

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-0772	Issue Date: JUN 09 2004	CBL: 061 A004001
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Location of Construction: 383 Spring St	Owner Name: Horn Eckart &	Owner Address: 383 Spring St	Phone: 874-9791
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	Zone: R4

Past Use: Two Family	Proposed Use: Two Family w/amendment to permit # 04-0020	Permit Fee: \$93.00	Cost of Work: \$8,000.00	CEO District: 2	Historic
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB BOLA 1999		

Proposed Project Description:
Amend permit # 04-0020 for further structural flooring & roof work & 2 partitions

Signature: *JMB 6/10/04*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: jmb	Date Applied For: 06/10/2004	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland <i>Approved</i></p> <p><input type="checkbox"/> Flood Zone <i>2 Family</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>JMB 6/10/04</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input type="checkbox"/> Not in District or Landmark</p> <p><input checked="" type="checkbox"/> Does Not Require Review <i>Interior only</i></p> <p><input type="checkbox"/> Requires Review</p> <p><input checked="" type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>JMB</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



CITY OF PORTLAND, MAINE

Department of Building Inspections

June 10 2004

Received from Eckhart Horn

Location of Work 383 Spring

Cost of Construction \$ 8000.

Permit Fee \$ 93.00

Building (B) Plumbing (P) Electrical (E) Site Plan (U)

Other _____

DOB 61-A-4

Check # 2334

Total Collected \$ 93.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be issued. PRESERVE THIS RECEIPT. In case permit cannot be issued the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

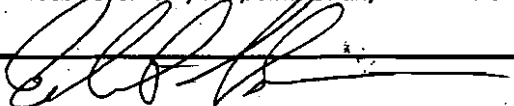
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>383 Spring</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>61</u> Block# <u>A</u> Lot# <u>4</u>	Owner: <u>Eckhart Horn</u>	Telephone:
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>8000.</u> Fee: \$ <u>93.00</u>
Current use: <u>Two Family</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Structural repair of 3rd FL Floor/ROOF</u>		
Project description: <u>Amendment to 04-0020</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: _____		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>10 June 04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall**

City of Portland, Maine - Building or Use Permit

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Permit No: 04-0772	Date Applied For: 06/10/2004	CBL: 061 A004001
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Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	

Proposed Use: Two Family w/amendment to permit # 04-0020	Proposed Project Description: Amend permit # 04-0020 for further structural flooring & roof work & 2 partitions
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Dept: Zoning	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 06/10/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.			
Dept: Building	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 06/10/2004
Note:	Ok to Issue: <input type="checkbox"/>		

RESURGENCE

ENGINEERING AND PRESERVATION, INC.

132 BRENTWOOD STREET, PORTLAND, ME 04103

V/F (207) 773-4880

EMAIL: RESURGENCEINC@AOL.COM

Mr. Eckart Horn
46 Clifford Street
Portland, ME 04102

June 9, 2004

RE: Phase II Structural Analysis and Design – 3d Floor
46 Clifford Street, Portland, Maine
Resurgence Project Number 04-001

Eckart,

I enjoyed meeting with you last week to view the structural framing concerns at your home. The following summary details the existing conditions and my recommended structural upgrades for the third floor and roof near the front of the building. Later phases of the work will involve areas of the third floor on either side of the area in question.

Phase II of this project involves strengthening the third floor and roof in the front section of the home. General structural issues related to this phase of work include:

- a. Existing roof rafter capacity
- b. Existing floor joist capacity (2x8 rough-cut @ 21" o.c. spanning 18'-6" +/-

EXISTING STRUCTURE GEOMETRY AND FRAMING CONDITION

As I understand it, this house was built sometime around 1860. The walls are balloon-framed, and floor joists span approximately 18'-6" in the area of concern. We did not measure deflections in the third-floor joists, but you should assume that there is some sag in these members. The roof framing appeared to be older fir, and was in good condition. Significantly, only one of the rafters had any significant checks or splits in it.

PRELIMINARY RECOMMENDATIONS

Several things should be done to accommodate the planned remodeling. For construction-phasing purposes, it may be best to start with the roof rafter strengthening first, followed by the floor-joist strengthening.

1. Strengthen the existing roof rafters with 1 ¾" x 7 ¼" Versa-Lam members. An economical way to strengthen the rafters is to place a sistering piece of Versa-Lam along

the bottom 13 feet of the existing rafters. Additionally, you should install ¼” plywood along the knee wall, and install Simpson H5 rafter ties along the inner face of the wall top plate.

2. Install double 1x6 collar ties at every other rafter, at least 7’-6” above the finish floor.
3. Strengthen the existing 2x8 attic floor rafters by supplementing them with 1 ¾” x 7 ¼” Versa-Lam joists. Note that it may be necessary to install temporary shoring beams in the rooms below to remove some of the deflection from the existing joists. Place the Versa-Lams between the existing joists and provide continuous solid blocking at midspan and at each end. Note that the blocking only needs to be nailed to the new joist, not to the existing joist. This will enable future efforts to continue to jack the existing joists.
4. Below proposed partition walls, double up Versa-Lam joists.
5. Install a continuous 2x8 ledger beneath the existing rafters at the roof ridge. Install Simpson U26R joist hangers at the roof ridge. Install 5/8” drywall on the building center wall.

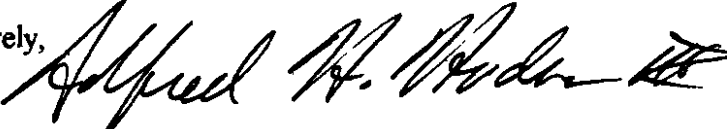
I have attached the necessary structural plans and sections to describe these concerns.

CONCLUSION

The remodeling that you propose for your residence is structurally feasible. The previous discussion outlines structural framing issues that need to be addressed

If you have any questions, please do not hesitate to contact me.

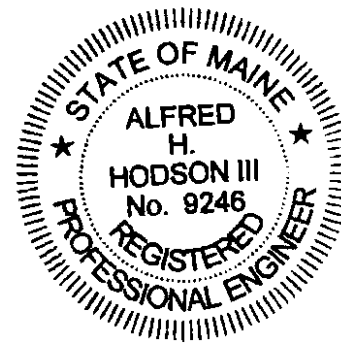
I enjoyed discussing these issues with you, and I look forward to working with you on the center core structural rehabilitation at your home.

Sincerely, 

Alfred H. Hodson III, P.E.

AHH/ah

Attachment: Stamped Plans and Invoice No. 2



ATTIC RENOVATION

LEVELING FLOOR

SISTERING 2" x 8" VERSALIM TO EXISTING
FLOOR JOISTS TIED INTO WALL STUDS!

18' x 20' A6

REINFORCEMENT OF RAFTERS
SISTERING 2" x 8" VERSALIM A8

REMOVAL OF CLOSET WALL + HALLWAY WALL
NON STRUCTURAL! A7

BUILD NEW WALL 2" x 4" 16" OC.

NEW DOOR WAY

Eckart Horn
Restoration
46 Clifford Street
Portland ME 04102
207 874 7971
eckartfrg@aol.com

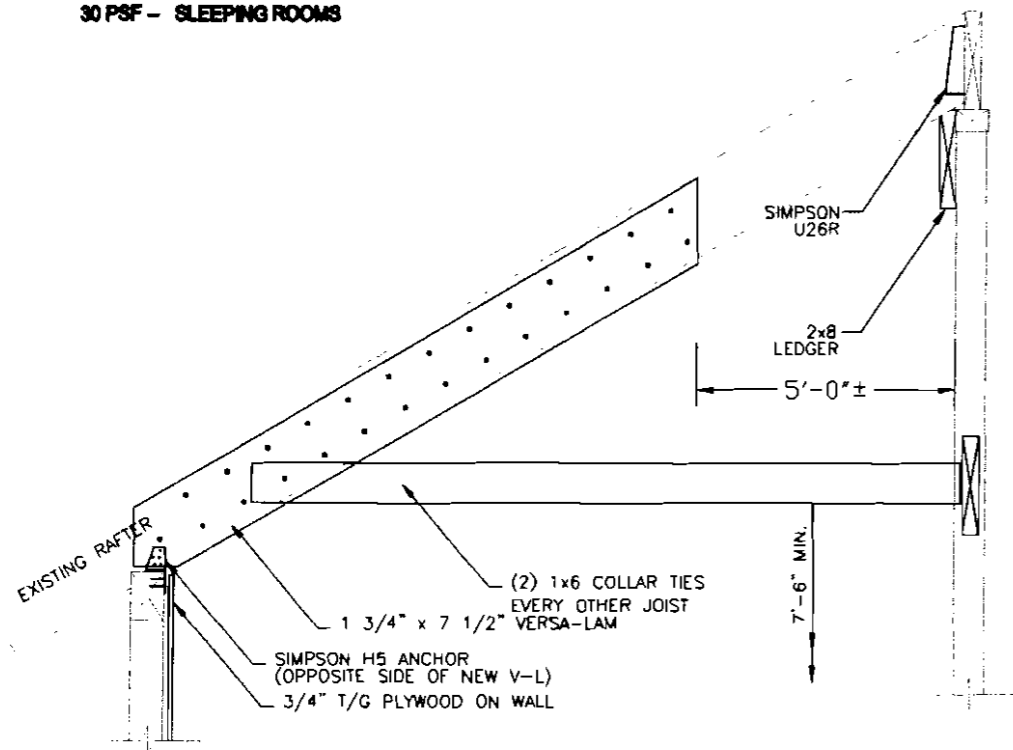
STRUCTURAL GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS. FURTHERMORE, THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE SAFETY OF ADJACENT PROPERTY AND THE PUBLIC.
2. NO PROVISIONS HAVE BEEN MADE FOR ANY TEMPORARY CONDITIONS THAT MAY ARISE DURING CONSTRUCTION PRIOR TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, SHORING, AND TEMPORARY BRACING DURING THE PROJECT.
3. WORK NOT INDICATED ON THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE INCLUDED.
4. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS THAT MAY AFFECT THE WORK. DUE TO THE TIGHT DIMENSIONAL TOLERANCES NECESSARY TO ACHIEVE CODE COMPLIANCE ON THIS PROJECT, IT IS HIGHLY RECOMMENDED THAT THE OWNER CONTACT THE ENGINEER AFTER DEMOLITION HAS EXPOSED SUFFICIENT STRUCTURE TO VERIFY THE DIMENSIONAL ACCURACY OF THESE EXISTING AND PROPOSED PLANS.
5. ANY MODIFICATION OR ALTERATION OF THESE CONSTRUCTION DOCUMENTS OR CHANGES IN CONSTRUCTION FROM THE INTENT OF THESE DOCUMENTS BY THE CONTRACTOR WITHOUT WRITTEN APPROVAL OF THE ENGINEER SHALL REMOVE ALL PROFESSIONAL AND LIABILITY RESPONSIBILITY ON THE PART OF THE ENGINEER. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUBMITTED TO THE ENGINEER FOR REVIEW, AND ACCEPTANCE GRANTED.
6. DO NOT SCALE FROM THE DRAWINGS.

DESIGN CRITERIA

1. INTERNATIONAL BUILDING CODE, 2000 EDITION, AS ADOPTED BY THE CITY OF PORTLAND
 ADDRESS: 383 SPRING STREET (46 CLIFFORD STREET), PORTLAND, MAINE
 CITY CHART - LOT - BLOCK NUMBER 61 A-4 (383 SPRING STREET)
 ZONE R-4 WITH HISTORIC OVERLAY

 OCCUPANCY: RESIDENTIAL; ONE AND TWO-FAMILY RESIDENCE
 FLOOR LIVE LOAD: RESIDENTIAL, ONE AND TWO-FAMILY,
 40 PSF - LIVING ROOMS AND STAIRS
 30 PSF - SLEEPING ROOMS

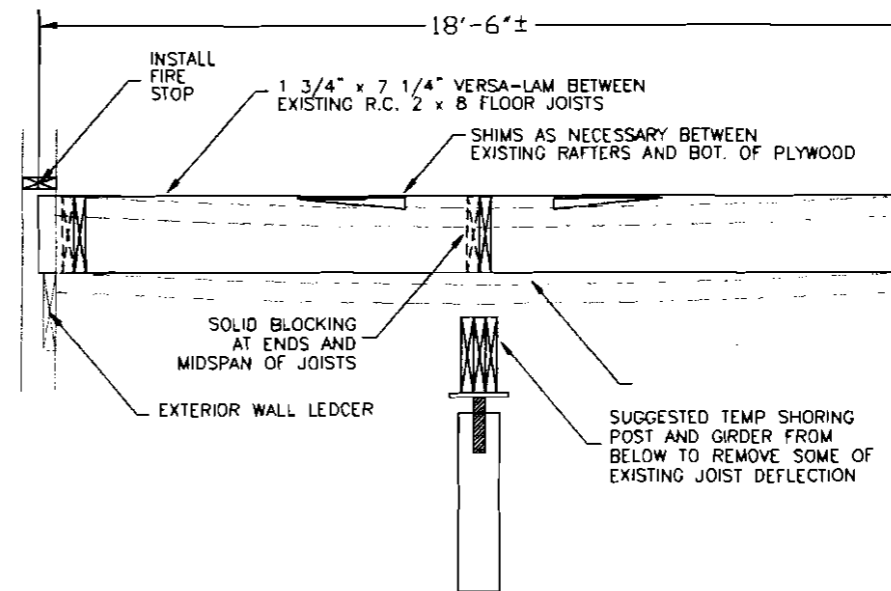


NOTE: WALLS AND DECKING NOT SHOWN FOR CLARITY.

3 DETAIL: RAFTER BASE ANCHOR
SCALE: NOT TO SCALE

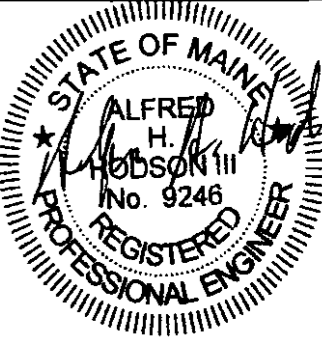
LUMBER AND JOIST HANGERS

1. ALL COMPOSITE LUMBER USED ON THIS JOB SHALL BE VERSA-LAM MANUFACTURED BY BOISE ENGINEERED WOOD PRODUCTS. BENDING STRESS $F_b = 3100$ psi, ELASTIC MODULUS $E = 2,000,000$ ksi. FRAMING LUMBER USED FOR OTHER WALL AND ROUGH CARPENTRY APPLICATIONS SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER, KILN DRIED TO A MOISTURE CONTENT OF LESS THAN 18 PERCENT.
2. ALL JOIST HANGERS, HURRICANE TIES, AND ATTACHMENT HARDWARE ARE TO BE AS SPECIFIED, MANUFACTURED BY SIMPSON STRONG-TIE. CONNECT ALL JOIST HANGERS PER SIMPSON STRONG-TIE REQUIREMENTS.
3. SPECIAL ATTENTION SHOULD BE TAKEN TO INSTALL FASTENERS AS INDICATED ON THE DRAWINGS.
4. WHEN FASTENING INTO EXISTING LUMBER, IT MAY BE NECESSARY TO PREDRILL HOLES SO THAT NAILS OR SCREWS DO NOT CRACK EXISTING FRAMING. TO ACHIEVE PROPER FASTENER ALIGNMENT, TEMPORARILY PIN JOIST HANGER IN PLACE WHILE DRILLING HOLES.
5. NEW STRUCTURAL FRAMING INSTALLATION SHOULD OCCUR WHILE TEMPORARY SHORING IS IN PLACE. FINISH CARPENTRY, DRYWALL INSTALLATION, AND FINISH PAINTING SHOULD OCCUR AFTER TEMPORARY SHORING IS REMOVED.
6. ACCLIMATE FRAMING LUMBER TO INTERIOR CLIMATE BY STORING IT INSIDE FOR AT LEAST 48 HOURS BEFORE USE. KEEP LUMBER OFF OF THE FLOOR BY USING SPACER BLOCKS. STORE OUT OF DIRECT SUNLIGHT TO DIMINISH UNEVEN DRYING EFFECTS.
7. DO NOT NOTCH JOISTS IN THE MIDDLE-THIRD OF THEIR SPAN. REPAIR EXISTING, NOTCHED JOISTS AND RAFTERS BY "SISTERING" THEM WITH NEW MATERIAL OF THE SAME DEPTH. GLUE AND SCREW NEW MATERIAL TO THE EXISTING MATERIAL. PREDRILL HOLES INTO ADDED PIECES TO PROVIDE PRE-DRILLING TEMPLATE FOR EXISTING MATERIAL. REFER TO PLANS AND DETAILS FOR OVERLAP LENGTHS.
8. INSTALL SOLID LUMBER FIRE BLOCKING BETWEEN EXISTING WALL STUDS AT THE THIRD FLOOR LEVEL, IF NO SUCH BLOCKING EXISTS.
9. AFTER INSTALLING ELECTRICAL WIRING, BLOCK ALL EXISTING, ABANDONED HOLES THAT WERE DRILLED IN PREVIOUSLY-EXISTING BLOCKING.



NOTES:
 1. DEFLECTION SHOWN IN EXISTING JOIST IS GREATLY EXAGGERATED.
 2. 3/4" T&G "ADVANTEK" PLYWOOD NOT SHOWN FOR CLARITY.

1 NAILING DETAIL: VERSA-LAM JOISTS TO EXISTING JOISTS
SCALE: NOT TO SCALE



RESURGENCE
 ENR AND PRESERVATION, INC.

ALFRED H. HODSON III, P.E.

132 BRENTWOOD STREET
 PORTLAND, ME 04103
 (207) 773-4880
 ALFREDHODSON@AOL.COM

CLIENT: ECKARD & MOLLY HORN
 383 SPRING STREET
 (46 CLIFFORD STREET)
 PORTLAND, ME 04102

DATE: 09 JUN 04

SCALE: AS NOTED

DESIGNED BY: A. HODSON

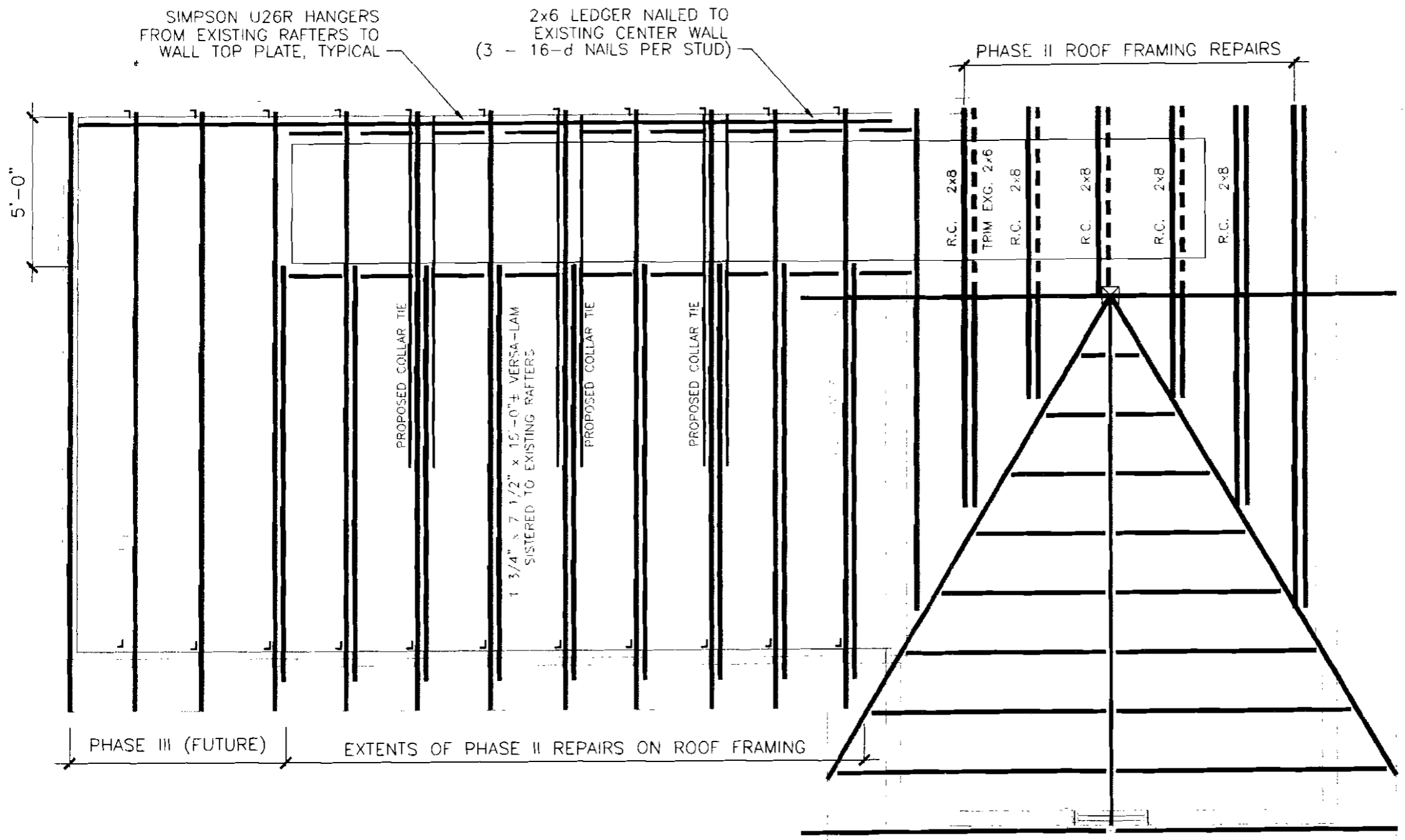
CHECKED BY: A. HODSON

DATE: 04-001

FILE NAME: 46CLNOTESPH2.DWG

HORN RESIDENCE - PHASE II UPGRADES
 383 SPRING STREET, PORTLAND, MAINE

STRUCTURAL NOTES
 AND TYPICAL DETAILS



RESURGENCE
ENGINEERING & PRESERVATION, INC.
132 BRENTWOOD STREET
PORTLAND, ME 04103
V/F (207) 773-4880
RESURGENCEINC@AOL.COM

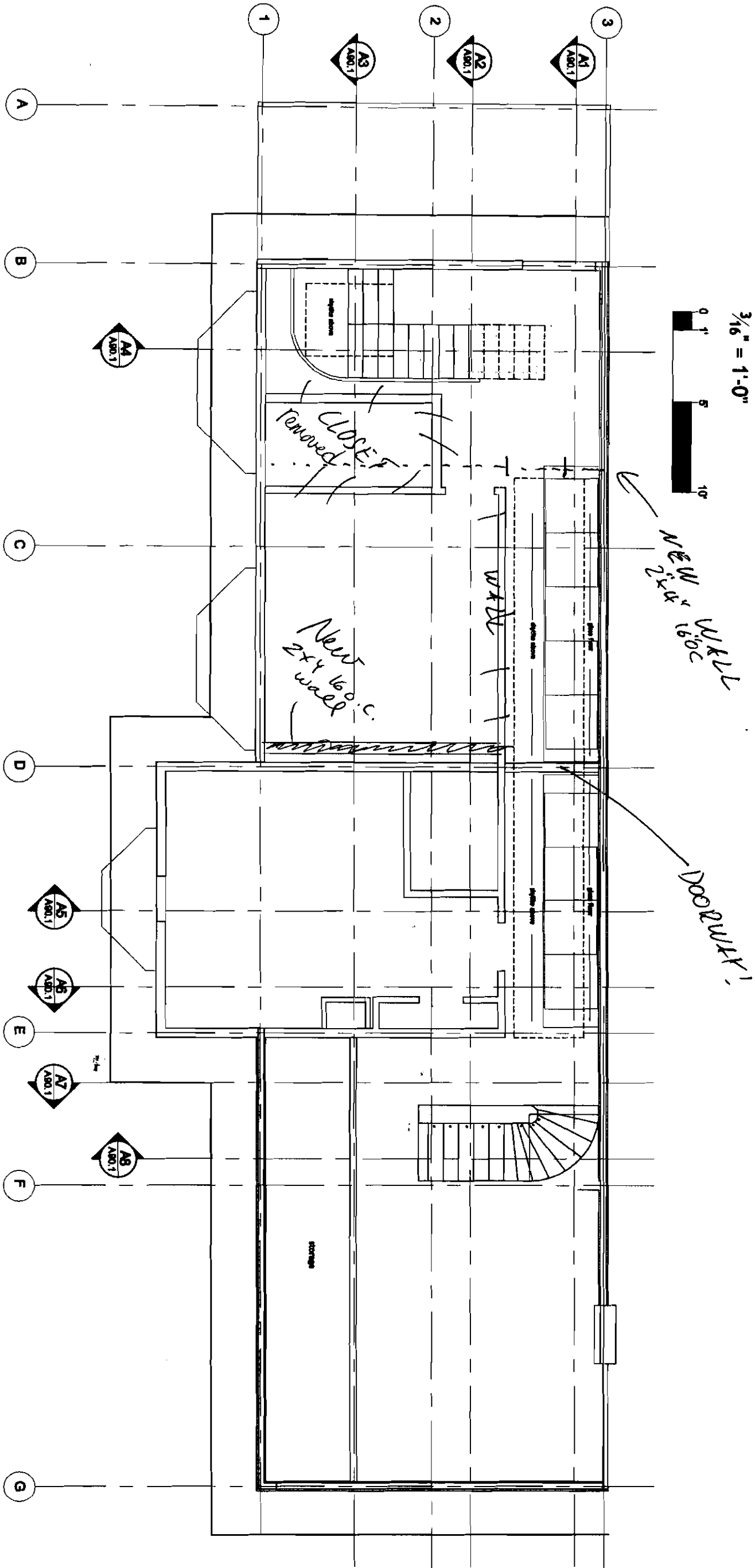
ECKART & MOLLY HORN
46 CLIFFORD STREET
PORTLAND, ME 04102

09 JUN 04	AS NOTED
A. HODSON	A. HODSON
04-001	HORNPH2.DWG

PHASE II ROOF FRAMING REPAIRS
SCALE: 1/4" = 1'-0"

3rd floor

3/16" = 1'-0"



Eckhart Horn
 Restoration
 46 Clifford Street
 Portland ME 04102
 207 874 7971
 eckhartfr@aol.com

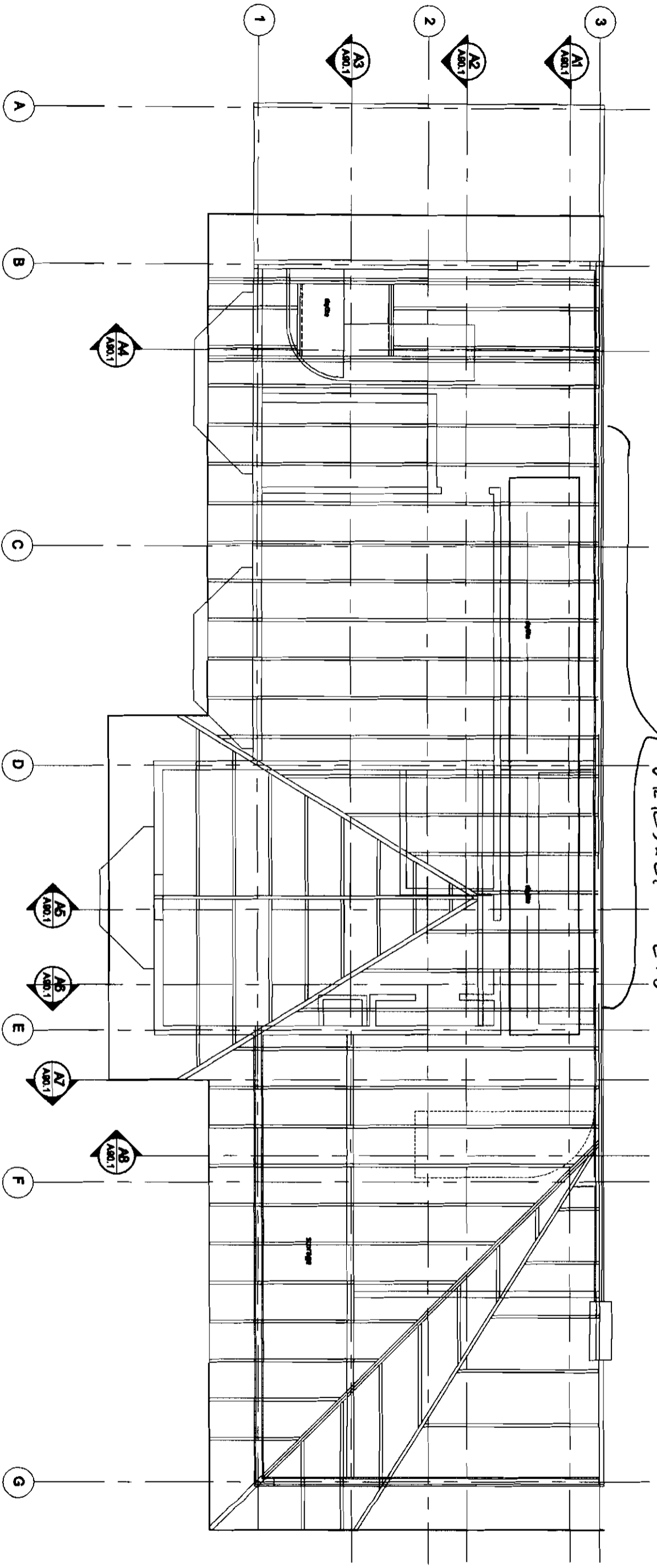
Eckhart and Molly Horn
 46 Clifford Street
 Portland, Maine 04102

Nvision
 architectural design
 97 Pearl Street
 Portland Maine, 04102
 tel 207.807.1418

Scale	3/16" = 1'-0"
Date	Oct. 18, 2005
Sheet	A7

roof framing

3/16" = 1'-0"



Eckhart Horn
 Restoration
 46 Clifford Street
 Portland ME 04102
 207 874 7971
 eckhartg@aol.com

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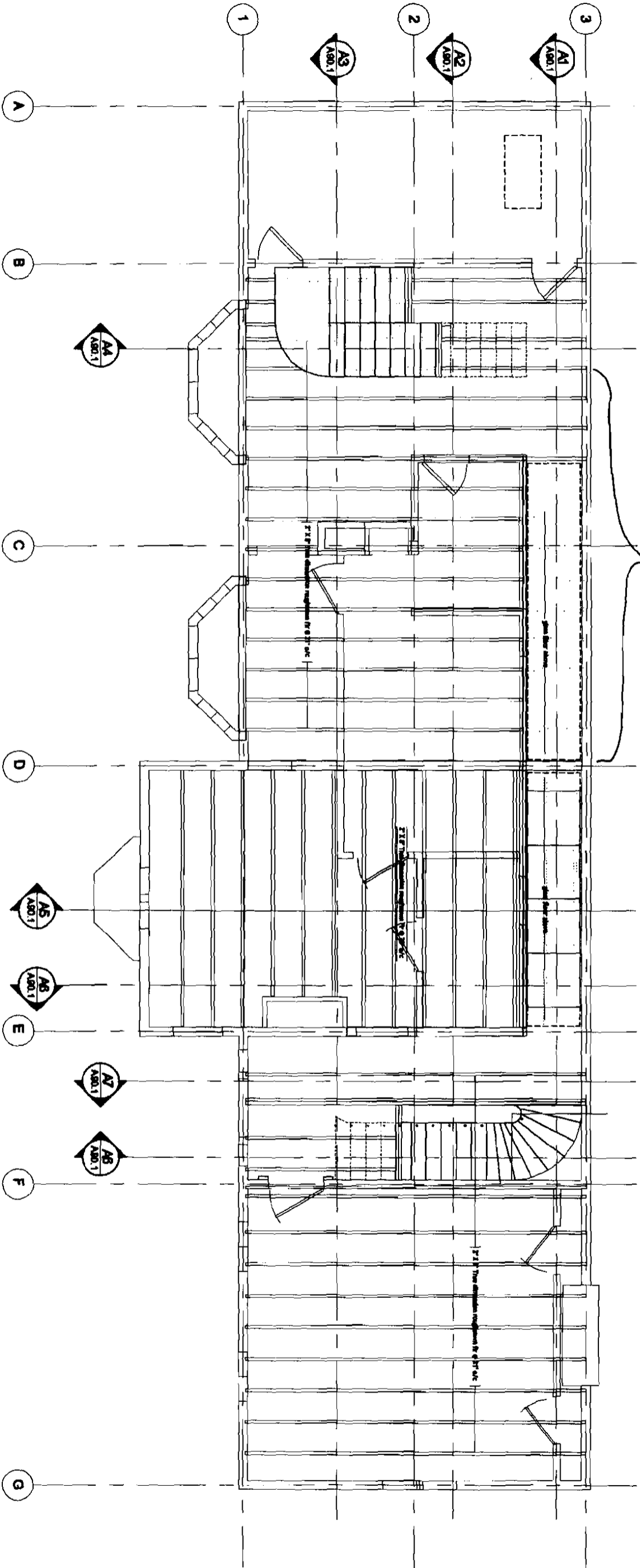
Date: 10/18/2003
 Drawn: A8
 Checked: A8
 Title: A8

3rd floor framing

3/16" = 1'-0"



ADD VESKILL



Eckhart Horn
 Restoration
 46 Clifford Street
 Portland ME 04102
 207 874 7971
 eckhartfg@aol.com

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Date	10.18.2003
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Author	
Check	
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