

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 050572

AUG 26 2005

CITY OF PORTLAND

This is to certify that Mesden Llc /Daigle Construction has permission to Install Roof top decks AT 24 Brackett St

058 F013001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS Fire Dept. Capt. Greg Cass 06-19-05 Health Dept. Appeal Board Other DepartmentName

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0572 **PERMIT ISSUED** SBL: 658 FQ13001

Location of Construction: 24 Brackett St	Owner Name: Mesden Llc	Owner Address: 28 Chestnut St	Phone:
Business Name:	Contractor Name: Daigle Construction	Contractor Address: 234 Church Rd. Bunkersville	Phone: 207725 1452
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Condo 4 units	Proposed Use: Condo 4 units/ Install Roof top decks	Permit Fee: \$93.00	Cost of Work: \$8,000.00	CEO District: 2
Proposed Project Description: Install Roof top decks		FIRE DEPT: w/conditions <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: 5A Signature: [Signature]	
<i>legal use - four residential condominium dwellings units</i>		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 05/10/2005	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>see site plan & map</i> <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date: <i>5/10/05</i>
	Date: _____	Date: _____	Date: <i>9</i>	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0572	Date Applied For: 05/10/2005	CBL: 058 F013001
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Location of Construction: 24 Brackett St	(Owner Name): Mesden Llc	Owner Address: 28 Chestnut St	Phone:
Business Name:	Contractor Name: Daigle Construction	Contractor Address: 234 Church Rd. Brunswick	Phone (207) 725-1452
Tenant/Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Condo 4 units/ Install Roof top decks	Proposed Project Description: Install Roof top decks
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/10/2005
Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) These decks shall not be roofed or enclosed. Such action will result in a violation of building heights. They must remain open for deck use only.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a four (4) family condominium dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 08/19/2005
Note: **Ok to Issue:**

- 1) Project Engineer/ Joe Leisure/ must file a field inspection compliance report on all elements of this roof deck.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 06/13/2005
Note: **Ok to Issue:**

- 1) All construction to comply with NFPA 101

Comments:

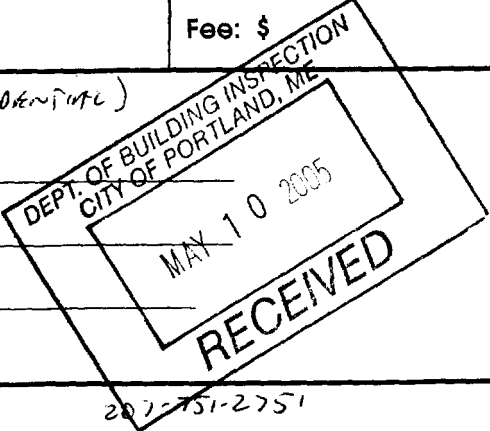
6/8/2005-gg: received granted site plan exemption. /gg

6/16/2005-mjn: Need guard design and better detail of how the roof stairs are protected and connected. Left a message w/ Joe Leisure

8/12/2005-ldobson: Dropped off additional information mike had permit gave directly to MJN -LJD

8/17/2005-mjn: Guard details not submitted, also special inspection of the framed product is required. Left message with Joe Leisure and New Owner??

8/18/2005-ldobson: Jeff Corbin dropped off additional plans, put with original plans and put in MJN basket. LJD

		51 <u>Portland</u>	
Total Square Footage of Proposed Structure		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>5</u> <u>F</u> <u>13</u>		Owner: <u>MESDEN LLC</u>	Telephone, <u>207-653-0722</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Tim Madden</u>	cost Of Work: <u>\$8000.-</u>	Fee: \$
<u>4 Condo Units (Residential)</u> 			
<u>207-751-2751</u>			

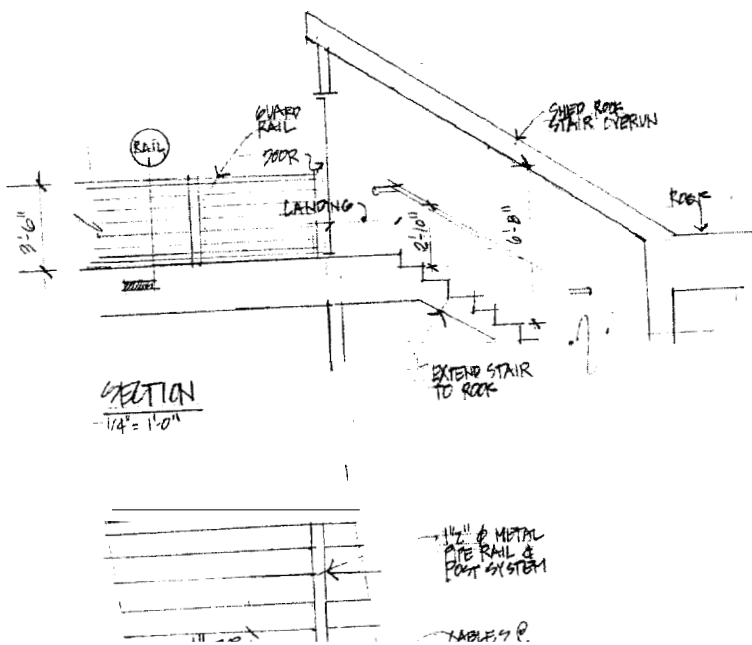
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify ~~that~~ I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

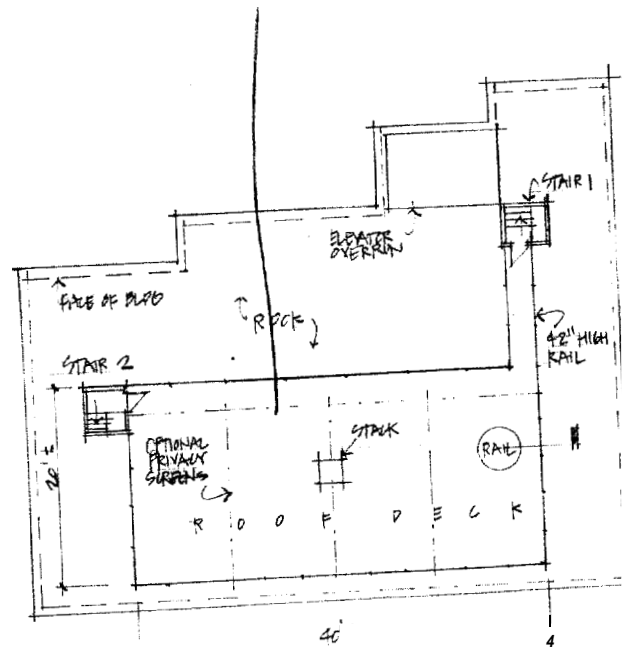
Signature of applicant: <u>[Signature]</u>	Date: <u>5/10/05</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
 If you are in a Historic District you may be subject to additional permitting and fees with the
 Planning Department on the 4th floor of City Hall**

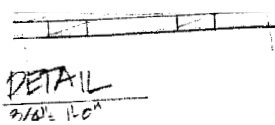
May not be completely enclosed
- No roof S



SECTION
1/4" = 1'-0"

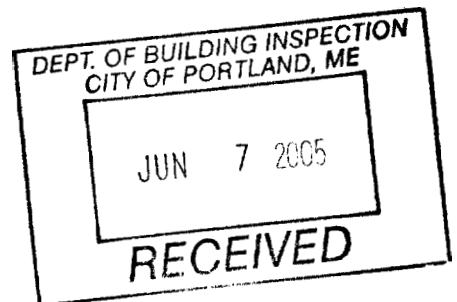


ROOF DECK PLAN
1" = 10'



DETAIL
3/4" = 1'-0"

DATE 27 MAR 04	SCALE NOTED	PROJECT NAME 24 BRACKET ST LANDS	
DRAWN BY GJM	CHECKED BY	PROJECT NO. CLASSIFICATION: SK-03	
REVISION			



From: Marge Schmuckal
To: port-web;gharmon@[oakpoint.com]
Date: Tue, Jun 7, 2005 9:33 AM
Subject: Re: 24 Brackett Street

Glenn,

Can you e-mail me a plan that gives a birds eye view looking down on this from above? What are the sizes of the decks & where are they located on the roof? I do not see that in what was submitted. That would help me.

Thanks,
Marge

>>> "Glenn Harmon" <gharmon@oakpoint.com> 06/03 1:55 PM >>>
Hi Marge

The owner informs me that you need additional information regarding the roof decks. Let me know how I can help, thanks.

Regards,

Glenn L Harmon Jr
Architect
Oak Point Associates
231 Main Street
Biddeford, Maine 04005 USA
207-283-0193

resident. No cooking facilities shall be permitted in any of the guest rooms. The only meal which may be offered is breakfast, which shall be offered only to overnight guests.

Billboard: A structure, either freestanding or attached to a building, the surface of which is available for hire for advertising purposes.

Building, height of: The vertical measurement from grade, or the predevelopment grade on the islands, to the highest point of the roof beams in flat roofs; to the highest point of the roof beams or the highest point on the deck of mansard roofs; to a level midway between the level of the eaves and highest point of pitched roofs or hip roofs; or to a level two-thirds of the distance from the level of the eaves to the highest point of gambrel roofs. For this purpose the level of the eaves shall be taken to mean the highest level where the plane of the roof intersects the plane of the outside wall on a side containing the eaves.

Business service: Establishments primarily engaged in rendering services to other business establishments on a fee or contract basis such as advertising, mailing services, building maintenance services, employment services, management and consulting services, protective services, personnel services and similar businesses.

Chemical-free night club: An alcohol-free commercial establishment that offers live entertainment, amplified music, and/or dancing, where the primary source of income for such alcohol-free commercial establishment is derived from the entertainment and/or any admission or cover charge.

Clinics: Any establishment where patients are admitted for examination and treatment by one (1) or more professionals such as, but not limited to, physicians, dentists, psychologists or social workers.

Coastal wetland: All tidal and subtidal lands; all lands below any identifiable debris line left by tidal action; all lands with vegetation present that is tolerant of salt water and that occurs primarily in a salt water or estuarine habitat; and/or any swamp, marsh, bog, beach, flat or other contiguous low land which is subject to tidal action during the maximum spring tide level as identified in tide tables published by the National Ocean Service. Coastal wetlands may include portions of coastal sand dunes.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0572	Date Applied For: 05/10/2005	CBL: 058 F013001
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Location of Construction: 24 Brackett St	Owner Name: Mesden Llc	Owner Address: 28 Chestnut St	Phone:
Business Name:	Contractor Name: Daigle Construction	Contractor Address: 234 Church Rd. Brunswick	Phone: (207) 725-1452
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Condo 4 units/ Install Roof top decks	Proposed Project Description: Install Roof top decks
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/10/2005
Note: **Ok to Issue:**

- 1) These decks shall not be roofed or enclosed. Such action will result in a violation of building heights. They must remain open for deck use only.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a four (4) family condominium dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

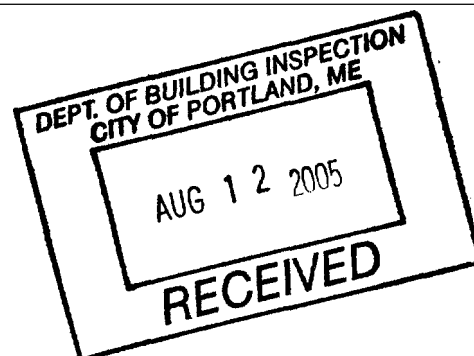
Dept: Building **Status:** Pending **Reviewer:** Cptn Greg Cass **Approval Date:**
Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 06/13/2005
Note: **Ok to Issue:**

- 1) All construction to comply with NFPA 101

Dept: Fire **Status:** **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Comments:
6/8/2005-gg: received granted site plan exemption. /gg
6/16/2005-mjn: Need guard design and better detail of how the roof stairs are protected and connected. Left a message w/ Joe Leasure



L & L STRUCTURAL
ENGINEERING SERVICES, INC.
Six Q Street

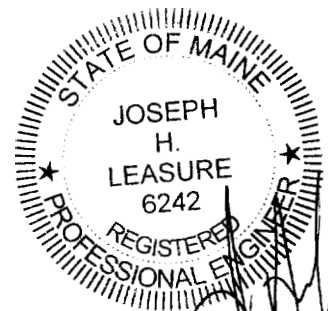
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

**BUILDING LOCATED AT:
24 BRACKET STREET
PORTLAND, MAINE**

ROOF TOP DECK AND HOT TUB SUPPORT

Prepared for: Tim Madden
MESDEN LLC
28 Chestnut Street
Old Orchard Beach, Maine 04064

Submission Date: October 26, 2004 (Revised 5/6/05)
Drawings Submitted: S1 through S5



GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
 - a. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building Code: BOCA Basic Building Code (1999) and/or IBC International Building Code (2003)
2. Design Live Loads:
 - Roof Load 42 PSF (plus drift as applicable)
 - Exterior Deck 40
 - Hot Tub (Tiger River Spas-Sumatran Model) 4,000# (Oper. Wgt)
3. Lateral (Seismic & Wind) design per code.

designed by	JHL	BUILDING LOCATED AT: 24 BRACKETT STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106
drawn by	JHL		
checked by	MFL		
scale:	NOTED		
date:	OCT. 26, 2004		
		GENERAL NOTES	PHONE: (207) 767-4830 FAX (207) 799-5452 EMAIL: LLENG@AOL.COM
			S1

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) –Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce–Pine–Fir (SPF), kiln dried 19% maximum moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground, masonry or concrete. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C–18.
4. Provide 1x3 lumber bridging or solid 2x blocking, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Nailing not specified shall conform with BOCA appendix C.
7. Provide solid 2x vertical blocking within floor systems between columns above and below.
8. Provide Simpson BC column caps and bases at all columns.
9. "VIF" indicates that the contractor shall "verify in the feild" specific conditions, dimensions, elevations and details prior to proceeding with the effected portion of the work. All discrepancies shall be brought to the attention of the engineer.
10. LVL shall be Laminated Veneer Lumber manufactured by Boise Cascades or approved equal. (Fb=2800 psi min and E=2000 ksi).

designed by	JHL	BUILDING LOCATED AT: 24 BRACKETT STREET PORTLAND, MAINE GENERAL NOTES	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 787-4830 FAX (207) 799-5432 EMAIL LLENG@AOL.COM	<div style="border: 1px solid black; width: 50px; height: 20px; text-align: center; margin: auto;">S2</div>
drawn by:	JHL			
checked by	MFL			
scale:	NOTED			
date:	OCT. 26, 2004			

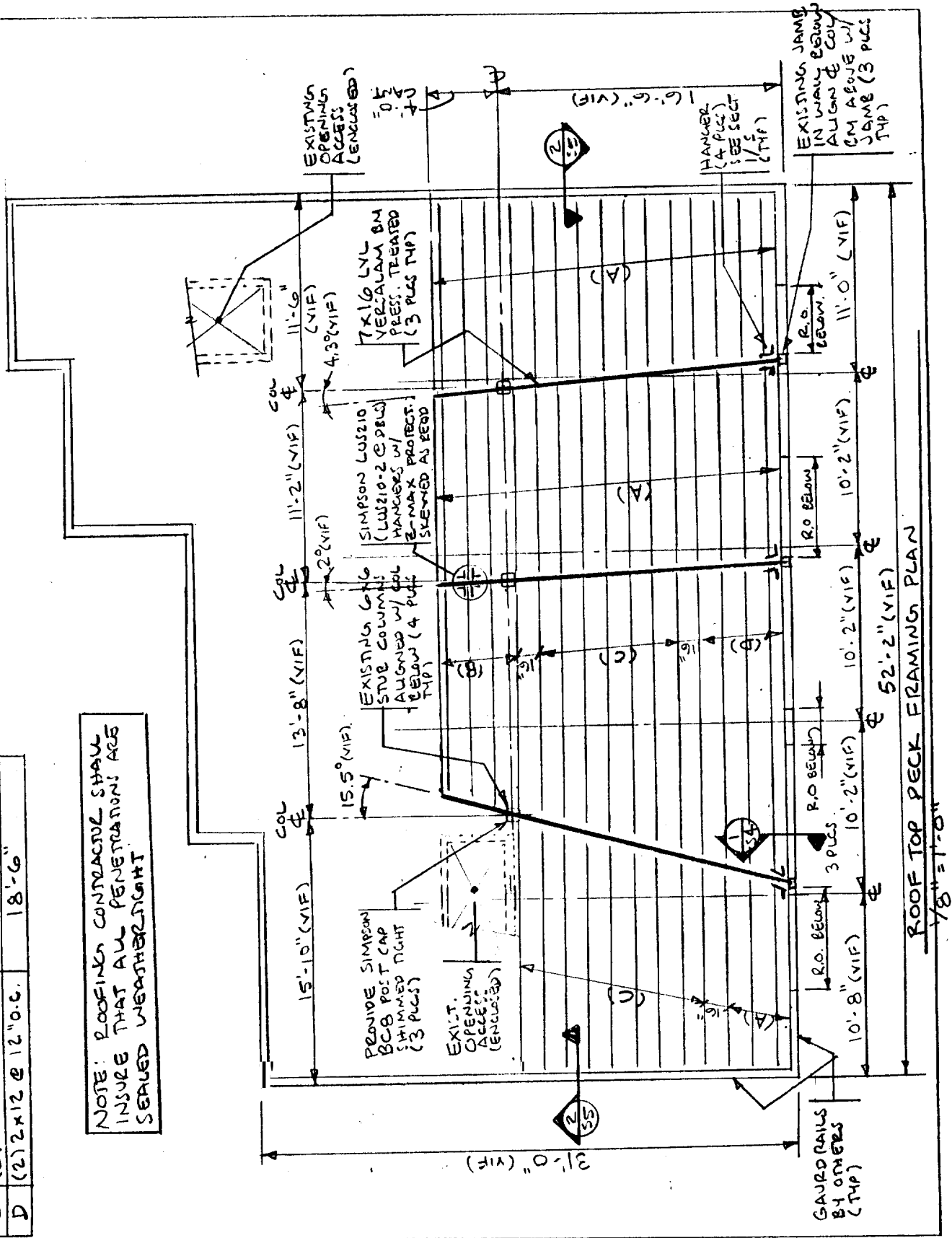


PROJECT
NORTH

JOIST SCHEDULE

TYPE	JOIST (ALL P.T.)	MAX. CLEAR SPAN
A	2x12 @ 16" o.c.	12'-3"
B	2x12 @ 12" o.c.	14'-0"
C	(2) 2x12 @ 16" o.c.	17'-0"
D	(2) 2x12 @ 12" o.c.	18'-6"

NOTE: ROOFING CONTRACTOR SHALL
INSURE THAT ALL PENETRATIONS ARE
SEALED WEATHERTIGHT



designed by:	JHLL
drawn by:	JHLL
checked by:	MFL
scale:	NOTED
date:	10/26/04

BUILDING LOCATED AT:
24 BRACKETT STREET
PORTLAND, MAINE

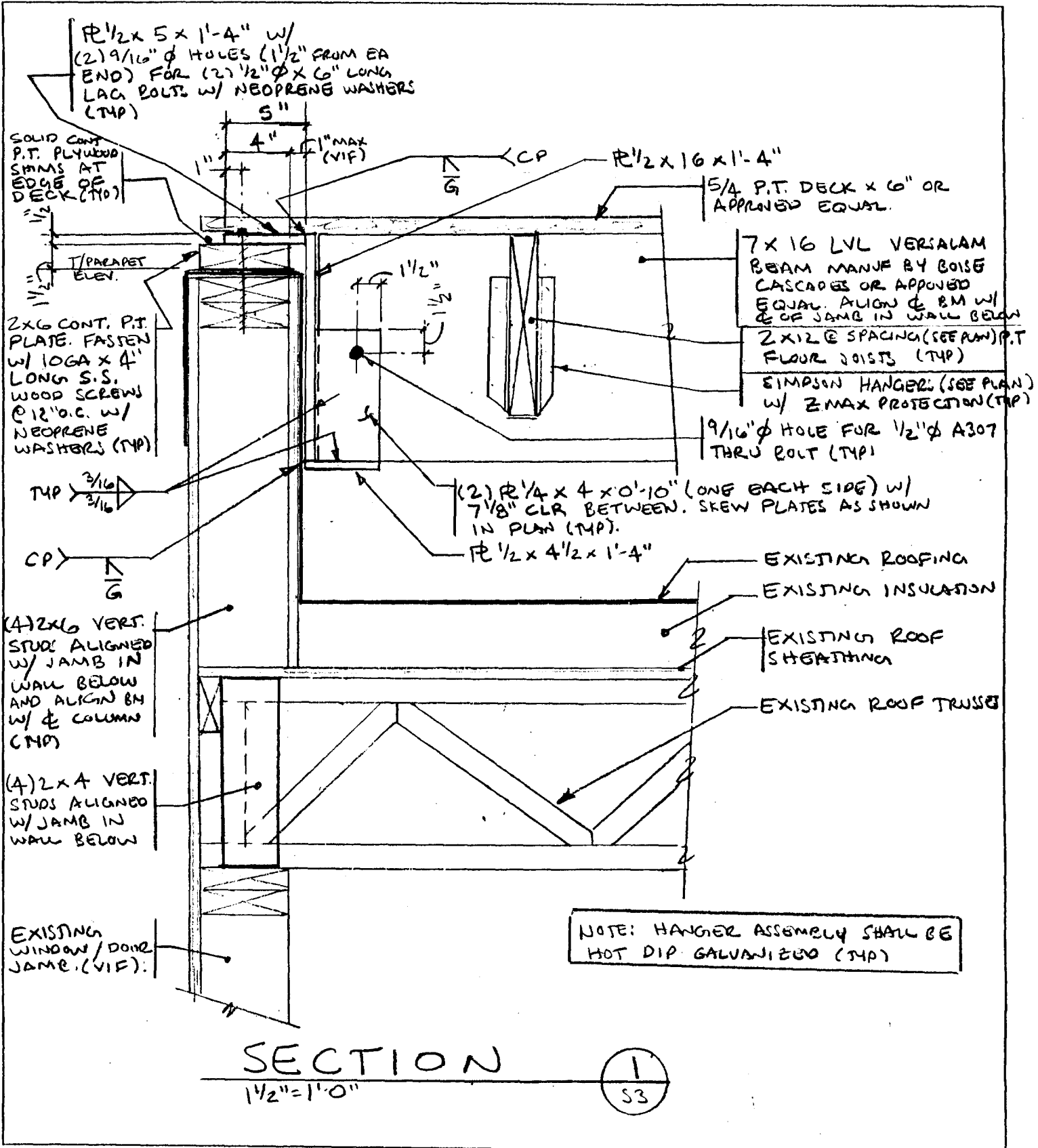
ROOF TOP DECK & HOT TUB SUPPORT
SECTIONS & DETAILS

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX O STREET
SOUTH PORTLAND, MAINE 04106

PHONE: (207) 787-4830
FAX: (207) 780-5432
EMAIL: l1eng@acl.com

S3

REVISED 5/6/05



designed by	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	10/26/04
REVISED 5/6/05	

BUILDING LOCATED AT
 24 BRACKETT STREET
 PORTLAND, MAINE

ROOF TOP PECK & HOT TUB SUPPORT
 SECTIONS & DETAILS.

**L & L STRUCTURAL
 ENGINEERING SERVICES, INC.**
 SIX O STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 787-4830
 FAX: (207) 700-5432
 EMAIL: llength@l.com

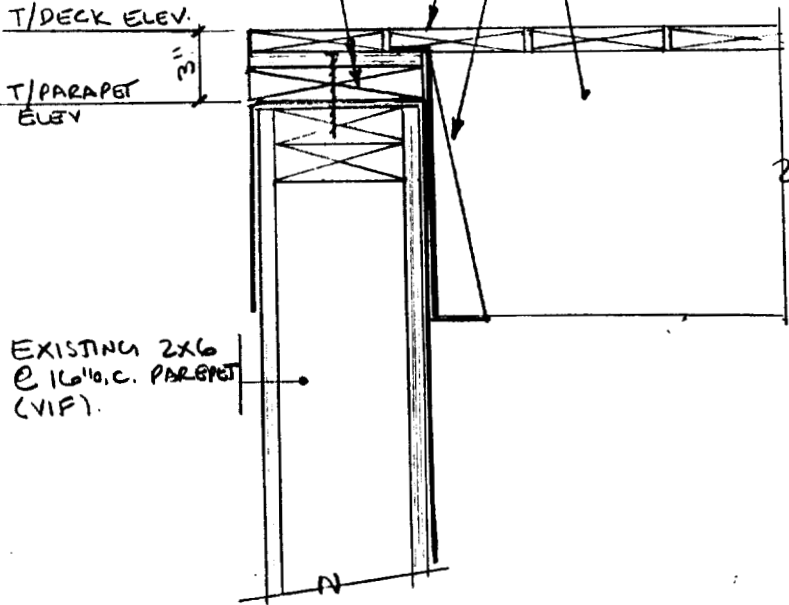
SA

1/2" x 7" CONT STRIP OF 1/2" P.T. PLYWOOD SPACER PLUS
 2x8 CONT P.T. PLATE. FASTEN BOTH TO TOP OF PARAPET
 W/ 10GA X 4" LONG STAINLESS STEEL WOOD SCREWS @ 12" O.C.
 W/ NEOPRENE WASHERS (TMP).

5/4 x 6 P.T. DECK OR APPROVED EQUAL.

SIMPSON JB212 TOP FLANGE HANGERS AND HUS210-2TF
 AT DOUBLES W/ Z-MAX CORROSION PROTECTION. (TMP).

2x12 OR (2) 2x12 @ SPACING (SEE PLAN)



SECTION

1/2" = 1'-0"

2
S3

designed by: JHL
 drawn by: JHL
 checked by: MFL
 scale: NOTED
 date: 10/26/04
 REVISED 5/6/05

BUILDING LOCATED AT
 24 BRACKET STREET
 PORTLAND, MAINE

ROOF TOP DECK & HOT TUB SUPPORT
 SECTIONS & DETAILS.

L & L STRUCTURAL
 ENGINEERING SERVICES, INC.
 SIX O STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 767-4830
 FAX: (207) 768-5432
 EMAIL: LLENGO@L.L.COM

SS

L & L STRUCTURAL

ENGINEERING SERVICES, INC.

Six Q Street

South Portland, ME 04106

LETTER OF TRANSMITTAL

TEL 207 767-4830

TO: MESDEN LLC

Date: <u>5/6/05</u>	Job No: <u>24181</u>
Attn: <u>TIM MADDEN</u>	
Re: <u>24 BRACKET ST. - ROOF PECK</u>	

WE ARE SENDING YOU Attached
 Under separate cover via _____
the following items:

- Shop Drawings Prints Plans Samples Specifications
 Copy of Ltr _____

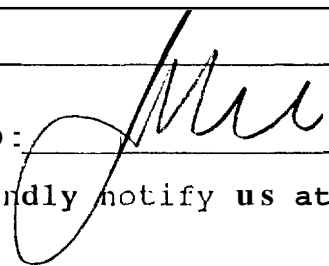
Copies	Date	No.	Description
<u>4</u>	<u>5/6/05</u>	<u>S1-SS</u>	<u>ROOF TOP PECK STRUCTURAL INGS</u>

THESE ARE TRANSMITTED as checked below:

- | | |
|--|---|
| <input type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned for corrections |
| <input checked="" type="checkbox"/> For review and comment | <input type="checkbox"/> Resubmit _____ copies for approval |
| <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US | <input type="checkbox"/> _____ |

REMARKS: _____

COPY TO: _____

SIGNED: 

If enclosures are not as noted, kindly notify us at once.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1480	Date Applied For: 12/04/2003	CBL: 058 F013001
Location of Construction: 20 Brackett St	Owner Name: Mesden Llc	Owner Address: 28 Chestnut St
Business Name:	Contractor Name: Granite Construction	Contractor Address: Portland
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Multifamily

Proposed Use:
Amend Permit #030784 to reduce the structure by one story and one unit to be a 4 story 4 unit condominium.

Proposed Project Description:
Amend Permit #030784 to reduce the structure by one story and one unit to be a 4 story 4 unit condominium.

- 1) Need new cost estimates to verify actual construction cost prior to commencement of construction.
- 2) Need ~~Dryer~~ and Bathroom vent info prior to framing.
- 3) all the requirements of permit # 030784 must be maintained
Decks that encroach on setbacks cannot be constructed, new plans showing this must be submitted.

An additional Special Inspection for sprayed on fire rated materials must occur pursuant to Section 1705.12

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 12/09/2003
Note: **OktoIssue:**

- 1) all the requirements of permit # 030784 must be maintained

Dept: Engineering **Status:** Open **Reviewer:** Tony **Approval Date:** **OktoIssue:**
Note: PUBLIC WORKS ENGINEERING REVIEW...3/26/03

I have reviewed the submittal dated 3/25/03 and offer the following comments:

- 1. The applicant needs to provide construction details specifying the proposed connection into the City's York Street sanitary sewer.
- 2. The applicant is required to contact Frank Brancely at Public Works regarding the available sanitary sewer capacity to serve this development.
- 3. The plans need to clearly define the limits of excavation on both York Street and Bracket Street, resulting from the proposed site development (ie: utility trenches, granite curb installation, driveway entrances, etc.)
- 4. It appears that all of the existing brick sidewalk, along the property frontage of York and Bracket Streets, will need to be reconstructed as a result of this development. As such, a construction detail must be included on the plans.
- 5. From a Public Works review perspective, the plan set needs to include construction details for the following:
 - a. Granite curb installation

Location of Construction: 10 Brackett St	Owner Name: Mesden Llc	Owner Address: 28 Chestnut St	Phone: () 653-0722
Business Name:	Contractor Name: Granite Construction	Contractor Address: Portland	Phone: (207) 632-1124
Applicant/Buyer's Name	Phone:	Permit Type: Amendment to Multifamily	

PUBLIC WORKS ENGINEERING ...4/9/03

I have reviewed the submittal dated 4/3/03 and ~~offer~~ the following comments:

1. This site is located within the City's "historic district". As such, the City's Sidewalk Material Policy requires the applicant to build brick driveway aprons in compliance with the City's Technical and Design Standards. A construction detail must be included on the plans.
2. The plans specify two (2) connections into the existing catch basin at the end of the paved portion of Brackett Street. A 12" diameter storm drain and 4" diameter foundation drain appear to inletting into the basin. However, only one invert is proposed for the structure. Public Works is requesting the applicant connect the 4" diameter foundation drain into the 12" storm drain, on site, prior to connection into the City basin.
3. The plans need to specify the appropriate trench limits in Brackett Street, as a result of the catch basin connection.
4. **Any** granite curbing specified to be removed from this project shall remain the property of the City and be delivered to the City's Outer Congress Street stockyard. A note must be added to the plans indicating this requirement.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. McDougall **Approval Date:** 01/07/2003
Note: **Ok to Issue:**

1) developer shall show a hydrt within 800' path of travel

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Alan Holt **Approval Date:** 04/22/2003
Note: The Planning Board voted 6 - 0 (Tevanian absent) to approved the project for Subdivision with two **Ok to Issue:**
condition.

The Planning Board voted 4 - 2 (Caron, Malone, Delogu, Lowry in favor; Beal, Patterson opposed) to approve the project for Site Plan with two conditions.

- 1) 1. Applicant must submit a revised Grading / Utility Plan to address the Development Review Coordinator's memorandum of April 16,2003;
2. Applicant must submit a capacit letter from the Portland Sewer District
3. The building materials at the base of the building, shown as thin brick veneer in the application, shall be changed to a full brick veneer at the base;
4. Applicant shall submit a revised Landscape Plan to be reviewed and approved by the City's Arborist.

Comments:

4/5/04-mjn: Requested a change to type 5A construction. Glenn Harmon sent new certification forms outlining the new Fire rating of elements to get to type 5A. The height and area with sprinklers complies at type 5A