

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	05-1798	PERMIT ISSUED	EBL:	061 A004001
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Location of Construction: 383 SPRING ST	Owner Name: HORN ECKART & MARY M HO	Owner Address: 383 SPRING ST	Phone:
Business Name:	Contractor Name: Mark Pelletier	Contractor Address: 130 Pine St. Apt # Portland	Phone: 77465065
Lease/Buyer's Name:	Phone:	Permit Type: Alterations - Dwellings	Zone:

Past Use: Residential 2 unit	Proposed Use: Residential 2 unit interior renovations of bathroom	Permit Fee: \$93.00	Cost of Work: \$8,000.00	CEO District: 2
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Proposed Project Description: Interior renovations of bathroom	FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>5B</i> <i>IRC 2003</i>
	Signature:	Signature:
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: dmartin	Date Applied For: 12/14/2005	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>12/16/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>12/16/05</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Form # PD-4

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND**

Please Read
Application And
Notes, If Any,
Attached

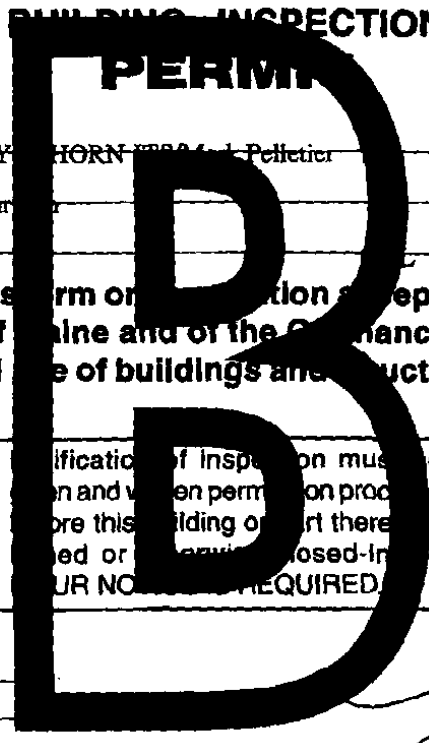
**BUILDING INSPECTION
PERMIT**

PERMIT ISSUED
Permit Number: 051798
DEC 19 2005
CITY OF PORTLAND

This is to certify that HORN ECKART & MARY HORN Interior Renovations
has permission to Interior renovations of bathroom

AT 383 SPRING ST 061 A004001

provided that the person or persons in charge of the work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

A certificate of inspection must be procured and when permission is procured before this building or part thereof is occupied or service is closed-in. **YOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
12/16/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1798	Date Applied For: 12/14/2005	CBL: 061 A004001
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Location of Construction: 383 SPRING ST	Owner Name: HORN ECKART & MARY M HOR	Owner Address: 383 SPRING ST	Phone:
Business Name:	Contractor Name: Mark Pelletier	Contractor Address: 130 Piine St. Apt #2 Portland	Phone (207) 746-6065
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Residential 2 unit interior renovations of bathroom	Proposed Project Description: Interior renovations of bathroom
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 12/16/2005
Note: **Ok to Issue:**
 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 12/16/2005
Note: **Ok to Issue:**
 1) ANY exterior work requires separate review and approval thru Historic Preservation
 2) All penetrations between dwelling units shall be protected with approved firestop materials and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.
 4) Separate permits are required for any electrical, plumbing, or heating.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>46 Cl. Hard St. Portland ME / 383 Spring St</u>		
Total Square Footage of Proposed Structure <u>50 sq ft.</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>X 461 A 004</u>	Owner: <u>E. Kart & Molly Horn</u>	Telephone: <u>207-874-9791</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Mark Pelletier</u> <u>130 Pine St Apt #2</u> <u>Portland ME 04102</u> <u>749-6065</u>	Cost Of Work: \$ <u>8,000</u> Fee: \$ <u>93.00</u> C of O Fee: \$ _____
Current Specific use: <u>Residential 2 unit</u> Proposed Specific use: _____		
Project description: <u>interior renovation - install one bath - sink, toilet</u>		
Contractor's name, address & telephone: <u>Mark Pelletier</u> <u>Portland ME</u> <u>130 Pine St. Apt #2</u> <u>04102</u>		
Who should we contact when the permit is ready: <u>Mark Pelletier</u>		
Mailing address: _____ Phone: <u>(749-6065)</u> <u>130 Pine St, Apt #2</u> <u>Portland ME 04102</u>		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Mark Pelletier Date: Dec 13, 2005

This is not a permit; you may not commence ANY work until the permit is issued.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Dec 14 2005

Received from Mark Petteker

Location of Work 46 Clifford St. / 383 Springs

Cost of Construction \$ 8,000.00

Permit Fee \$ 93.00

Building (1L) Plumbing (1S) Electrical (12) Site Plan (U2)

Other _____

CEL: 61 A 004

Check #: Cash

Total Collected \$ 93.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be issued the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

6-17-70

- 1FE - Applicant's Copy
- 1OW - Office Copy
- 1 - Permit Copy

Eckart and Molly Horn

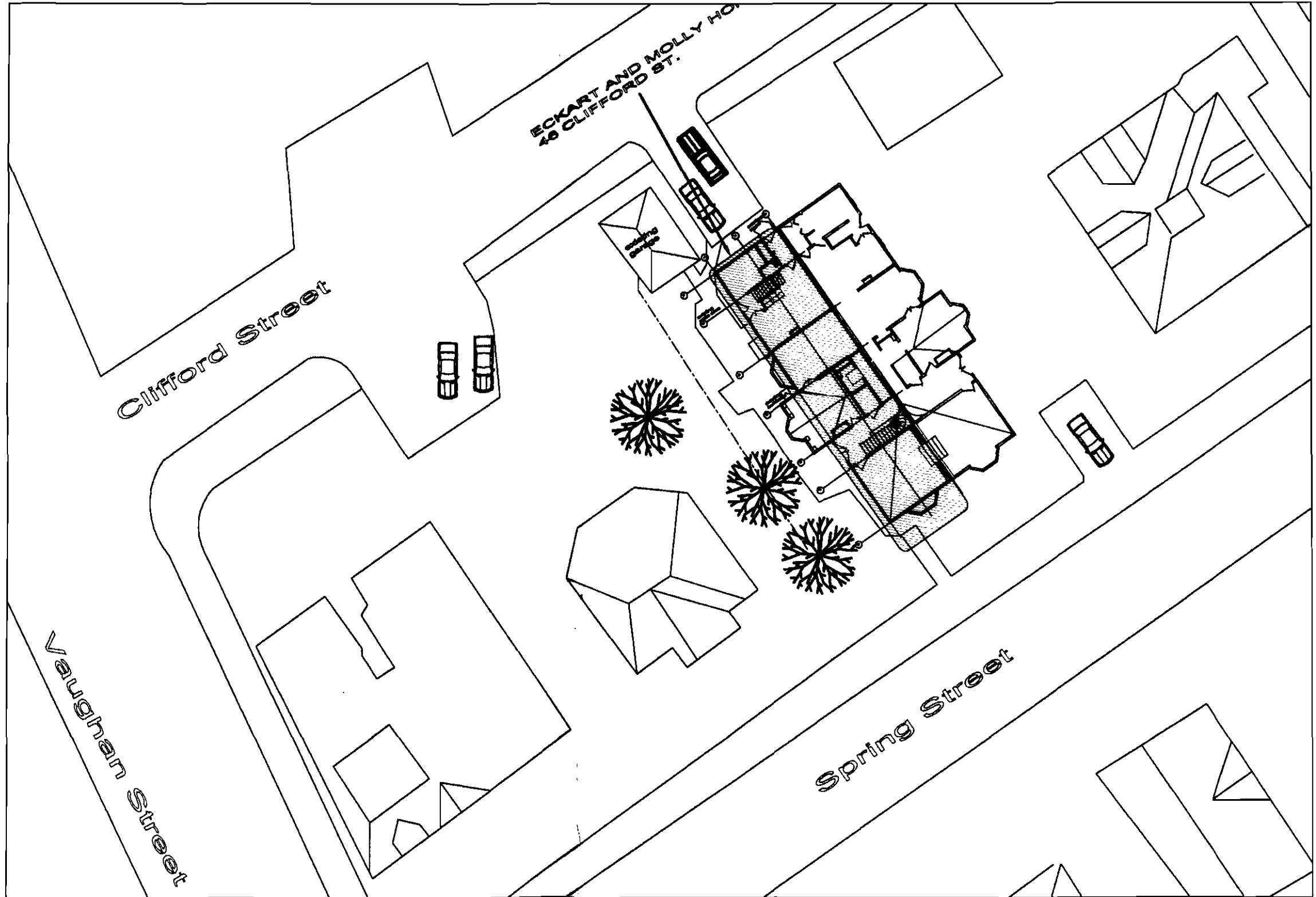
Home improvements and remodel

46 Clifford Street
Portland, Maine 04102

CEL A 004
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
DEC 14 2005
RECEIVED

General Notes

1. The reproduction of these drawings may have changed the size and scale of them as originally drawn. Owner and Designer assume no responsibility for the use of incorrect scale.
2. All work shall conform to the IRC 2003 and with the rules and regulations of all Governing bodies.
3. Contractor shall verify existing conditions before proceeding with the work and shall notify the designer immediately of any discrepancies or conflict.
4. Contractor shall provide proper shoring and bracing of existing structure before demolition begins. Shoring and bracing shall remain until structural replacements are in place.
5. Contractor shall coordinate rough framing with locations of all new heating, ventilating, plumbing, and electrical equipment, devices, fixtures, and distribution. Locations shall be verified in field with owner and designer before rough-in begins.
6. Contractor shall verify door, window, and room finish schedules with designer before ordering materials and/or proceeding with this work.
7. Unless otherwise indicated, all materials, details, and finishes shall match existing.
8. Dimensions are finish to finish, unless otherwise noted.
9. HVAC, electrical, and plumbing work will be procured by the owner from the contractor on a design/build basis. The contractor will be responsible for the design and construction of this work and for conforming such work to architectural requirements. All work to conform with all applicable codes. The designer will specify the design criteria and assist the contractor with coordinating this work with the architectural design.



SITE PLAN
1" = 30'-0" 1

IN Vision
architectural design
122 Pine Street, 2nd Floor, Portland, Maine 04102
Tel: 503-773-1111
www.invisionarchitect.com

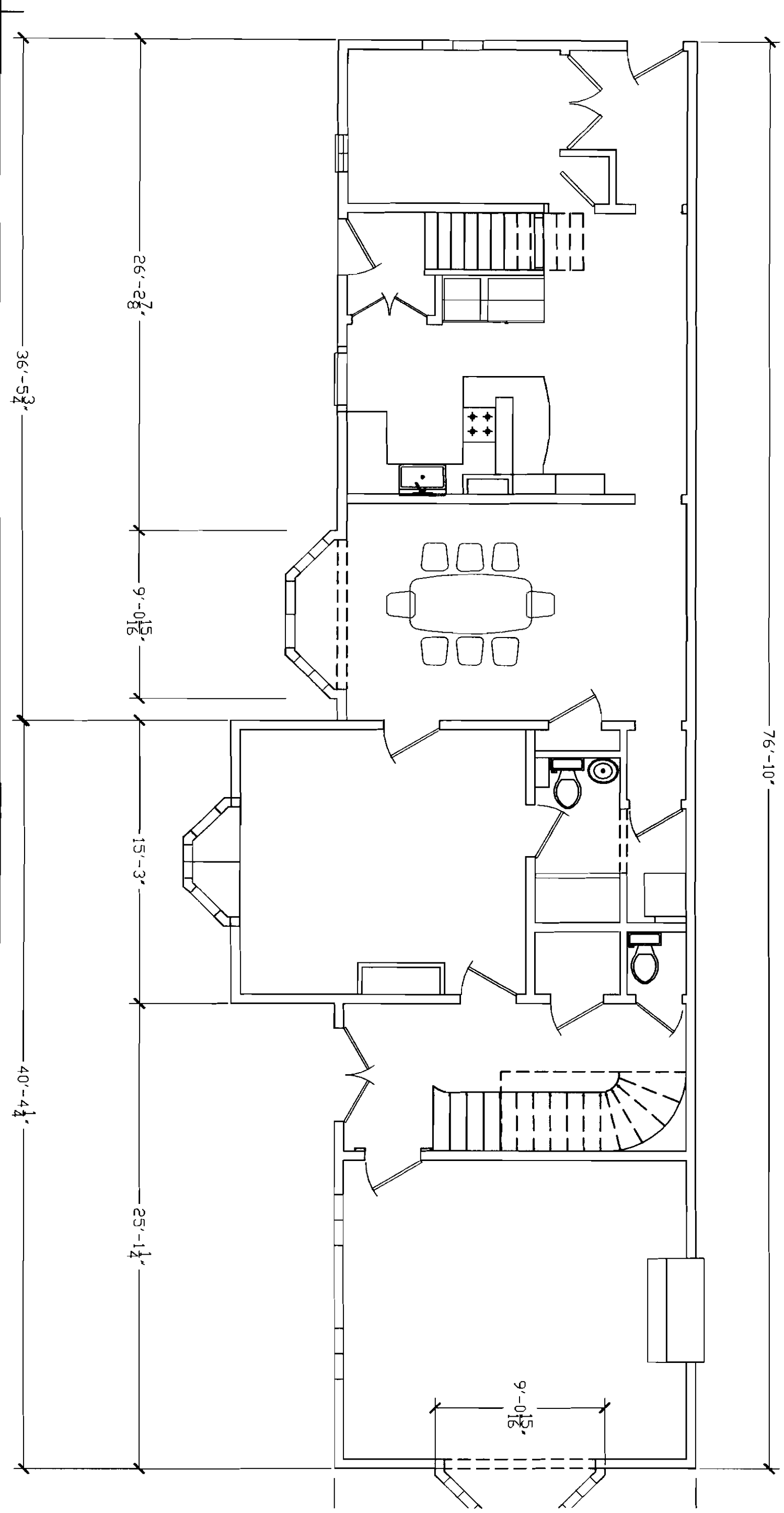
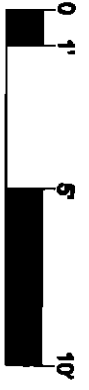
46 CLIFFORD STREET
Eckart and Molly Horn
Residence Remodel
Portland, Maine

1110
General notes
site plan

BY MPell
Date DEC 14, 2005
Scale 1" = 30'-0"
Number
Project

1ST floor EXISTING

3/16" = 1'-0"



IN Vision

architecturalaid.com

100 Pine Street, Apt 600 Portland - Maine - 04108

207 • 543 • 6225

www.architecturalaid.com

48 Clifford Street

Eckart and Molly Horn Residence Remodel

Portland, Maine

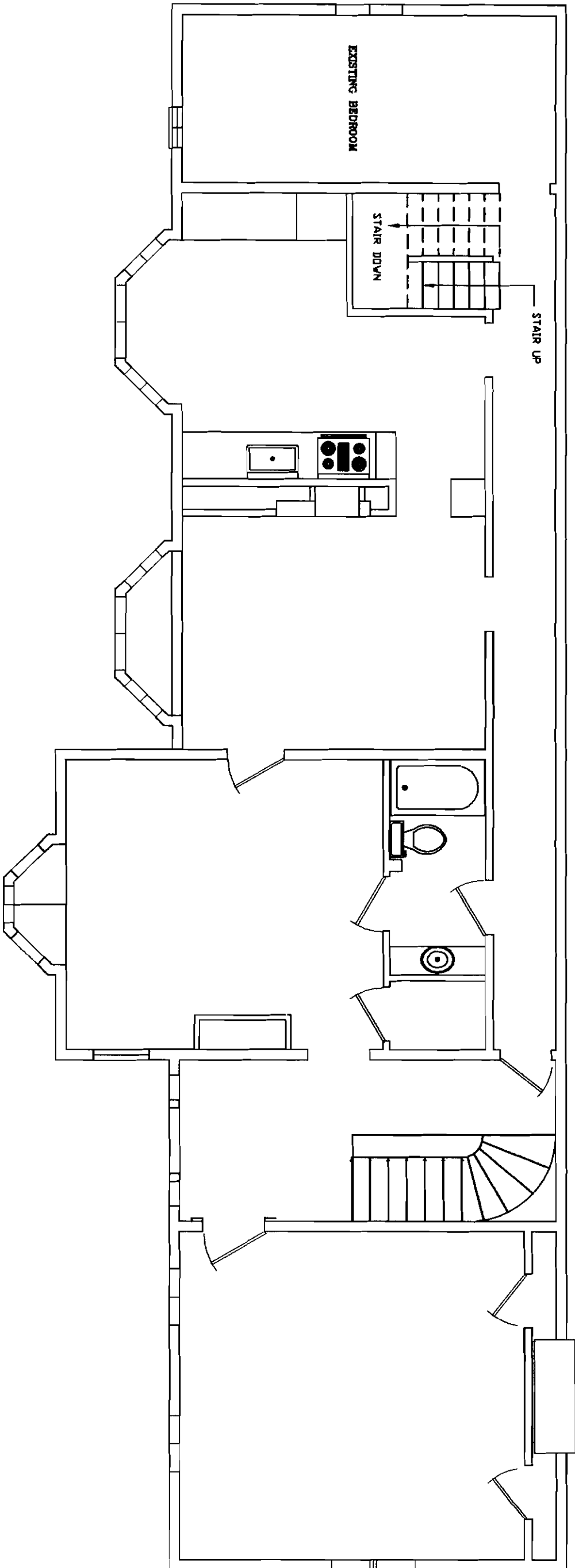
EXISTING
1ST
FLOOR

DATE: 08/18/2010
SCALE: 3/16" = 1'-0"
PROJECT NUMBER: 2010-100

PROJECT

2nd floor EXISTING

3/16" = 1'-0"



ARI Window

46 Clifford Street

Eckart and Molly Horn Residence Remodel

Portland, Maine

architecturalideals.com

100 Park Street, Apt 8B, Portland • Maine • 04101
207 • 743 • 0241

www.architecturalideals.com
mailto:info@architecturalideals.com

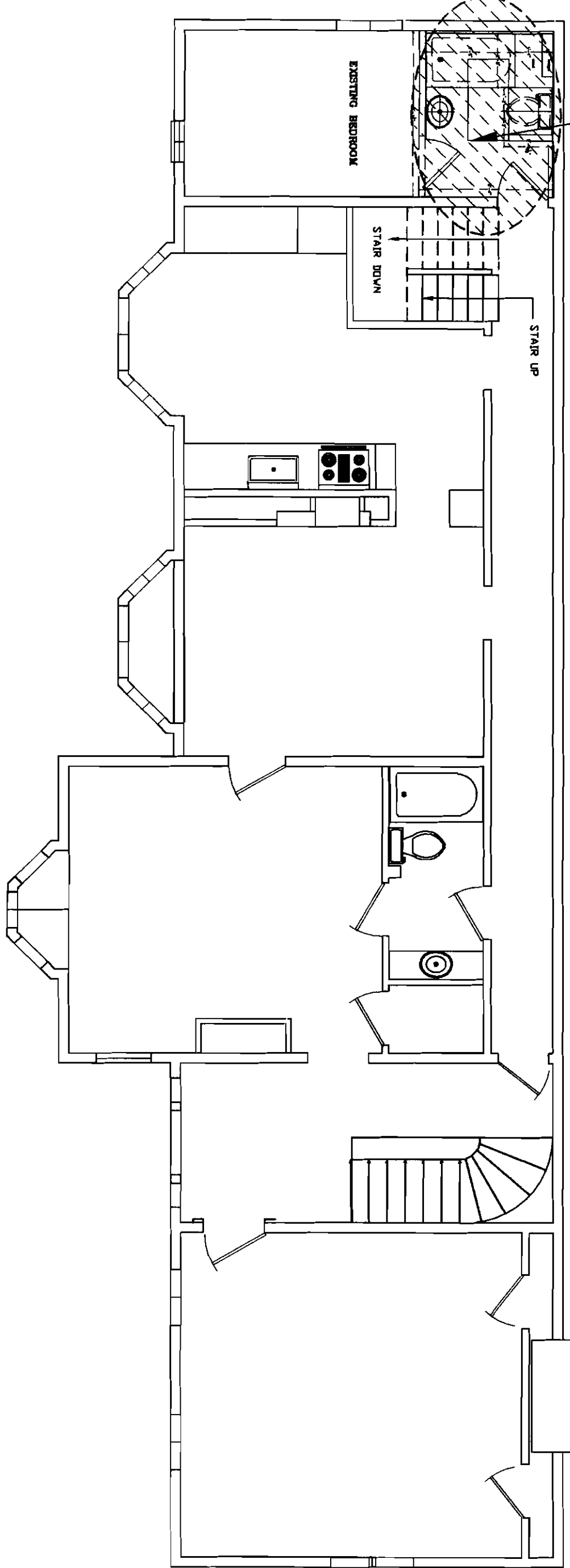
EXISTING
2ND
FLOOR

DATE: 08/15/2008
SCALE: 3/16" = 1'-0"
PROJECT NUMBER: 0808080001

Project

2nd floor proposed bath

3/16" = 1'-0"



IN Vision

architecturalidgpa
 100 Vista Street, Apt 202 Portland • Maine • 04108
 503 • 743 • 6262
 www.architecturalidgpa.com
 www.invision.com

46 Clifford Street

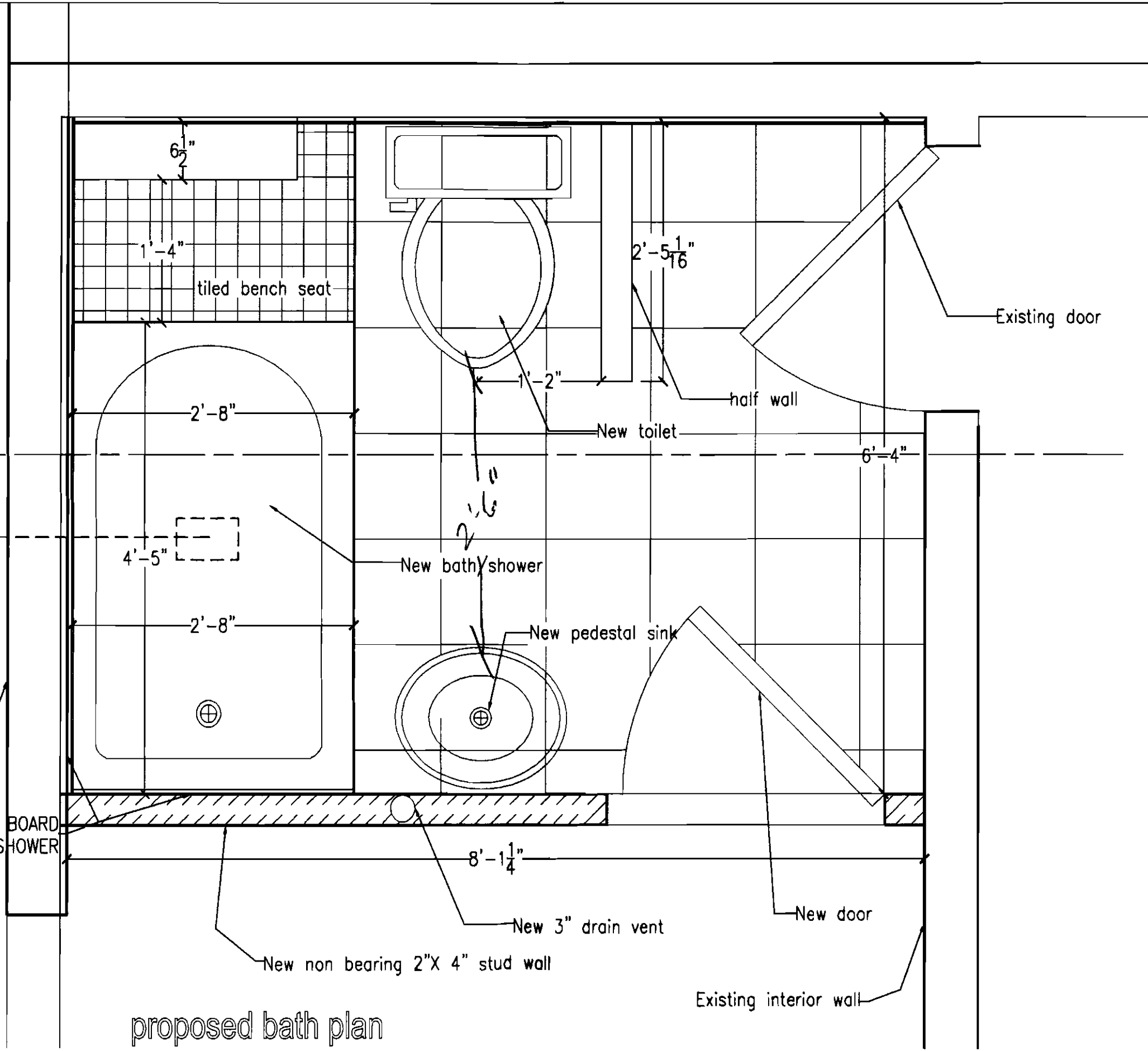
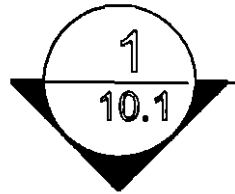
Eckart and Molly Horn Residence Remodel

Portland, Maine

EXISTING
 2ND
 FLOOR

DATE: DEC 14, 2008
 DRAWN BY: MPA
 CHECKED BY: MPA
 SCALE: 3/16" = 1'-0"

Project



NEW BATHROOM VENT THRU
UNDERSIDE OF existing SOFIT

Existing exterior wall

1/2" CEMENTICIOUS BOARD
AROUND SHOWER

proposed bath plan

1" = 1'

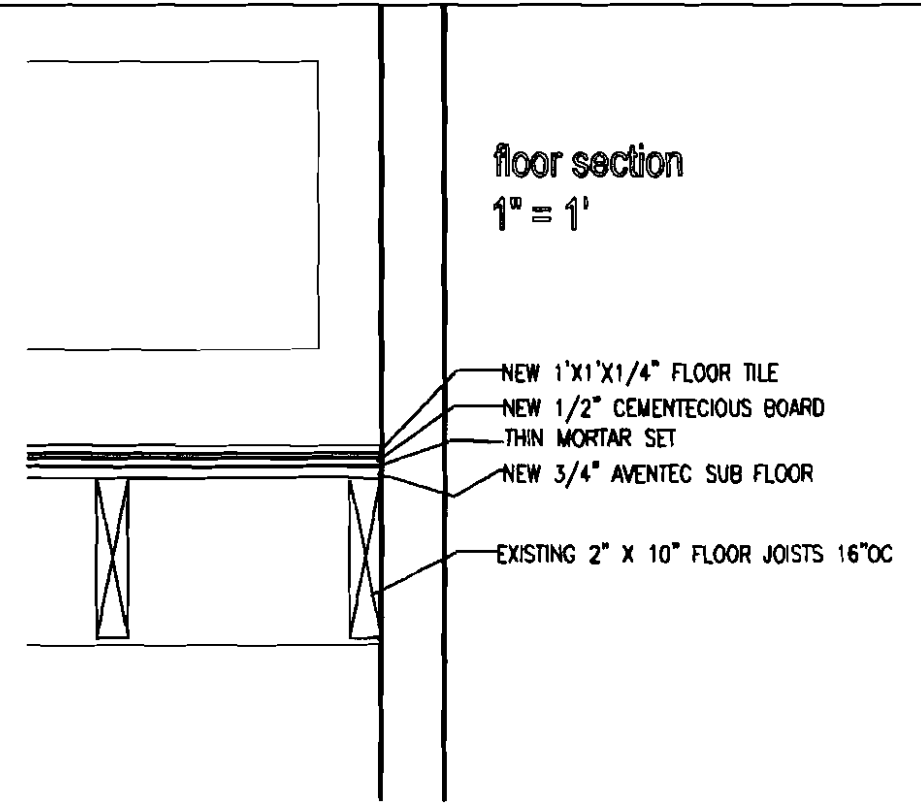
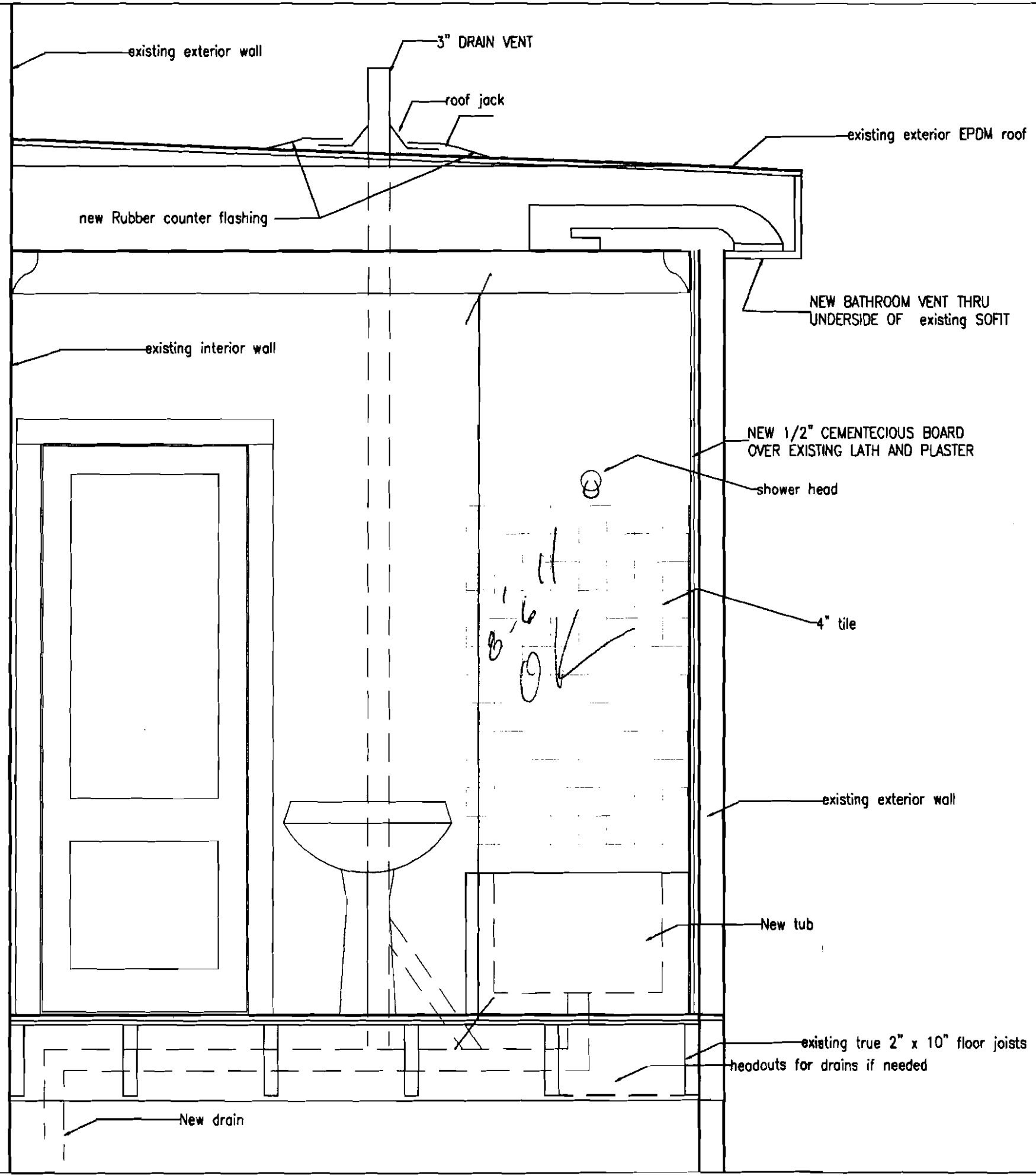
IN VISION

architectural design
1225 Pine Street, Apt. 800 Portland, Oregon 97201
503.228.1111
www.invisionarchitect.com

48 CLIFTON STREET
Eckart and Molly Horn
Residence Remodel
Portland, Maine

title
plan
of
proposed
2nd
FLOOR
bath
room
and
closet
area
by
MPH
date
DEC 13, 2008
scale
1" = 1'-0"
number

project



10.1 bathroom section
3/4" = 1'

48 CHIVERS STREET
PORTLAND, MAINE

architectural design
1234 Main Street, Portland, ME 04101
Tel: 207.555.1234
www.ekartandmollyhorn.com

Eckart and Molly Horn
Residence Remodel

title
proposed
2nd
FLOOR
bath
sections

DATE
DEC 13, 2008

BY
MPEL

SCALE
AS SHOWN

PROJECT