

Sancti Wood MAPS

City of Portland
Development Review Application
Planning Division Transmittal Form

Application Number: 2013-201

Application Date: 08/16/2013

CBL: 059 A008001

Application Type: Plan Amendment - Board Level III

Project Name: New Yard

Address: 528 COMMERCIAL ST

Project Description: Phased redevelopment of former industrial site into a boat and ship repair and maintenance facility and related mix-use activities. Current submission is for amended project phasing.

Zoning: WPDZ

Other Required Reviews:

- | | | |
|---|---|--|
| <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> 14-403 Streets | <input type="checkbox"/> Housing Replacement |
| <input type="checkbox"/> Storm Water | # Units _____ | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Flood Plain | <input type="checkbox"/> Other: |
| # Lots _____ | <input type="checkbox"/> Shoreland | |
| <input type="checkbox"/> Site Location | <input type="checkbox"/> Design Review | |
| # Unit _____ | | |

Distribution List:

Planner	Bill Needelman	Parking	John Peverada
Zoning	Marge Schmuckal	Design Review	Alex Jaegerman
Traffic Engineer	Tom Errico	Corporation Counsel	Danielle West-Chuhta
Civil Engineer	David Sensus	Sanitary Sewer	John Emerson
Fire Department	Chris Pirone	Inspections	Tammy Munson
City Arborist	Jeff Tarling	Historic Preservation	Deb Andrews
Engineering	David Margolis-Pineo	DRC Coordinator	Phil DiPierro
		Outside Agency	

Comments needed by 9/19/2013

City of Portland
Development Review Application
Planning Division Transmittal Form

Application Number: 2012-575 **Application Date:** 08/24/2012
CBL: 059 A008001 **Application Type:** Level III Site Plan Under 50,000 sq f
Project Name: West Commercial St.
Address: 528 COMMERCIAL
Project Description: Canal Landing Marina Maintenance facility, development of former industrial site into a boat and ship repair and maintenance facility related marina mix-use activities; New Yard, LLC; 2 - 58 West Commercial St. , 2-232 Commercial St/, 528-564 Commercial
Zoning: WPDZ

Other Required Reviews:		
<input type="checkbox"/> Traffic Movement	<input type="checkbox"/> 14-403 Streets	<input type="checkbox"/> Housing Replacement
<input type="checkbox"/> Storm Water	# Units _____	<input type="checkbox"/> Historic Preservation
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Flood Plain	<input type="checkbox"/> Other:
# Lots _____	<input type="checkbox"/> Shoreland	
<input type="checkbox"/> Site Location	<input type="checkbox"/> Design Review	
# Unit _____		

Distribution List:

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		Outside Agency	

Comments needed by 9/19/2013

Marge Schmuckal - New Yard Boat Maintenance bldg - #2013-02298

From: Marge Schmuckal
To: flight@portlandyacht.com
Date: 10/10/2013 11:11 AM
Subject: New Yard Boat Maintenance bldg - #2013-02298

Hi Bob,

I have your application for the new boat maintenance facility. I need more specific information on the height of the structure and also how the height of the structure meets the other requirement of being no higher than 65' above the mean sea level. I will need all that documentation.

This new structure also needs to comply with the underlying flood zone. I do not see the first floor elevation documented on the plans. The property is located in an A-2 flood zone with an elevation of 10'. The City's Ordinance requires the first floor elevation to be at least at elevation 12' (2 feet above the given elevation). There are flood forms that need to be filled out by you and returned. First a certificate of elevation needs to be filled out to document what the 1st floor elevation is supposed to be. Part I of the elevation would allow you to begin construction (after the permit issued). After the slab is poured, a certificate of elevation confirming the actual constructed first floor elevation is completed and submitted. Once the first floor elevation is confirmed by me as meeting the Floodplain rules, a part II application gives you permission to continue building the rest of the structure.

Please submit the required information that I need before signing off on this application. Then I can complete the floodplain forms.

If you have any questions, feel free to call me (207) 874-8695 or e-mail me at this address.

Marge Schmuckal
Zoning Administrator
City of Portland, Maine

Marge Schmuckal - New Yard new Bldg

From: Marge Schmuckal
To: Philip DiPierro; William Needleman
Date: 10/10/2013 10:39 AM
Subject: New Yard new Bldg

Hi,

We just received an application for the new structure to be erected. I know that we can not sign off on it yet because a revised site plan was just applied for. So this is just a notice of what is going on down here.

Applicant: New Yard LLC (Phineas Sprague) ^{Date:}

Address: 40 West Commercial
~~1545076~~ 528 Commercial St

C-B-L: 059-A-1,23 → 12

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone/Location - WPDZ

Interior or corner lot -

Proposed Use/Work - New Boat yard with boat storage, bldgs & ramp to water

Sevage Disposal - City

Lot Street Frontage - None req

Front Yard -

Rear Yard -

Side Yard -

} None req -

Projections -

Width of Lot -

Height - 45' max with exceptions also no structure may exceed 65' in height above mean sea level

Lot Area - NO min

Lot Coverage/Impervious Surface - 100%

Area per Family - N/A

Off-street Parking -

Loading Bays -

Site Plan - 2013 - 201

Shoreland Zoning/Stream Protection - Exempt from 75' setback 1A-449(a)1.b

Flood Plains - panel 16 of 17 - Zone AZ - el 10'
sent forms for boattramp → flood proofing

Marge Schmuckal - 528 Commercial Street

From: Marge Schmuckal
To: Philip DiPierro
Date: 9/12/2013 3:13 PM
Subject: 528 Commercial Street

Hi Phil,

I have the permit application for the site work for the Canal Landing boat yard. Tell me when I can issue the permit.

Thank you,

Marge

CITY OF PORTLAND, MAINE

PLANNING BOARD

Carol Morrissette, Chair
Stuart O'Brien, Vice Chair
Elizabeth Boepple
Timothy Dean
Sean Dundon
Bill Hall
Jack Soley

August 28, 2013

Applicant:
Mr. Phineas Sprague, Jr.
New Yard, LLC
58 Fore Street
Portland, Maine 04101

Agent:
Steve Bushey, PE
Deluca Hoffman Associates
778 Maine Street
South Portland, Maine 04106

Project Name: New Yard at Canal Landing, Phasing Amendment
Project ID: #2013-201
Address: 40 West Commercial Street
CBL: 59-A-1,2,3,4,5,6,7,8,9,10,11,12
Applicant: New yard, LLC
Planner: Bill Needelman, Senior Planner

Dear Mr. Sprague:

On August 27, 2013, the Planning Board considered an amendment to the previously approved New Yard at Canal Landing for a 22 acre boat repair and service yard located at 40 West Commercial Street and the Fore River. The amendment proposes phasing the development with an initial phase to include a boat ramp, associated floating docks, site grading, and fencing. The Planning Board reviewed the amendments for conformance with the standards of the Conditional Use in the Waterfront Port Development Zone (Boat Storage,) Shoreland Zoning Regulations, Flood Plain Management, and the Site Plan Ordinance. The Planning Board voted 6-0 (Dundon absent) to approve the application with the following conditions as presented below.

Conditions of Approval

- i. MDOT Shared Entrance: *Regarding the proposal for use of the existing easterly entrance adjacent to the IMT, the City will monitor the entrance for safety and may require modifications to the gate and entrance design if safety issues become evident.*

- ii. Fire Safety and Emergency Access: *Prior to occupancy and or use of the site, the applicant shall submit a revised fire safety plan for review and approval identifying additional hydrant locations, emergency access routes and their adequacy for supporting fire suppression equipment.*
- iii. Previous Conditions of Approval: *For development approved on December 18, 2012, all conditions of approval remain in effect as described in Attachment 1 of Planning Board Report #40-13 (Planning Board Approval Letter dated January 25, 2013.)*

The original December 18, 2012 approvals remain in effect until one year after the date of approval and may be extended for up to two additional years at the request of the applicant and approval by the Planning Authority.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
2. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
4. **Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements, inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.

5. **Defect Guarantee** A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. **Preconstruction Meeting** Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting. (If applicable)
7. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
8. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
9. **Storm Water Management:** That the developer /contractor /subcontractor must comply with conditions of the construction stormwater management plan and sediment & erosion control plan based on City standards and state guidelines; that the owner/operator of the approved stormwater management system and all assigns shall comply with the conditions of Chapter 32 Stormwater including Article III, Post-Construction Storm Water Management, which specifies the annual inspections and reporting requirements; and that a maintenance agreement for the stormwater drainage system, as attached, or in substantially the same form with any changes to be approved by Corporation Counsel, shall be submitted and signed prior to the issuance of a Certificate of Occupancy with a copy to the Department of Public Services.

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Bill Needelman, Senior Planner at (207) 874-8722 or email at wbn@portlandmaine.gov

Sincerely,



Carol Morrisette, Chair
Portland Planning Board

Attachments:

1. Planning Board Report #40-13
2. City Code: Chapter 32
3. Performance Guarantee Packet

Electronic Distribution:

cc: Jeff Levine, AICP, Director of Planning and Urban Development
Alexander Jaegerman, FAICP, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Bill Needelman, Senior Planner
Philip DiPiero, Development Review Coordinator, Planning
Marge Schmuckal, Zoning Administrator, Inspections Division
Tammy Munson, Inspection Division Director
Lannie Dobson, Administration, Inspections Division
Gayle Guertin, Administration, Inspections Division
Michael Bobinsky, Public Services Director
Katherine Earley, Engineering Services Manager, Public Services
Bill Clark, Project Engineer, Public Services
David Margolis-Pineo, Deputy City Engineer, Public Services
Doug Roncarati, Stormwater Coordinator, Public Services
Greg Vining, Associate Engineer, Public Services
Michelle Sweeney, Associate Engineer
John Low, Associate Engineer, Public Services
Rhonda Zazzara, Field Inspection Coordinator, Public Services
Mike Farmer, Project Engineer, Public Services
Jane Ward, Administration, Public Services
Jeff Tarling, City Arborist, Public Services
Jeremiah Bartlett, Public Services
Captain Chris Pirone, Fire Department
Thomas Errico, P.E., TY Lin Associates
David Senus, P.E., Woodard and Curran
Rick Blackburn, Assessor's Department
Approval Letter File

Canal Landings

2013-201



US Army Corps
of Engineers®
New England District
Maine Project Office
675 Western Avenue #3
Manchester, Maine 04351

PUBLIC NOTICE

RECEIVED
MAR - 6 2013
Dept. of Building Inspections
City of Portland Maine

Date: MAR 05 2013
Comment Period Ends: APR 04 2013
File Number: NAE-2012-02469
In Reply Refer To: Jay L. Clement
Or by e-mail: jay.l.clement@usace.army.mil

The District Engineer has received a permit application from the applicant below to conduct work in waters of the United States as described below. The Corps is soliciting comments on both the project itself and the range of issues to be addressed in the environmental documentation.

APPLICANT: NEW YARD, LLC, 58 FORE STREET, PORTLAND, MAINE 04101

ACTIVITY: Place fill below the high tide line and perform excavation and other work beyond the mean high water line of the Fore River at Portland, Maine in order to develop a new boat and ship repair and maintenance facility. Regulated activities include the placement of stone riprap along the shore to provide bank stabilization, the installation of two concrete boat ramps, excavation and dredging with upland disposal, rehabilitation of former pier pilings as appropriate and installing new pilings where necessary to secure a new float system running parallel with shore, and the installation of a travel lift. The upland property, a former industrial site will be cleaned up and regarded to allow for a number of support buildings and associated infrastructure.

WATERWAY AND LOCATION OF THE PROPOSED WORK: The Fore River (Portland Harbor) at Portland, Maine.

AUTHORITY

Permits are required pursuant to:

- Section 10 of the Rivers and Harbors Act of 1899
- Section 404 of the Clean Water Act
- Section 103 of the Marine Protection, Research and Sanctuaries Act).

The decision whether to issue a permit will be based on an evaluation of the probable impact of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefit which may reasonably accrue from the proposal must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered, including the cumulative effects thereof; among those are: conservation, economics, aesthetics, general environmental concerns, wetlands, cultural value, fish and wildlife values, flood hazards, flood plain value, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food production and, in general, the needs and welfare of the people.

The Corps of Engineers is soliciting comments from the public; federal, state, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the Corps of Engineers to determine whether to issue, modify, condition or deny a permit for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are used in the preparation of an Environmental Assessment

and/or an Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

Where the activity involves the discharge of dredged or fill material into waters of the United States or the transportation of dredged material for the purpose of disposing it in ocean waters, the evaluation of the impact of the activity in the public interest will also include application of the guidelines promulgated by the Administrator, U.S Environmental Protection Agency, under authority of Section 404(b) of the Clean Water Act, and/or Section 103 of the Marine Protection Research and Sanctuaries Act of 1972 as amended.

ESSENTIAL FISH HABITAT (EFH): The Magnuson-Stevens Fishery Conservation and Management Act, as amended by the Sustainable Fisheries Act of 1996 (Public Law 104-267), requires all federal agencies to consult with the National Marine Fisheries Service on all actions, or proposed actions, permitted, funded, or undertaken by the agency, that may adversely affect Essential Fish Habitat ("EFH").

This project will potentially impact up to 28,402 s.f. of EFH - 6,500 s.f. (fill), 8,966 s.f. (excavation/dredging), and 12,892 s.f. (shading). Refer to attached sheet for list of species and life stages. This habitat consists of intertidal and sub-tidal bottom composed of sand, gravel, cobble, and industrial debris. The proposed project is expected to have both short-term and long-term impacts on marine resources. Short-term turbidity and construction related disturbance can be expected but will rapidly dissipate upon completion of construction. Long-term impacts can be expected from the permanent fill footprint and any excavation/dredging. However, this habitat has been degraded from the heavy industrial use of the shoreline in the past. Based upon this assessment of impacts to EFH, the District Engineer has made a preliminary determination that the site-specific adverse effect will not be substantial. Further consultation with the National Marine Fisheries Service regarding EFH conservation recommendations is being conducted and will be concluded prior to the final decision.

SECTION 106 COORDINATION: Based on his initial review, the District Engineer determined that the project will not affect properties with cultural or Native American significance, or listed in, or eligible for listing in, the National Register of Historic Places. Therefore, no further consideration of the requirements of Section 106 of the National Historic Preservation Act of 1966, as amended, is necessary. This determination is based upon one or more of the following:

- a. The permit area has been extensively modified by previous work.
- b. The permit area has been recently created.
- c. The proposed activity is of limited nature and scope.
- d. Review of the latest published version of the National Register shows that no presence of registered properties listed as being eligible for inclusion therein are in the permit area or general vicinity.
- e. Coordination with the State Historic Preservation Officer and/or Tribal Historic Preservation Officer(s)

ENDANGERED SPECIES ACT CONSULTATION: The New England District, Army Corps of Engineers has reviewed the list of species protected under the Endangered Species Act of 1973, as amended, which might occur at the project site. It is our determination that the proposed activity for which authorization is being sought is designed, situated or will be operated/used in such a manner that it is not likely to adversely affect any Federally listed endangered or threatened species or their designated critical habitat. The federal resource agencies have concurred with our determination.

The following authorizations have been applied for, or have been, or will be obtained:

- Permit, License or Assent from State.
- Permit from Local Wetland Agency or Conservation Commission.

(X) Water Quality Certification in accordance with Section 401 of the Clean Water Act.


In order to properly evaluate the proposal, we are seeking public comment. Anyone wishing to comment is encouraged to do so. **Comments should be submitted in writing by the above date.** If you have any questions, please contact Jay Clement at 207-623-8367, ext. 1 at our Manchester, Maine Project Office.

Any person may request, in writing, within the comment period specified in this notice, that a public hearing be held to consider the application. Requests for a public hearing shall specifically state the reasons for holding a public hearing. The Corps holds public hearings for the purpose of obtaining public comments when that is the best means for understanding a wide variety of concerns from a diverse segment of the public.

The initial determinations made herein will be reviewed in light of facts submitted in response to this notice. All comments will be considered a matter of public record. Copies of letters of objection will be forwarded to the applicant who will normally be requested to contact objectors directly in an effort to reach an understanding.

For more information on the New England District Corps of Engineers programs, visit our website at <http://www.nae.usace.army.mil>.

THIS NOTICE IS NOT AN AUTHORIZATION TO DO ANY WORK.


Frank J. Del Giudice
Chief, Permits and Enforcement Branch
Regulatory Division

If you would prefer not to continue receiving Public Notices, please contact Ms. Tina Chaisson at (978) 318-8058 or e-mail her at bettina.m.chaisson@usace.army.mil. You may also check here () and return this portion of the Public Notice to: Bettina Chaisson, Regulatory Division, U.S. Army Corps of Engineers, 696 Virginia Road, Concord, MA 01742-2751.

NAME: _____

ADDRESS: _____

Summary of Essential Fish Habitat (EFH) Designation

10' x 10' Square Coordinates:

Boundary	North	East	South	West
Coordinate	43° 40.0' N	70° 10.0' W	43° 30.0' N	70° 20.0' W

Square Description (i.e. habitat, landmarks, coastline markers): The waters within the square east of Portland, ME., affecting the following: Cape Elizabeth, ME. and South Portland, ME., from Portland, ME., to just south of Scarborough Beach (the tip of Prouts Neck), off Scarborough, ME. These waters are located mostly within southern Casco Bay (east of and north of Cape Elizabeth), including waters within Fore River, and within the Bigelow Bight (south of Cape Elizabeth), within the Gulf of Maine. This square also include waters affecting the southern part of Peaks Island, Cushing Island and Richmond Island. Other features affected include: Bluff I., Stratton I., Old Proprietor, Richmond I. Harbor, Ram I., Adams Head on Richmond I., Old Anthony Rock, West Hue and Cry, and the westernmost part of the West Cod Ledge, along with the Libby River, Spurwink River, Taylor Reef, Mitchell Rock, Seal Cove, and Broad Cove. Also, Trundy Pt., Trundy Reef, Willard Rock, Pine Tree Ledge, Jordon Reef, Portland Head, Spring Pt., Ram I., Witch Rock, and Ram I. Ledge are affected.

Species	Eggs	Larvae	Juveniles	Adults
Atlantic salmon (<i>Salmo salar</i>)				X
Atlantic cod (<i>Gadus morhua</i>)	X	X	X	X
haddock (<i>Melanogrammus aeglefinus</i>)				X
pollock (<i>Pollachius virens</i>)			X	
whiting (<i>Merluccius bilinearis</i>)			X	X
offshore hake (<i>Merluccius albidus</i>)				
red hake (<i>Urophycis chuss</i>)			X	X
white hake (<i>Urophycis tenuis</i>)			X	X
redfish (<i>Sebastes fasciatus</i>)	n/a			
witch flounder (<i>Glyptocephalus cynoglossus</i>)				
winter flounder (<i>Pleuronectes americanus</i>)	X	X	X	X
yellowtail flounder (<i>Pleuronectes ferruginea</i>)	X	X	X	X
windowpane flounder (<i>Scophthalmus aquosus</i>)	X	X	X	X
American plaice (<i>Hippoglossoides platessoides</i>)	X	X	X	X
ocean pout (<i>Macrozoarces americanus</i>)	X	X	X	X
Atlantic halibut (<i>Hippoglossus hippoglossus</i>)	X	X	X	X
Atlantic sea scallop (<i>Placopecten magellanicus</i>)	X	X	X	X
Atlantic sea herring (<i>Clupea harengus</i>)		X	X	X

monkfish (<i>Lophius americanus</i>)				
bluefish (<i>Pomatomus saltatrix</i>)			X	X
long finned squid (<i>Loligo pealei</i>)	n/a	n/a		
short finned squid (<i>Illex illecebrosus</i>)	n/a	n/a		
Atlantic butterfish (<i>Peprillus triacanthus</i>)				
Atlantic mackerel (<i>Scomber scombrus</i>)			X	X
summer flounder (<i>Paralichthys dentatus</i>)				
scup (<i>Stenotomus chrysops</i>)	n/a	n/a		
black sea bass (<i>Centropristus striata</i>)	n/a			
surf clam (<i>Spisula solidissima</i>)	n/a	n/a		
ocean quahog (<i>Artica islandica</i>)	n/a	n/a		
spiny dogfish (<i>Squalus acanthias</i>)	n/a	n/a		
tilefish (<i>Lopholatilus chamaeleonticeps</i>)				
bluefin tuna (<i>Thunnus thynnus</i>)				X

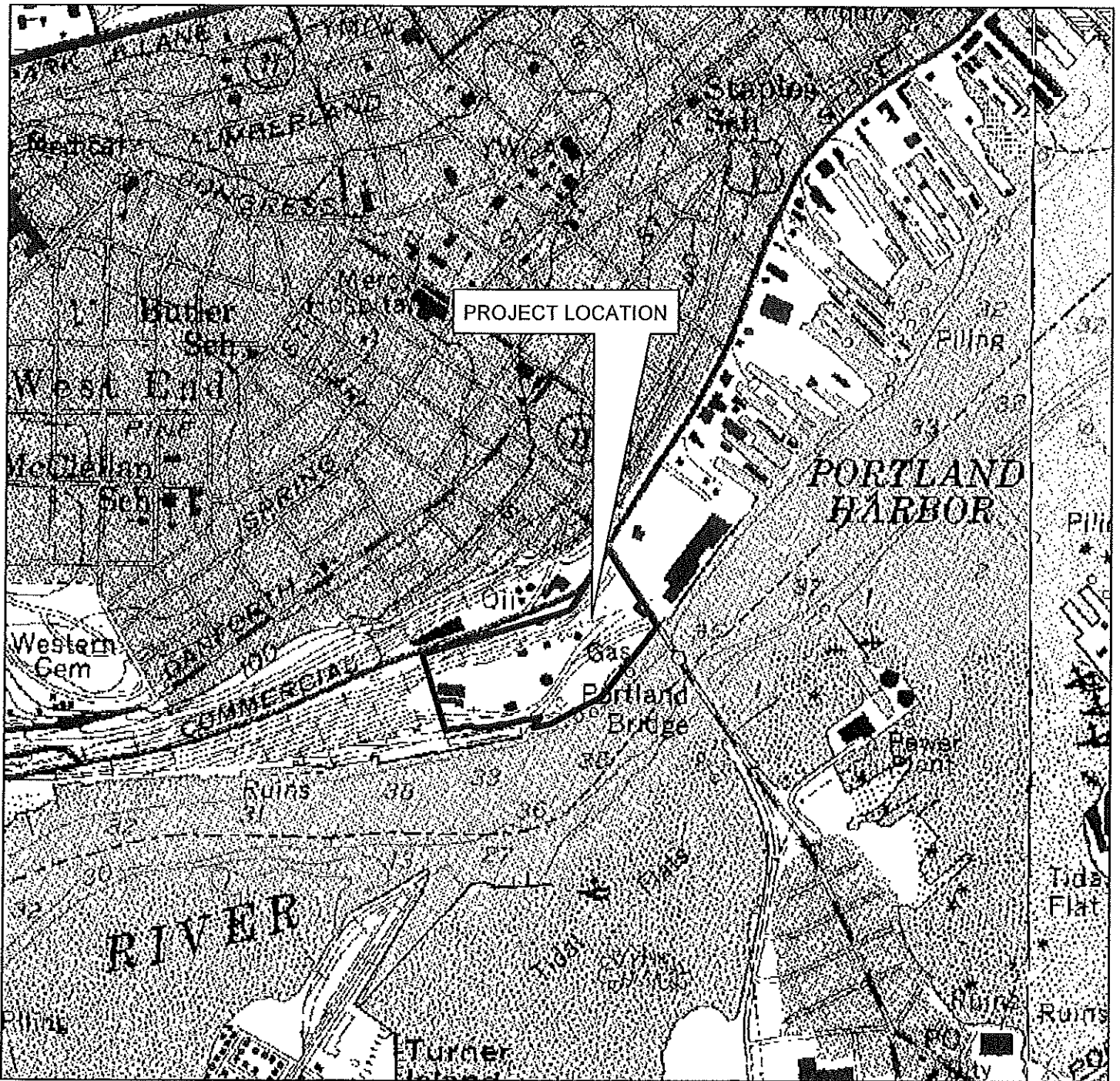
MAINE PUBLIC NOTICE WORKSHEET		Deadline: X 30-day or 20-day	
Project Name: New Yard, LLC	File Number: NAE-2012-02469	Project Manager: Clement	
(If applicable) Date of 401 WQC: 10/30/12	Date CZM Consistency Determination: 10/30/12	(If applicable) Date Suitability Determination completed for open water disposal: NA	
Senator Angus King United States Senate 188 Russell Senate Office Building Washington, D.C. 20510-1904		Senator Susan Collins United States Senate 172 Russell Senate Office Building Washington, D.C. 20510-1904.	
US Congress – For ME Congressional Districts (CD) see Maine.gov : Government: Local** or Map- (Select one)			
<u>Mayor/Selectman/Town Manager</u> City of Portland 389 Congress Street Portland, Maine 04101		<u>Representative Chellie Pingree</u> The Honorable Chellie Pingree United States House of Representatives 1037 Longworth HOB Washington, DC 20515	
		<u>Conservation Commission**</u> South Portland Conservation Commission 23 Bay Street South Portland, Maine 04106	
<u>Other Town Officials</u> Jeff Lick, Harbormaster City of Portland 2 Portland Fish Pier, Suite 2B Portland, Maine 04101		POSTMASTER City of Portland	
Maine Historic Preservation Commission, 55 Capital Street, 65 State House Station, Augusta, Maine 04333 Aroostook Band of Micmacs, Tribal Historic Preservation Officer, 7 Northern Road, Presque Isle, Maine 04769 Passamaquoddy Tribe of Indians, Pleasant Point Reservation, P.O. Box 343, Perry, Maine 04667 Houlton Band of Maliseet Indians, Tribal Historic Preservation Officer, 88 Bell Road, Littleton, Maine 04730 Passamaquoddy Tribe of Indians, Indian Township Reservation, P.O. Box 301, Princeton, Maine 04668 Penobscot Indian Nation, 12 Webanaki Way, Indian Island, Maine 04468			
ABUTTERS ADDRESSES attached as: Mailing Labels X Mailing List 15-0 ME Data File <input type="checkbox"/>			

**Footnote: Hyperlink to the State of Maine/links and services for the community – Maine.gov: Living: Cities & Towns Online

COPIES:

- Steve Bushey, DeLuca-Hoffman Associates, 778 Main Street, Suite 8, South Portland, Maine 04106
- Lt. Megan Drewniak, US Coast Guard, Sector Northern New England, 259 High Street, South Portland, Maine 04106

** Maine.gov offers a wealth of information, including: Legislators and the phone numbers to Town Offices where a call may help you obtain correct mailing addresses for the Mayor, the Conservation Commission and other useful links.



USGS LOCATION MAP
CANAL LANDING
PORTLAND, MAINE

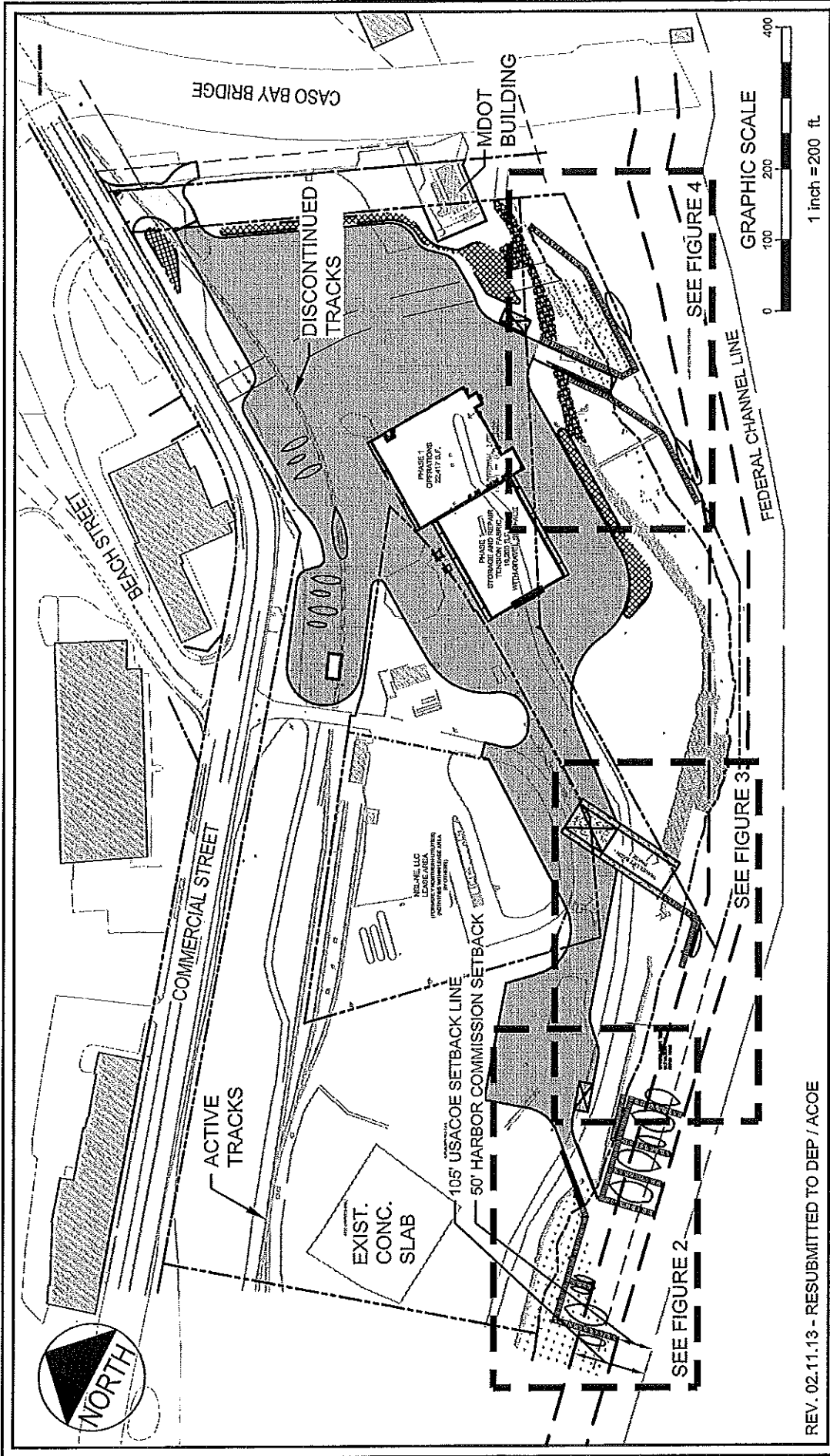
SOURCE: MAINE OFFICE OF GIS - MAPS

DeLuca-Hoffman Associates, Inc.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207-775-1121
www.delucahoffman.com

DRAWN: DED
CHECKED: SRB
DATE: APRIL 2012
FILENAME: 3091-USGS
SCALE: 1 inch = 1,000 feet

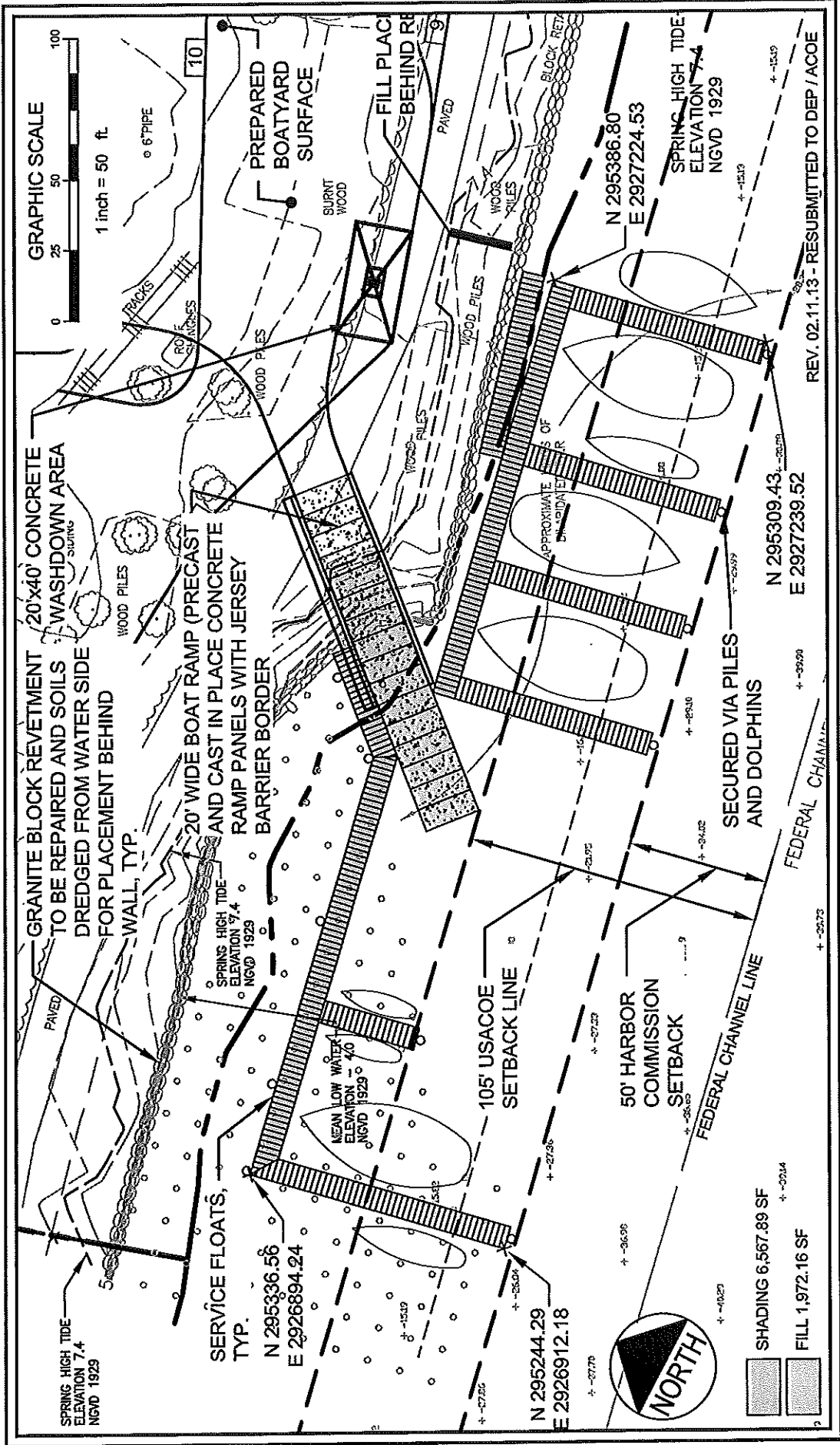
FIGURE

2



REV. 02.11.13 - RESUBMITTED TO DEP / ACOE

<p>FIGURE:</p> <h1 style="text-align: center;">1</h1>	<p>BOOK: 1507 7026</p>	<p>PAGE: 126 187</p>	<p>LOCATION: CITY OF PORTLAND CANAL LANDING</p>	<p>PROPOSED ACTIVITY: SHOREFRONT FACILITIES ASSOCIATED WITH BOATYARD USE</p>	<p>PROJECT APPLICANT: NEW YARD, LLC 58 FORE STREET PORTLAND, ME 04101</p>
<p>LEGAL DESCRIPTION: REFER TO PLANS IN SITE PLAN APPLICATION</p>	<p>WATER BODY: FORE RIVER</p>	<p>ABUTTERS: SEE ATTACHMENT 10</p>	<p>SCALE: 1"=200' DATUM: -</p>	<p>DATE: OCT. 2012 REVISED DEC. 2012</p>	<p>DELUCA-HOFFMAN ASSOCIATES, INC.</p>



<p>FIGURE:</p> <h1 style="text-align: center;">2</h1>	<p>BOOK: 1507 7026</p> <p>PAGE: 126 187</p> <p>LEGAL DESCRIPTION: REFER TO PLANS IN SITE PLAN APPLICATION</p>	<p>LOCATION: CITY OF PORTLAND CANAL LANDING</p> <p>WATER BODY: FORE RIVER</p>	<p>PROPOSED ACTIVITY: BOAT RAMP EXTENDING BEYOND MEAN LOW WATER ELEVATION, DRY DOCK & FLOATING DOCKS</p> <p>ABUTTERS: SEE ATTACHMENT 10</p>	<p>PROJECT APPLICANT: NEW YARD, LLC 58 FORE STREET PORTLAND, ME 04101</p> <p>SCALE: 1"=50' DATUM: -</p> <p>DATE: OCT. 2012 REVISED DEC. 2012</p> <p>DELUCA-HOFFMAN ASSOCIATES, INC.</p>
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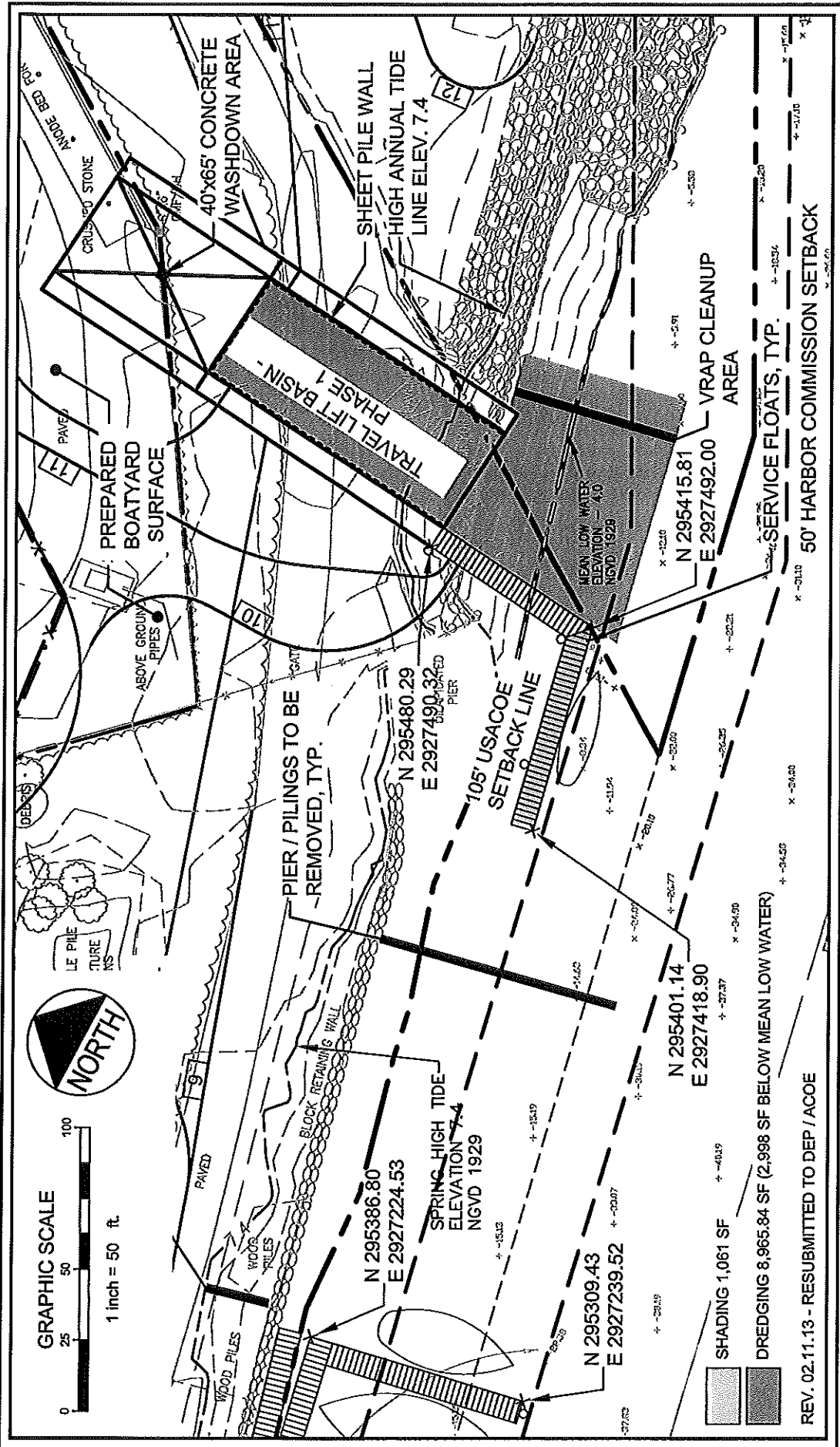
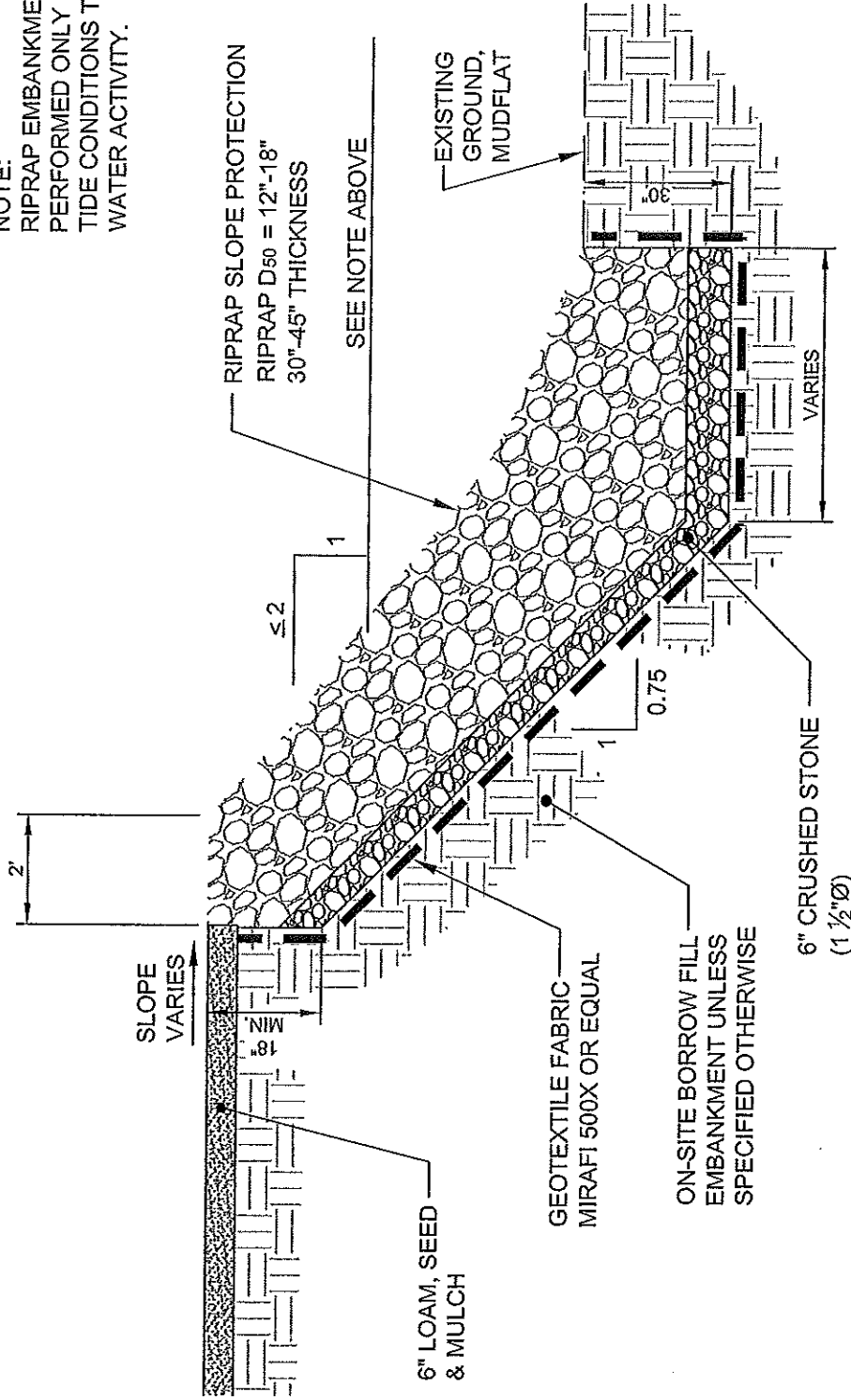


FIGURE: <h1 style="text-align: center;">3</h1>	BOOK: 1507 7026	PAGE: 126 187	LOCATION: CITY OF PORTLAND CANAL LANDING	PROPOSED ACTIVITY: TRAVEL LIFT BASIN AND FLOATING DOCKS	PROJECT APPLICANT: NEW YARD, LLC 58 FORE STREET PORTLAND, ME 04101
	LEGAL DESCRIPTION: REFER TO PLANS IN SITE PLAN APPLICATION			ABUTTERS: SEE ATTACHMENT 10	SCALE: 1"=50' DATUM: - DATE: OCT. 2012 REVISED: DEC. 2012

NOTE:
RIPRAP EMBANKMENT WORK TO BE PERFORMED ONLY DURING LOW TIDE CONDITIONS TO AVOID IN WATER ACTIVITY.



RIPRAP SLOPE DETAIL

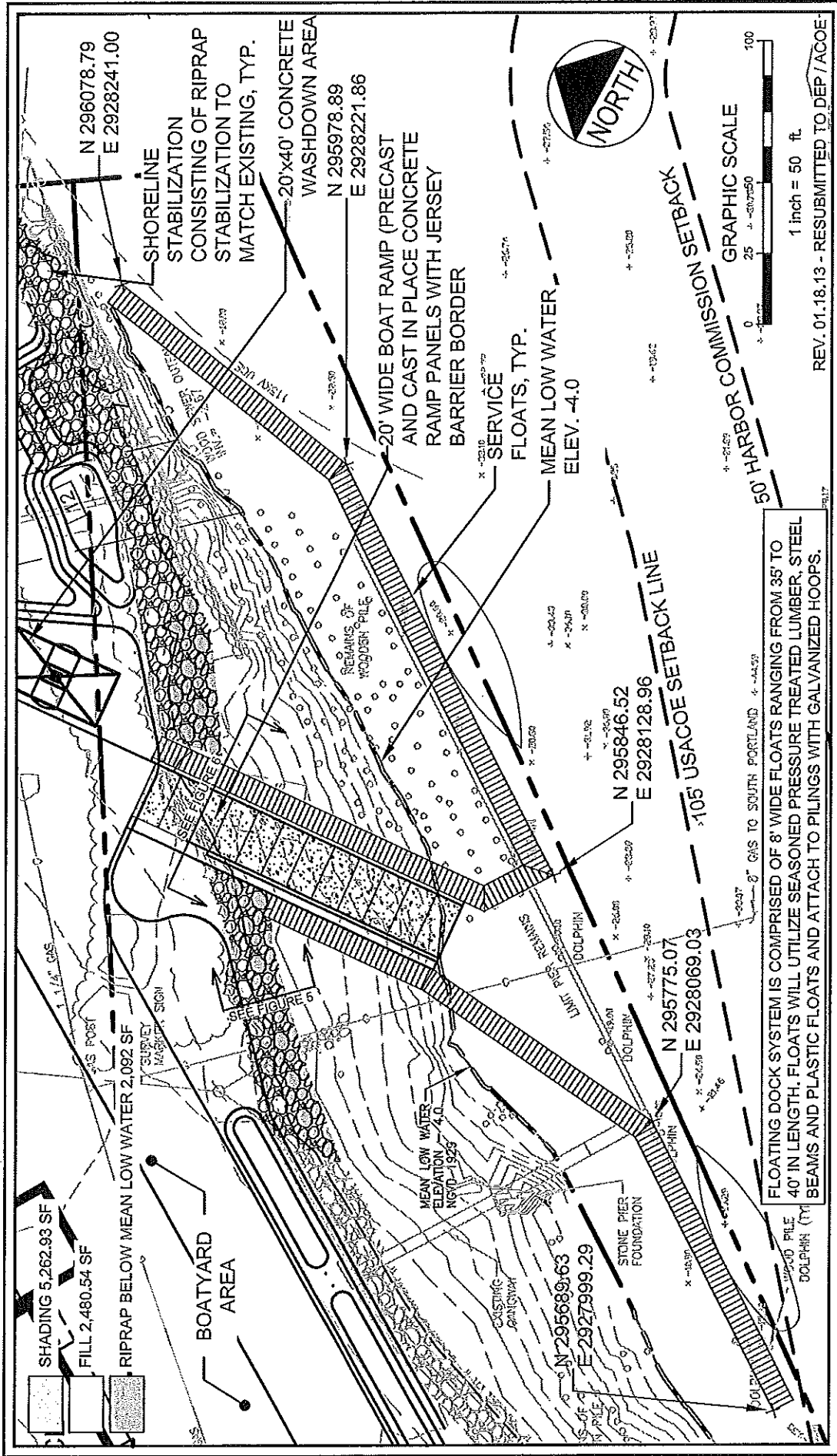
N.T.S.

RIPRAP EMBANKMENT DESIGN SUBJECT TO GEOTECHNICAL REVIEW AND MODIFICATION

EXCERPT FROM SHEET C-6.2

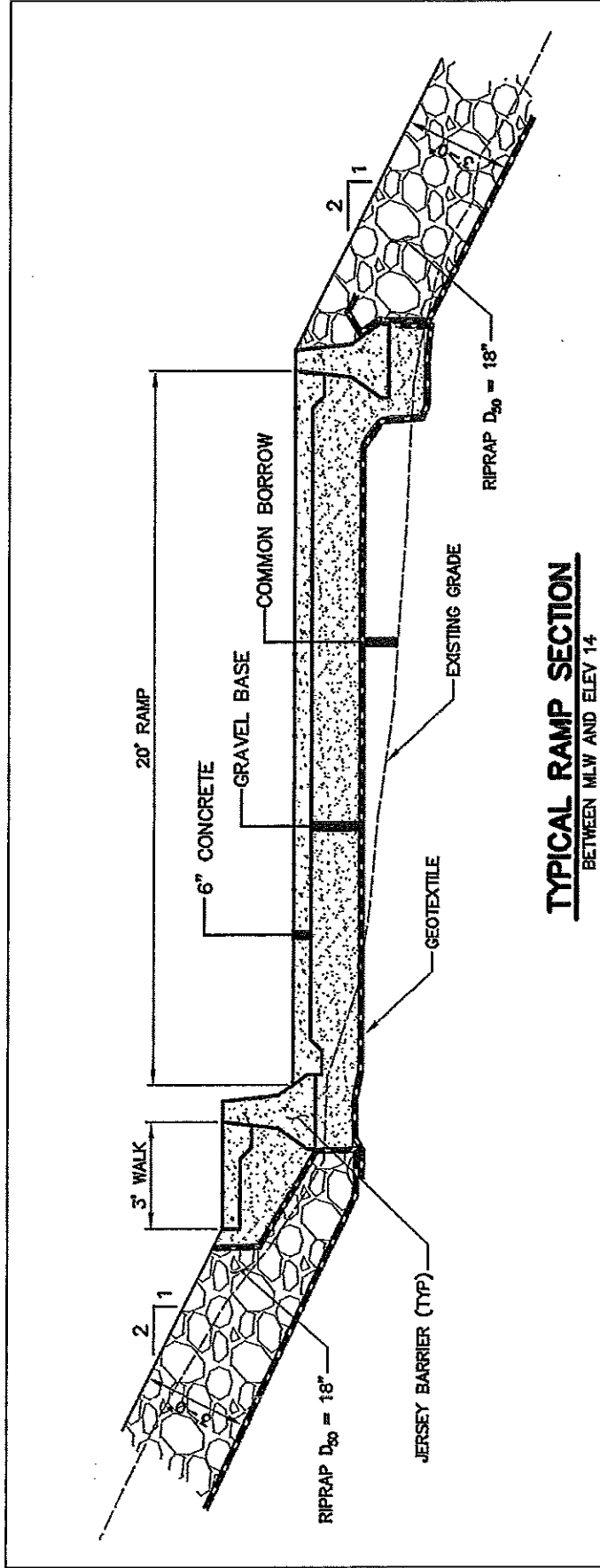


FIGURE: <h1 style="text-align: center;">5</h1>	BOOK: 1507 7026	PAGE: 126 187	LOCATION: CITY OF PORTLAND CANAL LANDING	PROPOSED ACTIVITY: BOAT RAMP EXTENDING BEYOND MEAN LOW WATER ELEVATION AND FLOATING DOCKS	PROJECT APPLICANT: NEW YARD, LLC 58 FORE STREET PORTLAND, ME 04101
	LEGAL DESCRIPTION: REFER TO PLANS IN SITE PLAN APPLICATION	WATER BODY: FORE RIVER	ABUTTERS: SEE ATTACHMENT 10	SCALE: NTS DATUM: -	DATE: FEB 2013



REV. 01.18.13 - RESUBMITTED TO DEP / ACOE-

FIGURE: <h1 style="text-align: center;">4</h1>	BOOK: 1507 7026	PAGE: 126 187	LOCATION: CITY OF PORTLAND CANAL LANDING	PROPOSED ACTIVITY: BOAT RAMP EXTENDING BEYOND MEAN LOW WATER ELEVATION AND FLOATING DOCKS	PROJECT APPLICANT: NEW YARD, LLC 58 FORE STREET PORTLAND, ME 04101
	LEGAL DESCRIPTION: REFER TO PLANS IN SITE PLAN APPLICATION	WATER BODY: FORE RIVER	ABUTTERS: SEE ATTACHMENT 10	SCALE: 1"=50' DATUM: -	DATE: OCT. 2012 REVISED: DEC. 2012



TYPICAL RAMP SECTION
BETWEEN MLW AND ELEV 14

PREPARED BY BAKER DESIGN CONSULTANTS

EXCERPT FROM SHEET C-8.5

FIGURE: <h1 align="center">6</h1>	BOOK: 1507 7026	PAGE: 126 187	LOCATION: CITY OF PORTLAND CANAL LANDING	PROPOSED ACTIVITY: BOAT RAMP EXTENDING BEYOND MEAN LOW WATER ELEVATION AND FLOATING DOCKS	PROJECT APPLICANT: NEW YARD, LLC 58 FORE STREET PORTLAND, ME 04101
	LEGAL DESCRIPTION: REFER TO PLANS IN SITE PLAN APPLICATION			ABUTTERS: SEE ATTACHMENT 10	SCALE: NTS DATUM: - DATE: FEB 2013