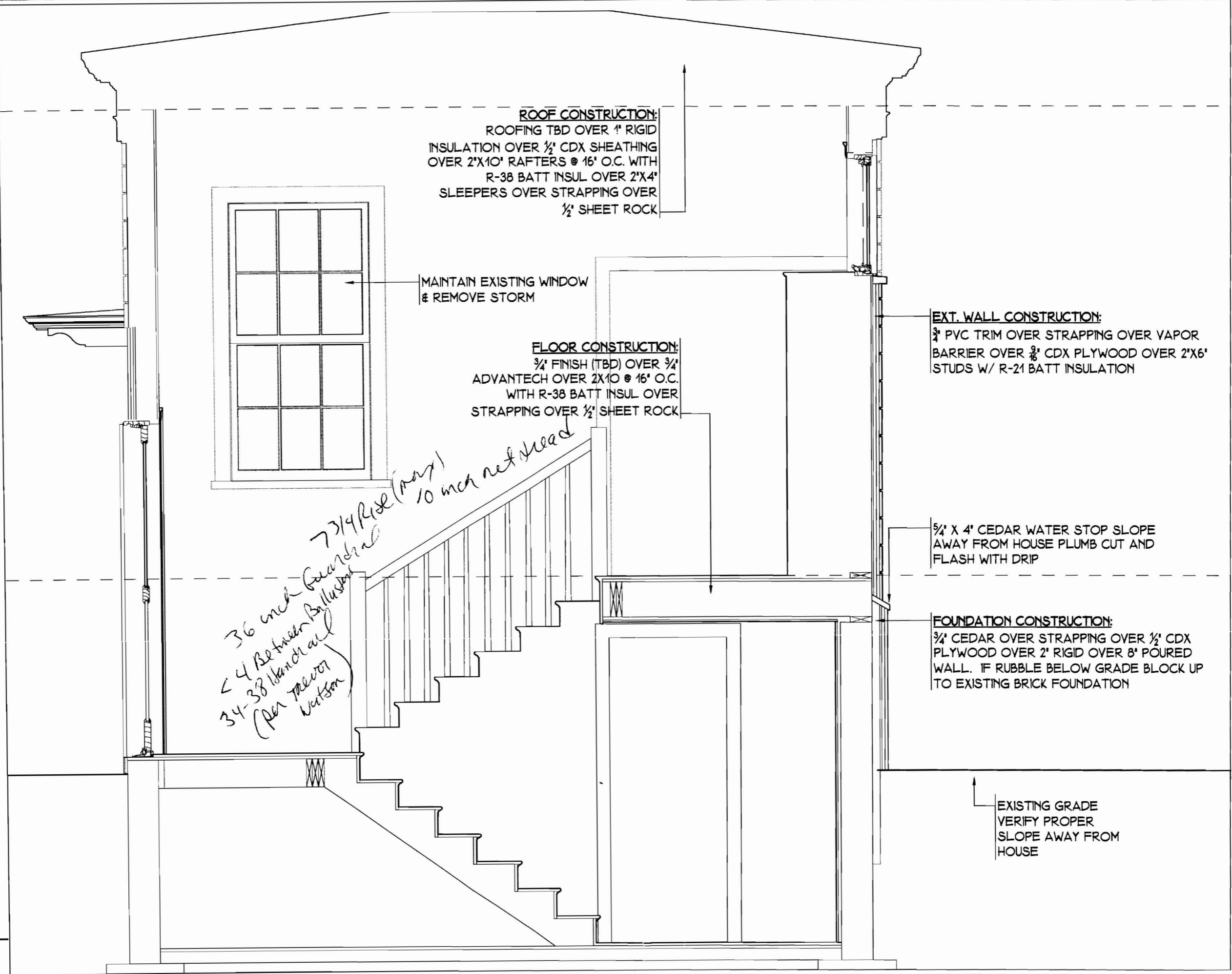


Front: 10' min seg - 10' shown  
 Rear: 20' min seg - 69' shown  
 Side: 10' min 23' + 1/8" shown  
 50' lot cars. ok

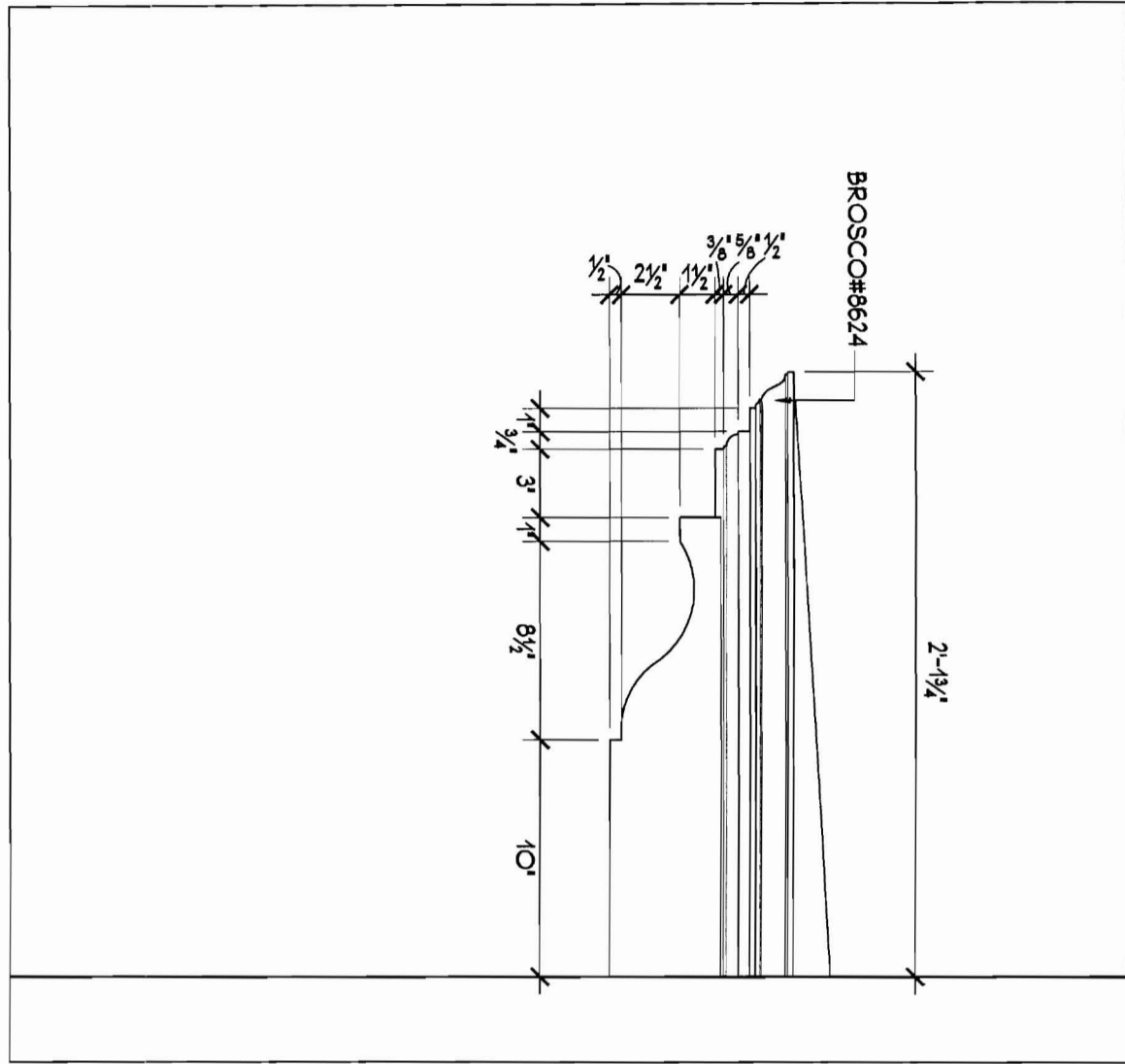
R-6 Zone  
 7'2" x 15'17"  
 7.17 x 15.58 = 111.71 sq ft



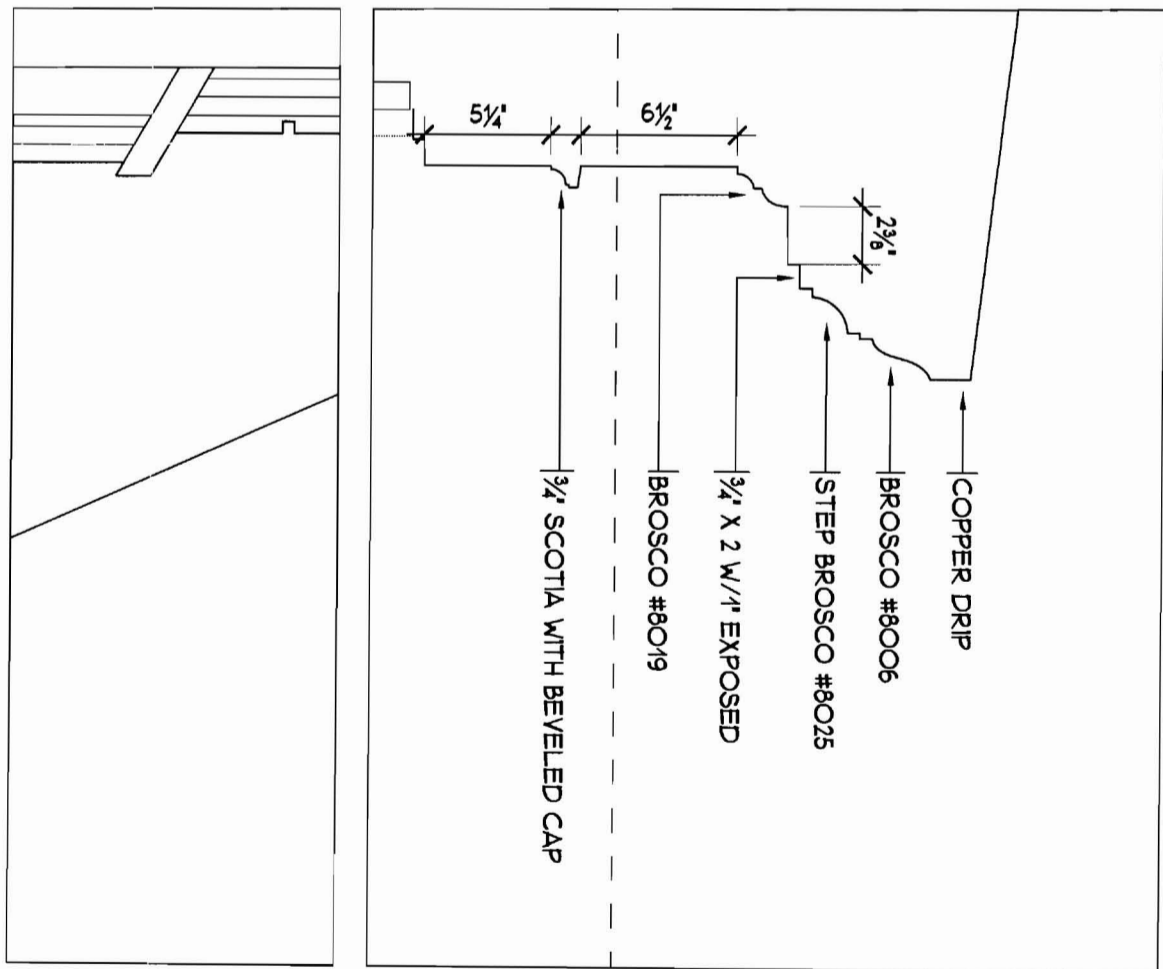
**9 SECTION**  
SCALE: 1/2" = 1'-0"



**10** DETAIL AT BRACKET  
SCALE: 1/1/2" = 1'-0"



**11** WALL DETAIL  
SCALE: 1/1/2" = 1'-0"



Sheet * A302	Title	Map	Date	Revisions
	DETAILS	61	June 2	
			June 4	
Project DP-011	Date 09 May '09	Scale As Not.		

**FLIGHT IMPROVEMENTS**  
**PROPOSED ADDITION**

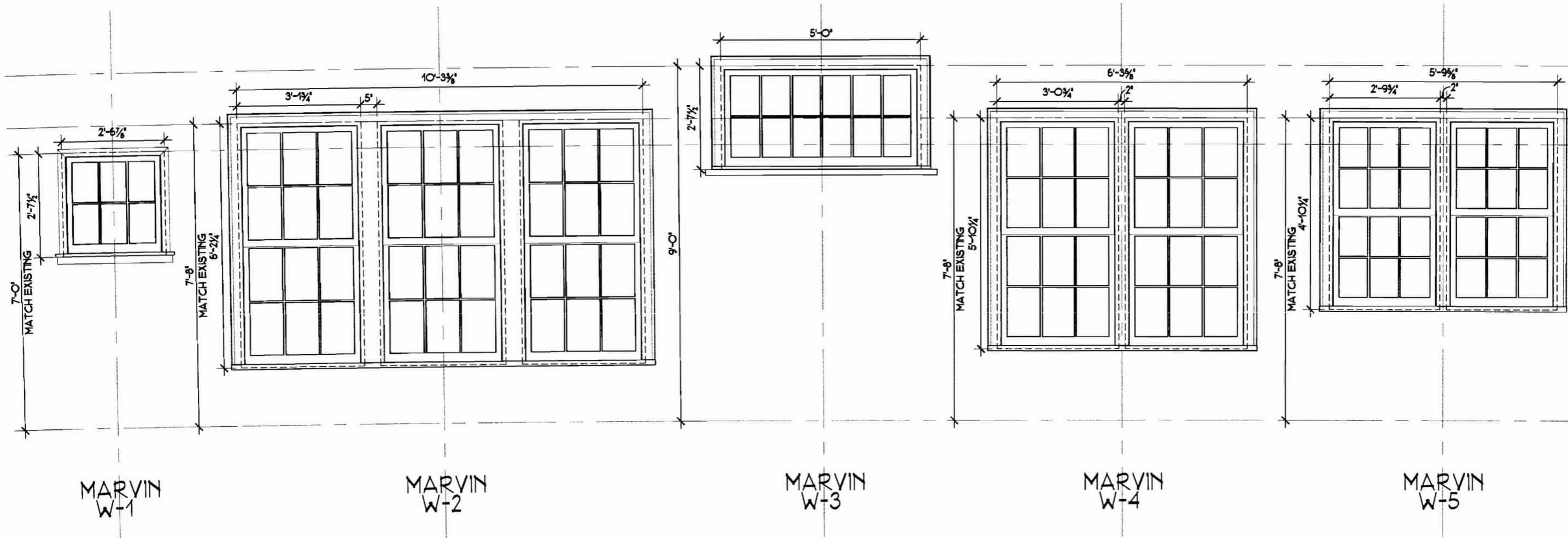
**Eider Investments, Inc.**

258 Black Point Road, Scarborough, ME 04074



# WINDOW SCHEDULE

GENERAL INFO				WINDOW INFO						TRIM INFO						
ID	MANUFAC.	MODEL	TYPE	MAT'L	GLASS SIZE	HEAD	JAMB	R.O.	GLAZING	INT.	EXT.	SILL	GRILLE	LAYOUT	H.W.	HARD. FINISH
0-01	MARVIN	Awning	W-1	CLAD	8" x 12"	R-1 (7'-0")	4 1/16"	30" x 32"	LowE	Detail 3 1/2"	5/4" x 3 3/4"	Hist.	SDL 3/4"	6	Standard	Bronze
0-02	MARVIN	Awning	W-1	CLAD	8" x 12"	R-1 (7'-0")	4 1/16"	30" x 32"	LowE	Detail 3 1/2"	5/4" x 3 3/4"	Hist.	SDL 3/4"	6	Standard	Bronze
1-01	MARVIN	Double Hung	W-2	CLAD	10 1/8" x 16"	R-2 (7'-8")	4 1/16"	123 3/8" x 74 1/4"	LowE	Detail 3 1/2"	5/4" x 3 3/4"	Hist.	SDL 3/4"	6 / 6	Standard	Bronze
1-02	MARVIN	Awning	W-3	CLAD	8 1/2" x 12 1/8"	R-3 (9'-0")	4 1/16"	60" x 31 1/4"	LowE	Detail 3 1/2"	5/4" x 3 3/4"	Hist.	SDL 3/4"	6	Standard	Bronze
1-03	MARVIN	Double Hung	W-4	CLAD	9 3/4" x 15"	R-2 (7'-8")	4 1/16"	75 5/8" x 70 1/4"	LowE	Detail 3 1/2"	5/4" x 3 3/4"	Hist.	SDL 3/4"	6 / 6	Standard	Bronze
1-04	MARVIN	Double Hung	W-5	CLAD	8 3/4" x 13"	R-2 (7'-8")	4 1/16"	69 5/8" x 58 1/4"	LowE	Detail 3 1/2"	5/4" x 3 3/4"	Hist.	SDL 3/4"	6 / 6	Standard	Bronze
1-05																

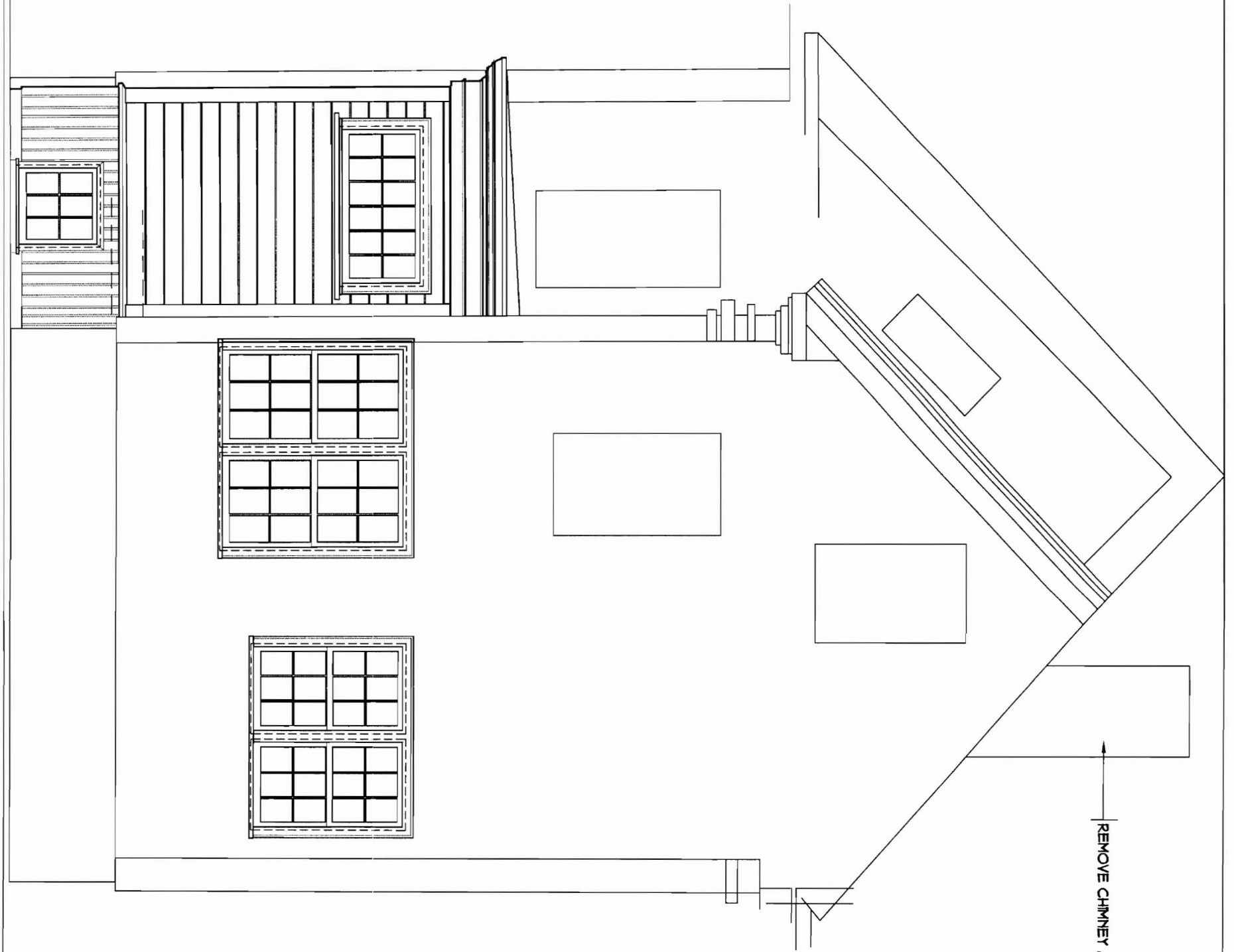


16 WINDOWS  
SCALE: 3/8" = 1'-0"

8

SOUTH ELEVATION - ON THE HOUSE

SCALE : 1/4" = 1'-0"



REMOVE CHIMNEY ABOVE THE ROOF





ENTABLATURE TO BE PVC WHENEVER POSSIBLE, ROOFING TO BE DETERMINED TO BE DETERMINED COPPER DRIP

HORIZONTAL 3/4" X 7" NICKEL GAP PVC TRIM BOARDS RETURN INTO WINDOWS

MARVIN ALUMINUM CLAD (WHITE) SASH WITH WOOD JAMB, 3/4" X 4 WOOD CASING AND HISTORIC SILL - MATCH SIZE AND HEIGHT OF EXISTING WINDOWS FOUND BEYOND

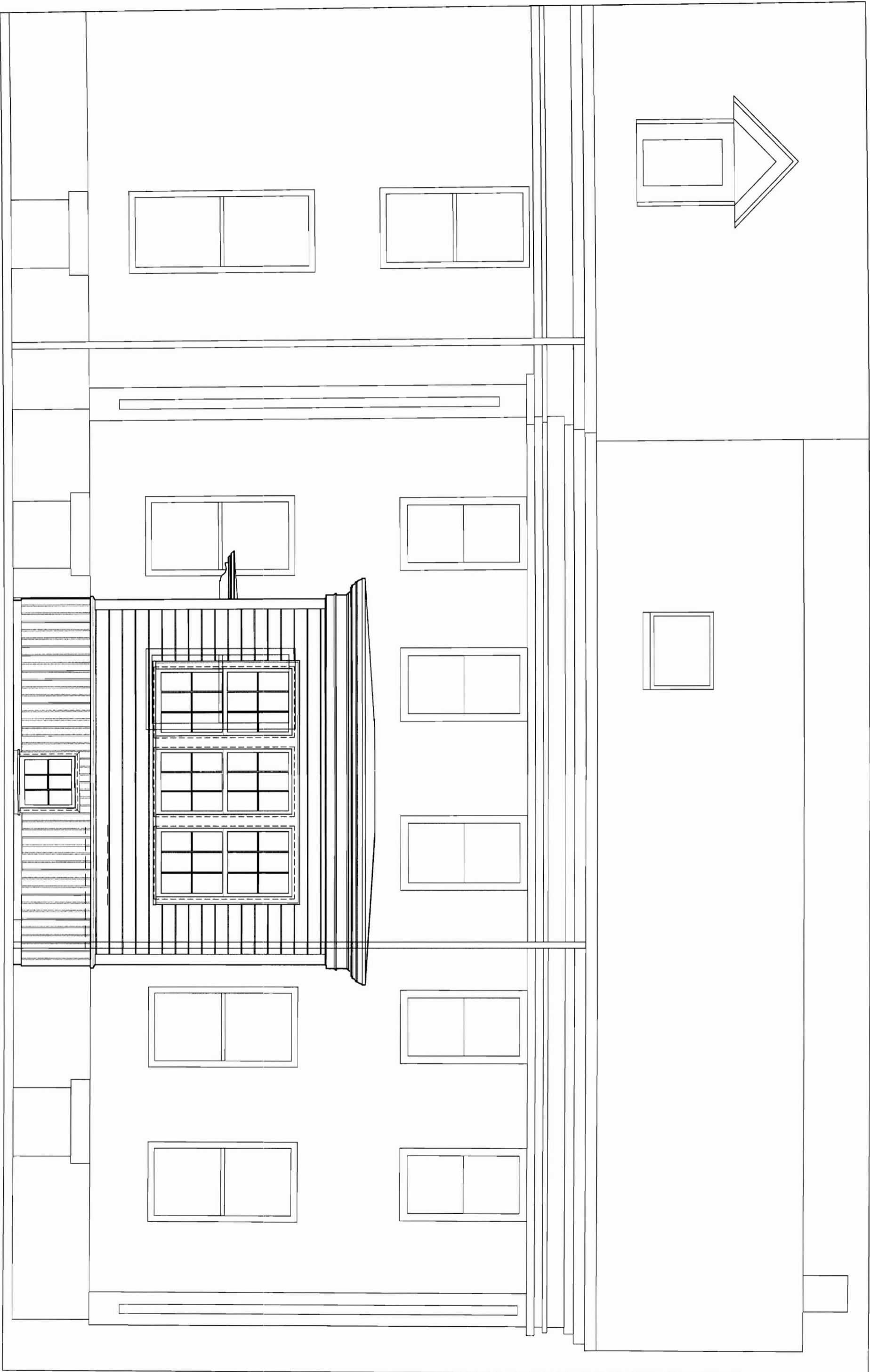
CEDAR WATER STOP

1"X3" VERTICAL CEDAR SKIRTING WITH 3/4" GAP

**6 WEST ELEVATION**  
SCALE : 1/2" = 1'-0"

Sheet	A202	Title	ELEVATIONS	Map	61	Revisions	
						1	June 2
						2	June 4
Project DP-011						Date: 09 May '09	Scale: As Not.

**7 WEST ELEVATION - ON THE HOUSE**  
 SCALE : 1/4" = 1'-0"



Sheet * A203	Title	Map	Date	Revisions
	ELEVATIONS	61	1 June 2	
		Lot G005001	2 June 4	
Project DP-011	Date 09 May '09	Scale As Not.		

**FLIGHT IMPROVEMENTS**  
**PROPOSED ADDITION**

**Eider Investments, Inc.**  
 258 Black Point Road, Scarborough, ME 04074



**5** NORTH AND SOUTH ELEVATIONS  
 SCALE : 1/2" = 1'-0"



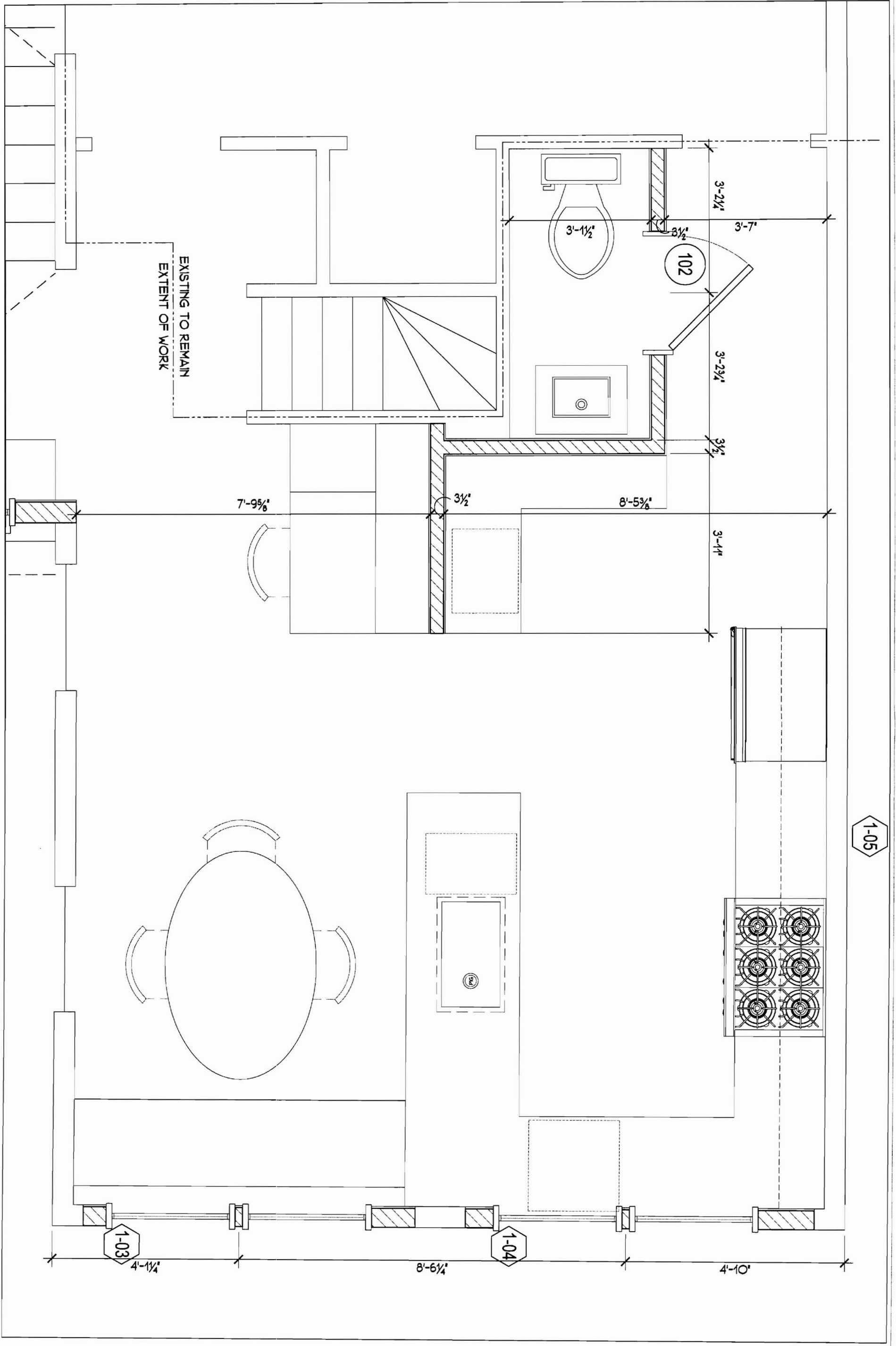
Sheet * A201	Title	Map	Date	Revisions
ELEVATIONS	61	1	June 2	
	Lot G005001	2	June 4	

**FLIGHT IMPROVEMENTS**  
 PROPOSED ADDITION

Eider Investments, Inc.



**4** FIRST FLOOR PLAN  
SCALE: 1/2" = 1'-0"



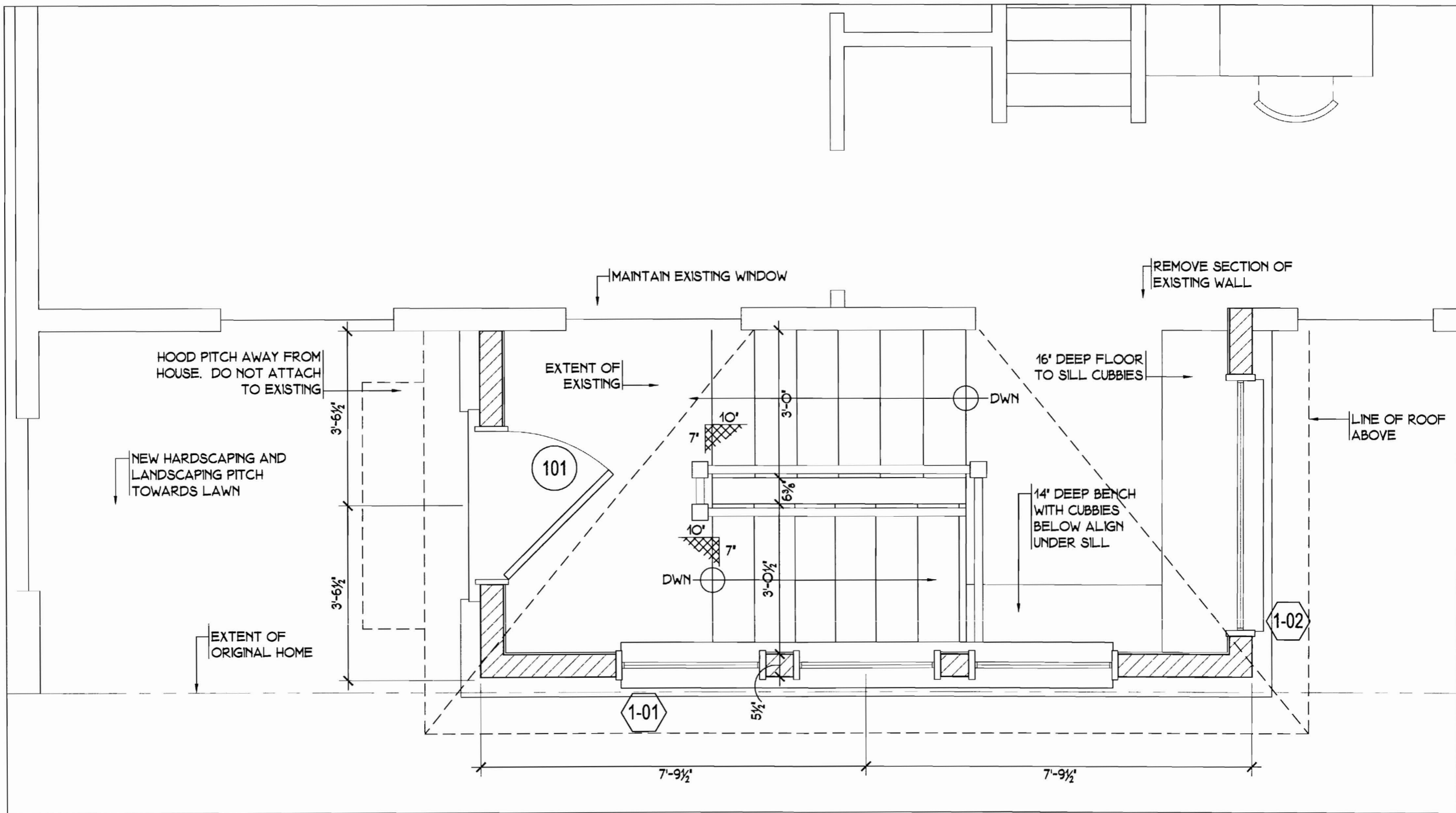
1-05

Sheet * A102	Title FLOOR PLAN	Map 61	Date June 2	Revisions
		Lot G005001		

**FLIGHT IMPROVEMENTS**  
PROPOSED ADDITION

Eider Investments, Inc.

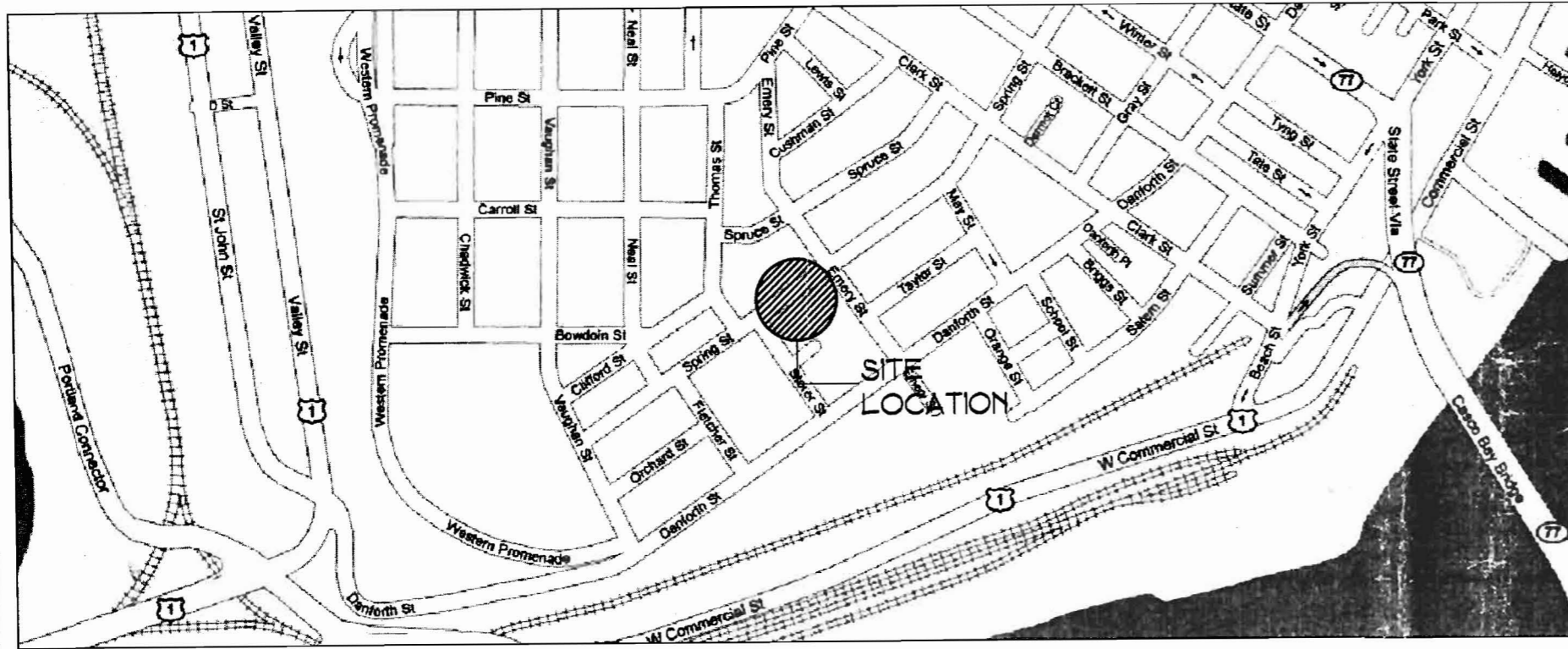




**3** FIRST FLOOR PLAN  
SCALE: 1/2" = 1'-0"

Sheet	Title	Map	Date	Revisions
A101	FLOOR PLAN	61	June 2	
				1-01
				1-02

# PROPOSED ADDITION FOR: LUCY FLIGHT MAP-61 LOT-G005001 320 SPRING STREET - PORTLAND

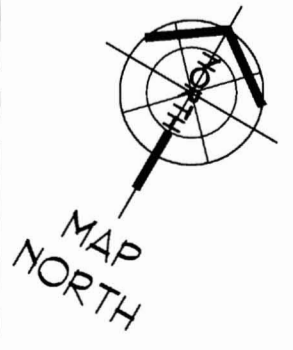
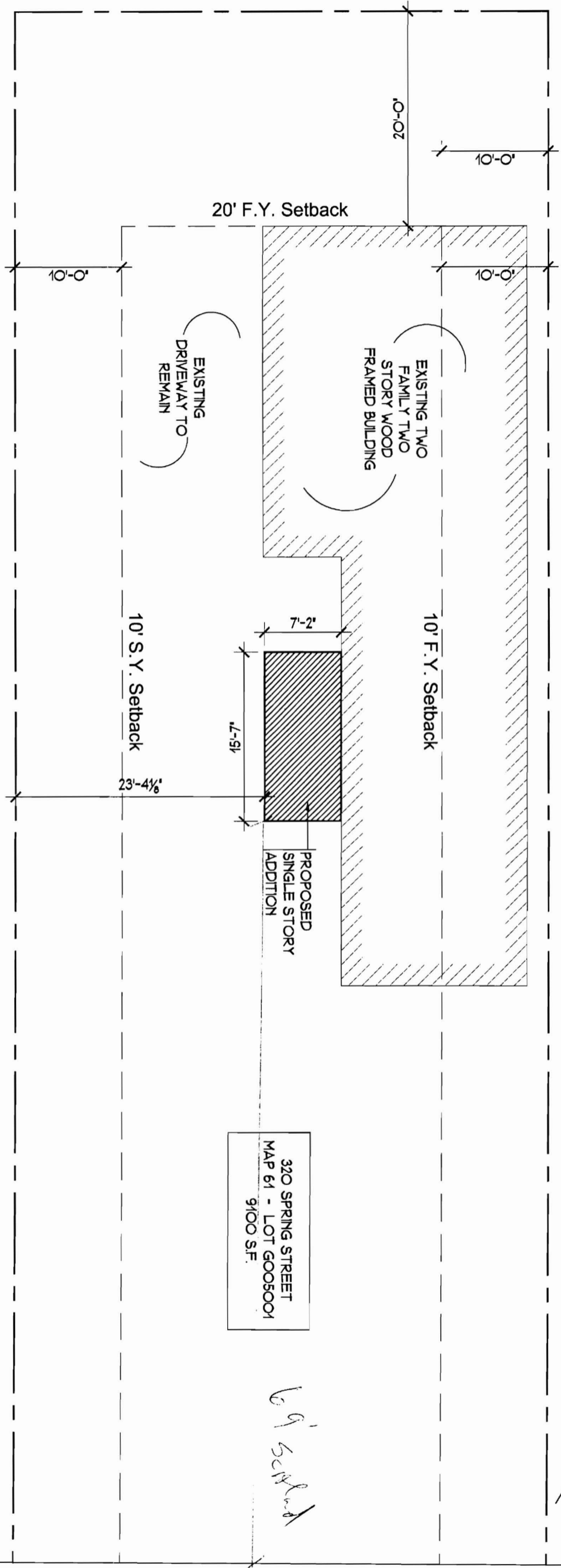


LIST OF DRAWINGS	
DWG. NO.	DRAWING TITLE
T-001	TITLE SHEET AND GENERAL INFORMATION
T-002	PLOT PLAN
	ARCHITECTURAL
A-001	BASEMENT PLAN - PARTIAL (MUD ROOM)
A-101	FIRST FLOOR PLAN - PARTIAL (MUD ROOM)
A-102	FIRST FLOOR PLAN - PARTIAL (KITCHEN)
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS
A-204	EXTERIOR ELEVATIONS
A-301	SECTION
A-302	DETAILS
A-601	INTERIOR ELEVATIONS - KITCHEN
A-602	INTERIOR ELEVATIONS - PANTRY
A-603	INTERIOR ELEVATIONS - BATHROOM
A-604	INTERIOR ELEVATIONS - BUILTINS
A-605	INTERIOR ELEVATIONS - BUILTINS
A-801	SCHEDULES
E-101	ELECTRICAL PLAN

BUILDING DATA			
ZONE			
USE - RESIDENTIAL (PERMITTED USE)			
	ALLOWED	PROPOSED	
LOT AREA	9100 S.F.		
LOT COVERAGE	50 %	40 %	
RESIDENCE		1466 S.F.	
OUTBUILDINGS		96 S.F.	
LANDSCAPE ITEMS		+/- 2,000 S.F.	ESTIMATE
ADDITION		112 S.F.	
TOTAL INCL. AREA	4550 S.F.	3674 S.F.	
FRONTAGE	50'	NO CHANGE	
FRONT YARD	20'	NO CHANGE	
SIDE YARD	10'	NO CHANGE	
REAR YARD	20'	NO CHANGE	
BUILDING HEIGHT			
EAVE	25'	NO CHANGE	
RIDGE	37'	NO CHANGE	

# SPRING STREET

1 PLOT PLAN  
SCALE: 1" = 10'-0"



*Handwritten notes:*  
 Front: 10' min req - 10' shown  
 Rear: 20' min req - 19' shown  
 Side: 10' min req - 23' 4 1/8" shown  
 50% lot cov. ok  
 R-6 Zone  
 7'2" x 15'7"  
 7.17 x 15.58 = 111.71 #

320 SPRING STREET  
 MAP 61 - LOT 6005001  
 9100 S.F.

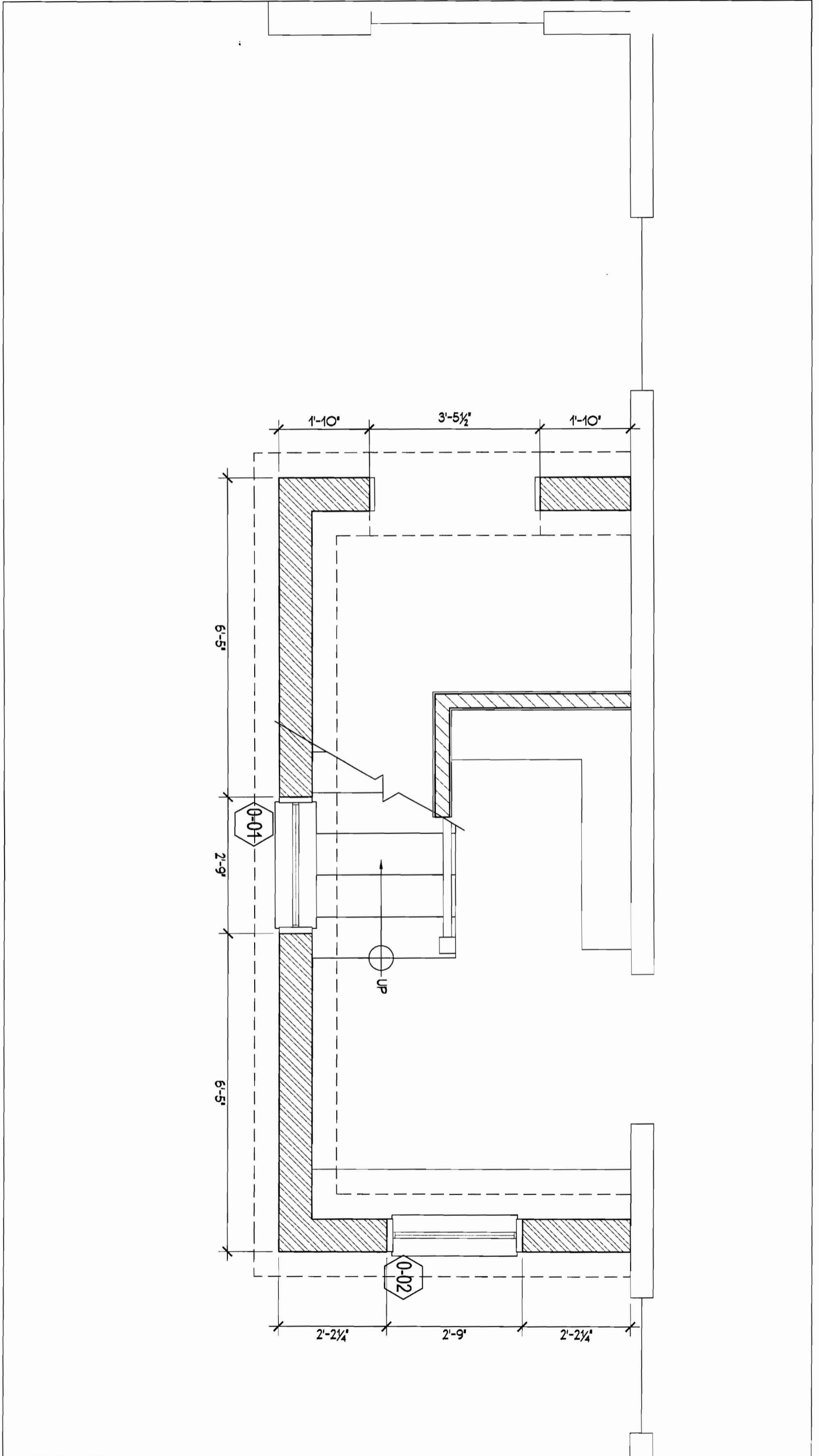
*6'9" setback*

Sheet * T002	Title PLOT PLAN	Map 61	Date June 2	Revisors
	Lot G005001			
	Project DP-011	Date 09 May '09	Scale As Noted	

**FLIGHT IMPROVEMENTS**  
 PROPOSED ADDITION

**Eider Investments, Inc.**

**2** BASEMENT PLAN  
SCALE: 1/2" = 1'-0"



Sheet * A001	Title BSMNT PLAN	Map 61	Date June 2	Revisions
		Lot G005001		
Project DP-011	Date 09 May '09	Scale As Noted		

**FLIGHT IMPROVEMENTS**  
**PROPOSED ADDITION**

**Eider Investments, Inc.**

