

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that JAMES PHILIPS

Located At 24 BRACKETT ST

Job ID: 2011-12-2941-ALTCOMM

CBL: 058-F-013-001

has permission to Rebuild roof deck unit 4, with new internal structural changes, add 12'x12' pergola provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer



Code Enforcement Officer // Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-12-2941-ALTCOMM

Located At: 24 BRACKETT ST

CBL: 058- F-013-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain as four residential condominiums. Any change of use shall require a separate permit application for review and approval.
3. The deck was originally built in 2005 (permit #05-0572). One of the zoning conditions was that the deck could not be roofed or enclosed because it would be a violation of the maximum building height. The proposed pergola does not fall under the maximum height requirement. Section 14-430 allows certain structures that are not intended for human occupancy to exceed the height limit. Although a pergola is not specifically mentioned it falls under this category. A roof may not be installed on the pergola and it may not be enclosed.

Fire

1. All construction shall comply with City Code Chapter 10.
2. No means of egress shall be affected by this renovation.

Building

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
3. The spa shall have a safety cover complying with ASTM F 1346.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

December 11, 2011

Received from James Buckley

Location of Work 4 Park St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: _____

Building (IL) Plumbing (IS) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 058 FO13

Check #: 1001 Total Collected \$ 75.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-12-2941-ALTCOMM	Date Applied: 12/16/2011	CBL: 058- F-013-004	
Location of Construction: 24 BRACKETT ST	Owner Name: JAMES PHILLIPS	Owner Address: 24 BRACKETT ST # 4 PORTLAND, ME 04102	Phone: 646-436-7408
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Four residential condos	Proposed Use: Same - four residential condos - rebuild roof deck for unit #4 - 12' x 14' adding a 12' x 12'3" pergola	Cost of Work:	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-2 Type: SB JBL-2009 Signature: JMB 1/13/12
Proposed Project Description: replace 12' x 14' deck & add pergola		Pedestrian Activities District (P.A.D.)	
Permit Taken By:	Zoning Approval		

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>Ok w/ conditions</i> <i>12/23/11 JMB</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ARB</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



7-6. entered PD &

2011 12 2941 GC

NEW

General Building Permit Application

AMEND

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>24 BRACKETT ST</u> (GBL-058-F-013-001)		
Total Square Footage of Proposed Structure/Area <u>REBUILD 12X14 DECK w/ PARBOLA</u>	Square Footage of Lot <u>2500</u>	Number of Stories <u>4</u>
Tax Assessor's Chart, Block & Lot Chart# <u>058</u> Block# <u>F</u> Lot# <u>013⁰⁰⁴</u>	Applicant *must be owner, Lessee or Buyer* Name <u>James PHILLIPS</u> Address <u>24 BRACKETT ST #4</u> City, State & Zip <u>PORTLAND, ME 04102</u>	Telephone: <u>646-436-7408</u>
Lessee/DBA (If Applicable) RECEIVED <u>DEC 16 2011</u> Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>5,145</u> C of O Fee: \$ <u>\$</u> Total Fee: \$ <u>80.00</u>
Current legal use (i.e. single family) <u>MULTI-CONDO</u> Number of Residential Units <u>4</u>	If vacant, what was the previous use? _____	
Proposed Specific use: <u>NO CHANGE</u>	Is property part of a subdivision? _____ If yes, please name _____	
Project description: <u>12x14 DECK w/ PARBOLA (10ft)</u>		
Contractor's name: <u>VINCENT VALBOA</u>		
Address: _____		
City, State & Zip _____		Telephone: _____
Who should we contact when the permit is ready: <u>PHILLIPS - HOME</u>		Telephone: <u>646-436-7408</u>
Mailing address: <u>24 BRACKETT ST #4 PORTLAND ME 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

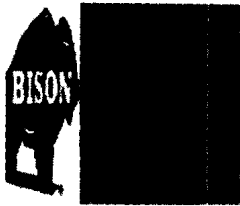
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 12/1/11

This is not a permit; you may not commence ANY work until the permit is issued

QUOTE



10/27/2011

QUOTE NUMBER: QUO-01609-Q6V3Z6

REVISION ID: 1

BISON INNOVATIVE PRODUCTS

Jim Phillips
22 Brackett St
Portland, ME 04102
Jim@nationsphoto.com
Prepared By: Mark Fusco

Confidential Quotation Specifically Prepared for:
Jim Phillips

Project: Phillips Deck Job No:

This quotation is provided based on drawings and/or information provided by others. As such, Bison Innovative Products does not assume any liability or responsibility for any claims arising from or related to the quantities or models of pedestals and accessories shown. The Contractor is responsible for verifying that the design is appropriate and that the dimensions for the project are accurate.

Model # - Description Qty Unit Price Ext Price

WTIPE24 - WOOD TILE - IPE 24 x 24	47	39.56	1,859.32
V4-316 - VERSADJUST 5 3/4" - 9 3/4"w/ 3/16" TABS	89	12.14	1,080.46
FIB - FLOATING INSULATION BASE	16	9.91	158.56
CUBE-TOP-IPE2448 - IPE CUBE TOP 24"x48"	1	220.00	220.00
CUBE-IPE242417 - IPE CUBE 24"x24"x17"	1	450.00	450.00
B11 - 1/16" SHIM	105	1.33	139.65
FS-1 - FASTENING KIT	31	1.47	45.57
LO-316 - LOW HEIGHT PEDESTAL w/ 3/16" TABS	24	9.29	222.96
			\$4,176.52
			Subtotal: \$4,176.52
			Freight Charges: Denver to Portland ME 04102 \$969.00
			TOTAL: \$5,145.52

Prices under this quotation are subject to the following conditions:

- Quotation is good for a period of ten (10) days from the date above unless specifically noted elsewhere in the quotation and is based on a single delivery of the quantities and models quoted.
- Return Authorization Policy: Return of goods must be authorized by Bison Innovative Products and dispatched for return within 90 days of original invoice date. A copy of the original invoice must be provided before a return is authorized. Each authorized return will incur a 25% restocking fee. All goods must be return-shipped freight prepaid by the sender and received by Bison Innovative Products in saleable condition before credit will be issued.
- Payment Terms: Payment due with order.
- Prices are F.O.B. Denver, Colorado USA unless otherwise specified.

Prepared By: Mark Fusco E: mark@bisonip.com
Bison Innovative Products, A United Construction Products Company (c)2011
1975 West 13th Avenue Denver, CO 80204 T 303-892-0400 TF 800-333-4234 F 303-825-5988
www.BisonIP.com

RAILINGS (Products)

CABLE-RAIL

A
8

Standard Cable Assemblies : Installation Instructions

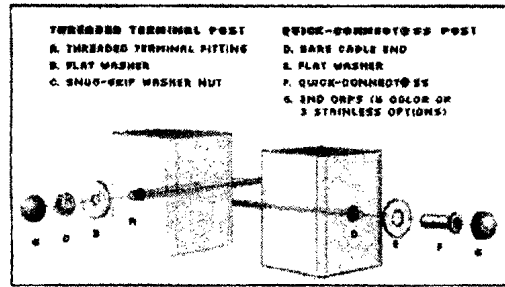
[view cart / checkout](#)

Installing the Standard Cable Assembly System is easy.

Important Note: Building codes vary by city and county; therefore, following the installation and railing design instructions detailed on this website does not necessarily ensure code compliance in all areas. So, before starting your project, be sure to consult your building department on local requirements for using and installing cable railings.

Tools Needed:

- Pencil
- Measuring Tape
- Electric Power Drill
- Drill Bits (see chart in step 2 below)
- Hammer
- Cable Cutters or Cut-Off Disk
- Vise-Grip Pliers
- 7/16" Wrench
- Electric Grinder
- Hack Saw or Electric Reciprocating Saw
- Cable Lacing Needle
- Safety Glasses
- Work Gloves



Just follow these simple steps:



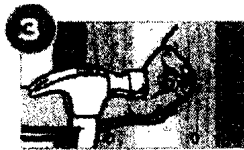
Mark drill hole locations. For safety, space cables no more than 3 inches apart and have a post or vertical spacer at least every 3 feet. See [this page](#) for frame requirements.



Drill holes in one end post for Threaded Terminal fittings, holes in the other end post for the Quick-Connect® SS fittings and holes in all other intermediate posts. As an option to drilling a large hole all the way through the post for the Quick-Connect® SS fitting, we recommend counterboring the fitting, see the counterbore diagram* for details.

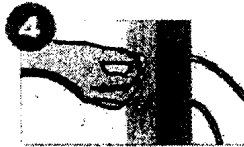
Drill Hole Chart

Assembly Size	Threaded Term. Post	Intermediate Post	Quick-Connect® SS Post*
1/8"	5/16"	1/4"	1/4" hole on cable side/3/8" hole on fitting side
3/16"	3/8"	1/4"	1/4" hole on cable side 9/16" hole on fitting side
1/4"	7/16"	5/16"	5/16" hole on cable side/9/16" hole on fitting side



(WOOD FRAMES ONLY)

Insert Protector Sleeves into post holes wherever the cable enters at an angle and has a tendency to cut into the wood (e.g. stair transition posts or outside faces of double corner posts). Tap in until flush. See [Protector Sleeve](#) details.



Pass the Threaded Terminals through the end post and attach a Flat Washer and Snug-Grip® washer nut. Spin the Snug-Grip® washer nut until about 1/4" of thread is exposed on the end (note: when spinning the nut you will encounter significant resistance as the special Snug-Grip® threads engage; hold the terminal with Vise-Grip pliers if necessary). For angled terminations such as stair posts, see details for [wood frames](#) or [steel frames](#).



Using a Cable Lacing Needle (optional) lace the cable through the intermediate posts and through the opposite end post. Slip a Flat Washer and Quick-Connect® SS fitting on to each loose cable end and continue sliding until the fittings rest against the post face. Do not attempt to pass the lacing needle through the Quick-Connect® SS fitting.

Ann Machado - Philips Roof Deck - Bracket St

From: "Aaron Wilson" <AWilson@adpengineering.com>
To: <amachado@portlandmaine.gov>
Date: 12/23/2011 10:40 AM
Subject: Philips Roof Deck - Bracket St
Attachments: 11379-S201_rev1.pdf; 11379-S301_rev2.pdf

Ann,

Attached is a PDF of dwg S201 (revised 11/30/11), and drawing S301 (revised 12/23/11) of the pergola showing the railings in cross section.

Let me know if you need anything else.

Thank you,

Aaron S. Wilson, P.E.
Vice President

Associated Design Partners, Inc
80 Leighton Rd
Falmouth, ME 04105

Ph: 207.878.1751
Fx: 207.878.1788

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DEC 23 2011

Dept. of Building Inspections
City of Portland Maine

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0572	Date Applied For: 05/10/2005	CBL: 058 F013001
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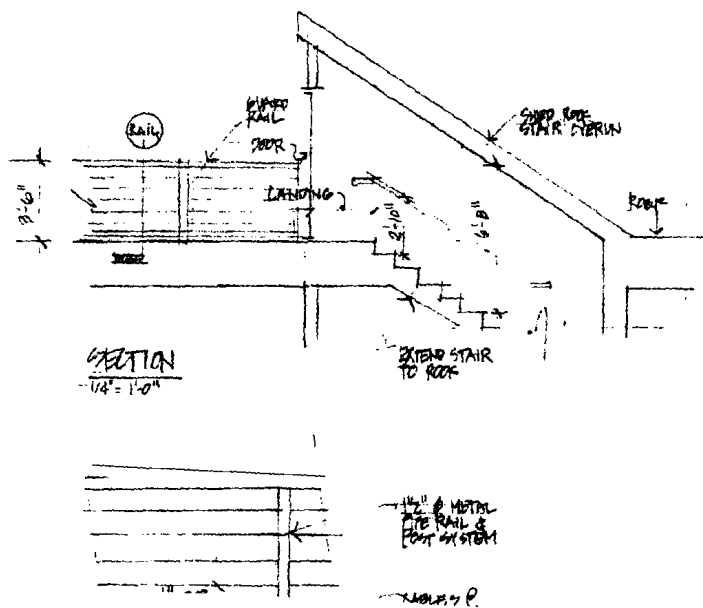
Location of Construction: 24 Brackett St	Owner Name: Mesden Llc	Owner Address: 28 Chestnut St	Phone:
Business Name:	Contractor Name: Daigle Construction	Contractor Address: 234 Church Rd. Brunswick	Phone (207) 725-1452
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Condo 4 units/ Install Roof top decks	Proposed Project Description: Install Roof top decks
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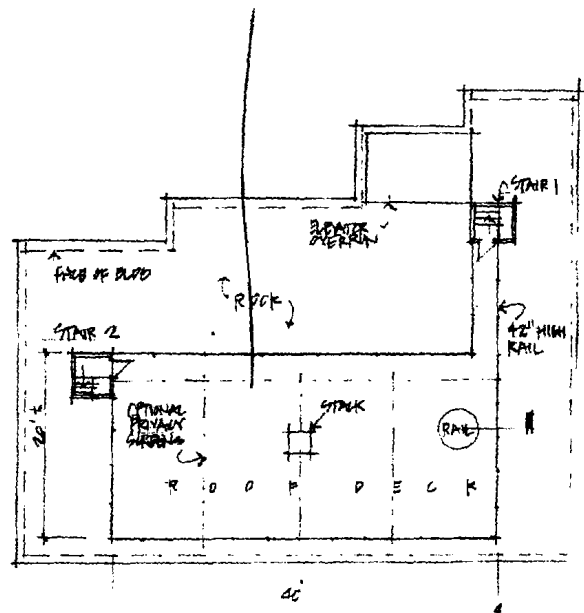
Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 06/10/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p> <p>2) These decks shall not be roofed or enclosed. Such action will result in a violation of building heights. They must remain open for deck use only.</p> <p>3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</p> <p>4) This property shall remain a four (4) family condominium dwelling. Any change of use shall require a separate permit application for review and approval.</p>			
Dept: Building	Status: Approved with Conditions	Reviewer: Mike Nugent	Approval Date: 08/19/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) Project Engineer/ Joe Leisure/ must file a field inspection compliance report on all elements of this roof deck.</p>			
Dept: Fire	Status: Approved with Conditions	Reviewer: Cptn Greg Cass	Approval Date: 06/13/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) All construction to comply with NFPA 101</p>			

Comments:
6/8/2005-gg: received granted site plan exemption. /gg
6/16/2005-mjn: Need guard design and better detail of how the roof stairs are protected and connected. Left a message w/ Joe Leisure
8/12/2005-ldobson: Dropped off additional information mike had permit gave directly to MJN -LJD
8/17/2005-mjn: Guard details not submitted, also special inspection of the framed product is required. Left message with Joe Leisure and New Owner??
8/18/2005-ldobson: Jeff Corbin dropped off additional plans, put with original plans and put in MJN basket. LJD

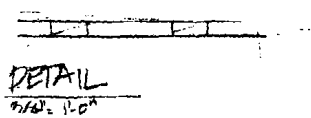
May not be completely enclosed
- No footings




SECTION
1/4" = 1'-0"



ROOF DECK PLAN
1" = 10'



DETAIL
3/4" = 1'-0"

DATE 21 MARCH	SCALE NOTED	PROJECT NAME 24 BRACKET ST LINDS	 OAK POINT ASSOCIATES ARCHITECTS-ENGRS 12 WASH STREET, PORTLAND, ME 04101
DRAWN BY GJM	DESIGNED BY	PROJECT NO. CLARIFIACTY - 54.03	
REVISION			

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JUN 7 2005

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PART 1 - GENERAL

1.00 STANDARD SPECIFICATIONS

- A. FABRICATION, ERECTION, AND WELDING, IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN ADOPTED JUNE 1989, INCLUDING ALL PUBLISHED SUPPLEMENTS, A.I.S.C.
- B. WELDING—IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE", AWS D1.1, LATEST EDITION.
- C. BOLTING OF STRUCTURAL JOINTS SHALL BE IN ACCORDANCE WITH "AISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", LATEST EDITION.

1.01 QUALIFICATIONS

- A. WELDING PROCEDURES, WELDERS, WELDING OPERATIONS AND TACKLING: QUALIFIED IN ACCORDANCE WITH AWS CODE.

1.02 SUBMITTALS

- SUBMIT SHOP DRAWINGS OF POST BRACKETS FOR ENGINEER REVIEW.

1.03 PRODUCT HANDLING

- A. STORE STRUCTURAL STEEL MEMBERS AT THE PROJECT SITE ABOVE GROUND ON PLATFORMS, SKIDS, OR OTHER SUPPORTS.
- B. PROTECT STEEL FROM CORROSION.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. STEEL W AND C SHAPES - ASTM A992.
- B. STEEL BARS - PLATES, ANGLES - ASTM A36.
- C. STRUCTURAL TUBES AND COLUMNS - ASTM A500, GRADE B.
- D. STRUCTURAL PIPE - ASTM A53, TYPE E, GRADE B, SCHEDULE 40.
- E. HIGH STRENGTH BOLTS - 1/2" ASTM A-325, TYPE 1 OR 2.
- F. ANCHOR BOLTS - ASTM A-307, GRADE A.
- G. THREADED ROD - ASTM A36.
- H. WELDING TO BE PERFORMED WITH 70 ksi WIRE OR ELECTRODES.

PART 3 - EXECUTION

3.01 FABRICATION

- A. FABRICATE STRUCTURAL STEEL IN ACCORDANCE WITH THE REQUIREMENTS OF THE DRAWINGS AND THIS SECTION OF THE SPECIFICATIONS.

3.02 ERECTION

- A. THE STRUCTURAL METAL SHALL BE ERECTED PLUMB AND TRUE TO THE LINES AND EVALUATIONS INDICATED ON THE DRAWINGS.
- B. ERECTION TOLERANCES SHALL BE WITHIN THE LIMITS SPECIFIED IN SECTION 7.1.1 OF THE "AISC CODE OF STANDARD PRACTICE".
- C. TEMPORARY CONNECTIONS SHALL BE ADEQUATE TO SAFELY SUPPORT ALL DEAD LOAD AND ERECTION IMPOSED STRESSES.
- D. TEMPORARY BRACING SHALL BE PROVIDED WHEREVER NECESSARY TO HOLD THE STEEL IN A HORIZONTAL AND VERTICAL PLANE UNTIL PERMANENT BOLTING HAS BEEN COMPLETED.
- E. BOLTS SHALL BE INSTALLED IN PROPERLY ALIGNED HOLES AND BROUGHT TO "SNUG TIGHT" CONDITION. ALL PILES OF JOINTS IN FIRM CONTACT. IN ACCORDANCE WITH SECTION 7.1.1(1) OF THE "AISC CODE OF STANDARD PRACTICE".
- F. ENLARGEMENT OF HOLES BY BURNING WITH A TORCH SHALL NOT BE ALLOWED. ALL STEEL WITH BURNT HOLE ENLARGEMENTS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

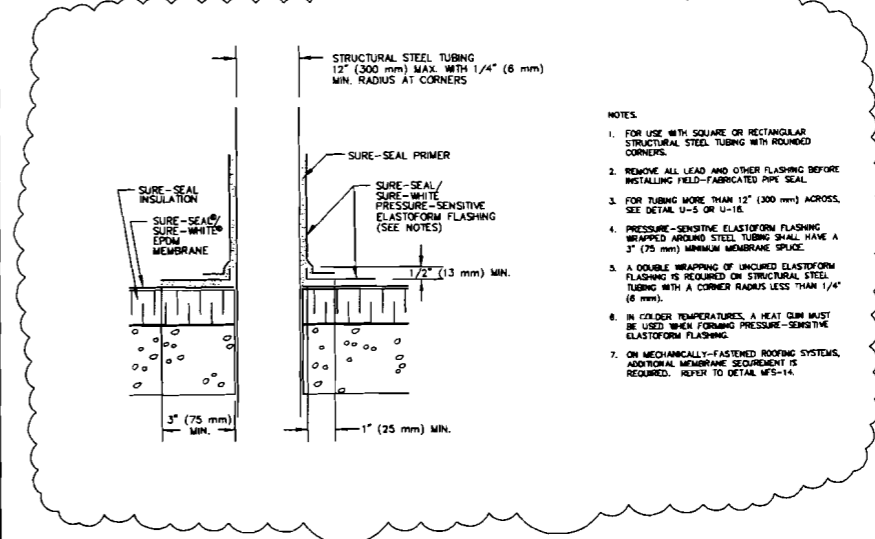
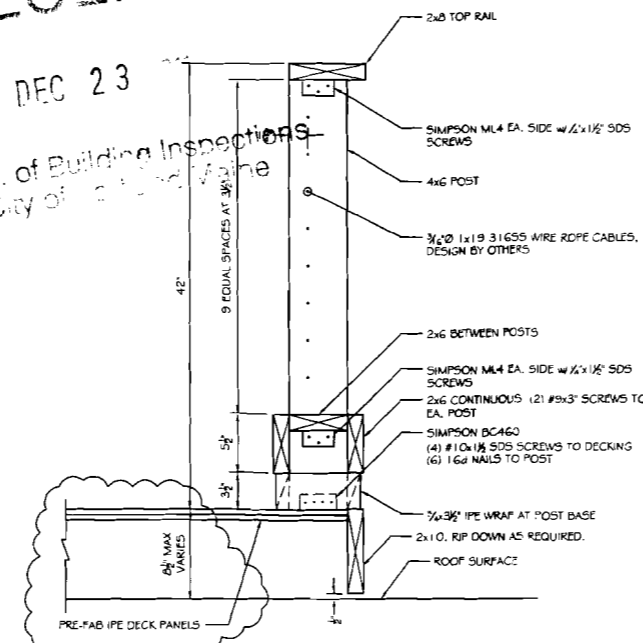
3.03 PAINTING

- A. SHOP PAINT PREPARED SURFACES OF ALL STEEL (WORK WITH FABRICATOR'S STANDARD RUST INHIBITIVE PAINT, MINIMUM 2.0 MIL THICKNESS, COMPATIBLE WITH BASE COAT).
- B. SURFACE PREPARE ALL FABRICATED STEEL TO RECEIVE SHOP PRIME (ONLY), TO A MINIMUM OF HAND TOOL CLEAN OR EQUIVALENT AS DICTATED BY CONDITION OF PRODUCT AT TIME OF PAINTING.

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DEC 23

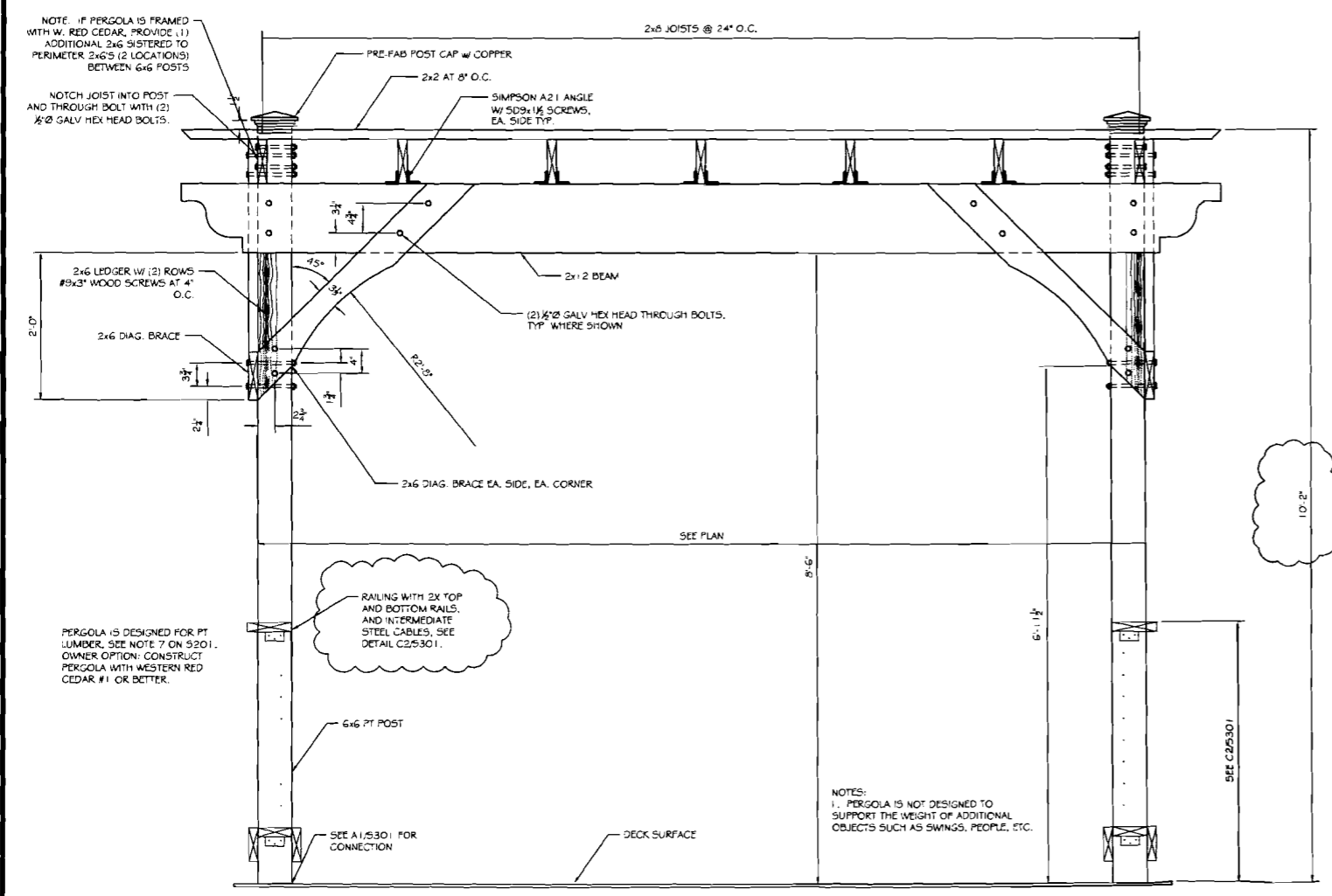
Dept. of Building Inspections
City of Portland, Maine



- NOTES:**
1. FOR USE WITH SQUARE OR RECTANGULAR STRUCTURAL STEEL TUBING WITH ROUNDED CORNERS.
 2. REMOVE ALL LEAD AND OTHER FLASHING BEFORE INSTALLING FIELD-FABRICATED PIPE SEAL.
 3. FOR TUBING MORE THAN 12" (300 mm) ACROSS, SEE DETAIL U-5 OR U-18.
 4. PRESSURE-SENSITIVE ELASTOFORM FLASHING WRAPPED AROUND STEEL TUBING SHALL HAVE A 3" (75 mm) MINIMUM MEMBRANE SPLICE.
 5. A DOUBLE WRAPPING OF UNCOURED ELASTOFORM FLASHING IS REQUIRED ON STRUCTURAL STEEL TUBING WITH A CORNER RADIUS LESS THAN 1/4" (6 mm).
 6. IN COLDER TEMPERATURES, A HEAT GUN MUST BE USED WHEN FORMING PRESSURE-SENSITIVE ELASTOFORM FLASHING.
 7. ON MECHANICALLY-FASTENED ROOFING SYSTEMS, ADDITIONAL MEMBRANE SECUREMENT IS REQUIRED. REFER TO DETAIL MFS-14.

C3 STEEL NOTES

SCALE: NTS



A1 PERGOLA SECTION

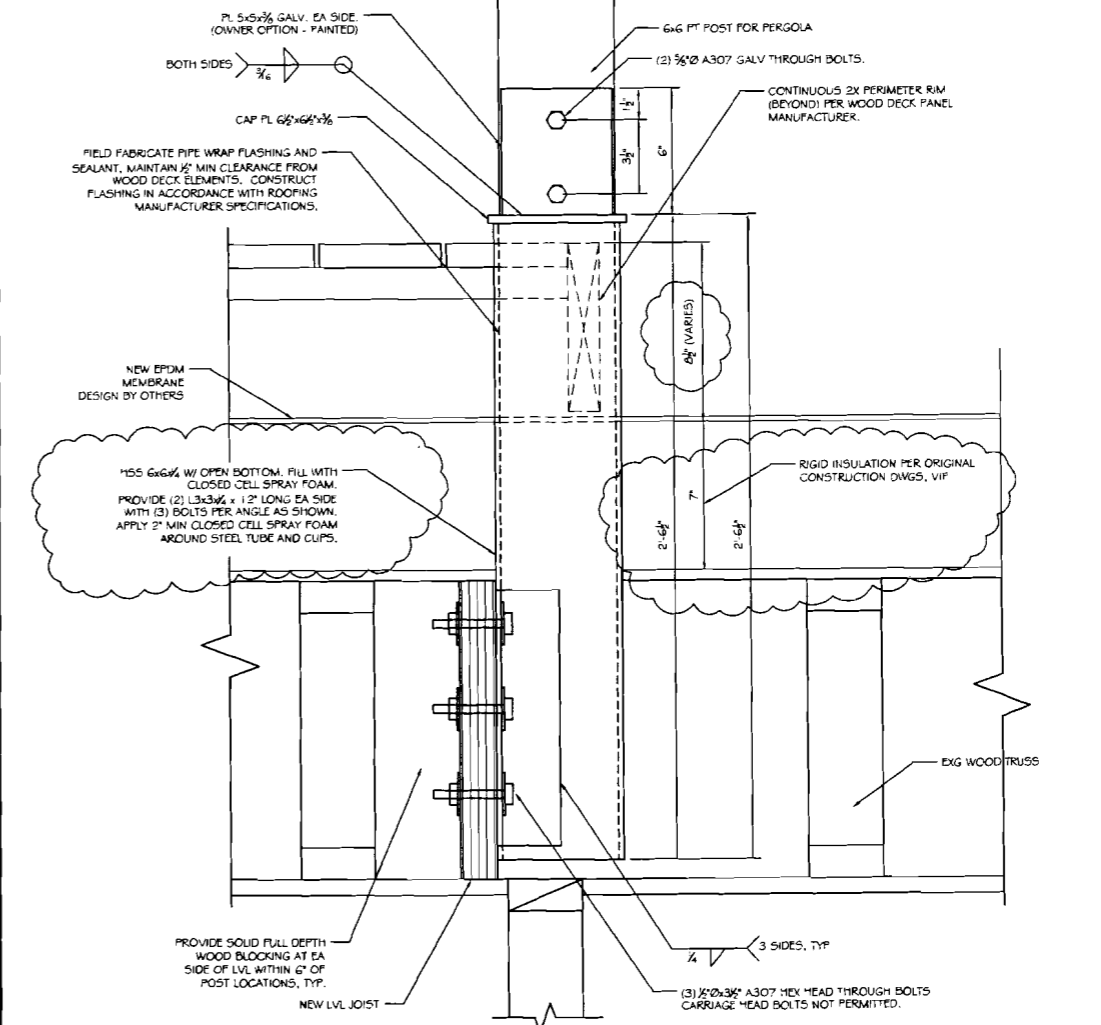
SCALE: 1" = 1'-0"

C2 TYPICAL RAILING DETAIL

SCALE: 1/2" = 1'-0"

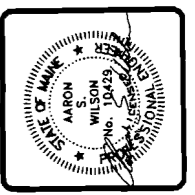
C1 PIPE FLASHING

SCALE: NTS



A1 POST CONNECTION DETAIL

SCALE: 3" = 1'-0"



ASSOCIATED DESIGN PARTNERS INC.

Office: (207) 878-1751
 (207) 878-1788
 80 Leighton Road
 Falmouth, Maine 04105
 Fax: E-Mail: adp@adpengineering.com

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**PHILLIPS RESIDENCE
PORTLAND, MAINE**

PROJECT: FOR: SHEET TITLE: **DETAILS FOR PERMITTING**

NO.	BY	DESCRIPTION	DATE
1	ASW	GENERAL REVISIONS	11/27/13
2	ASW	REVISIONS PER OWNER AND ZONING	12/23/13

DATE: 11-10-11
 SCALE: AS NOTED
 DESIGN BY: ASW
 DRAWN BY: RSC
 FILE #: 11379-S101.DWG
 PROJECT NUMBER:
11379
 SHEET NO:
S301

RECEIVED

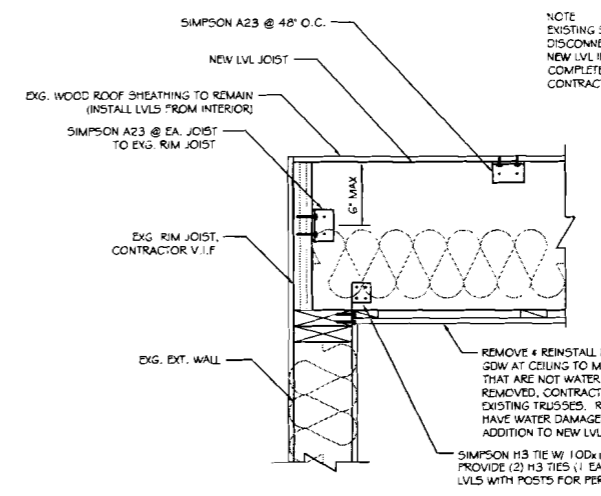
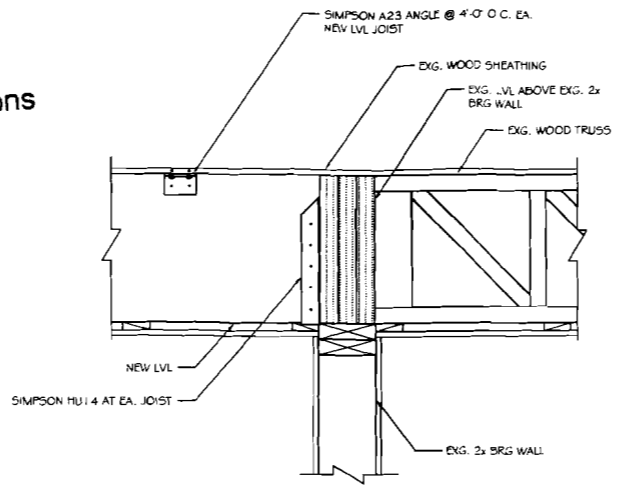
DEC 23 2011

Dept. of Building Inspections
City of Portland Maine

- NOTES:
- CONTRACTOR FIELD VERIFY TOP OF STUD WALL ELEVATIONS. TYP
 - "UNO" INDICATES UNLESS NOTED OTHERWISE
 - CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS IN THE AREA OF WORK PRIOR TO CONSTRUCTION START
 - ALL LVL JOISTS ARE 3" ODF @ 2.0E VEPSA-JAM BY BOISE, UNLESS OTHERWISE NOTED
 - ALL FASTENERS IN PT LUMBER TO BE HOT DIPPED S30 UNPAINTED OR COATED FOR USE IN ACD TREATED WOOD
 - GENERAL CONTRACTOR TO COMPLY WITH IRC 2009 TABLE K602.3 (1) FASTENING SCHEDULE
 - ALL STRUCTURAL DIMENSION LARGER DEVOTED ON DWGS TO BE PRESSURE TREATED SYP #1 OR BETTER, INCLUDING PERGOLA
 - REMOVE EXISTING CEILING AND WALL FINISHES AS NECESSARY TO INSTALL THE NEW LVL JOISTS FROM THE INTERIOR. EXISTING ROOF SHEATHING TO REMAIN. NEW EXTM ROOF MEMBRANE DESIGN BY OTHERS
 - ALL RAILINGS TO BE A MIN 42" ABOVE THE DECK SURFACE, WITH NO OPENINGS BETWEEN DECK, RAILS, AND BALLUSTERS LARGE ENOUGH TO PASS A 4"Ø SPHERE
 - ALL SIMPSON PRODUCTS AT EXTERIOR TO BE 2-MAX COATED

GENERAL STRUCTURAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:
 - IRC, IBC BUILDING CODE 2009 ED
 - ANSI-ASCE 7-05
 - ACI 318-05 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 - ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
 - AISC STEEL CONSTRUCTION MANUAL 9TH ED ASD
 - AWSD COLD FORMED STEEL DESIGN MANUAL
 - ANSI-AFAPA NDS-2005
- ROOF DESIGN LOADS:
 - SNOW LOAD 42 PSF
 - DEAD LOAD 15 PSF + 5PA
 - TOTAL ROOF LOAD 57 PSF + 5PA
- WIND LOADS (FOR PERGOLA DESIGN):
 - BASED ON WIND SPEED OF 100 MPH, DCF C
 - K=0.85, Kz=1.3, Kzt=1.17
- CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS AND ALSO ANY CONDITIONS THAT PREVENT THE CONTRACTOR'S COMPLETION OF THE WORK AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED IN THEIR TRADE AND LICENSED TO PRACTICE SUCH TRADE IN THE STATE IN WHICH THE PROJECT IS LOCATED.
- THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS IN ADDITION TO SPECIFICATIONS AND ANY SHOP DRAWINGS PROVIDED BY SUBCONTRACTORS AND SUPPLIERS.
- ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR (S.C.) AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- UNLESS OTHERWISE NOTED, DETAILS, SECTIONS, AND NOTES SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR DETAILS.
- ALL SHOP DRAWINGS PROVIDED BY OTHERS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION OF MATERIAL OR THE PURCHASE OF NON-RETURNABLE STOCK. DIMENSIONAL REVIEW IS THE CONTRACTOR'S RESPONSIBILITY.



NOTE
EXISTING SPRINKLER SYSTEM TO BE TEMPORARILY DISCONNECTED IN THE MASTER BR TO ALLOW FOR NEW LVL INSTALLATION. SPRINKLER WORK TO BE COMPLETED BY A QUALIFIED AND LICENSED CONTRACTOR.

REMOVE & REINSTALL EXG. BATT INSUL., STRAPPING, GWD AT CEILING TO MATCH EXG., SALVAGE BATTS THAT ARE NOT WATER DAMAGED. AFTER CEILING IS REMOVED, CONTRACTOR TO REVIEW CONDITION OF EXISTING TRUSSES. REPLACE EXG. TRUSSES THAT HAVE WATER DAMAGED WITH NEW 14\"/>

C3

NOTES

C2

SECTION AT INT. BEARING WALL

SCALE: 1/2" = 1'-0"

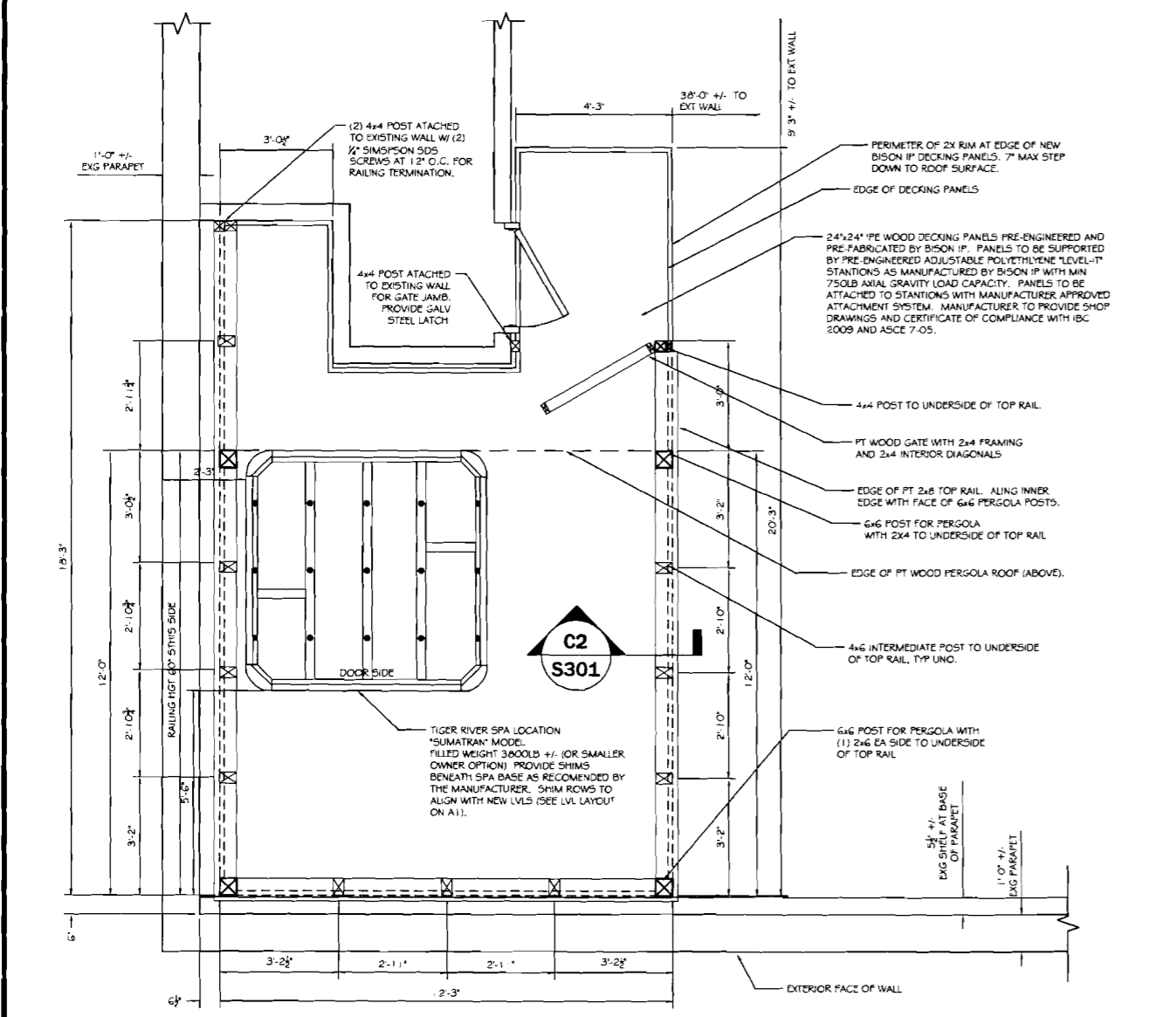
C1

SECTION AT EXT. WALL

SCALE: 1/2" = 1'-0"

STRUCTURAL DISCLAIMER:
THIS P.E. REVIEW COVERS STRUCTURAL FRAMING MEMBERS SIZES FOR NEW FRAMING ELEMENTS DEPICTED ON THIS PLAN ONLY. UNLESS OTHERWISE NOTED, DESIGN AND DETAIL FOR FOUNDATION WALL ELEMENTS, FRAMING CONNECTIONS, COMPONENTS AND CLADDING, FINISHES, FLOOR PLAN LAYOUT, AND LIFE SAFETY CODE REQUIREMENTS HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURVIEW OF THIS P.E. SEAL. USE OF THESE DRAWINGS INDICATES OWNER/CONTRACTOR AGREEMENT TO THESE TERMS.

PRE-FABRICATED DECK PANELS, AND ADJUSTABLE SUPPORTS DESIGNED BY OTHERS
CABLE RAILINGS AND ATTACHMENTS DESIGNED BY OTHERS.

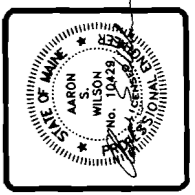
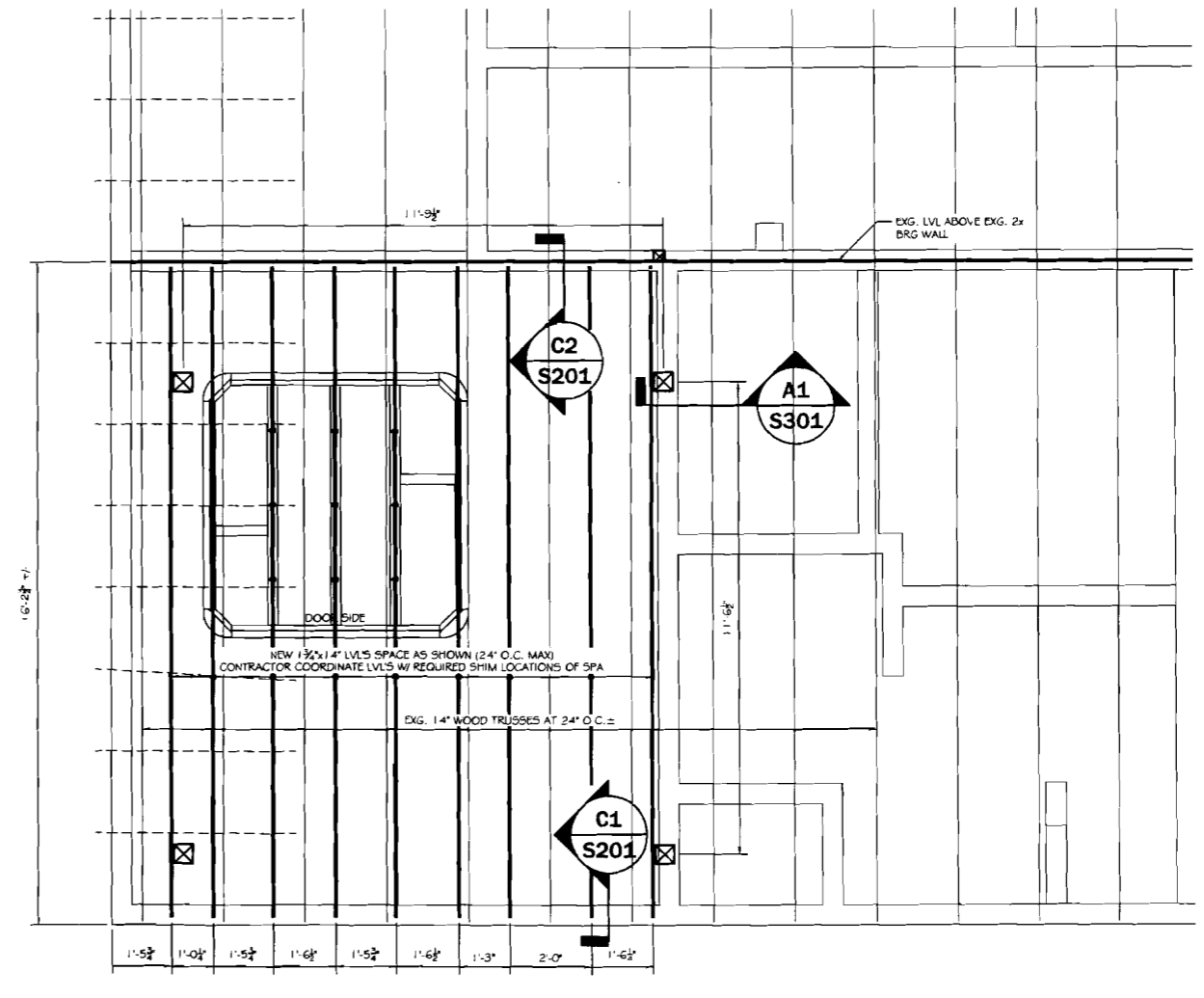


A2 PARTIAL ROOF DECK PLAN

SCALE: 1/2" = 1'-0"

A1 PARTIAL ROOF FRAMING PLAN

SCALE: 1/2" = 1'-0"



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PROJECT: **PHILLIPS RESIDENCE**
PORTLAND, MAINE
FOR:
SHEET TITLE: **ROOF REINFORCING FOR NEW DECK ISSUED FOR PERMITTING**

NO.	BY	REVISIONS	DATE
1	ASW	GENERAL REVISIONS	11/29/11
2	ASW	GENERAL REVISIONS	11/29/11
3	ASW	GENERAL REVISIONS	11/29/11
4	ASW	GENERAL REVISIONS	11/29/11
5	ASW	GENERAL REVISIONS	11/29/11

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DRAWN BY: RSC
FILE #: 11379-S101.DWG
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SHEET NO:
S201