

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 071313

Please Read Application And Notes, If Any, Attached

This is to certify that Bourgeons Renee/3 Design / Nicholas Burnett

has permission to Remove walls to create open space new support beam

AT 332 Spring St / 33 Storer St CBL 061 G001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is altered or otherwise exposed - within 24 HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

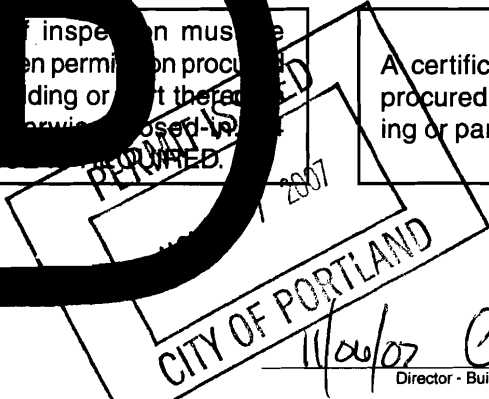
Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name



Cheryl A. Ak
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call ~~874-8703~~ or ~~874-8693~~ (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

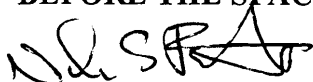
A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED



Signature of Applicant/Designee

Rosa Sanchez 11/7/07

Signature of Inspections Official

Date

11/7/07

Date

CBL: 01 6 001

Building Permit #: 071313

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1313	Issue Date: 11/06/07	CBL: 061 G001001
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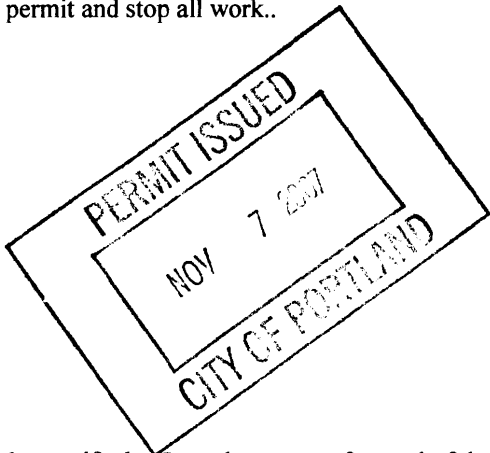
Location of Construction: 332 Spring St / 33 Storer St	Owner Name: Bourgeons Renee	Owner Address: 33 Storer Street	Phone: 207-775-9890
Business Name:	Contractor Name: 3 D Design / Nicholas Burnett	Contractor Address: 3 D Street South Portland	Phone: 2072720496
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-4

Past Use: Single Family Home	Proposed Use: Single Family Home - Remove walls to create open space install support beam	Permit Fee: \$120.00	Cost of Work: \$10,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 5B IRC-2003	

Proposed Project Description: Remove walls to create open space install support beam	Signature:	Signature: 11/06/07 CMA
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 10/18/2007	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 10/25/07	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: Requires A
	Any exterior work separate review & approval		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>33 STORER ST</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>61</u> Block# <u>6</u> Lot# <u>2</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Renee Bourgeois & Brian Eng</u> Address <u>33 Storer St</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>207-775-9890</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>10,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>120-</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Remove walls to open space add support beam</u>		
Contractor's name: <u>NICHOLAS BURNETT D/B/A 3-D DESIGN</u> Address: <u>3D STREET</u> City, State & Zip: <u>SOUTH PORTLAND, ME 04106</u> Telephone: <u>272-0496</u> ⁴⁹⁵⁶ Who should we contact when the permit is ready: <u>NICK BURNETT</u> Telephone: <u>272-0496</u> Mailing address: <u>3D ST. S.P.</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

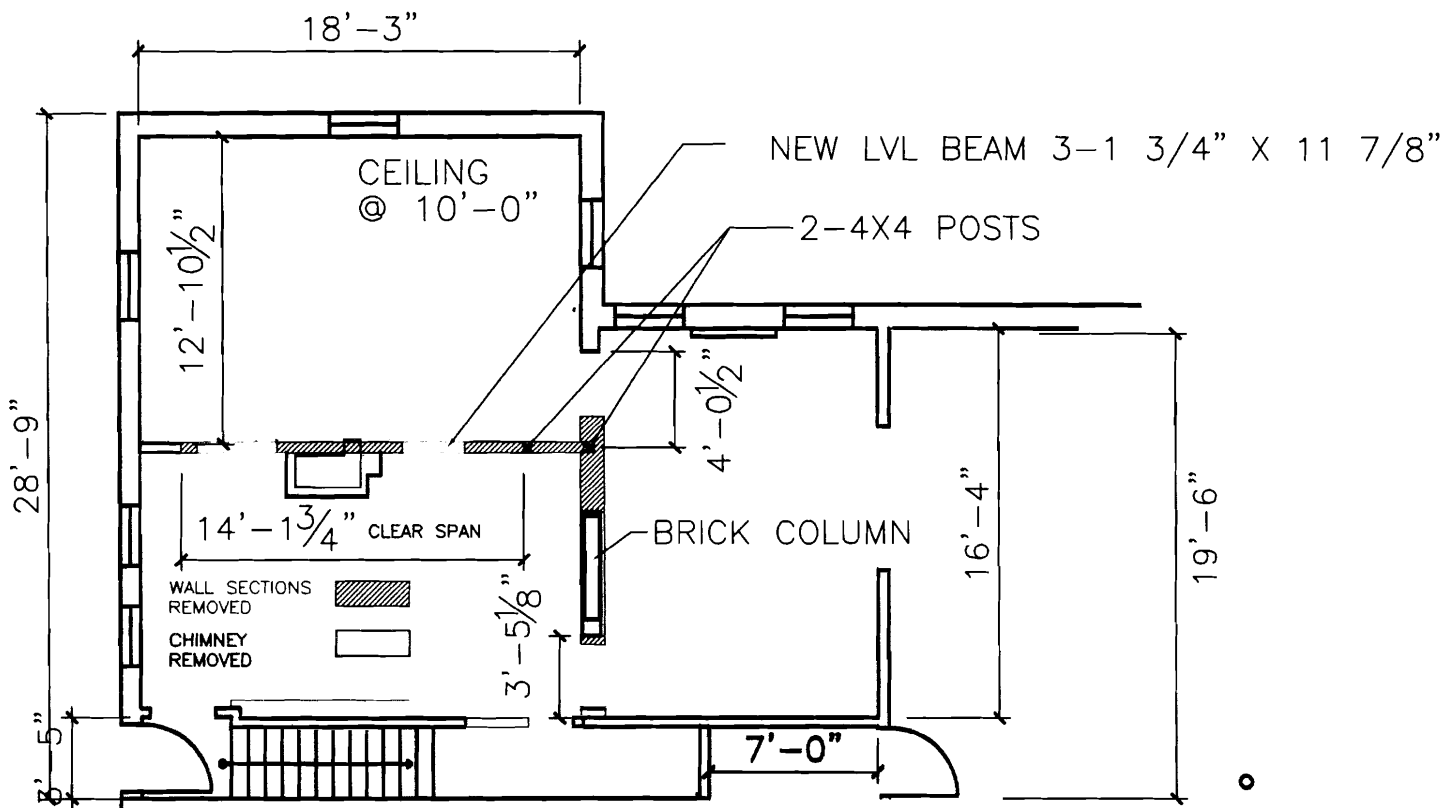
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Renee B Date: 10/10/07

This is not a permit; you may not commence ANY work until the permit is issued

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3-D Design

3 D Street
 South Portland, ME 04106
 tel. 207.272.4956
 nickb@maine.rr.com

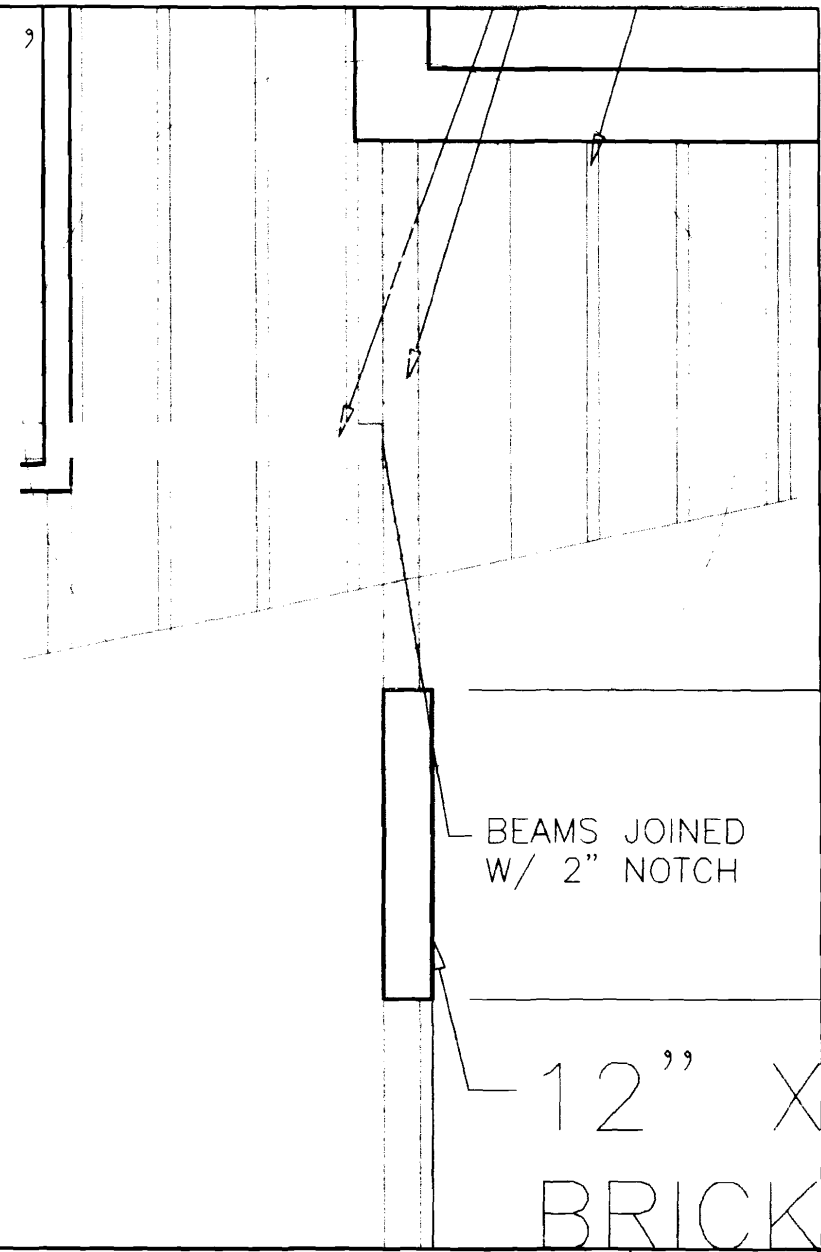
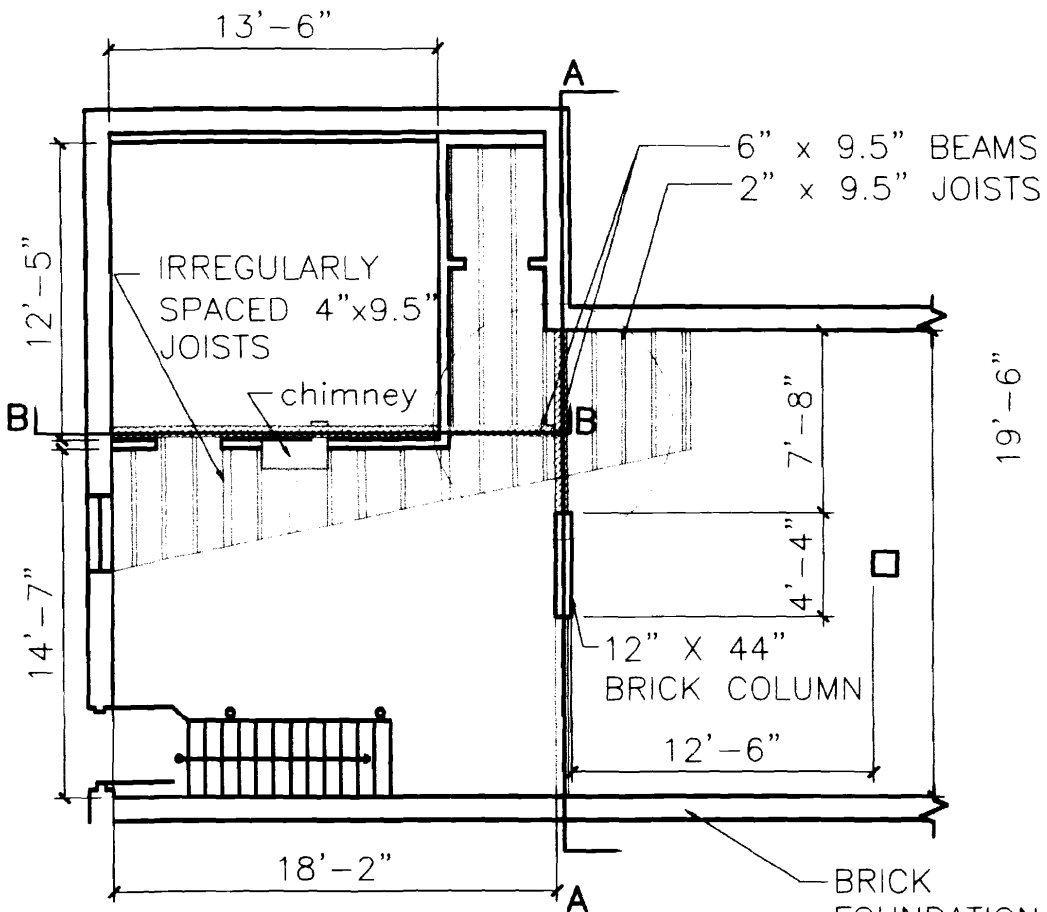
ISSUE STATUS:	
ISSUE DATE:	
REVISION:	

TITLE: 1ST FLR NEW BEAMS	
DATE: 09.29.07	PROJECT: EngBourgeois
SCALE: 1/8" = 1'-0"	DRAWN BY: NICHOLAS BURNETT
CHECKED BY:	FILE #: 0914

2 6

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PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



3-D Design

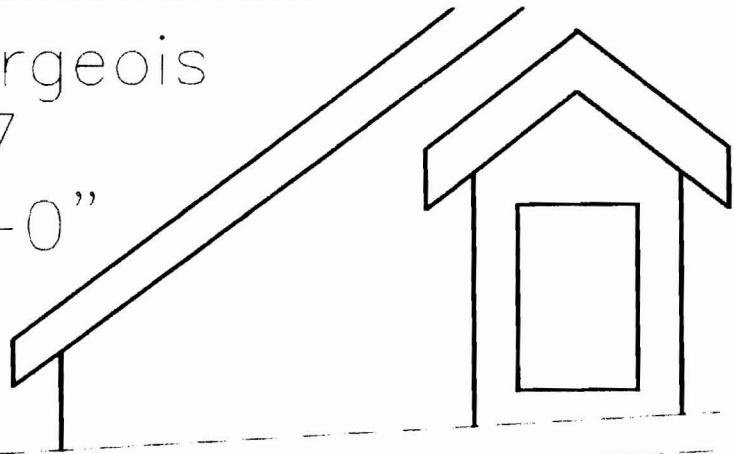
3 D Street
 South Portland, ME 04106
 tel. 207.272.4956
 nickb@maine.rr.com

ISSUE STATUS:	
ISSUE DATE:	
REVISION:	

TITLE: BASEMENT	
DATE: 09.29.07	PROJECT: EngBourgeois
SCALE: 1/8" = 1'-0"	DRAWN BY: NICHOLAS BURNETT
CHECKED BY:	FILE #: 0914

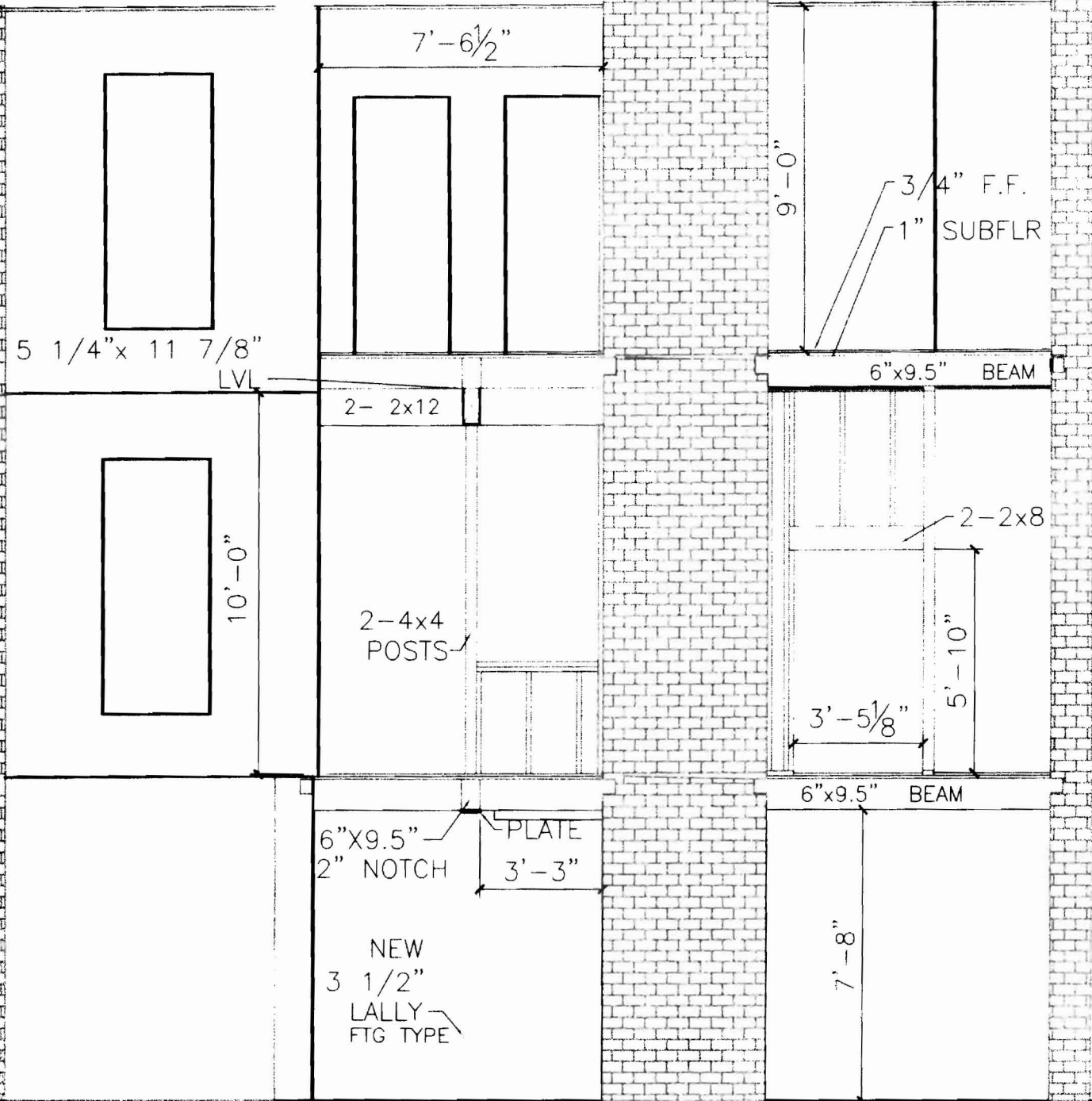
1
6

Eng Bourgeois
9/29/07
1/4" = 1'-0"
Pg. 3

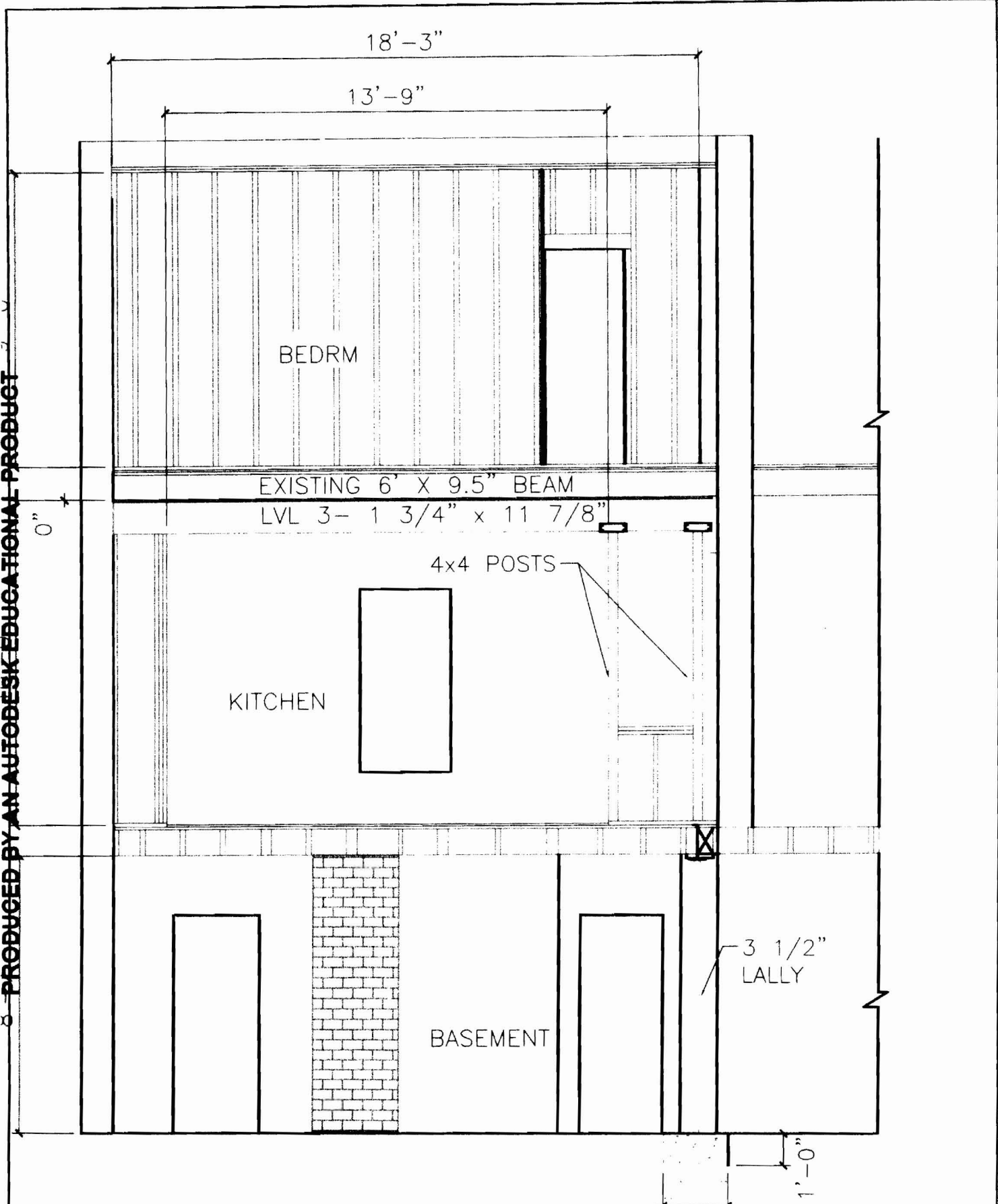


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SECTION A 2'-0"



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3-D Design

3 D Street
 South Portland, ME 04106
 tel. 207.272.4956
 nickb@maine.rr.com

TITLE: SECTION B		4
DATE: 9/29/07	PROJECT: ENGB	
SCALE: 1/4" = 1'-0"	DRAWN BY: BURNETT	6
CHECKED BY: CHECKEDBY	FILE # FILE#	

RUFUS DEERING

DAVID TROUTMAN

21 Sep 2007 11:00 am

383 COMMERCIAL ST, PORTLAND, ME. 04104- (207)772-6505

FASTBeam® Engineering Analysis ©1996-2006 Georgia-Pacific Corporation

Version: 7.0

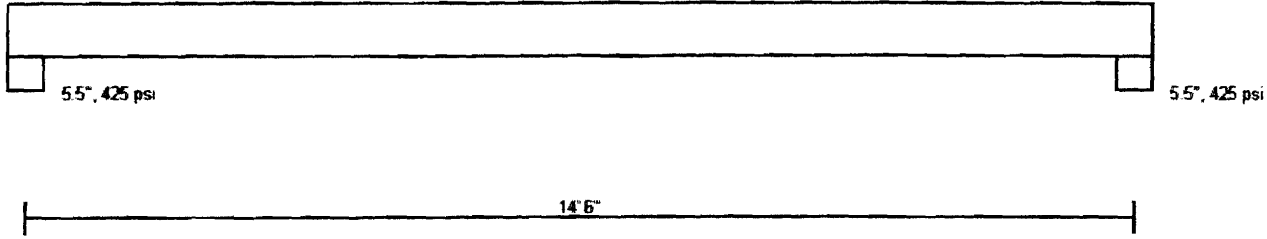
Project :

Mark # : Beam - Floor

Usage : Beam (Floor)

Spacing (in.) : 0.0

Max Defl : LL = L/360 TL = L/240 Composite Action : No



LOADS

Project Design Loads : Floor: Live=40 psf, Dead=10 psf;

#	Shape	Live+Dead Ld(T)		Live Ld(L)		LDF	Location*		Additional Info	
		@Start	@End	@Start	@End		Span#	Starts		Ends
1	Span Carried(psf)	50		40		100%	0	0' 0"	14' 6"	11' 3"+12' 8" s.c. -
	Uniform(plf)	16		0		0	0	14' 6"		Self Weight

*Dimensions measured from left end when span# is 0, otherwise, from left end of the specified span.

SUPPORTS(lbs)

	1	2	
Max R'n	5504	5504	
Max 100%	4306	4306	
Min R'n	1198	1198	
Min 100%	4306	4306	
DL R'n	1198	1198	
Min Brg(in.)	2.47	2.47	[Based on bearing stress below]
Brg Str(psi)	425	425	

DESIGN

	Value	Span	X	Group	Allow	LDF	Ratio	
V(lbs)	4579	1	0' 3"	21	11844	100%	0.39	
M(ft-lbs)	19954	1	7' 3"	21	29853	100%	0.67	
LtRn(lbs)	5504	0	0' 0"	21	12272	100%	0.45	See Note #4
RtRn(lbs)	5504	0	14' 6"	21	12272	100%	0.45	See Note #4
LLDefl(in.)	0.43	1	7' 3"	21	0.48		L/403	
TLDefl(in.)	0.55	1	7' 3"	21	0.73		L/315	

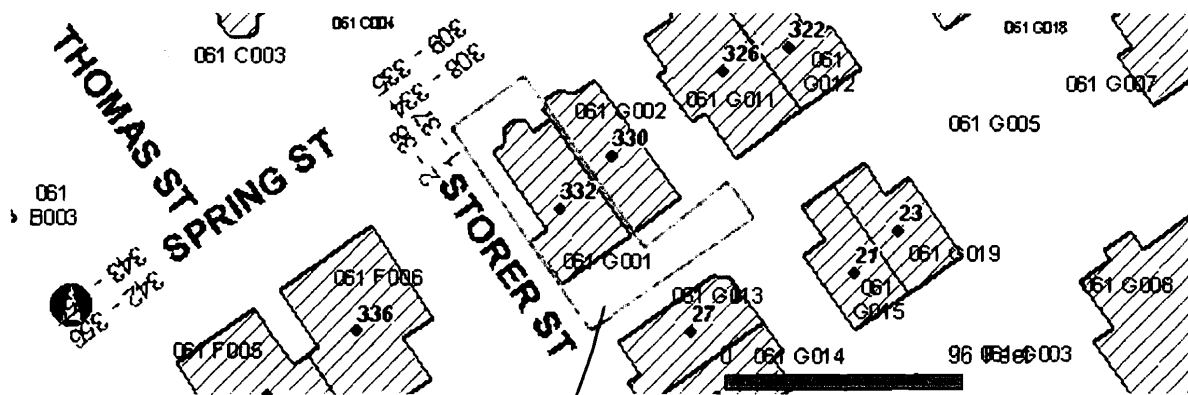
USE: **GPLAM 2.0E 1.75x11.88" 3 Plies**
G-P LAM tm Georgia-Pacific Corp.

Grade selected by User **GLUE LAM**

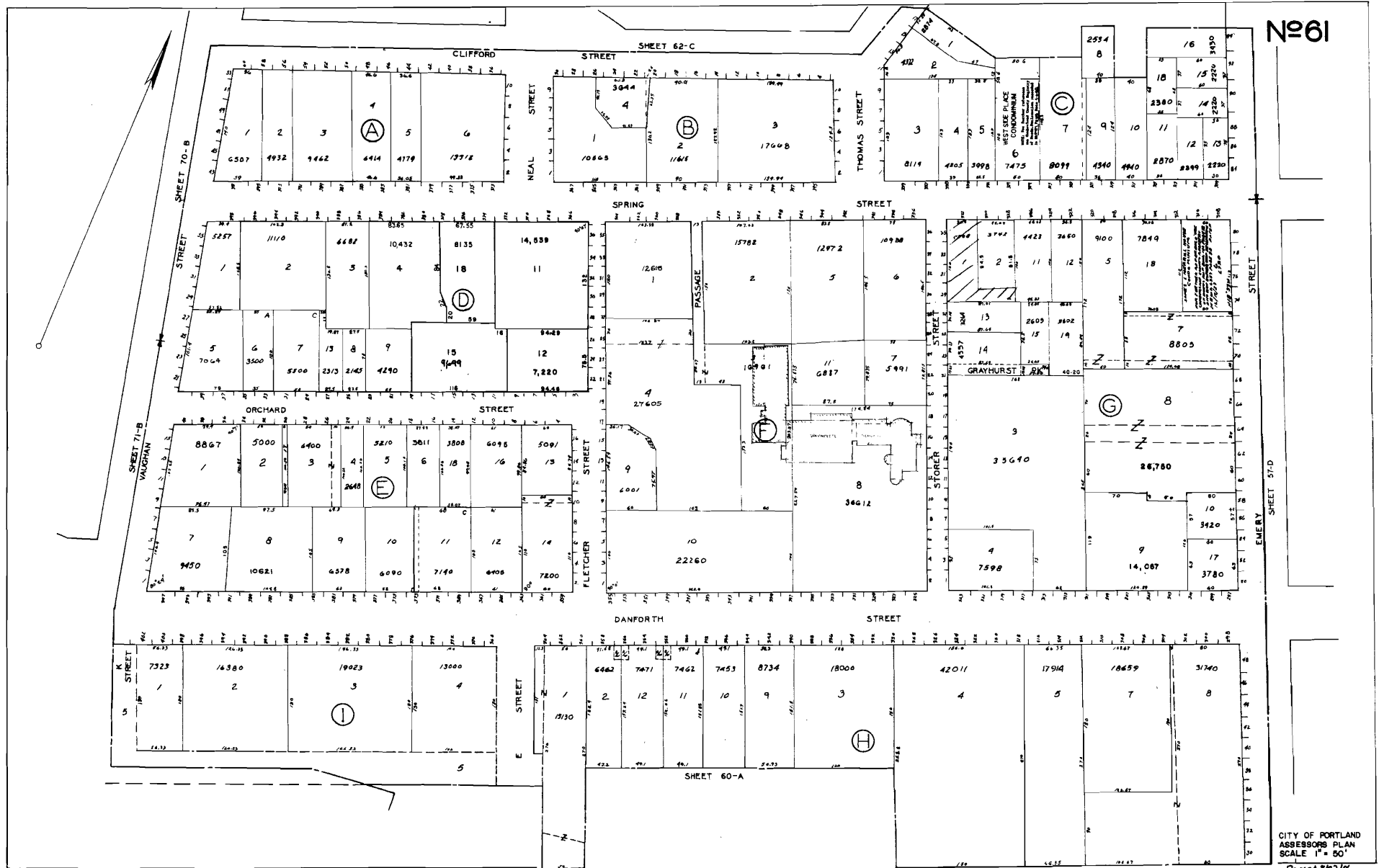
3 @ 16'-0" \$ 225

NOTES :

1. Designed in accordance with National Design Specifications for Wood Construction and applicable Approvals or Research Reports.
2. Provide full depth lateral support at all bearing locations. Allowable positive moment is calculated based on top edge with continuous lateral support.
3. Loads have been input by the user and have not been verified by Georgia-Pacific Corporation.
4. This reaction is based on the combination of loads & duration factors that produces the highest stress ratio and may be less than maximum reaction. Therefore, when reaction values are required, use Max R'n from 'Supports' section above.
5. Bearing length based on design material; support material capacity shall be verified (by others).
6. When required by the building code, a registered design professional or building official should verify the input loads and product application.
7. This engineered lumber product has been sized for residential use. A concentrated load check, per the building code, must be performed for commercial uses.
8. For beams with loads applied equally to the top of all plies, nail plies together with 2 rows of 16d nails @ 12" o/c (one row 2" from top, one row 2" from bottom). Specified attachment is from each side.
9. For beams with loads not applied equally to all plies, refer to Fastening Recommendations for Side-Loaded, Multiple-Piece Members in the GP Engineered Lumber Residential Floor & Roof Systems Product Guide.
10. Design valid for dry-use only (less than 16% moisture content).
11. Company, product or brand names referenced are trademarks or registered trademarks of their respective owners.
12. Load Combinations: 10 = D, 20 = D + 100%, 30 = D + 115%, 40 = D + 125%, 50 = D + 133%, 60 = D + 100% + 115%, 70 = D + 100% + 125%, 80 = D + 100% + 133%, 90 = D + 100% + 115% + 133%/2, 100 = D + 100% + 115%/2 + 133%, 110 = D + Commercial Ld (100%)
13. Group = Load Combination Number + Load Pattern number. (For simple span, Load pattern = 1 for LL, 0 for DL).



WAS Orlando Delogu 'S property



Brian Eng and Renee Bourgeois
33 Storer St (a/k/a 332 Spring St)
Portland, ME 04102
(207) 822-6299

**33 Storer St
(a/k/a 332 Spring St)**

Fax

To: Lannie Dobson	From: Brian Eng
Fax: 874-8716	Pages: 4 including cover
Phone:	Date: 10/19/2007
Re: Evidence of Title for Building Permit	CC:

Urgent **For Review** **Please Comment** **Please Reply** **Please Recycle**

● **Comments:**

Lannie,

As discussed with our contractor, Nick Burnett, attached please find a copy of the deed to our house located at the corner of Spring and Storer St (33 Storer St a/k/a 332 Spring St).

Will you please call me at 822-6299 to confirm that you have received the fax?

Thank you!

Doc#: 25385 Bk:25064 Ps: 121

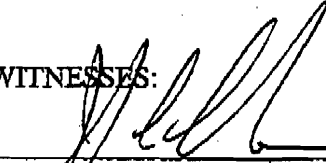
WARRANTY DEED

Orlando E. Delogu and Judith D. Delogu also known as Judith S. Delogu, husband and wife, both with a mailing address of 22 Carroll Street, Unit 8, Portland, Maine 04102 ("Grantors"), FOR CONSIDERATION PAID, grant to Renee L. Bourgeois and Brian D. Eng, husband and wife, both with a mailing address of 300 Beacon Street, Apartment 3, Boston, MA 02116 ("Grantees"), as joint tenants and not as tenants in common, with WARRANTY COVENANTS, the following real property located on Storer Street in Portland, Cumberland County, Maine, more particularly described on Exhibit A attached hereto and made a part hereof, subject to easements, covenants, conditions and restrictions of record to the extent they affect the premises described herein.

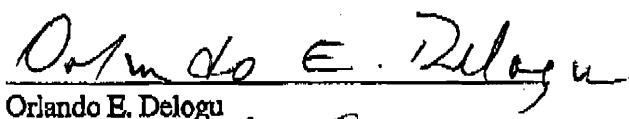
MAINE REAL ESTATE TAX PAID

WITNESS our hands and seals this 2 day of ~~April~~^{May}, 2007.

WITNESSES:



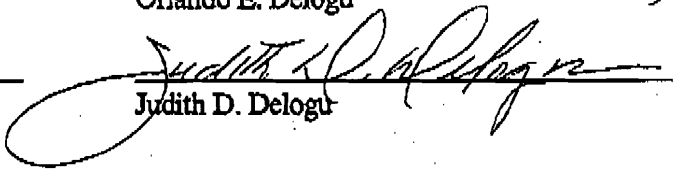
Print Name of Witness:



Orlando E. Delogu



Print Name of Witness:



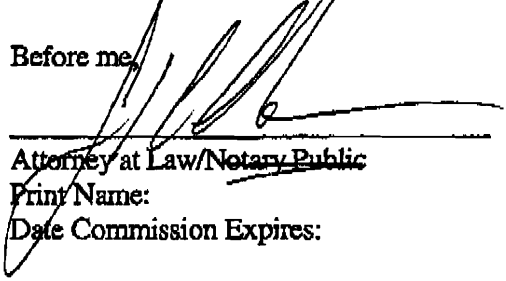
Judith D. Delogu

State of Maine
County of Cumberland, ss.

~~April~~^{May} 2, 2007

PERSONALLY APPEARED the above-named Orlando E. Delogu and Judith D. Delogu as aforesaid, and acknowledged the foregoing instrument to be his/her free act and deed.

Before me,



Attorney at Law/Notary Public

Print Name:

Date Commission Expires:

Joseph C. Chawes
State of Maine
Attorney at Law

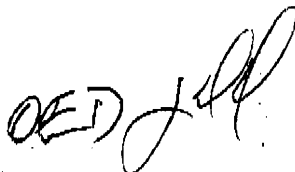
Doc#: 25885 Bk:25064 Pg: 122

EXHIBIT A to Dccd
From Orlando & Judith Delogu to
Renee L. Bourgeois and Brian D. Eng

A certain lot or parcel of land with the buildings thereon situated on the southerly side of Spring Street in the City of Portland, Cumberland County, Maine, bounded and described as follows: Beginning at the corner formed by the intersection of the southerly side of Spring Street with the easterly side of Storer Street, so-called; thence easterly by the southerly side of Spring Street to a point opposite the center of the division wall between the half of the double brick house standing on the premises herein conveyed, and the half of said house standing on the lot next easterly thereto; thence southerly one hundred (100) feet on a line running through the center of said division wall and on said line extended to a point; thence westerly parallel with said southerly line of Spring Street to said easterly side of Storer Street; thence northerly by said easterly side of Storer Street one hundred (100) feet to the point of beginning.

ALSO another certain lot or parcel of land situated southerly of but not adjacent to Spring Street in said City of Portland, bounded and described as follows: Beginning at a point about one hundred six and fifty-nine one hundredths (106.59) feet, more or less, from the easterly face of the easterly plinth of a stone monument set at the intersection of the southerly side of Spring Street and the westerly side of Storer Street; which point is the northwesterly corner of land formerly of Frances D. Fisher, conveyed to her by Alice Storer Lund by deed dated December 9, 1920 and recorded in the Cumberland County Registry of Deeds in Book 1068, Page 147; thence westerly by said southerly side of Spring Street to a point opposite the center of the division wall between the half of the double brick house standing on the premises herein conveyed and the half of said house standing on the lot next westerly thereto; thence southerly at right angles with Spring Street and following through the center of said division wall and continuing on a course in prolongation of said division wall line one hundred (100) feet to the land formerly of Brockway; thence easterly on a line parallel with said Spring Street along the land formerly of said Brockway forty-four and sixty-six one hundredths (44.66) feet, more or less, to said Fisher's southwesterly corner; thence northerly by said Fisher land to the point of beginning.

EXCEPTING from the above-described premises (i) the land and improvements described in deed from Orland E. Delogu et al to John P. Talbot et al dated August 2, 1977 and recorded in said Registry of Deeds in Book 4072, Page 79 to which reference is hereby made for a more particular description, and (ii) the land described in deed from Orlando E. Delogu et al to Leonard M. Keilson et al to be recorded in said Registry of Deeds, said property conveyed to the Keilsons is bounded and described as follows: Beginning at the intersection of the southerly side of Spring Street with the easterly side of Storer Street; thence easterly by the southerly side of Spring Street thirty-six and six tenths (36.6) feet, more or less, to a point opposite the center of the division wall between the half of the double brick house standing on the premises herein conveyed, and the half of said house standing on the lot next easterly thereto; thence southerly and following through the center of said division wall and continuing on a course in prolongation of



Doc#: 25885 Bk:25064 Pg: 123

said division wall eighty-four feet and six inches, more or less, to a point and a stockade fence which point is seven feet southerly from the southerly wall of said double brick house; thence easterly along said fence forty-two feet and six inches, more or less, to land now or formerly of one Fisher; thence southerly along said Fisher land fifteen feet and six inches, more or less, to land now or formerly of one Brockway; thence westerly along said Brockway land eighty-one and twenty-six hundredths (81.26) feet, more or less, to said easterly side of Storer Street; thence northerly by the easterly side of Storer Street one hundred (100) feet, more or less, to the southerly side of Spring Street and the point of beginning.

Reference is hereby made to deed from Charles R. Huntoon, Jr., et al to the Grantors dated February 28, 1967 and recorded in the Cumberland County Registry of Deeds in Book 2987, Page 877 and deed from Loren F. Thorndike et al to the Grantors dated September 30, 1974 and recorded in said Registry of Deeds in Book 3605, Page 152.

Received
Recorded Register of Deeds
May 02, 2007 12:10:44P
Cumberland County
Pamela E. Lovles

DED JRP

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1313	Date Applied For: 10/18/2007	CBL: 061 G001001
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Location of Construction: 332 Spring St	Owner Name: Bourgeons Renee	Owner Address: 33 Storer Street	Phone: 207-775-9890
Business Name:	Contractor Name: 3 D Design / Nicholas Burnett	Contractor Address: 3 D Street South Portland	Phone: (207) 272-0496
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - Remove walls to create open space install support beam	Proposed Project Description: Remove walls to create open space install support beam
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 10/25/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.			
2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			

Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date: 11/06/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) The design load spec sheets for any engineered beam(s) must be submitted to this office.			
2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
3) ANY exterior work requires separate review and approval thru Historic Preservation			
4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			