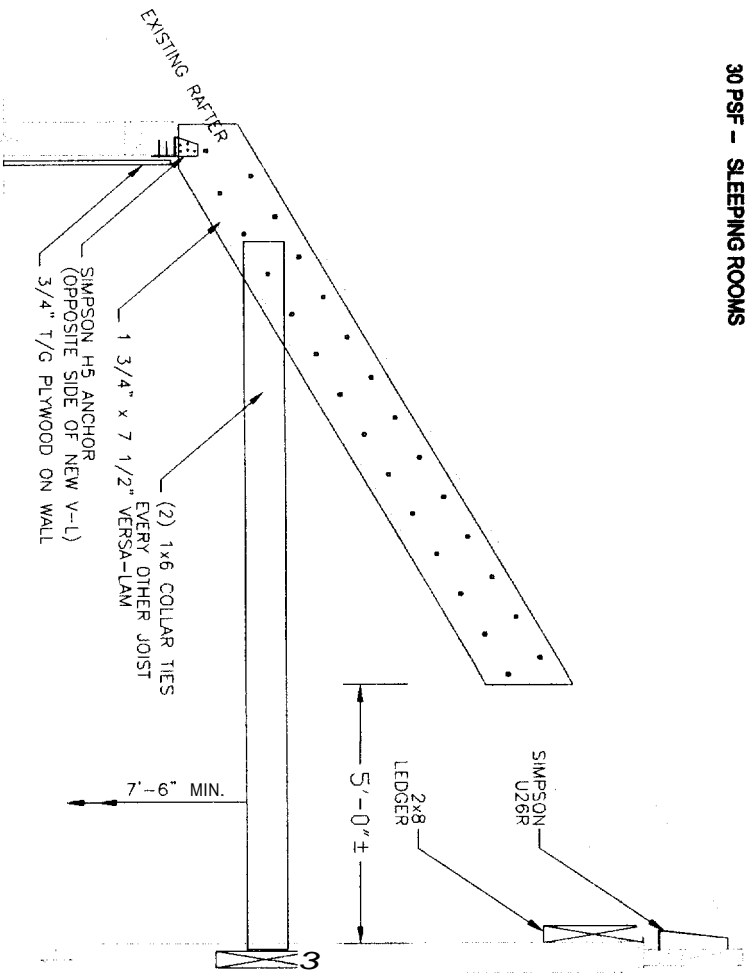


**STRUCTURAL GENERAL NOTES**

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS. FURTHERMORE, THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE SAFETY OF ADJACENT PROPERTY AND THE PUBLIC.
2. NO PROVISIONS HAVE BEEN MADE FOR ANY TEMPORARY CONDITIONS THAT MAY ARISE DURING CONSTRUCTION PRIOR TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, SHORING, AND TEMPORARY BRACING DURING THE PROJECT.
3. WORK NOT INDICATED ON THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE INCLUDED.
4. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS THAT MAY AFFECT THE WORK. DUE TO THE TIGHT DIMENSIONAL TOLERANCES NECESSARY TO ACHIEVE CODE COMPLIANCE ON THIS PROJECT, IT IS HIGHLY RECOMMENDED THAT THE OWNER CONTACT THE ENGINEER AFTER DEMOLITION HAS EXPOSED SUFFICIENT STRUCTURE TO VERIFY THE DIMENSIONAL ACCURACY OF THESE EXISTING AND PROPOSED PLANS.
5. ANY MODIFICATION OR ALTERATION OF THESE CONSTRUCTION DOCUMENTS OR CHANGES IN CONSTRUCTION FROM THE INTENT OF THESE DOCUMENTS BY THE CONTRACTOR WITHOUT WRITTEN APPROVAL OF THE ENGINEER SHALL REMOVE ALL PROFESSIONAL AND LIABILITY RESPONSIBILITY ON THE PART OF THE ENGINEER. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUBMITTED TO THE ENGINEER FOR REVIEW, AND ACCEPTANCE GRANTED.
6. DO NOT SCALE FROM THE DRAWINGS.

**DESIGN CRITERIA**

1. INTERNATIONAL BUILDING CODE, 2000 EDITION, AS ADOPTED BY THE CITY OF PORTLAND  
ADDRESS: 383 SPRING STREET (46 CLIFFORD STREET), PORTLAND, MAINE  
CITY CHART - LOT - BLOCK NUMBER 61 A4 (383 SPRING STREET)  
ZONE R-4 WITH HISTORIC OVERLAY
- OCCUPANCY: RESIDENTIAL, ONE AND TWO-FAMILY RESIDENCE  
FLOOR LIVE LOAD: RESIDENTIAL, ONE AND TWO-FAMILY,  
40 PSF - LIVING ROOMS AND STAIRS  
30 PSF - SLEEPING ROOMS



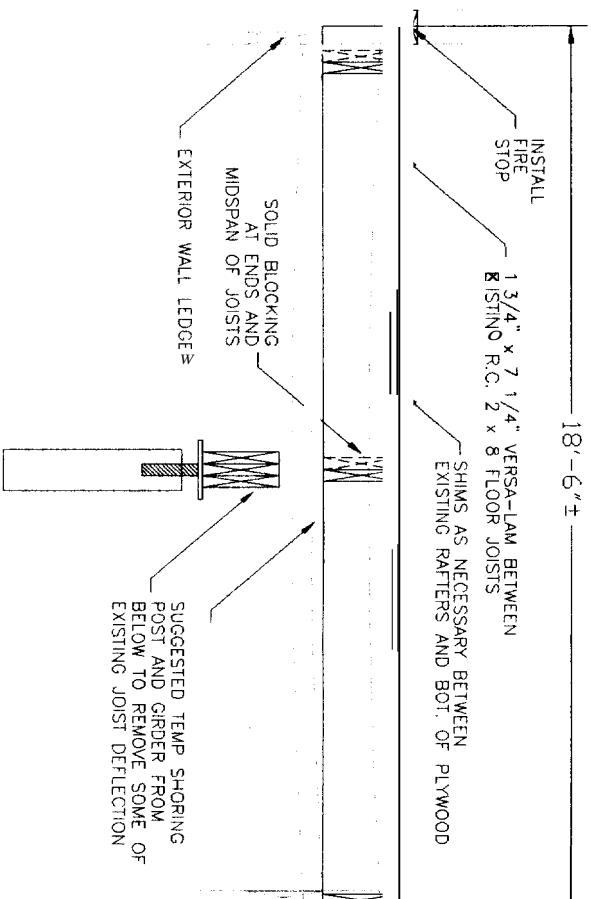
NOTE: WALLS AND DECKING NOT SHOWN FOR CLARITY.

**3 DETAIL: RAFTER BASE ANCHOR**

SCALE: NOT TO SCALE

**LUMBER AND JOIST HANGERS**

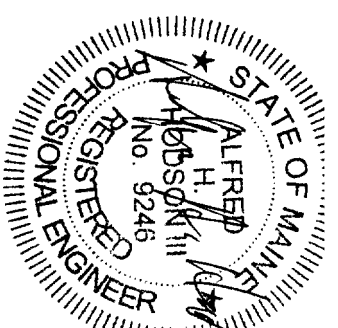
1. ALL COMPOSITE LUMBER USED ON THIS JOB SHALL BE VERSA-LAM MANUFACTURED BY BOISE ENGINEERED WOOD PRODUCTS. BENDING STRESS  $F_b = 3100$  psi, ELASTIC MODULUS  $E = 2,000$  ksi. FRAMING LUMBER USED FOR OTHER WALL AND ROUGH CARPENTRY APPLICATIONS SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER, KILN DRIED TO A MOISTURE CONTENT OF LESS THAN 19 PERCENT.
2. ALL JOIST HANGERS, HURRICANE TIES, AND ATTACHMENT HARDWARE ARE TO BE AS SPECIFIED, MANUFACTURED BY SIMPSON STRONG-TIE. CONNECT ALL JOIST HANGERS PER SIMPSON STRONG-TIE REQUIREMENTS.
3. SPECIAL ATTENTION SHOULD BE TAKEN TO INSTALL FASTENERS AS INDICATED ON THE DRAWINGS.
4. WHEN FASTENING INTO EXISTING LUMBER, IT MAY BE NECESSARY TO PREDRILL HOLES SO THAT NAILS OR SCREWS DO NOT CRACK EXISTING FRAMING. TO ACHIEVE PROPER FASTENER ALIGNMENT, TEMPORARILY PIN JOIST HANGER IN PLACE WHILE DRILLING HOLES.
5. NEW STRUCTURAL FRAMING INSTALLATION SHOULD OCCUR WHILE TEMPORARY SHORING IS IN PLACE. FINISH CARPENTRY, DRYWALL INSTALLATION, AND FINISH PAINTING SHOULD OCCUR AFTER TEMPORARY SHORING IS REMOVED.
6. ACCLIMATE FRAMING LUMBER TO INTERIOR CLIMATE BY STORING IT INSIDE FOR AT LEAST 48 HOURS BEFORE USE. KEEP LUMBER OFF OF THE FLOOR BY USING SPACER BLOCKS. STORE OUT OF DIRECT SUNLIGHT TO DIMINISH UNEVEN DRYING EFFECTS.
7. DO NOT NOTCH JOISTS IN THE MIDDLE-THIRD OF THEIR SPAN. REPAIR EXISTING, NOTCHED JOISTS AND RAFTERS BY "SISTERING" THEM WITH NEW MATERIAL OF THE SAME DEPTH. GLUE AND SCREW NEW MATERIAL TO THE EXISTING MATERIAL. PREDRILL HOLES INTO ADDED PIECES TO PROVIDE PRE-DRILLING TEMPLATE FOR EXISTING MATERIAL. REFER TO PLANS AND DETAILS FOR OVERLAP LENGTHS.
8. INSTALL SOLID LUMBER FIRE BLOCKING BETWEEN EXISTING WALL STUDS AT THE THIRD FLOOR LEVEL, IF NO SUCH BLOCKING EXISTS.
9. AFTER INSTALLING ELECTRICAL WIRING, BLOCK ALL EXISTING, ABANDONED HOLES THAT WERE DRILLED IN PREVIOUSLY-EXISTING BLOCKING.



NOTES:  
1. DEFLECTION, SHOWN IN EXISTING JOIST IS GREATLY EXAGGERATED.  
2. 3/4" T&G "ADVANTER" PLYWOOD NOT SHOWN FOR CLARITY.

**1 NAILING DETAIL: VERSA-LAM JOISTS TO EXISTING JOISTS**

SCALE: NOT TO SCALE



**RESURGENCE**  
ENGINEERING & PRESERVATION, INC.  
ALFRED H. HODSON III, P.E.  
132 BRENTWOOD STREET  
PORTLAND, ME 04103  
(207) 773-4980  
ALFREDHODSON@AOL.COM

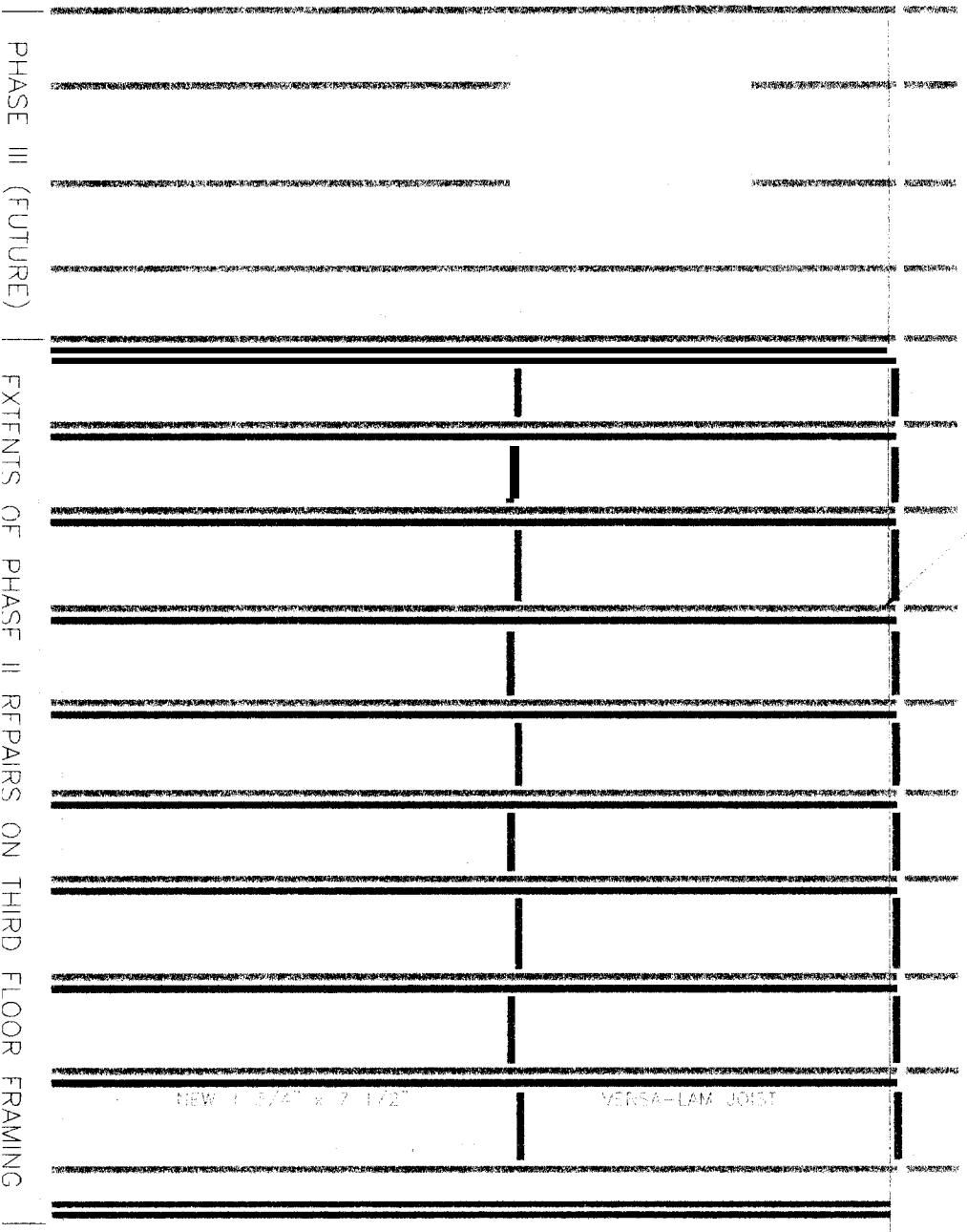
ECKARD & MOLLY HORN  
383 SPRING STREET  
(46 CLIFFORD STREET)  
PORTLAND, ME 04102

09 JUN 04	N/A	AS NOTED
A. HODSON		A. HODSON
04-001		46CLNOTE5PH2

**HORN RESIDENCE - PHASE II UPGRADES**  
383 SPRING STREET, PORTLAND, MAINE

**STRUCTURAL NOTES  
AND TYPICAL DETAILS**

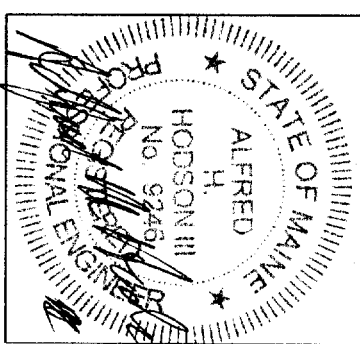
SCALE  
 1/4" = 1'-0"  
 CENTER  
 TYPICAL



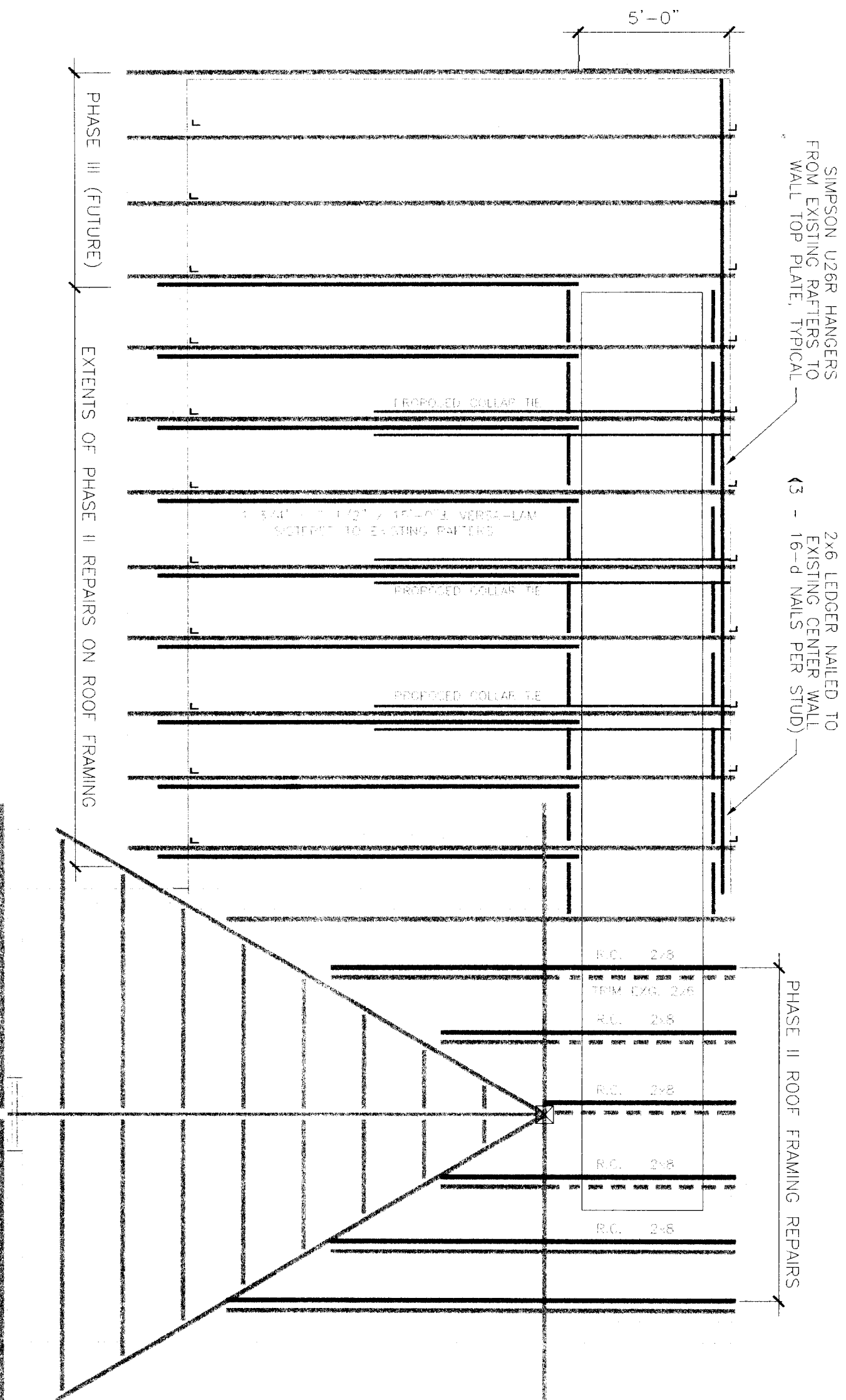
**RESURGENCE**  
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03 JUL 03	AS NOTED
A. HODSON	A. HODSON
04-001	HORNPH2 DWG



**PHASE II THIRD FLOOR FRAMING REPAIRS**  
 SCALE: 1/4" = 1'-0"



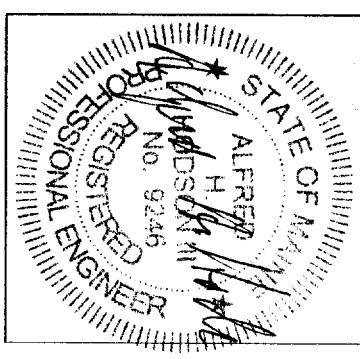
**PHASE II ROOF FRAMING REPAIRS**

SCALE: 1/4" = 1'-0"

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 132 BRENTWOOD STREET  
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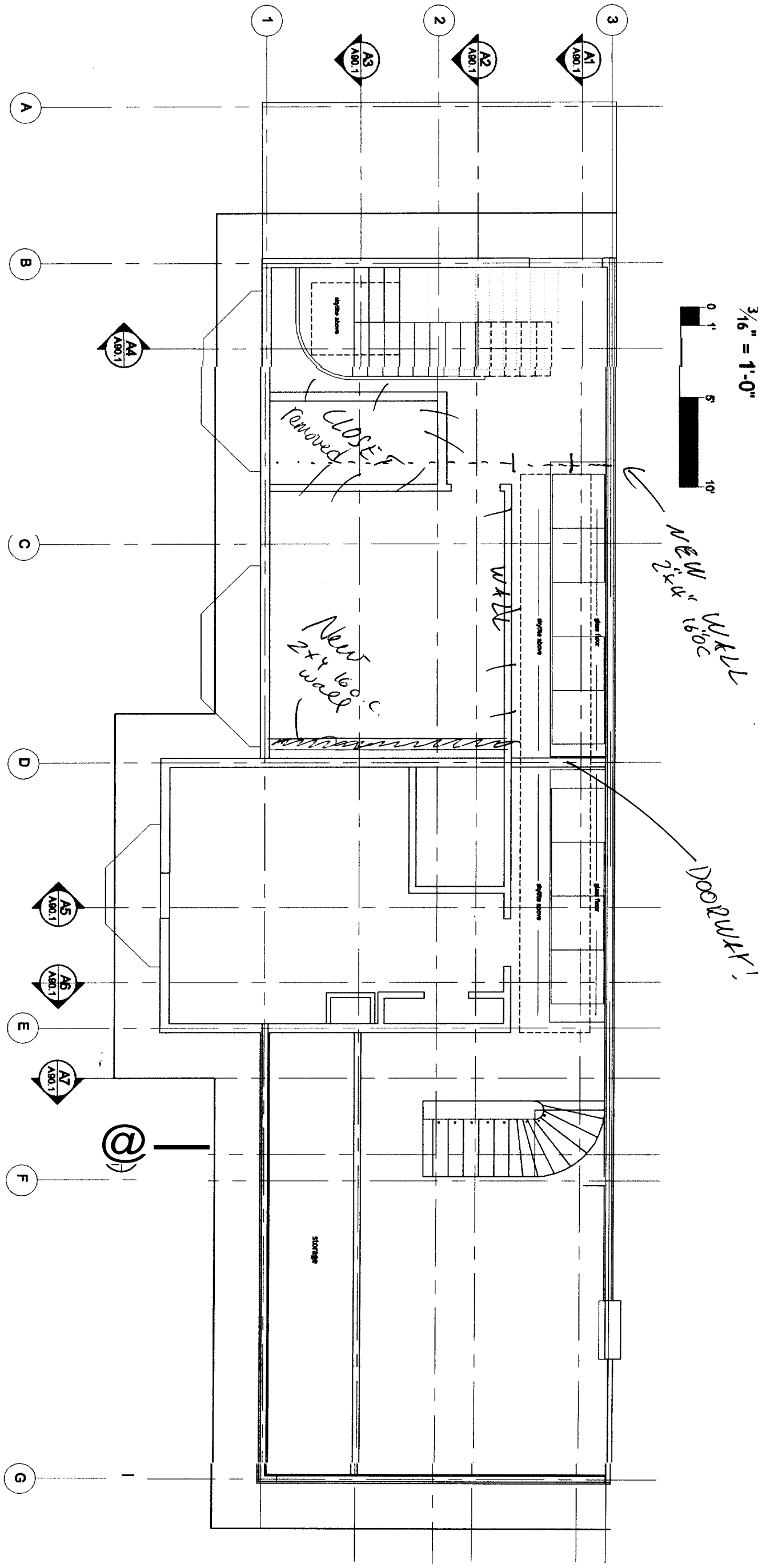
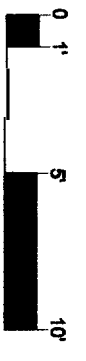
ECKART & MOLLY HORN  
 46 CLIFFORD STREET  
 PORTLAND, ME 04102

09 JUN 04	AS NOTED
A. HODDSON	A. HODDSON
04-001	HORNPH2.DWG



# 3rd floor

3/16" = 1'-0"



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 207 874 7971  
 eckartfr@aol.com

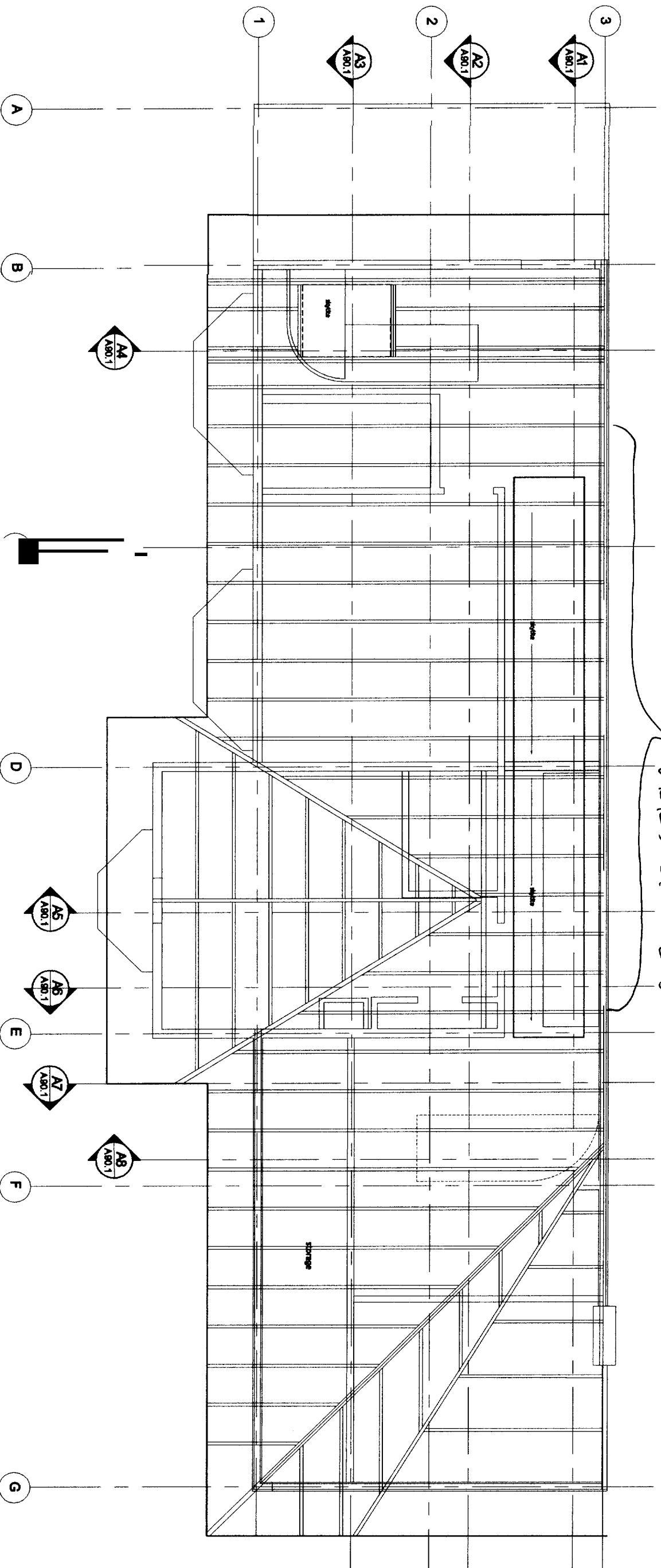
Eckhart and Molly Horn  
 46 Clifford street  
 Portland, Maine 04102

Nvision  
 architectural design  
 97 Pearl Street  
 Portland Maine, 04102  
 tel 207.807.1418

Architect  
 Eckart Horn  
 Date  
 04/19/2003  
**A7**

# roof framing

3/16" = 1'-0"



*RAFTER REINFORCEMENT  
VERSKIM 2x8*

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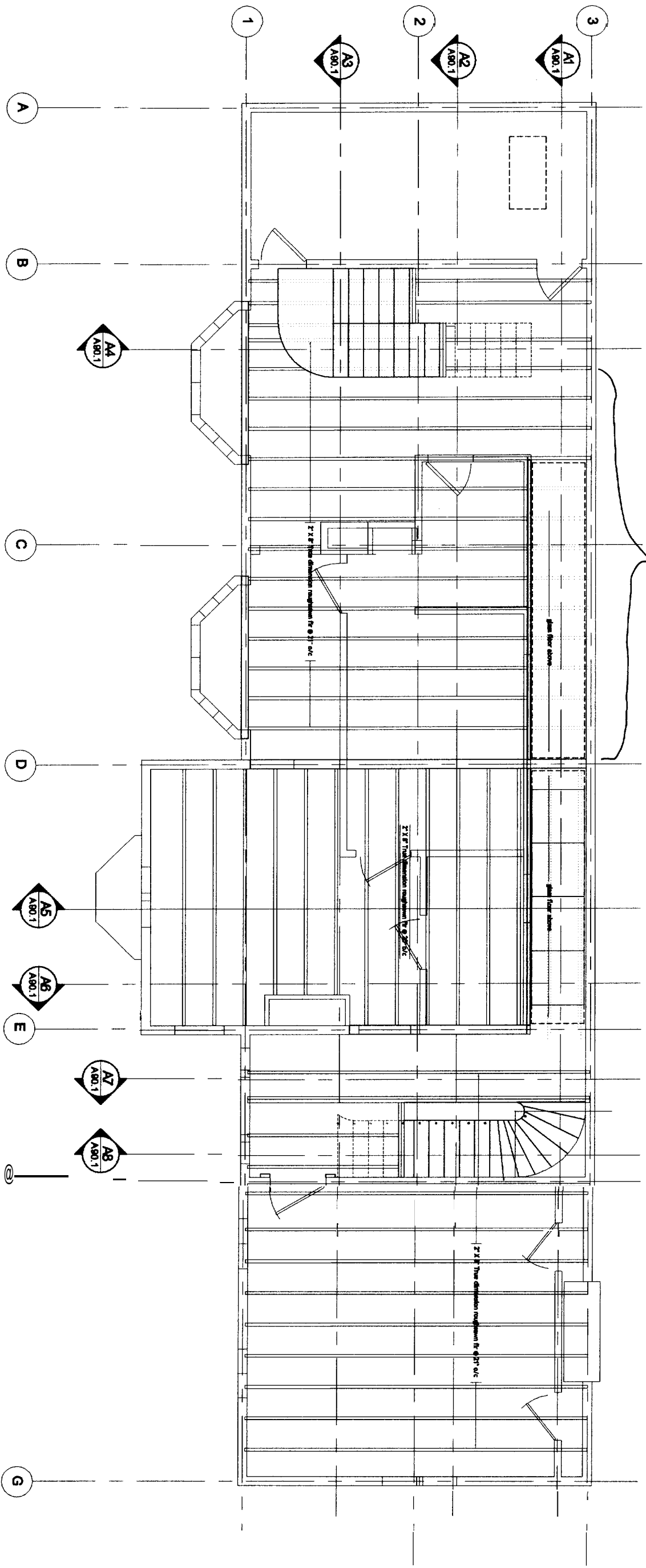
Eckhart and Molly Horn  
46 Clifford Street  
Portland, Maine 04102

# 3rd floor framing

3/16" = 1'-0"



KDD VERS KLIM



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Nvision  
 architectural design

Eckhart and Molly Horn  
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Architect	Eckhart and Molly Horn
Date	Oct. 18, 2005
Sheet	6