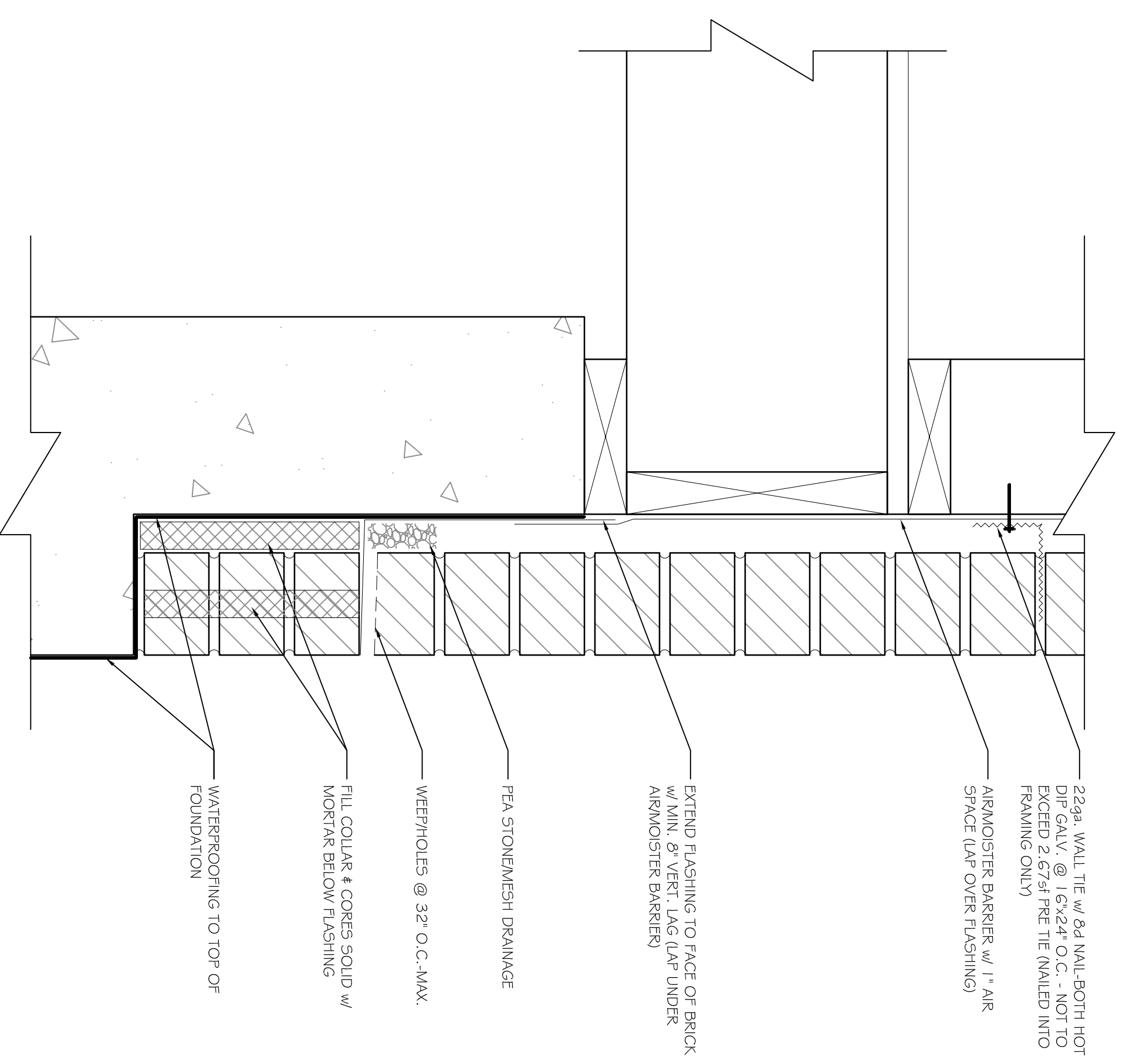
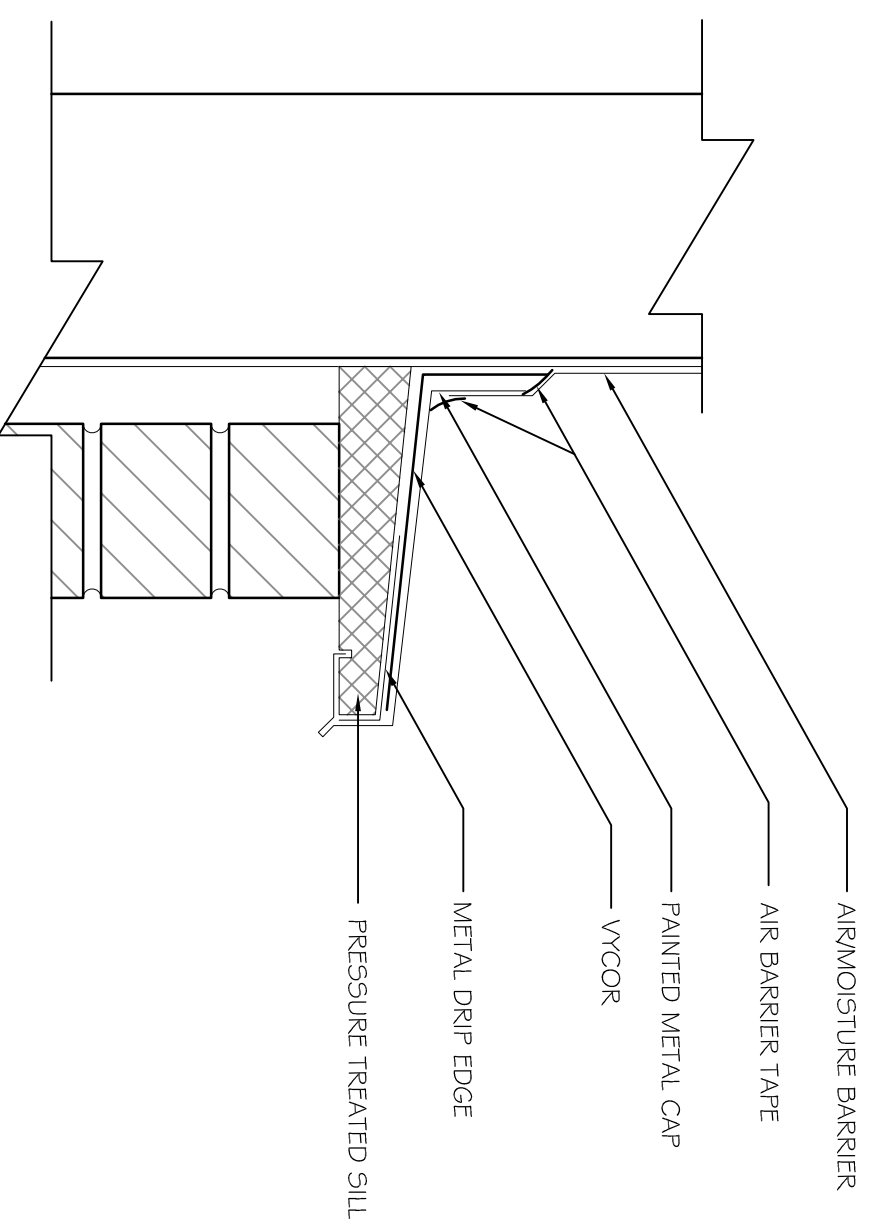
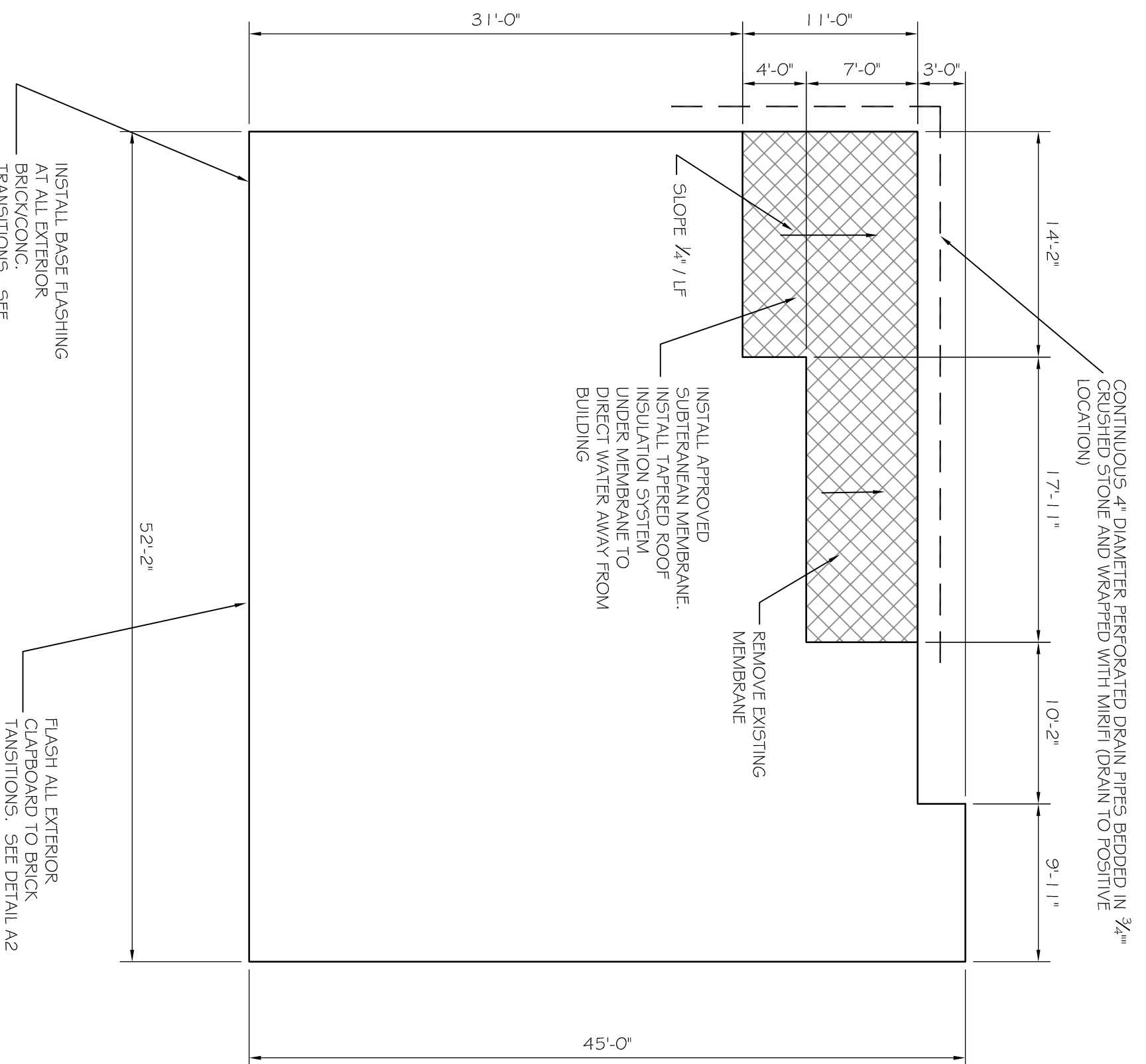


- NOTES:
1. REMOVE, DISPOSE OF AND REFLASH THE PATIO DECK ON THE ROOF OF THIS BUILDING, COMPLETED.
 2. A COMPREHENSIVE MOISTURE SURVEY OF THE EXISTING ROOF SYSTEM SHALL BE COMPLETED.
 3. SATURATED ROOF AREAS SHOULD BE REMOVED AND REPLACED WITH NEW ROOF SYSTEM MATERIALS.
 4. THE ROOF DECK WALL AROUND THE PERIMETER OF THE ROOF IS ROTTED AND DETROXATED. THIS ROOF DECK WALL SHOULD BE REMOVED AND RECONSTRUCTED.
 5. EXTERIOR FINISHES AND INSULATION NEED TO BE REMOVED, WALL CAVITIES CLEARED AND SEALED. INSULATION AND FINISHES PUT BACK TO MATCH EXISTING.
 6. IF THE PATIO DECK IS TO BE PUT BACK A NEW DECK SYSTEM DESIGN SHOULD BE PROVIDED.
 7. CONTINGENT DESIGN MUST INCLUDE MEASURES TO PROTECT AGAINST WATER ENTERING THROUGH THE ROOF.
 8. ALTERNATIVELY, THE PATIO DECK CAN BE PUT BACK USING THE EXISTING DESIGN BY I&L APPROVED BY I&L.
 9. APPROVED BY I&L.
 10. ASSOCIATED DESIGN PARTNERS, INC. DOES NOT ENDORSE OR PROMOTE ANY DESIGN OR WATER PROTECTION PLAN PRODUCED BY I&L.



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PROJECT: **FORE RIVER CONDO**
PORTLAND, MAINE
 FOR:
 SHEET TITLE: **FLASHING DETAILS**

REVISIONS		DATE
No.	BY	DESCRIPTION

DATE : 5-10-11
 SCALE : AS NOTED
 DESIGN BY: JAT
 DRAWN BY: BSC
 FILE #: 11160-S101.DWG
 PROJECT NUMBER:
11160
 SHEET NO:
S101

A3 BUILDING KEY PLAN
 SCALE: 1/8" = 1'-0"

A2 CLABOARD TO BRICK TRANSITION FLASHING DETAIL
 SCALE: 3" = 1'-0"

A1 BASE FLASHING DETAIL
 SCALE: 3" = 1'-0"

B2 WINDOW SILL FLASHING DETAIL
 SCALE: 3" = 1'-0"

B1 WINDOW HEAD FLASHING DETAIL
 SCALE: 3" = 1'-0"