

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

No: 04-0772	Issue Date: JUN 09 2004	CBL: 061 A004001
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Location of Construction: 383 Spring St	Owner Name: Horn Eckart &	Owner Address: 383 Spring St	Phone: 874-9791
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	Zone: R4
Past Use: Two Family	Proposed Use: Two Family w/amendment to permit # 04-0020	Permit Fee: \$93.00	Cost of Work: \$8,000.00
Proposed Project Description: Amend permit # 04-0020 for further structural flooring & roof work & 2 partitions		CEO District: 2	Historic: Historic
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB BOCA 1999
		Signature: _____	Signature: JMB 6/10/04
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature: _____	Date: _____

Permit Taken By: jmb	Date Applied For: 06/10/2004	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>Approved</i> <input type="checkbox"/> Flood Zone <i>2 Family</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 6/10/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <i>interior only</i> <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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Permit No: 04-0772	Date Applied For: 06/10/2004	CBL: 061 A004001
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Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	

Proposed Use: Two Family w/amendment to permit # 04-0020	Proposed Project Description: Amend permit # 04-0020 for further structural flooring & roof work & 2 partitions
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Dept: Zoning	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 06/10/2004
Note:			Ok to Issue: <input type="checkbox"/>
1) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.			

Dept: Building	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 06/10/2004
Note:			Ok to Issue: <input type="checkbox"/>

All Purpose Building Permit Application

Total Square Footage of Proposed Structure	Square Footage of Lot
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Tax Assessor's Chart, Block & Lot Chart# <u>61</u> Block# <u>A-</u> Lot# <u>4</u>	Owner: <u>Eckhart Horn</u>	Telephone:
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Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	cost Of Work: \$ <u>8000.</u> Fee: \$ <u>93.00</u>
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Current use: Two Family

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: _____

Proposed use: Structural repair of 3rd FL Floor/ROOF

Project description: Amendment to 04-0020

Contractor's name, address & telephone: _____

Who should we contact when the permit is ready: _____

Mailing address: _____

We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>10/10/04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If You are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

RESURGENCE

ENGINEERING AND PRESERVATION, INC.

132 BRENTWOOD STREET, PORTLAND, ME 04103
V/F (207) 773-4880
EMAIL: RESURGENCEINC@AOL.COM

Mi. Eckart Horn
46 Clifford Street
Portland, ME 04102

June 9, 2004

RE: Phase II Structural Analysis and Design – 3d Floor
46 Clifford Street, Portland, Maine
Resurgence Project Number 04-001

Eckart,

I enjoyed meeting with you last week to view the structural framing concerns at your home. The following summary details the existing conditions and my recommended structural upgrades **for** the third floor and roof near the front of the building. Later phases of the work will involve areas **of** the third floor on either side **of** the area in question.

Phase II of this project involves strengthening the third floor and roof in the front section of the home. General structural issues related to this phase of work include:

- a. Existing roof rafter capacity
- b. Existing floor joist capacity (2x8 rough-cut @ 21" o.c. spanning 18'-6" +/-

EXISTING STRUCTURE GEOMETRY AND FRAMING CONDITION

As I understand it, **this** house was built sometime around 1860. The walls are balloon-framed, and floor joists span approximately 18'-6" in the area of concern. We did not measure deflections in the third-floor joists, but you should assume that there is some sag in these members. The roof framing appeared to be older fir, and was in good condition. Significantly, only one of the rafters had any significant checks or splits in it.

PRELIMINARY RECOMMENDATIONS

Several things should be done to accommodate the planned remodeling. For construction-phasing purposes, it may be best to start with the roof rafter strengthening first, followed by the floor-joist strengthening.

1. Strengthen the existing roof rafters with 1 3/4" x 7 1/4" Versa-Lam members. **An** economical way to strengthen the rafters is to place a sistering piece of Versa-Lam along

June 9, 2004

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the bottom 13 feet of the existing rafters. Additionally, you should install $\frac{3}{4}$ " plywood along the knee wall, and install Simpson H5 rafter ties along the inner face of the wall top plate.

2. Install double 1x6 collar ties at every other rafter, at least 7'-6" above the finish floor.
3. Strengthen the existing 2x8 attic floor rafters by supplementing them with $1\frac{3}{4}$ " x $7\frac{1}{4}$ " Versa-Lam joists. Note that it may be necessary to install temporary shoring beams in the rooms below to remove some of the deflection from the existing joists. Place the Versa-Lams between the existing joists and provide continuous solid blocking at midspan and at each end. Note that the blocking only needs to be nailed to the new joist, not to the existing joist. This will enable future efforts to continue to jack the existing joists.
4. Below proposed partition walls, double up Versa-Lam joists.
5. Install a continuous 2x8 ledger beneath the existing rafters at the roof ridge. Install Simpson U26R joist hangers at the roof ridge. Install $\frac{5}{8}$ " drywall on the building center wall.

I have attached the necessary structural plans and sections to describe these concerns.

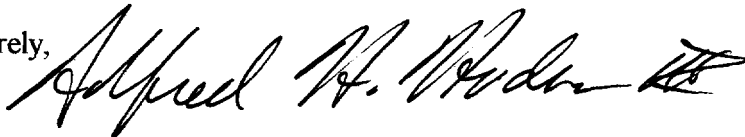
CONCLUSION

The remodeling that you propose for your residence is structurally feasible. The previous discussion outlines structural framing issues that need to be addressed

If you have any questions, please do not hesitate to contact me.

I enjoyed discussing these issues with you, and I look forward to working with you on the center core structural rehabilitation at your home.

Sincerely,

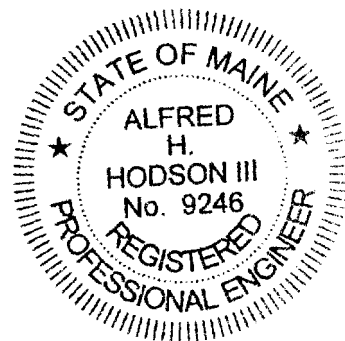


Alfred H. Hodson III, P.E.

AHH/ah

Attachment: Stamped Plans and Invoice No. 2

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LEVELING FLOOR

Restoration
46 Clifford Street
Portland ME 04102
207 874 7971
eckartfrg@aol.com

SISTERING 2"x8" VERSALIM TO EXISTING
FLOOR JOISTS TIED INTO WALL STUDS!
18' x 20' A6

REINFORCEMENT OF RAFTERS
SISTERING 2"x8" VERSALIM A8

REMOVAL OF CLOSET WALL + HALLWAY WALL
NON STRUCTURAL! A7

BUILD NEW WALL 2"x4" 16"OC.

NEW DOORWAY