

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: <b>360 Spring St</b>		Owner: <b>Waynflete School</b>		Phone:		Permit No: <b>960689</b>	
Owner Address:		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: <b>Wright-Ryan</b>		Address: <b>10 Danforth St Fald, ME 04101</b>		Phone: <b>773-3625</b>		<div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b>                  Permit Issued:  <b>JUL 17 1996</b>  <b>CITY OF PORTLAND</b> </div>	
Past Use: <b>School</b>		Proposed Use: <b>School w/addition</b>		COST OF WORK: <b>\$ 244,000.00</b>			
Proposed Project Description:  <b>Construct Addition to Gymnasium</b>  <b>approx 2,200 sq ft</b>		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Signature:		INSPECTION: Use Group: <b>E</b> Type: <b>15</b> <b>BOCA 93</b> Signature: <i>[Signature]</i>		Zoning Approval: <b>004</b> <b>061-T-3</b>	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied  Signature: _____ Date: _____		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm	
Permit Taken By: <b>Mary Greshk</b>		Date Applied For: <b>16 July 1996</b>					

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

*Dumpsters applied for under another permit for interior renovations at 400 Danforth St*

**PERMIT ISSUED WITH LETTER**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT <b>Erin McGuinness</b>	ADDRESS:	DATE: <b>16 July 1996</b>	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:  
 Approved  
 Approved with Conditions  
 Denied

Date: **7/16/96**

**CEO DISTRICT** 3

*A. S. Simpson*

BUILDING PERMIT REPORT

DATE: 23/July/96. ADDRESS: 338 Waynflete

REASON FOR PERMIT: Additions.

BUILDING OWNER: Waynflete

CONTRACTOR: \_\_\_\_\_ APPROVED: 6, 8, \*11 \*12

PERMIT APPLICANT: \_\_\_\_\_ DENIED: \*10 \*13 \*14 \*15 \*16  
\*18

CONDITION OF APPROVAL OR DENIAL

1. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with selfclosers.
5. Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- X 6. The boiler shall be protected by enclosing with one(1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. feet per sprinkler.
7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq. feet.
- X 8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, section 19, 919.3.2(BOCA National Building Code/1993), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)

\* 11. Guardrail & Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

X 12. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024. of the City's building code. (The BOCA National Building Code/1993)

X 13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise. ~~All other Use Group minimum 11" tread, 7" maximum rise.~~

X 14. Headroom in habitable space is a minimum of 7'6".

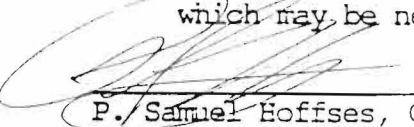
X 15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.

X 16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.

17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

X 18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.

  
P. Samuel Hoffses, Chief of Inspection Services

/el 3/16/95



# APPLICATION FOR CONSTRUCTION PERMIT

STATE FIRE MARSHAL'S OFFICE

#52 Station, State House  
18 Meadow Road  
Augusta, Maine 04333-0052  
Tel: 207-287-3473 Fax: 207-287-5163

NAME OF PROJECT: Weynflete School Gym Addition  
 LOCATION OF PROJECT: 360 Spring Street TOWN Portland  
(street or road)  
Cumberland COUNTY

**BUILDING USE:**

APARTMENTS <input type="checkbox"/>	HOSPITAL <input type="checkbox"/>	ASSEMBLY CLASS <input checked="" type="checkbox"/> A <input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C
HOTEL/MOTEL <input type="checkbox"/>	LIMITED CARE <input type="checkbox"/>	MERCANTILE <input checked="" type="checkbox"/> A <input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C
ROOMING/LODGING <input type="checkbox"/>	NURSING HOME <input type="checkbox"/>	EDUCATIONAL <input checked="" type="checkbox"/>
CONGREGATE HOUSING <input type="checkbox"/>	BOARDING HOME <input type="checkbox"/>	DAY CARE <input type="checkbox"/>
OTHER <input type="checkbox"/>	HOSPICE <input type="checkbox"/>	DETENTION <input type="checkbox"/>
		BUSINESS <input type="checkbox"/>

*DXE*

A NEW BUILDING OR AN ADDITION  A RENOVATION  CHANGE OF USE

SPRINKLER SYS. YES  NO

**CONSTRUCTION TYPE:**

Fire Resistive: Type I (443), (332) <input type="checkbox"/>	Unprotected Ordinary: Type III (200) <input type="checkbox"/>
Protected Noncombustible Type II (222), (111) <input type="checkbox"/>	Heavy Timber: Type IV (2HH) <input type="checkbox"/>
Unprotected Noncombustible: Type II (000) <input checked="" type="checkbox"/>	Protected Wood Frame: Type V (111) <input type="checkbox"/>
Protected Ordinary: Type III (211) <input type="checkbox"/>	Unprotected Wood Frame: Type V (000) <input type="checkbox"/>

OWNER NAME: The Weynflete School  
 LESSEE NAME: \_\_\_\_\_  
 MAILING ADDRESS: 360 Spring Street  
Portland ZIP 04102 TEL # 774-5721

ARCHITECT OR ENGINEER: Scott Simons Architects  
 MAILING ADDRESS: 94 Commercial Street  
Portland ZIP 04101 TEL # 772-4652

MAINE REGISTRATION NUMBER ~~2033~~ #2034

CONTRACTOR: To be bid.  
 MAILING ADDRESS: \_\_\_\_\_  
 ZIP \_\_\_\_\_ TEL # \_\_\_\_\_

APPROXIMATE DATE OF CONSTRUCTION START-UP: June 15, 1996

I hereby certify that I have been authorized by the owner to make this application as his agent and agree to conform to all applicable laws and regulations of this jurisdiction.

SIGNATURE OF APPLICANT: Scott Simons

ESTIMATED PROJECT COST \$175,000.00 FEE: \$150.00



LOG #	DATE PLANS REC'D	REVIEW FEE	FEE REC'D	CHECK #	DATE PERMIT ISS.	PERMIT #
10590	10-3-96	\$150	11-4-96	12919		

DATE: 5/31/96 APPROVED BY: [Signature]  
 DATE: 6/27/96 APPROVED BY: [Signature]  
 PRELIMINARY APPROVAL  APPROVAL LETTER   
 PERMIT  (Use only when permit is not req'd)

B300

REVIEWED FOR  
BARRIER FREE  
COMPLIANCE

**STATE OF MAINE**  
DEPARTMENT OF PUBLIC SAFETY  
OFFICE OF STATE FIRE MARSHAL  
AUGUSTA  
**CONSTRUCTION PERMIT**



Permit No. 7936

PERMISSION IS HEREBY GIVEN TO:

Waynflete  
School  
Scott Simons Architect

Location of project:

Portland  
360 Spring St.

PROJECT TITLE:

Waynflete School  
OCCURANCY CLASSIFICATION:  
Assembly

To construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. No departure from such plans shall be made without prior approval in writing.

This permit will expire at midnight on

Jan 3, 19 97.

This permit is issued under the provisions of Title 25, Chapter 317, Section 2448

Nothing herein shall excuse the holder of this permit for the failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.

Dated the 3RD day of July A.D. 19 96

FEE \$ 200.

Commissioner - Public Safety



DEPARTMENT OF PUBLIC SAFETY  
LICENSING AND INSPECTIONS UNIT  
STATE FIRE MARSHAL'S OFFICE  
ENGINEERING AND INSPECTIONS DIVISIONS

164 STATE HOUSE STATION  
AUGUSTA, MAINE 04333-0164

May 31, 1996

The Waynflete School  
360 Spring Street  
Portland, ME 04102

RE: **Waynflete School Gym Addition**

To whom it may concern:

This **Preliminary Letter of Approval** acknowledges that you have started a file with our office for the intention of obtaining a Construction and Barrier Free Permit.

After reviewing the preliminary plans, I find that the basic concept of your project can be fine-tuned for full compliance with the requirements for Life Safety Code and Barrier Free Construction.

We await your resubmittal of completed plans and specification for final review. This letter is **NOT** final approval, and it is important to note that **CONSTRUCTION SHALL NOT BEGIN UNTIL PERMIT IS ISSUED.**

If I may be of further assistance to you in this matter, please do not hesitate to contact this office.

Yours for better fire protection,

Donna L. Emerson  
Fire Protection Specialist

DIE/psn



397 Water Street, Gardiner, Maine

Telephone: (207) 624-8744  
Fax: (207) 624-8767

REVIEWED FOR  
BARRIER FREE  
**NOT**  
COMPLIANCE

**STATE OF MAINE**  
DEPARTMENT OF PUBLIC SAFETY  
OFFICE OF STATE FIRE MARSHAL  
AUGUSTA  
**CONSTRUCTION PERMIT**



Permit No. 7867

PERMISSION IS HEREBY GIVEN TO:

The Waynflete School  
360 Spring Street  
Portland, Me 04102

Location of project:

360 Spring Street  
Portland

PROJECT TITLE:

Waynflete Lower School Alter.

OCCUPANCY CLASSIFICATION:

Educational

*To construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. No departure from such plans shall be made without prior approval in writing.*

*This permit will expire at midnight on November 30, 19 96.*

*This permit is issued under the provisions of Title 25, Chapter 317, Section 2448*

*Nothing herein shall excuse the holder of this permit for the failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.*

*Dated the 31st day of May A.D. 19 96*

FEE \$ 75.00

SPRINKLED

*Commissioner - Public Safety*

\* With electrical devices per meeting with Architect.



# CITY OF PORTLAND, MAINE

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
389 CONGRESS STREET  
PORTLAND, MAINE 04101  
FAX # (207) 874-8716

DATE: 7/25/94

TIME:

TO: AARON

FAX # 773 5173

COMPANY/BUSINESS:

K/P

FROM: Amy Powers

PHONE # (207)874-8300

EXT 8707

DIVISION: Inspections

TOTAL # OF PAGES INCLUDING COVER SHEET: 3

MESSAGE:

PVI - Reg. # Co Requires a  
Professional Testing Agency to  
conduct field test samples  
on conc. , etc. . .



# PLUMBING APPLICATION

Department of Human Services  
Division of Health Engineering  
(207) 289-3826

## PROPERTY ADDRESS

Town Or  
Plantation

Portland, ME

Street  
Subdivision Lot #

360 Spring St. Gymnasium

## PROPERTY OWNERS NAME

WAYNFLETE SCHOOL

Last:

First:

Applicant  
Name:

AIRTEMP

Mailing Address of  
Owner/Applicant  
(If Different)

11 WALLACE AVE.  
S. PORTLAND, ME 04106

## Owner/Applicant Statement:

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is a violation of the Local Plumbing Inspector to apply a fine.

Signature of Owner/Applicant

Date

## Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

DATE TIME PERMIT # STATE COPY

Date Permit Issued: 8/1/96 \$ 32 FEE  If Double Fee Charged

L.P.I. # 0124

Local Plumbing Inspector Signature

## PERMIT INFORMATION

### This Application is for

1.  NEW PLUMBING
2.  RELOCATED PLUMBING

### Type Of Structure To Be Served:

1.  SINGLE FAMILY DWELLING
2.  MODULAR OR MOBILE HOME
3.  MULTIPLE FAMILY DWELLING
4.  OTHER — SPECIFY SCHOOL

### Plumbing To Be Installed By:

1.  MASTER PLUMBER
2.  OIL BURNERMAN
3.  MFG'D. HOUSING DEALER / MECHANIC
4.  PUBLIC UTILITY EMPLOYEE
5.  PROPERTY OWNER

LICENSE # 105685

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebibb / Silcock		Bathtub (and Shower)
	2	Floor Drain		Shower (Separate)
OR		Urinal		Sink
		Drinking Fountain	4	Wash Basin
HOOK-UP: to an existing subsurface wastewater disposal system.		Indirect Waste		Water Closet (Toilet)
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
Number of Hook-Ups & Relocations		Dental Cuspidor		Garbage Disposal
\$ Hook-Up & Relocation Fee		Bidet	1	Laundry Tub
		Other: _____	1	Water Heater
OR		Fixtures (Subtotal) Column 2	6	Fixtures (Subtotal) Column 1
	TRANSFER FEE [\$6.00]		2	Fixtures (Subtotal) Column 2
			8	Total Fixtures
			\$ 32	Fixture Fee
			\$ —	Transfer Fee
			\$ —	Hook-Up & Relocation Fee
			\$ 32	Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

## CITY OF PORTLAND

17 July 1996

Wright- Ryan  
10 Danforth St.  
Portland, Me. 04101

RE: 360 Spring St.

Dear Sir,

Your application to construct a 2200 sq. ft. addition to gymnasium has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

### Site Plan Review Requirements

Building Inspection : Approved M. Schmuckal

Planning : Approved with conditions ( see attached conditions from J. Seymour ) D. Andrews

Fire Dept. Approved: Lt. McDougall

Development Review Coordinator : Please see attached conditions as noted in memo to Deb Andrews dated 7/12/96. Prior to Occupancy Certificates being released the entrance / exit loop shall be reviewed and repaired as determined by the Dev. Rev. Coord. . Following construction the catch basin the South corner of the playground area shall be cleaned of sediment and debris.


### Building and Fire Code Requirements

1. Before concrete for the foundation is placed, approvals from the Dev. Rev. Coord. and Inspection Services must be obtained. ( A 24 hour notice is required prior to inspection ).
2. The sprinkler system shall be maintained to NFPA # 13 standards.
3. The fire alarm system shall be maintained to NFPA # 72 standards.

4. Portable fire extinguishers shall be provided in accordance with NFPA# 10.
5. A fire alarm acceptance report shall be submitted to the Portland Fire Dept..
6. A Special Inspector is required as per Chapter 17 section 1705.0 of the city's building code. *outside inspector to be hired*
7. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsection 1023 & 1024. 0 of the city's building code ( The BOCA National Building Code / 93 ).

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

  
P. Samuel Hoffses  
Chief of Inspection Services

cc: Lt. McDougall PFD  
M. Schmuckal  
D. Andrews  
J. Seymour

COMMENTS

7/25/98 Inspector yields nothing pointed without notification and they have not hired a professional testing company.  
I informed Aaron (Proj. Mgr) that she was to contract a prof. Co. to do tests on concrete. per the prod. walls. Faxed requirements to WFL office.  
7/29/98 Form being put up per wall pour, explained Aaron that the alarm systems should be on a delay w/ sec. co. and fire dept.  
8/7/98 End. walls poured, forms stripped and waterproofing applied. Have mentioned the Bldg. drain should be checked for verification as to where it flows - They have not clipped any piping - so should not be a problem.  
8/3/98 Undergrnd plumbing inspection.

Inspection Record

Type	Date
Foundation:	
Framing:	
Plumbing:	
Final:	
Other:	

AH 3a

# The Waynflete School: Addition to Gymnasium

360 Spring Street  
Portland, Maine 04102

## ARCHITECTS

Scott Simons  
Scott Simons Architects  
The Community Architecture Project  
94 Commercial Street  
Portland, Maine 04101  
207-772-4656

Austin Smith, Project Architect

## STRUCTURAL CONSULTANT

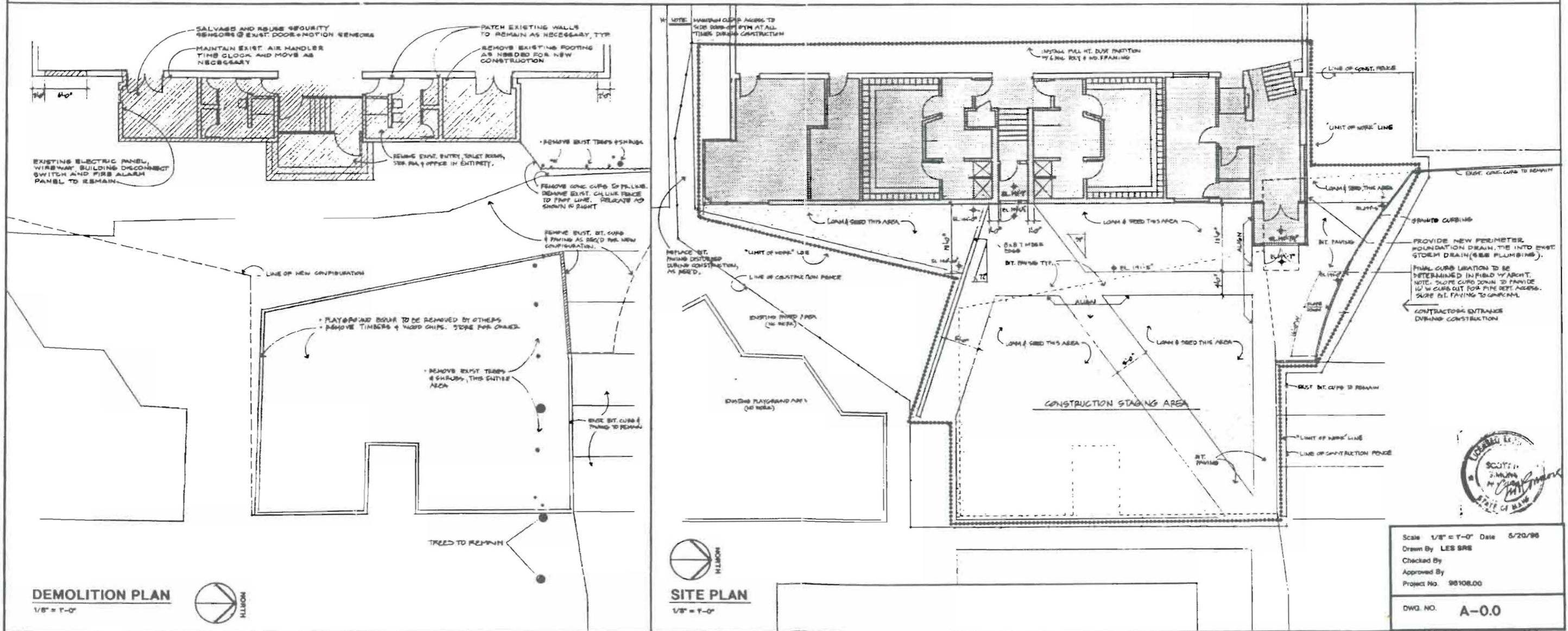
David J. Tetreault, P.E.  
Structural Design Consultants, Inc.  
145 Newbury Street  
Portland, Maine 04101  
207-775-4354

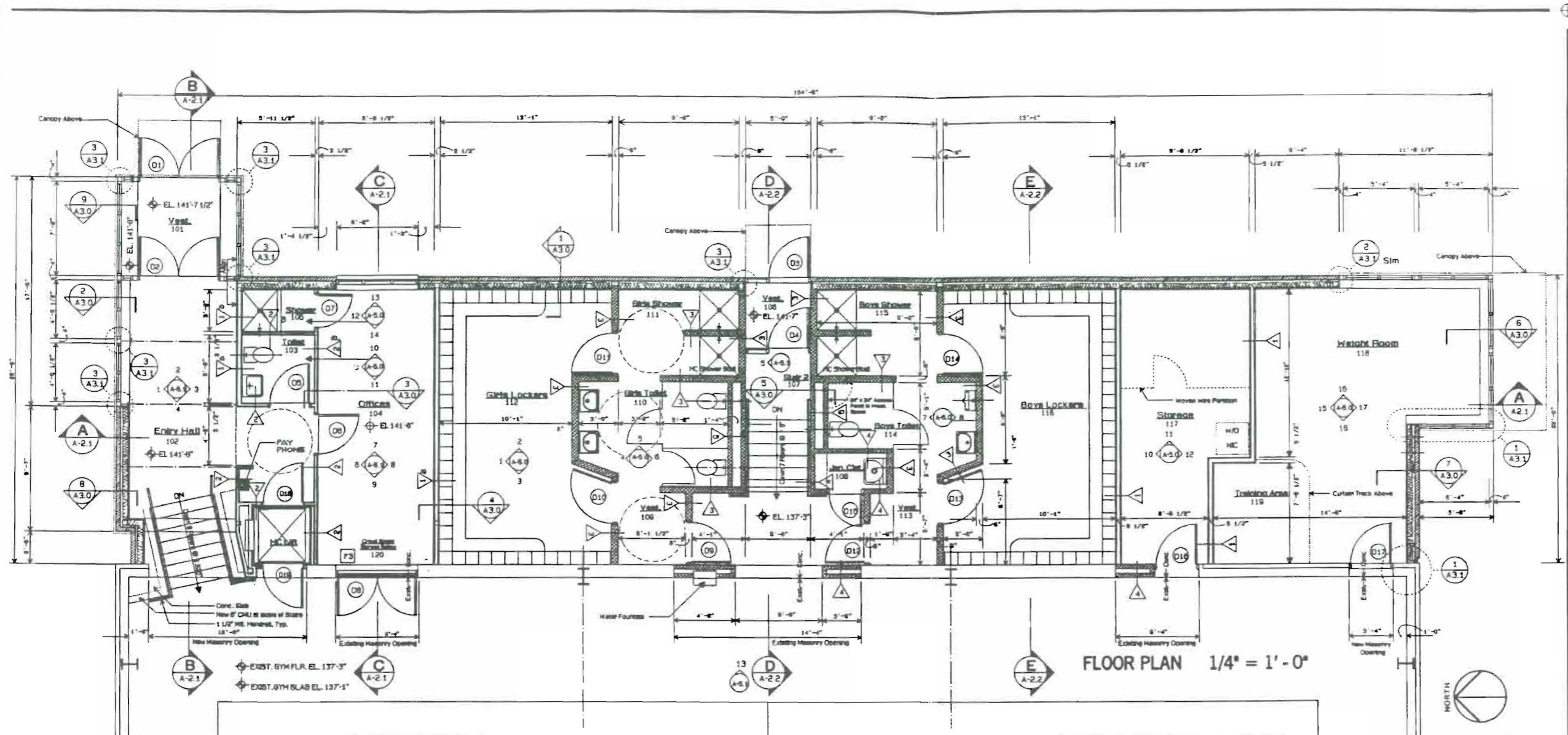
## MECHANICAL and ELECTRICAL CONSULTANT

William S. Bennett  
Bennett Engineering  
Bennett Road  
PO Box 297  
Freeport, Maine 04032  
207-865-1800

## LIST OF DRAWINGS

- A-0.0 SITE PLAN
- DEMOLITION PLAN
- A-1.0 FLOOR PLAN
- ROOF PLAN
- WALL TYPES
- A-1.1 REFLECTED CEILING PLAN
- FINISH SCHEDULE
- DOOR SCHEDULE
- A-2.0 EXTERIOR ELEVATIONS
- A-2.1 BUILDING SECTION
- A-2.2 BUILDING SECTIONS
- A-3.0 WALL SECTIONS
- A-3.1 PLAN DETAILS
- SECTION DETAILS
- A-5.0 INTERIOR ELEVATIONS
- A-5.1 INTERIOR ELEVATIONS
- S-1.0 FOUNDATION PLAN
- S-2.0 ROOF FRAMING PLAN
- S-3.0 CONCRETE SECTIONS
- CONCRETE DETAILS
- S-4.0 STEEL SECTIONS
- E-1.0 ELECTRICAL LIGHTING PLAN
- E-2.0 ELECTRICAL POWER PLAN
- M-1.0 HEATING & VENTILATING PLAN
- P-1.0 SANITARY & STORM DRAIN PLAN
- P-2.0 WATER DISTRIBUTION PLAN





FLOOR PLAN 1/4" = 1'-0"

GYM ADDITION THE WAYNFLOTE SCHOOL  
SCHEDULE OF MATERIALS

- A. CAST IN PLACE CONCRETE
- B. CONCRETE SLAB
- C. CONCRETE MASONRY UNIT
- D. FACE BRICK
- EJ. STRUCTURAL STEEL
- E2. STEEL DECK
- F. METAL STUDS
- G. LIGHTGAUGE METAL FRAMING
- H. FURRING CHANNELS
- I. GYPSUM SHEATHING
- J. HM FRAME
- K. FTD STEEL HANDRAIL
- L. VENEER PLYWOOD
- M. WOOD BLOCKING
- N. WOOD DOOR
- O1. WOOD TRIM
- O2. WOOD SIDING
- P. WOOD SOFFIT
- Q. BUILDING PAPER
- R. DAMPROOFING
- S. RIGID INSULATION
- T. TAPERED INSULATION
- U. FIBERGLASS BATT INSULATION
- V. VAPOUR BARRIER
- W. SOUND ATTENUATION BLANKET
- X. ADHERED ELASTOMERIC SHEET ROOFING
- Y. FLASHING & SHEET METAL
- Z. BACKER ROD AND SEALANT
- AA. ALUMINUM WINDOW
- BB. ALUMINUM TRIM
- CC. INSULATED GLASS
- DD. ACCESS PANEL
- EE. GYPSUM DRYWALL
- FF. WOODERBOARD
- GG. SUSPENDED ACOUSTICAL TILE CEILING
- HH. SUSPENDED GYPSUM CEILING
- II. VINYL COMPOSITION TILE
- JJ. VINYL BASE
- KK. VINYL ENTRANCE MAT
- LL. CARPET
- MM. PAINTED FINISH
- NN. CLEAR FINISH
- OO. CERAMIC TILE
- PP. WIRE MESH PARTITION
- QQ. TOILET PARTITION
- RR. MIRROR
- SS. GRAB BARS
- TT. TP HOLDER
- UU. PAPER TOWEL HOLDER
- VV. METAL LOCKERS

Scott Simons Architects  
The Community Architecture Project  
94 Commercial Street  
Portland, Maine 04101  
207-772-4656  
207-828-4656 FAX

No	Description	Date
REVISIONS		

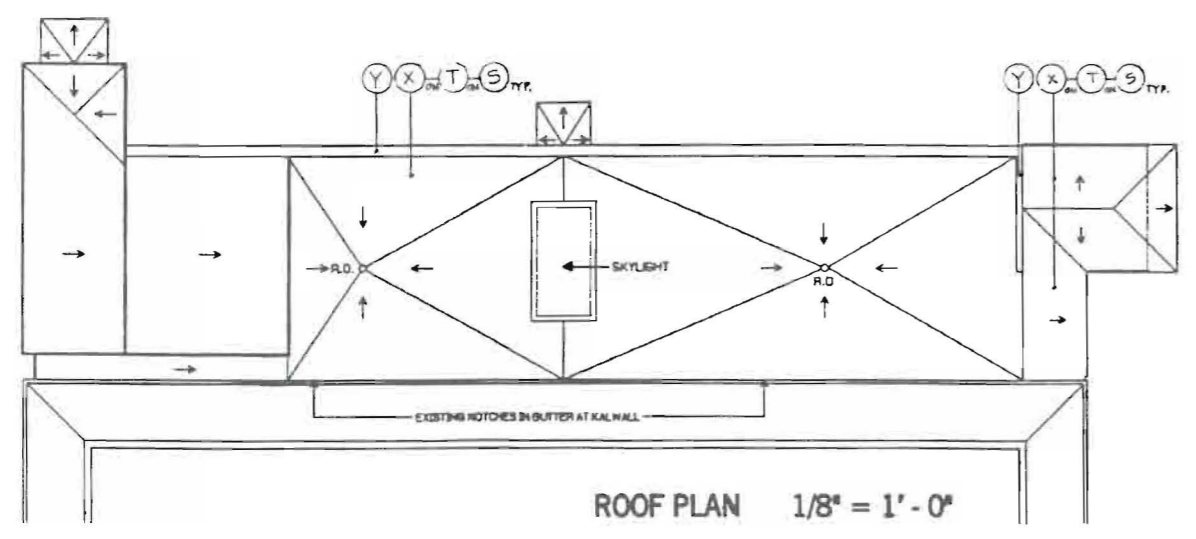


Addition to Gymnasium  
The Waynflote School  
360 Spring Street, Portland, Maine 04102

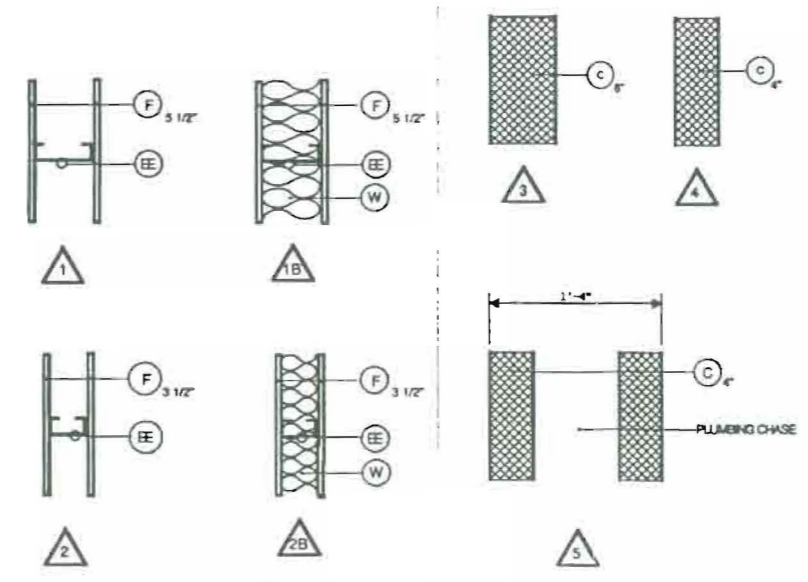
TITLE  
**FLOOR PLAN  
ROOF PLAN**

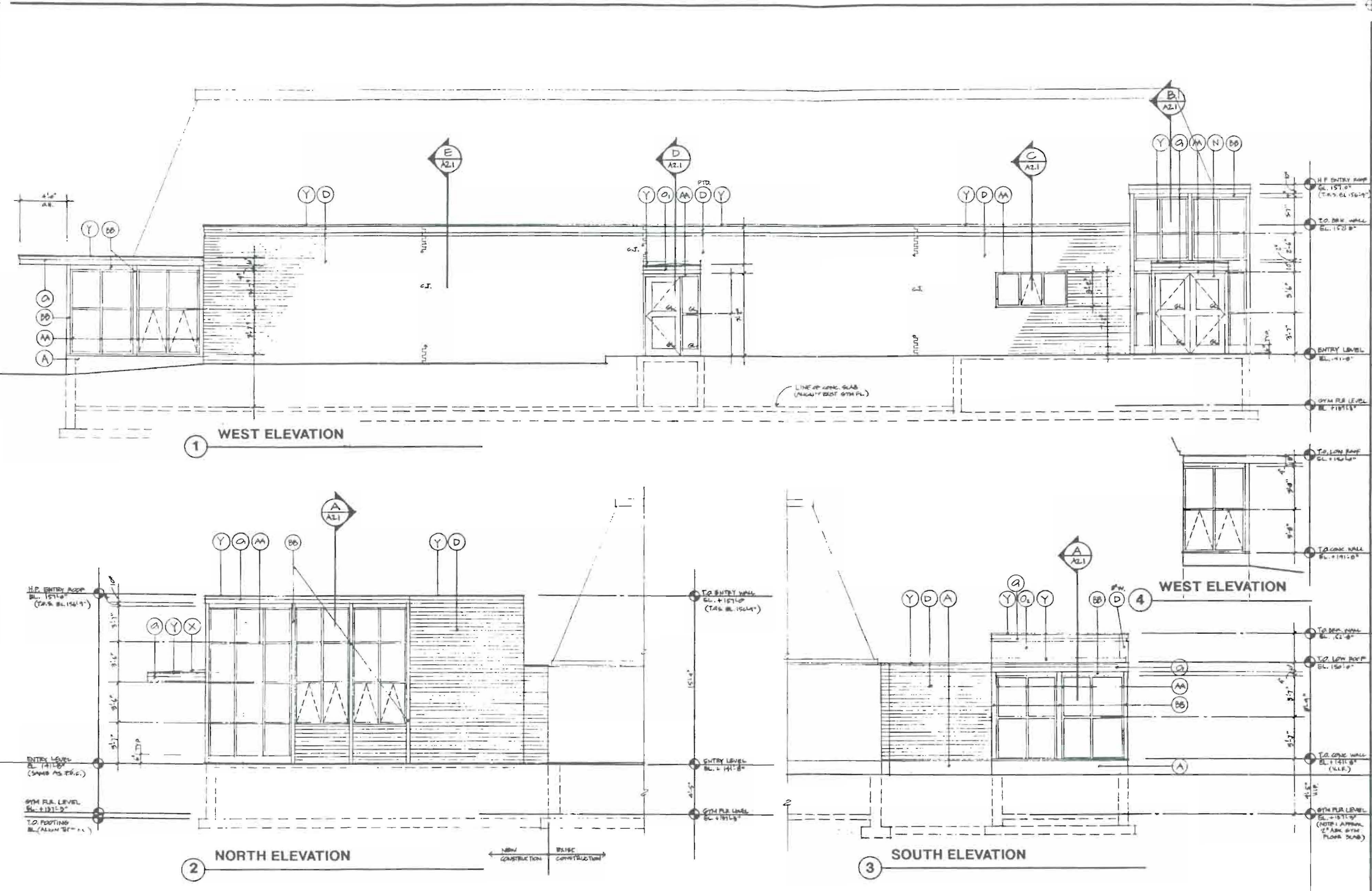
Scale VARIES Date 8/20/98  
Drawn By AKB  
Checked By  
Approved By  
Project No. 96106.00

DWG. NO. **A-1.0**



ROOF PLAN 1/8" = 1'-0"





GYM ADDITION THE WAYNFLETE SCHOOL  
SCHEDULE OF MATERIALS

- A CAST IN PLACE CONCRETE
- B CONCRETE SLAB
- C CONCRETE MASONRY UNIT
- D FACE BRICK
- E1 STRUCTURAL STEEL
- E2 STEEL DECK
- F METAL STUDS
- G LIGHTGAUGE METAL FRAMING
- H PERFORM CHANNELS
- I GYPSUM SHEATHING
- J ICM FRAME
- K PTD STEEL HANDRAIL
- L VENEER PLYWOOD
- M WOOD BLOCKING
- N WOOD DOOR
- O1 WOOD TRIM
- O2 WOOD SIDING
- P WOOD SOFFIT
- Q BUILDING PAPER
- R DAMPROOFING
- S RIGID INSULATION
- T TAPERED INSULATION
- U PIRINGGLASS BATT INSULATION
- V VAPOR BARRIER
- W SOUND ATTENUATION BLANKET
- X ADHERED ELASTOMERIC SHEET ROOFING
- Y FLASHING & SHEET METAL
- Z BACKER ROD AND SEALANT
- AA ALUMINUM WINDOW
- BB ALUMINUM TRIM
- CC INSULATED GLASS
- DD ACCESS PANEL
- EE GYPSUM DRYWALL
- FF WOODSHEATHING
- GG SUSPENDED ACOUSTICAL TILE CEILING
- HH SUSPENDED GYPSUM CEILING
- I VINYL COMPOSITION TILE
- J VINYL BASE
- KK VINYL ENTRANCE MAT
- LL CARPET
- MM PAINTED FINISH
- NN CLEAR FINISH
- OO CERAMIC TILE
- PP WIRE MESH PARTITION
- QQ TOILET PARTITION
- RR MIRROR
- SS GRAB BARS
- TT TP HOLDER
- UU PAPER TOWEL HOLDER
- VV METAL LOCKERS

Scott Simons Architects  
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No	Description	Date
REVISIONS		

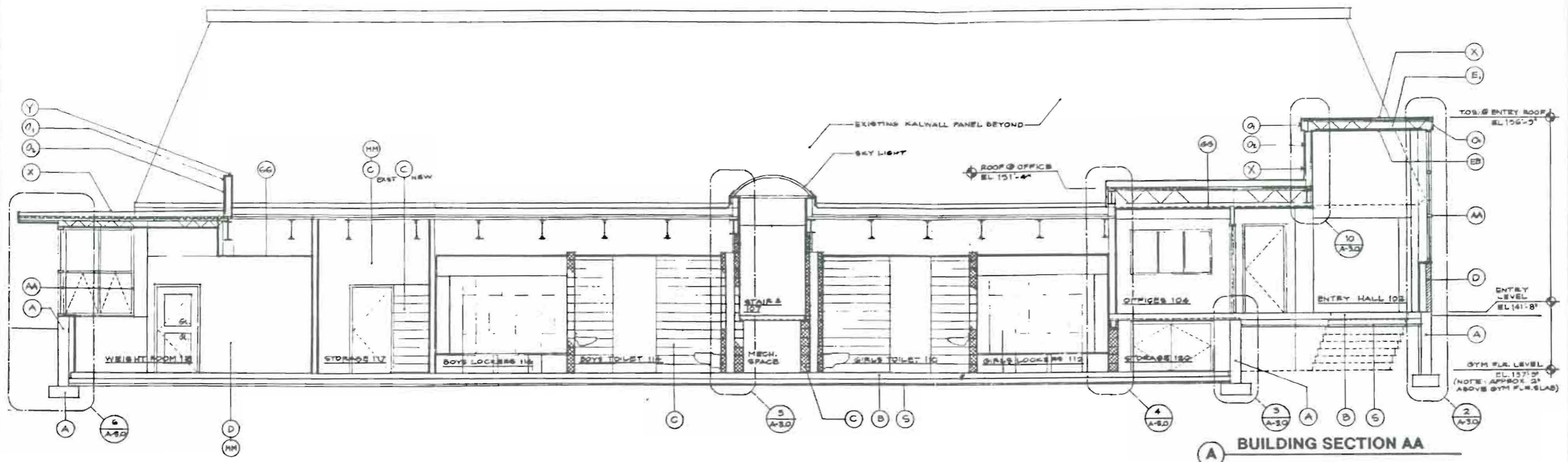


Addition to Gymnasium  
The Waynflete School  
360 Spring Street, Portland, Maine 04102

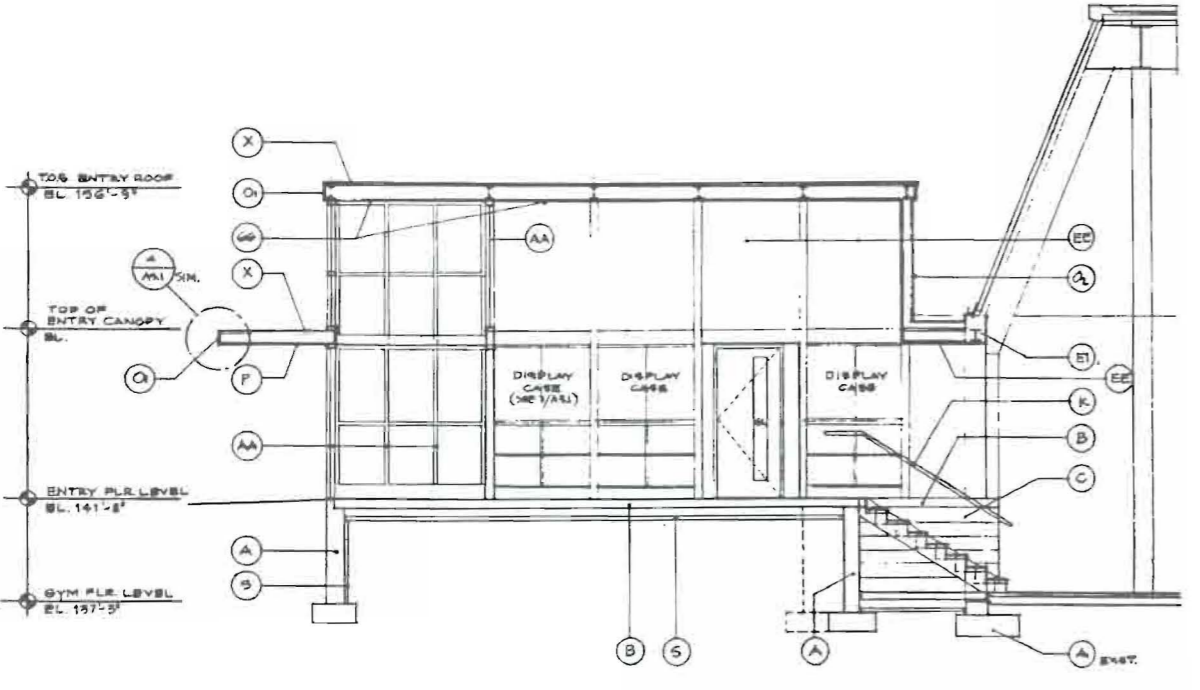
TITLE  
**EXTERIOR ELEVATIONS**

Scale 1/4" = 1'-0" Date 5/20/98  
Drawn By AKS  
Checked By  
Approved By  
Project No. 95108.00

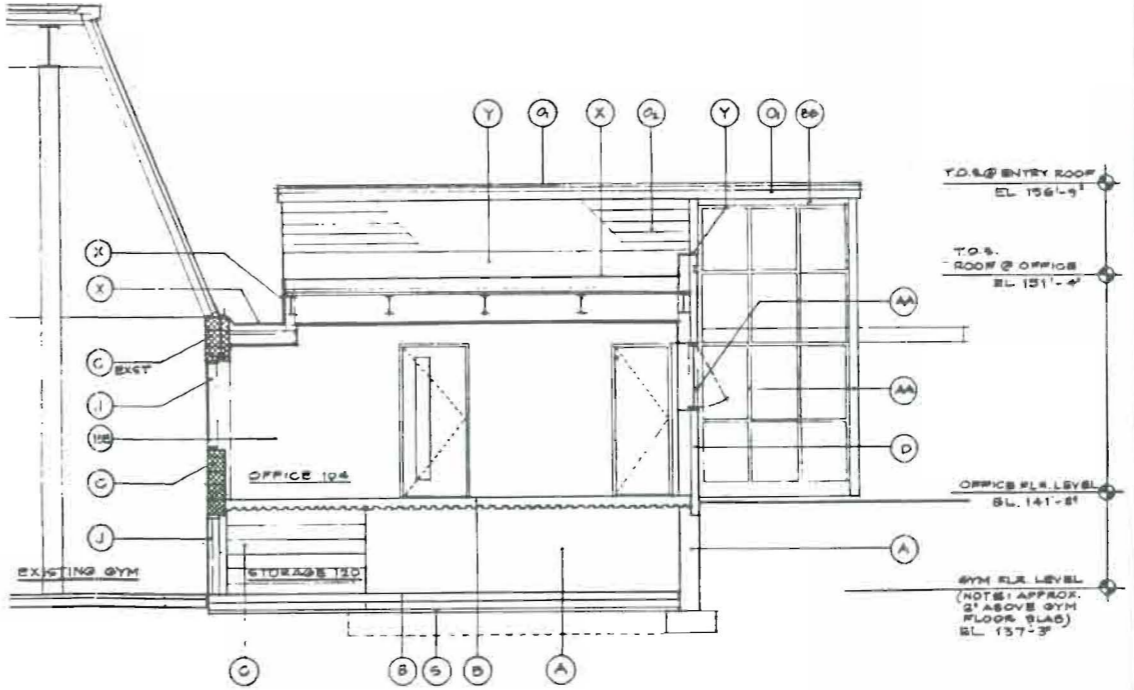
DWG NO. **A-2.0**



**(A) BUILDING SECTION AA**



**(B) BUILDING SECTION BB**



**(C) BUILDING SECTION CC**

GYM ADDITION THE WAYNFLETE SCHOOL  
SCHEDULE OF MATERIALS

A	CAST IN PLACE CONCRETE
B	CONCRETE SLAB
C	CONCRETE MASONRY UNIT
D	FACE BRICK
E1	STRUCTURAL STEEL
E2	STEEL DECK
F	METAL STUDS
G	LIGHTGAUGE METAL FRAMING
H	PURRING CHANNELS
I	GYPSUM SHEATHING
J	HM FRAME
K	PTD STEEL HANDRAIL
L	VENER PLYWOOD
M	WOOD BLOCKING
N	WOOD TRIM
O1	WOOD DOOR
O2	WOOD SIDING
P	WOOD SOFFIT
Q	BUILDING PAPER
R	DAMP PROOFING
S	RIGID INSULATION
T	TAPERED INSULATION
U	FIBERGLASS BATT INSULATION
V	VAPOR BARRIER
W	SOUND ATTENUATION BLANKET
X	ADHERED ELASTOMERIC SHEET ROOFING
Y	FLASHING & SHEET METAL
Z	BACKER ROD AND SEALANT
AA	ALUMINUM WINDOW
BB	ALUMINUM TRIM
CC	INSULATED GLASS
DD	ACCESS PANEL
EE	GYPSUM DRYWALL
FF	WONDERBOARD
GG	SUSPENDED ACOUSTICAL TILE CEILING
HH	SUSPENDED GYPSUM CEILING
II	VINYL COMPOSITION TILE
JJ	VINYL BASE
KK	VINYL ENTRANCE MAT
LL	CARPET
MM	PAINTED FINISH
NN	CLEAR FINISH
OO	CERAMIC TILE
PP	WIRE MESH PARTITION
QQ	TOILET PARTITION
RR	MIRROR
SS	GRAB BARS
TT	TP HOLDER
UU	PAPER TOWEL HOLDER
VV	METAL LOCKERS

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REVISIONS		



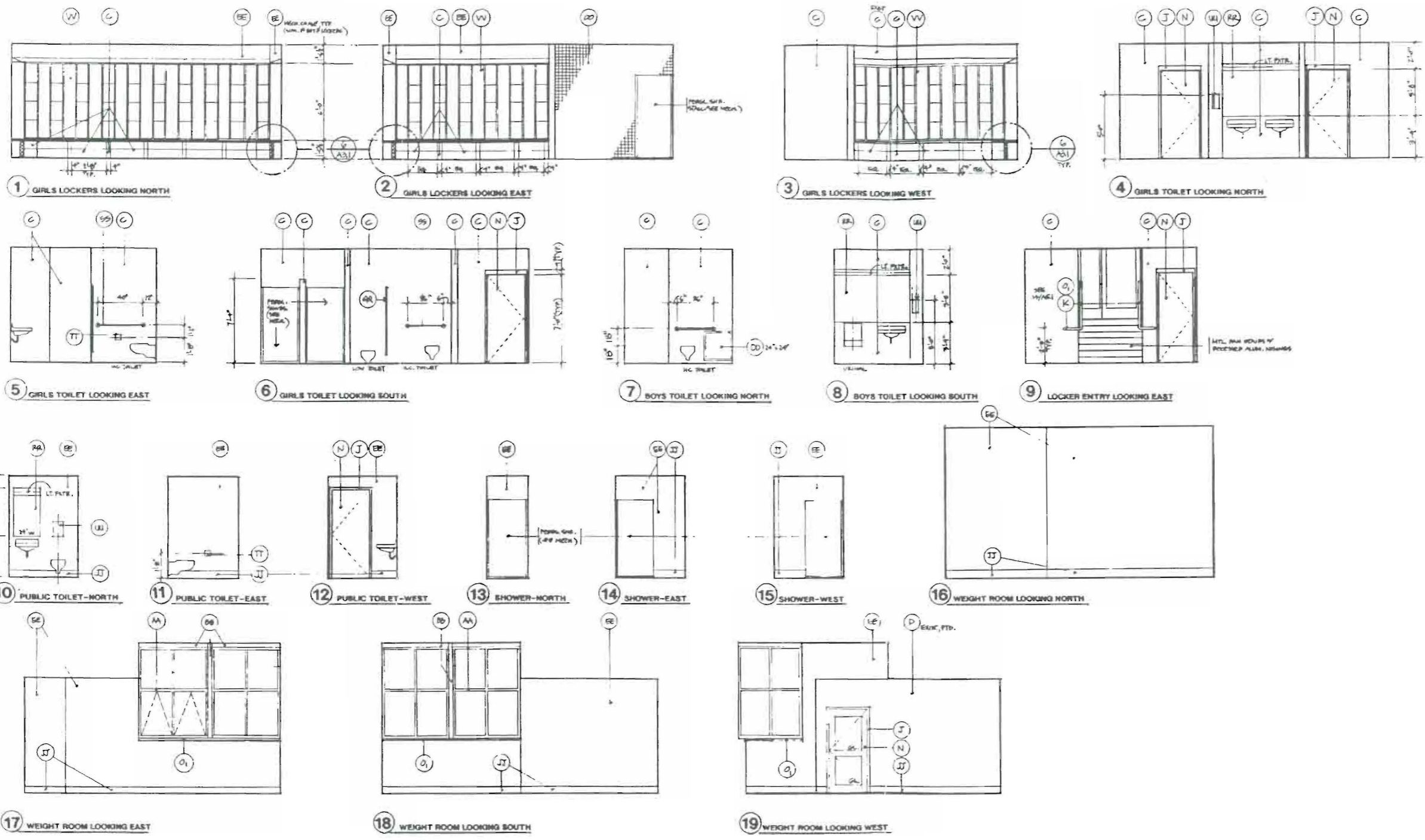
Addition to Gymnasium  
The Waynflete School  
360 Spring Street, Portland, Maine 04102

TITLE:  
**BUILDING SECTIONS**

Scale 1/4" = 1'-0" Date 6/20/98  
Drawn By AKS  
Checked By  
Approved By  
Project No. 98108.00

DWG NO. **A-2.1**





GYM ADDITION THE WAYNFLETE SCHOOL  
 SCHEDULE OF MATERIALS

A	CAST IN PLACE CONCRETE
B	CONCRETE SLAB
C	CONCRETE MASONRY UNIT
D	FACE BRICK
E1	STRUCTURAL STEEL
E2	STEEL DECK
F	METAL STUDS
G	LIGHTGAGE METAL FRAMING
H	FURRING CHANNELS
I	GYPSUM SHEATHING
J	HM FRAME
K	PTD STEEL HANDRAIL
L	VENEER PLYWOOD
M	WOOD BLOCKING
N	WOOD DOOR
O1	WOOD TRIM
O2	WOOD SIDING
P	WOOD SOFFIT
Q	BUILDING PAPER
R	DAMP PROOFING
S	ROOF INSULATION
T	TAPERED INSULATION
U	FIBERGLASS BATT INSULATION
V	VAPOR BARRIER
W	SOUND ATTENUATION BLANKET
X	ADHERED ELASTOMERIC SHEET ROOFING
Y	FLASHING & SHEET METAL
Z	BACKER ROD AND SEALANT
AA	ALUMINUM WINDOW
BB	ALUMINUM TRIM
CC	INSULATED GLASS
DD	ACCESS PANEL
EE	GYPSUM DRYWALL
FF	WONDERBOARD
GG	SUSPENDED ACOUSTICAL TILE CEILING
HH	SUSPENDED GYPSUM CEILING
II	VINYL COMPOSITION TILE
JJ	VINYL BASE
KK	VINYL ENTRANCE MAT
LL	CHAIRSET
MM	PAINTED FINISH
NN	CLEAR FINISH
OO	CERAMIC TILE
PP	WIRE MESH PARTITION
QQ	TOILET PARTITION
RR	MIRROR
SS	GRAB BARS
TT	TP HOLDER
UU	PAPER TOWEL HOLDER
VV	METAL LOCKERS

Scott Simons Architects  
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No	Description	Date
REVISIONS		

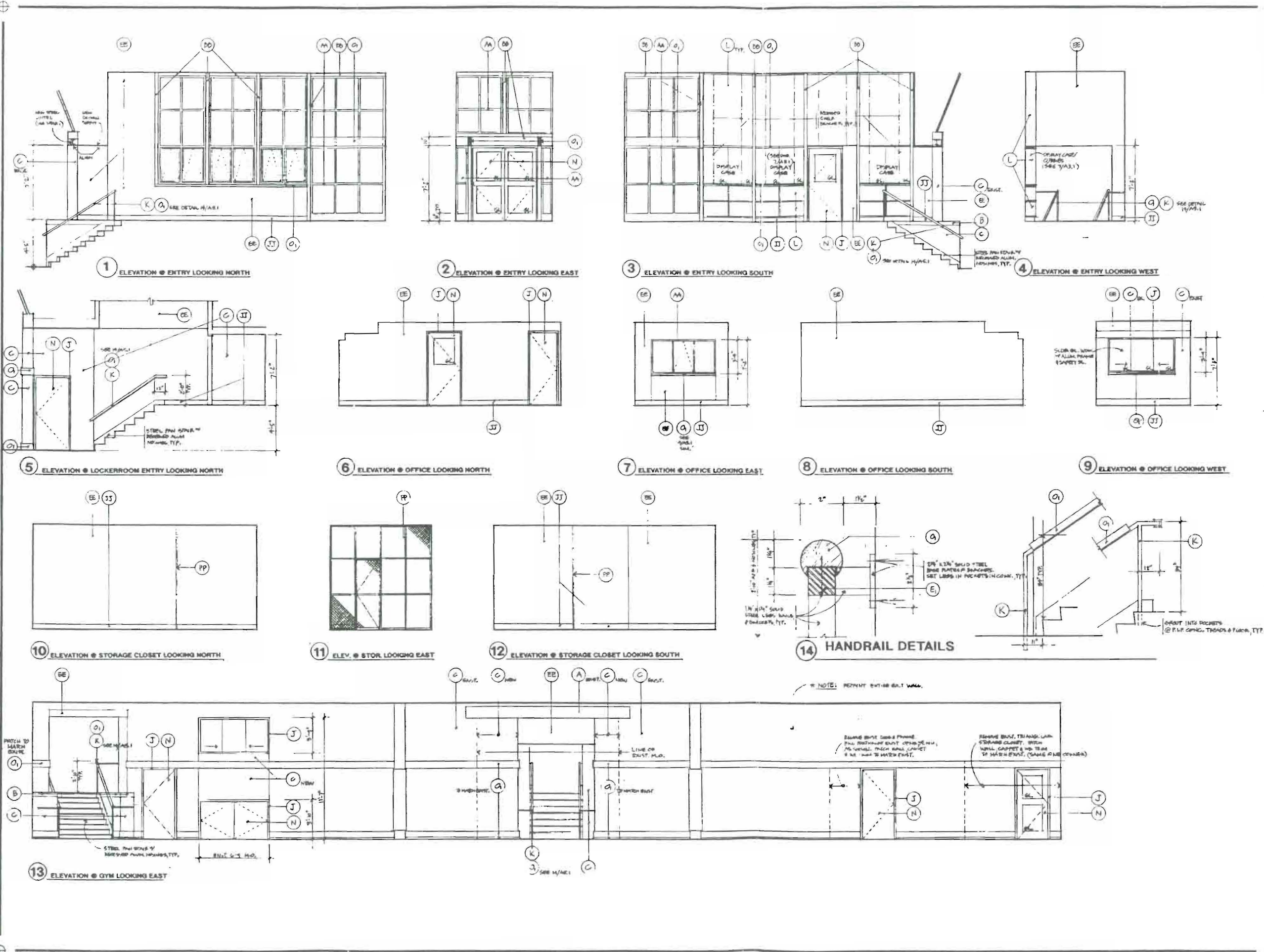


Addition to Gymnasium  
 The Waynflete School  
 360 Spring Street, Portland, Maine 04102

TITLE:  
**INTERIOR ELEVATIONS**

Scale 1/4"=1'-0" Date 5/20/95  
 Drawn By LES  
 Checked By  
 Approved By  
 Project No 96108.00

DWG. NO. **A-5.0**



GYM ADDITION THE WAYNLETS SCHOOL  
SCHEDULE OF MATERIALS

A	CAST IN PLACE CONCRETE
B	CONCRETE SLAB
C	STRUCTURAL MASONRY UNIT
D	FACE BRICK
E	STRUCTURAL STEEL
F	STEEL DECK
G	METAL STUDS
H	LIGHTGAUGE METAL FRAMING
I	PURLING CHANNELS
J	GYPSTUM SHEATHING
K	HM FRAME
L	PTD STEEL HANDRAIL
M	VENEER PLYWOOD
N	WOOD BLOCKING
O	WOOD DOOR
P	WOOD TRIM
Q	WOOD SIDING
R	WOOD SOFFIT
S	BUILDING PAPER
T	DAMP PROOFING
U	ROCK INSULATION
V	TAPERED INSULATION
W	FIBERGLASS BATT INSULATION
X	VAPOR BARRIER
Y	SOUND ATTENUATION BLANKET
Z	ADHERED ELASTOMERIC SHEET ROOFING
AA	FLASHING & SHEET METAL
AB	BACKER ROD AND SEALANT
AC	ALUMINUM WINDOW
AD	ALUMINUM TRIM
AE	INSULATED GLASS
AF	ACCESS PANEL
AG	GYPSTUM DRYWALL
AH	WONDERBOARD
AI	SUSPENDED ACOUSTICAL TILE CEILING
AJ	SUSPENDED GYPSTUM CEILING
AK	VINYL COMPOSITION TILE
AL	VINYL BASE
AM	EX VINYL ENTRANCE MAT
AN	CARPET
AO	PAINTED FINISH
AP	CLEAR FINISH
AQ	CERAMIC TILE
AR	WIRE MESH PARTITION
AS	TOILET PARTITION
AT	MIRROR
AU	GRAB BARS
AV	TP HOLDER
AW	PAPER TOWEL HOLDER
AX	METAL LOCKERS

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No.	Description	Date
REVISIONS		

ADDITION TO GYMNASIUM  
The Waynle School  
360 Spring Street, Portland, Maine 04102

TITLE:  
**INTERIOR ELEVATIONS**

Scale 1/4" = 1'-0" Date 5/20/98  
Drawn By LES  
Checked By  
Approved By  
Project No. 98106.00

DWG. NO. **A-5.1**

W16 2012

A.H. 2

Sasaki Associates, Inc.  
Project: Architecture / Plans and Specifications  
User: Office of Educational Planning / OEP  
100 Commercial Street, Suite 410, Boston, MA 02110  
2011111111 / No. 2011011111

CAMPUS SITE PLAN

300' SPRING STREET

No.	Description	Date
	REVISED	

TITLE  
WAYNFLETE SCHOOL  
LOWER SCHOOL, QUADHOUSE

Scale: \_\_\_\_\_  
 Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Approved By: \_\_\_\_\_  
 Project No.: \_\_\_\_\_  
 DWG NO: \_\_\_\_\_

