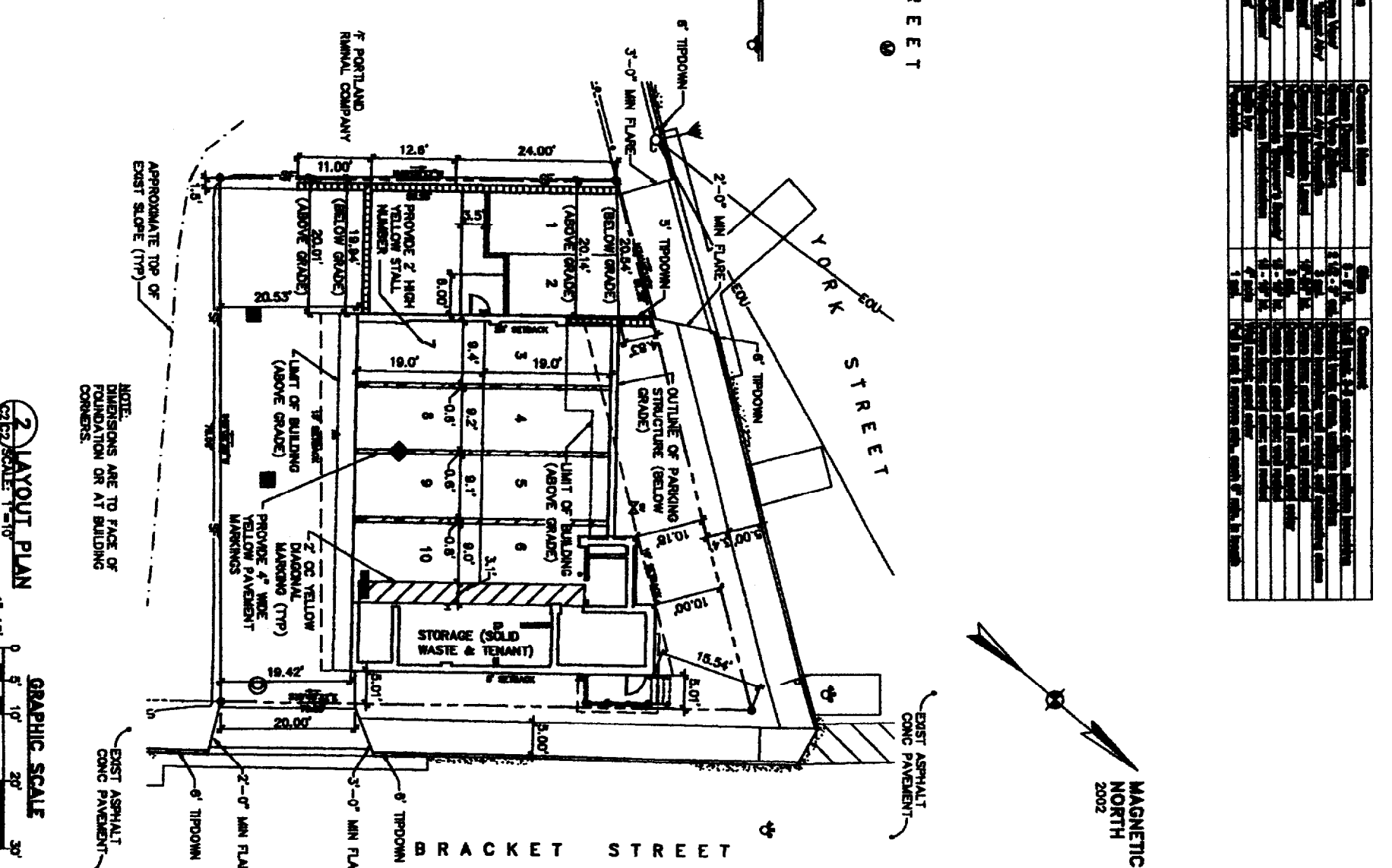
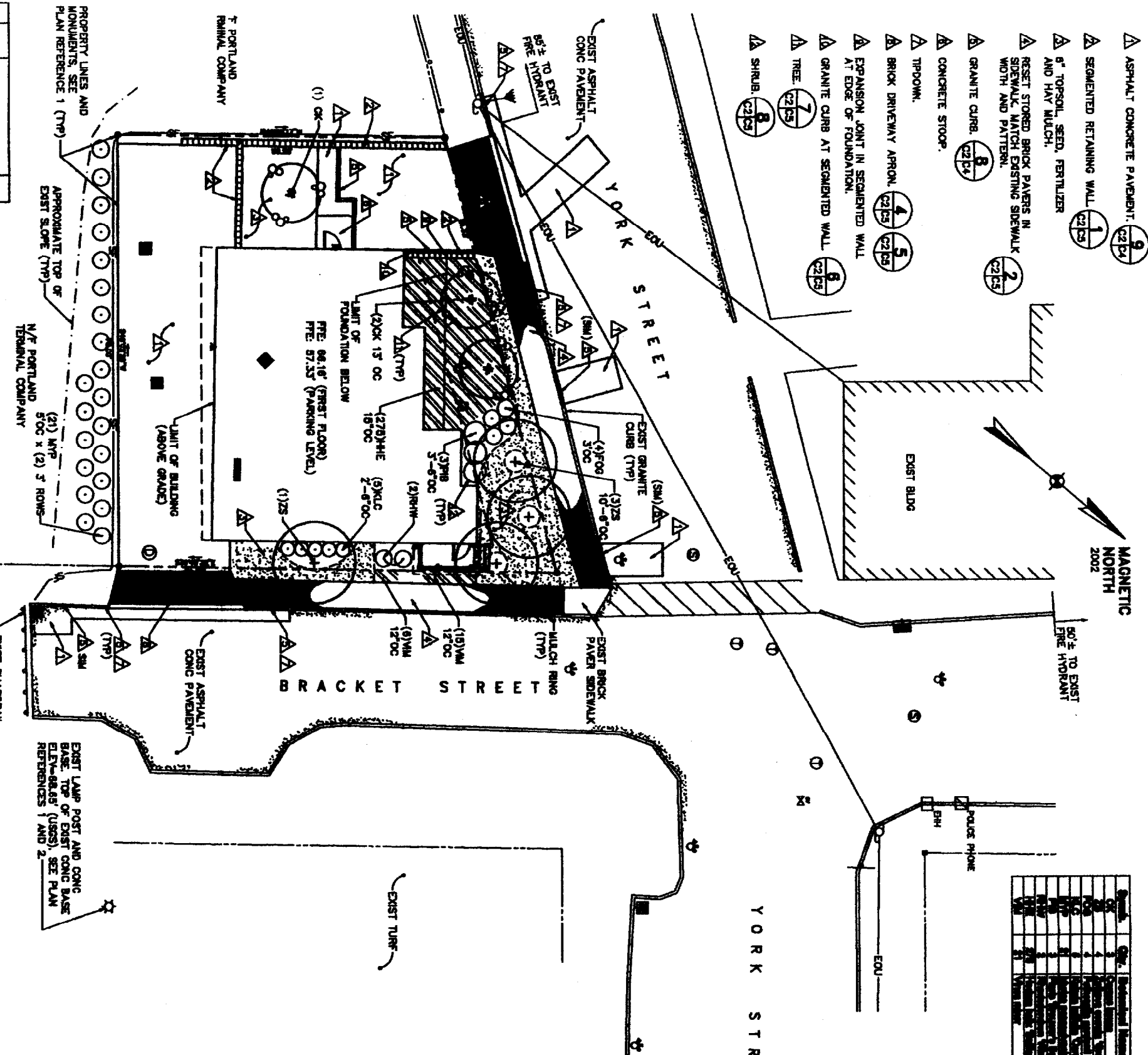


KEYNOTES: (THIS SHEET ONLY)

- ▲ ASPHALT CONCRETE PAVEMENT. (9)
- ▲ SEGMENTED RETAINING WALL. (1)
- ▲ 6" TOPSOIL, SEED, FERTILIZER AND HAY MULCH. (2)
- ▲ RESET STORED BRICK PAVERS IN SIDEWALK, MATCH EXISTING SIDEWALK WIDTH AND PATTERN. (2)
- ▲ GRANITE CURB. (3)
- ▲ CONCRETE STOOP. (3)
- ▲ TIPDOWN. (4)
- ▲ BRICK DRIVEWAY APRON. (5)
- ▲ EXPANSION JOINT IN SEGMENTED WALL AT EDGE OF FOUNDATION. (5)
- ▲ GRANITE CURB AT SEGMENTED WALL. (6)
- ▲ TREE. (7)
- ▲ SHRUB. (8)

NO.	DATE	REVISION



NO.	DATE	REVISION

1 SITE/LANDSCAPE PLAN
SCALE: 1"=10'

2 LAYOUT PLAN
SCALE: 1"=10'

NOTE:
DIMENSIONS ARE TO FACE OF FOUNDATION OR AT BUILDING CORNERS.

ISSUED FOR PLANNING DEPARTMENT REVIEW
CHECK GRAPHIC SCALE BEFORE USING
GRAPHIC SCALE
1"=10'
0 5 10 20 30'

C2
3 OF 29

SITE/LANDSCAPE PLAN AND LAYOUT PLAN

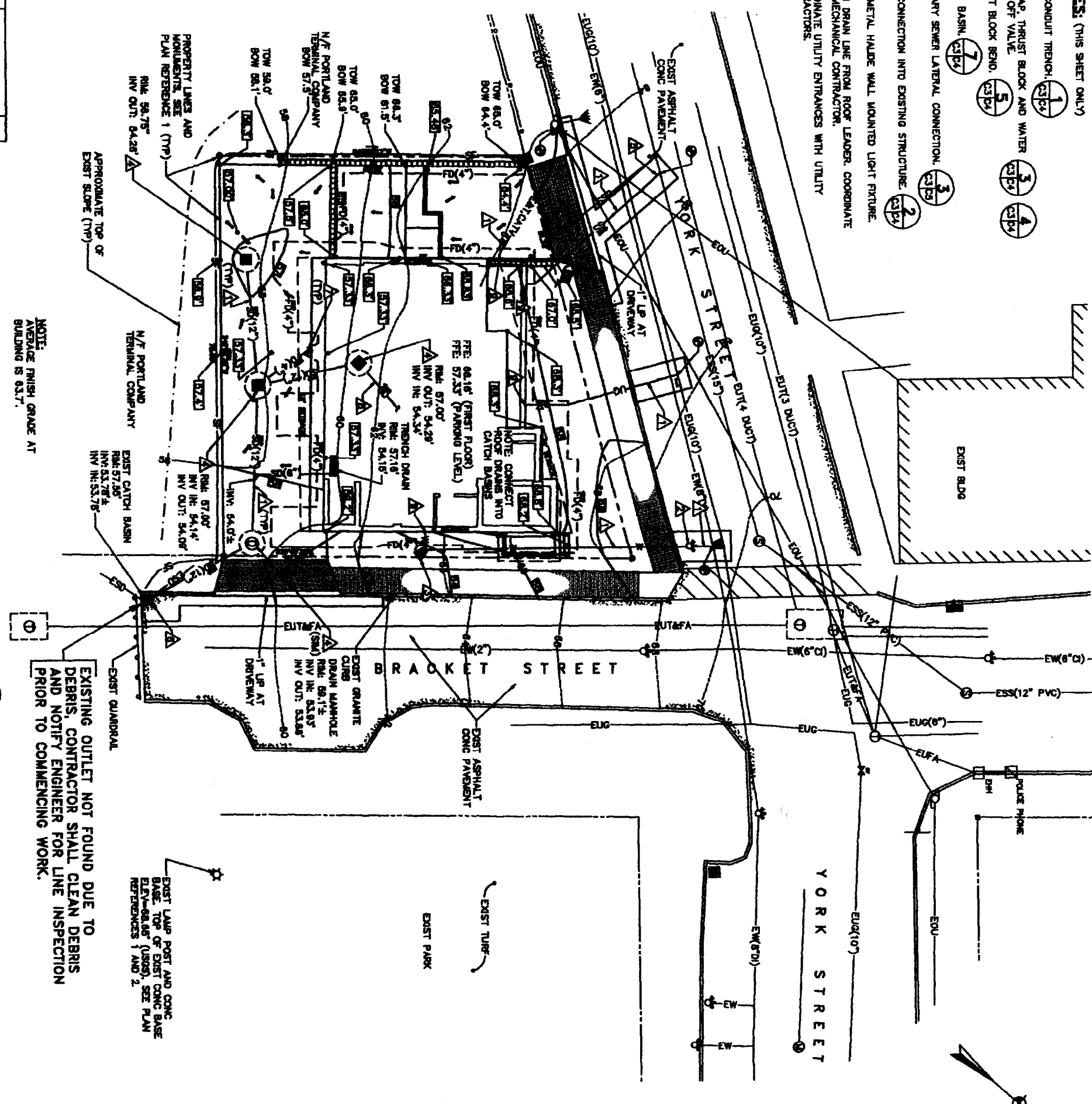
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DRAWN	DEW
CHECKED	LG
SCALE	AS NOTED
JOB	2830430

4 UNIT CONDOMINIUMS
20-24 BRACKET STREET
PORTLAND, MAINE
RECORD OWNER
MESSEN, LLC
28 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04064

OAK POINT ASSOCIATES
ARCHITECTS - ENGINEERS
231 MAIN STREET BANGOR, MAINE 05401

KEYNOTES: (THIS SHEET ONLY)

- 1 PIPE/CONDUIT TRENCH
- 2 HOT TAP, THRUST BLOCK AND WATER SHUT-OFF VALVE
- 3 THRUST BLOCK BEND
- 4 CATCH BASIN
- 5 SANITARY SEWER LATERAL CONNECTION
- 6 PIPE CONNECTION INTO EXISTING STRUCTURE
- 7 100W METAL HUBBE WALL MOUNTED LIGHT FIXTURE
- 8 STORM DRAIN LINE FROM ROOF LEADER, COORDINATE WITH MECHANICAL CONTRACTOR
- 9 COORDINATE UTILITY ENTRANCES WITH UTILITY CONTRACTORS



NOTE:
AVERAGE FINISH GRADE AT BUILDING IS 93.7'

EXISTING OUTLET NOT FOUND DUE TO DEBRIS, CONTRACTOR SHALL CLEAN DEBRIS AND NOTIFY ENGINEER FOR LINE INSPECTION PRIOR TO COMMENCING WORK.

GRADING/UTILITY PLAN

MAGNETIC NORTH
2002

CIVIL/SITE WORK SPECIFICATIONS AND NOTES:

1. DEMOLITION AND REPAIR/CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S REGULATIONS AND STANDARDS FOR THE CONSTRUCTION OF TRANSPORTATION AND RELATED UTILITIES. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S REGULATIONS AND STANDARDS FOR THE CONSTRUCTION OF TRANSPORTATION AND RELATED UTILITIES.
2. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
4. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
5. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
7. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
8. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
9. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
10. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
11. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PLANNING DEPARTMENT REVIEW	10/21/03
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GRAPHIC SCALE
1"=10'
CHECK GRAPHIC SCALE BEFORE USING

ISSUED FOR PLANNING DEPARTMENT REVIEW

NO.	DATE	DESCRIPTION	BY
1	10/21/03	ISSUED FOR PLANNING DEPARTMENT REVIEW	AW
2			
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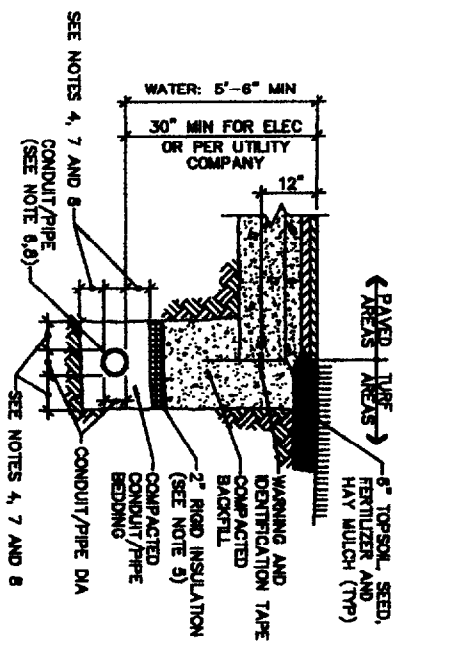
C3
4 OF 29

GRADING/UTILITY PLAN

DATE:	10/21/03
DESIGN:	AW
DRAWN:	BEW
CHECKED:	AW
SCALE:	AS SHOWN
JOB:	20304.30

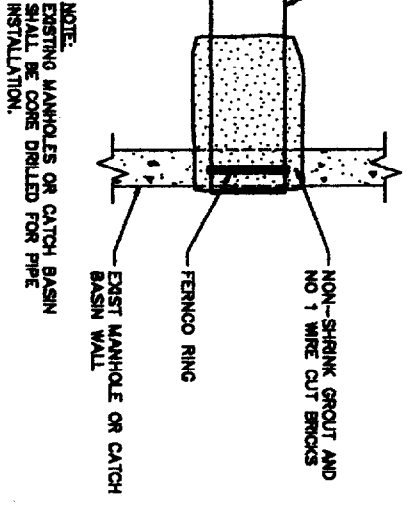
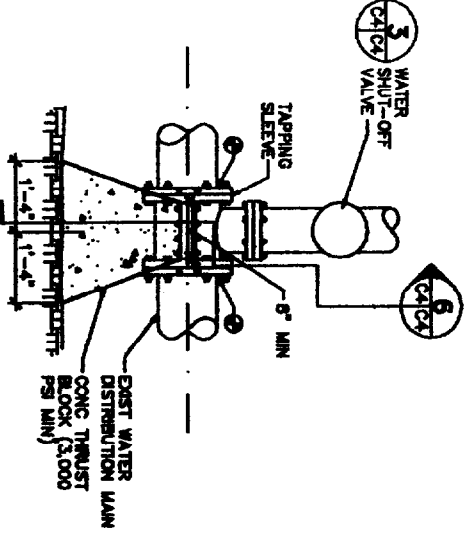
4 UNIT CONDOMINIUMS
20-24 BRACKETT STREET
PORTLAND, MAINE
RECORD OWNER
MESSEN, LLC
26 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04084

OAK POINT ASSOCIATES
ARCHITECTS - ENGINEERS
221 MAIN STREET BRIDGTON, MAINE 04002

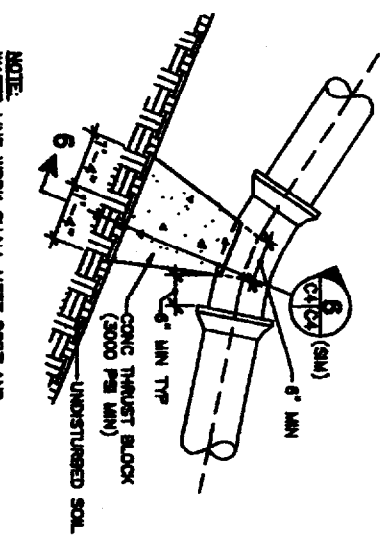


- NOTES:**
1. PROVIDE 3" MIN SEPARATION BETWEEN MULTIPLE ELECTRICAL CONDUITS (LOW VOLTAGE).
 2. PROVIDE SCHEDULE 80 PVC SLEEVE FOR ALL CONDUIT BELOW PAVEMENT.
 3. PROVIDE 18" VERTICAL SEPARATION BETWEEN WATER AND OTHER UTILITY CROSSINGS.
 4. CONSTRUCT SEWER IN ACCORDANCE WITH PORTLAND WATER DISTRICT AND CITY OF PORTLAND PUBLIC WORKS REQUIREMENTS, RELATED TO SANITARY SEWER CONSTRUCTION.
 5. PROVIDE RIGID INSULATION ON STORM DRAIN PIPING WHERE COVER IS LESS THAN 4". PROVIDE INSULATION ON SEWER PIPING WHEN COVER IS LESS THAN 5".
 6. STORM DRAIN PIPING SHALL BE SDR 35 OR REINFORCED CONCRETE PIPE. PROVIDE REINFORCED CONCRETE PIPE FOR ALL PIPING EXPOSED TO SUNLIGHT.
 7. SEE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 8. GAS LINE GAS LINE TRENCH SHALL MEET NORTHERN UTILITIES AND CITY OF PORTLAND PUBLIC WORKS REQUIREMENTS.

1 TYP CONDUIT/PIPE TRENCH DETAIL
CS/CSX NOT TO SCALE

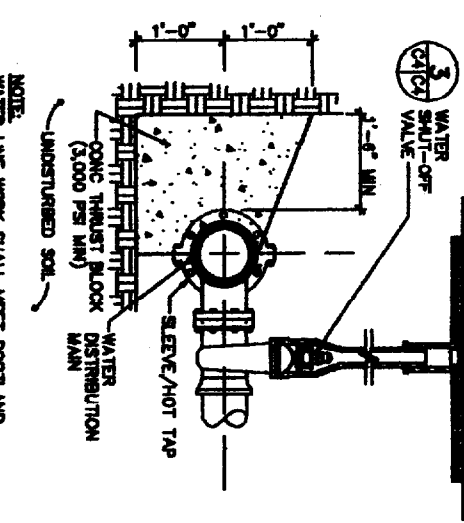


2 NEW PIPE INTO EXISTING STRUCTURE
CS/CSX NOT TO SCALE



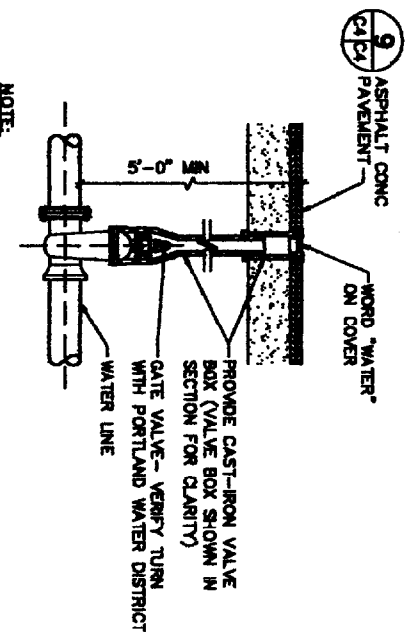
- NOTE:** LINE WORK SHALL MEET PORTLAND WATER DISTRICT AND PORTLAND PUBLIC WORKS REQUIREMENTS.

3 TYP THRUST BLOCK - BEND
CS/CSX NOT TO SCALE



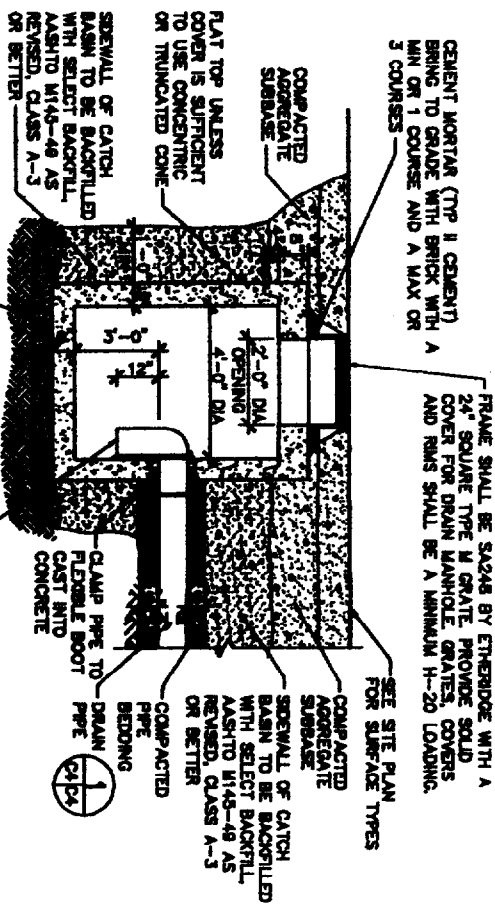
- NOTE:** LINE WORK SHALL MEET PORTLAND WATER DISTRICT AND PORTLAND PUBLIC WORKS REQUIREMENTS.

3 TYP THRUST BLOCK SECTION
CS/CSX NOT TO SCALE



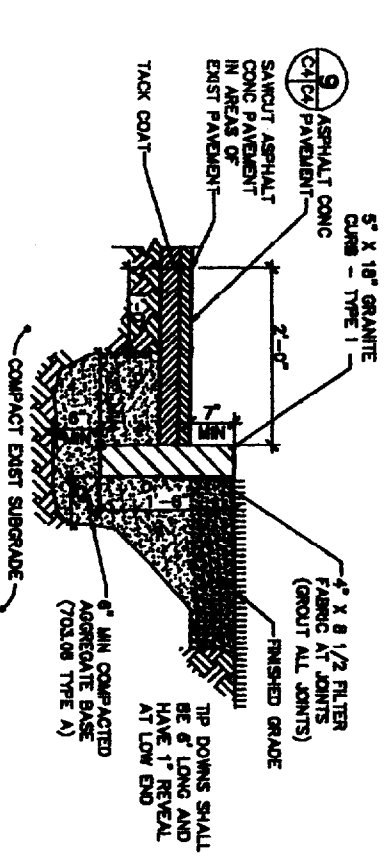
- NOTE:** WATER LINE WORK SHALL MEET PORTLAND WATER DISTRICT AND PORTLAND PUBLIC WORKS REQUIREMENTS.

4 TYP WATER SHUTOFF DETAIL
CS/CSX NOT TO SCALE

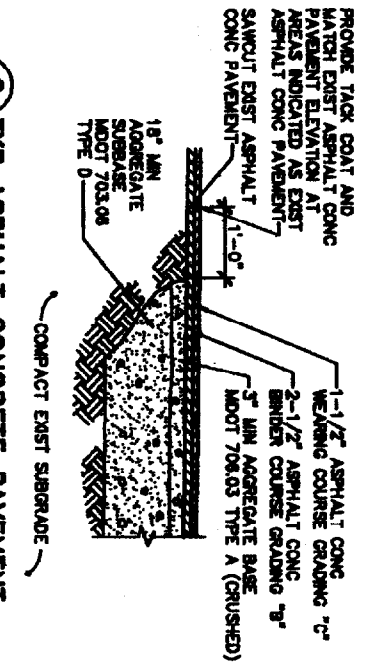


- NOTE:** LINE WORK SHALL MEET PORTLAND WATER DISTRICT AND PORTLAND PUBLIC WORKS REQUIREMENTS.

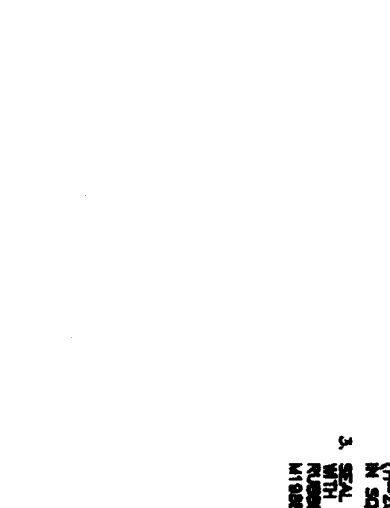
4 TYP HOT TAP TEE AND THRUST BLOCK DETAIL
CS/CSX NOT TO SCALE



5 TYP GRANITE CURB DETAIL
CS/CSX SCALE 1"=1'-0"



6 TYP ASPHALT CONCRETE PAVEMENT
CS/CSX NOT TO SCALE

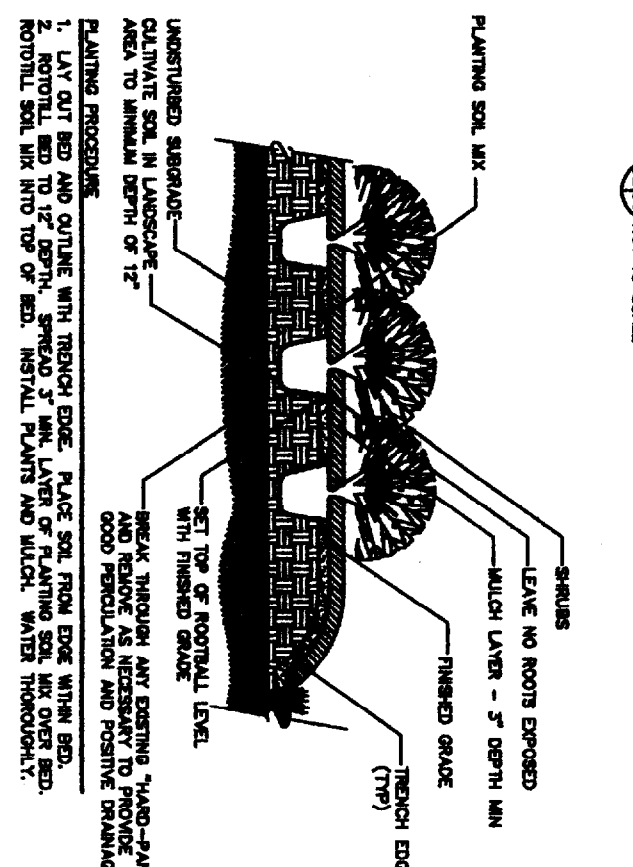
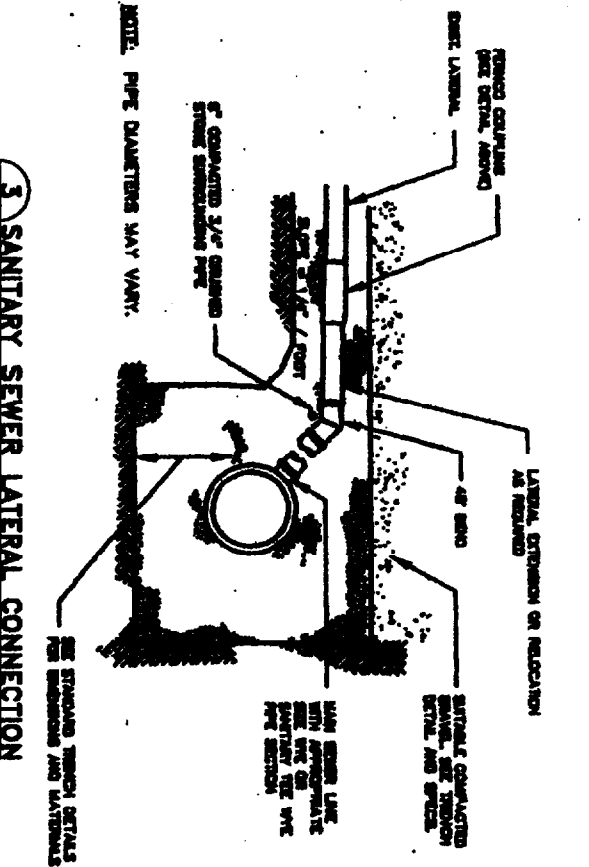
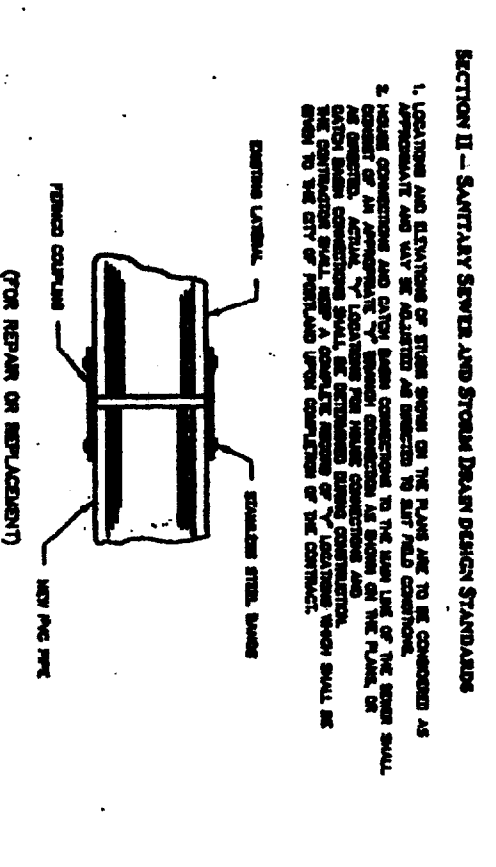
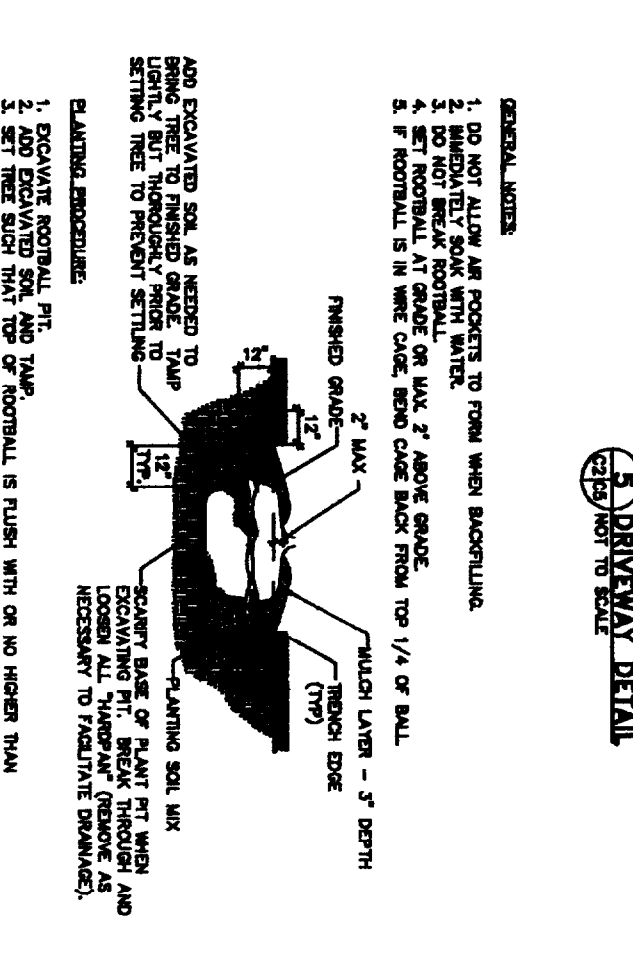
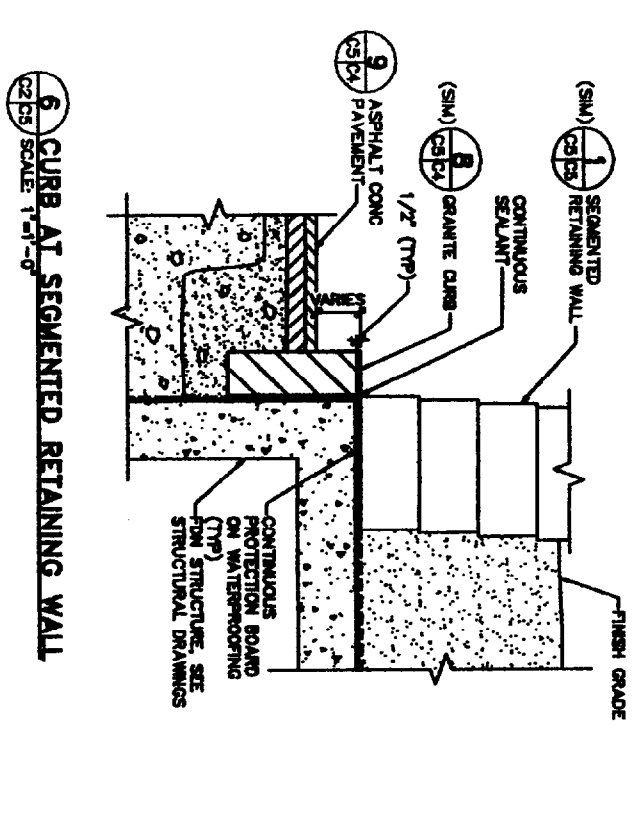
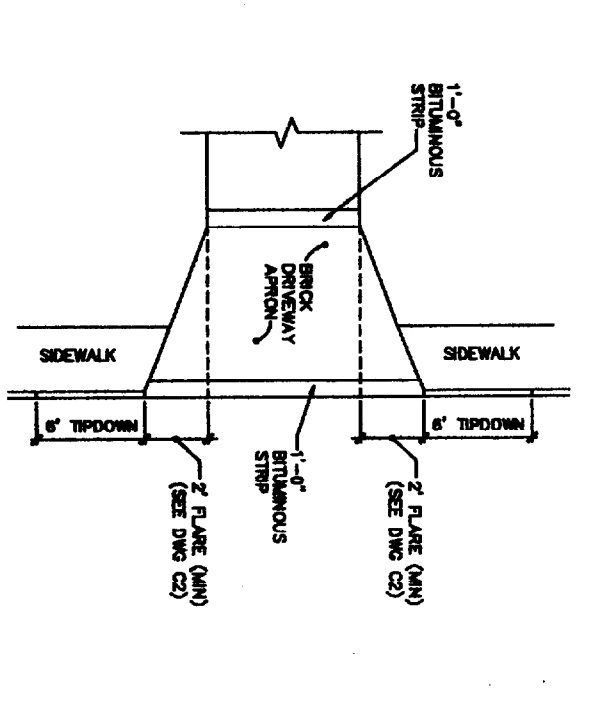
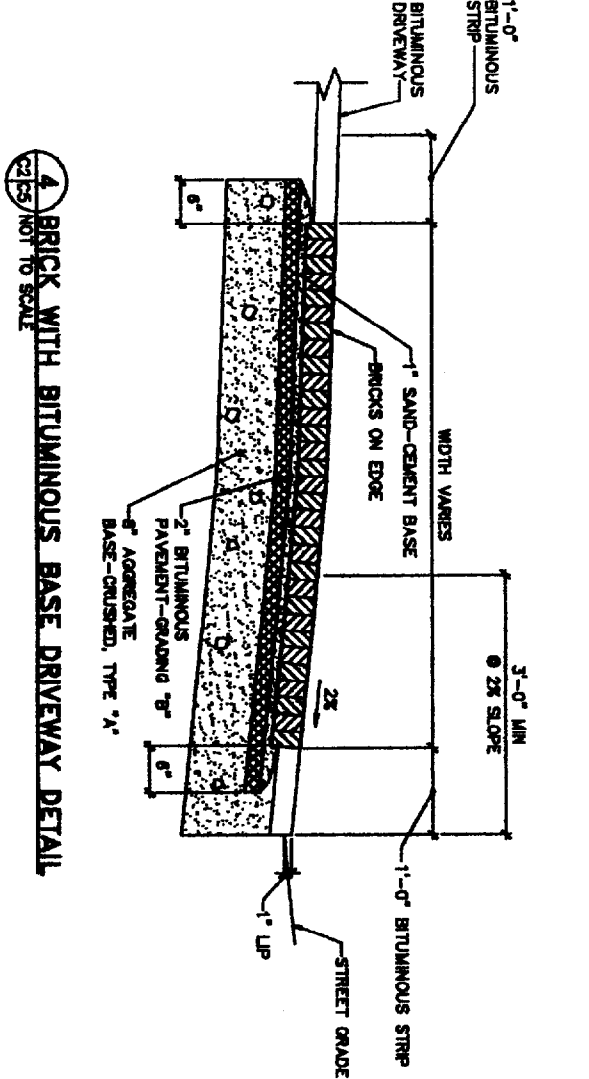
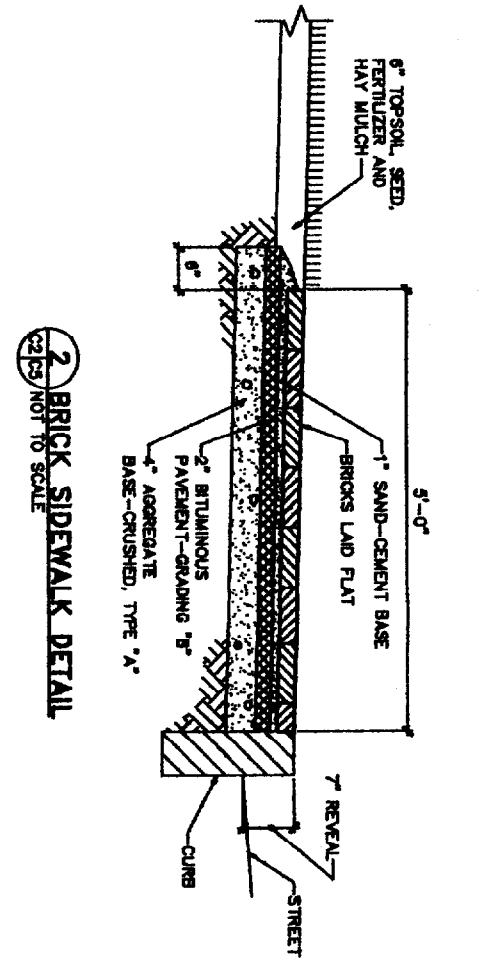
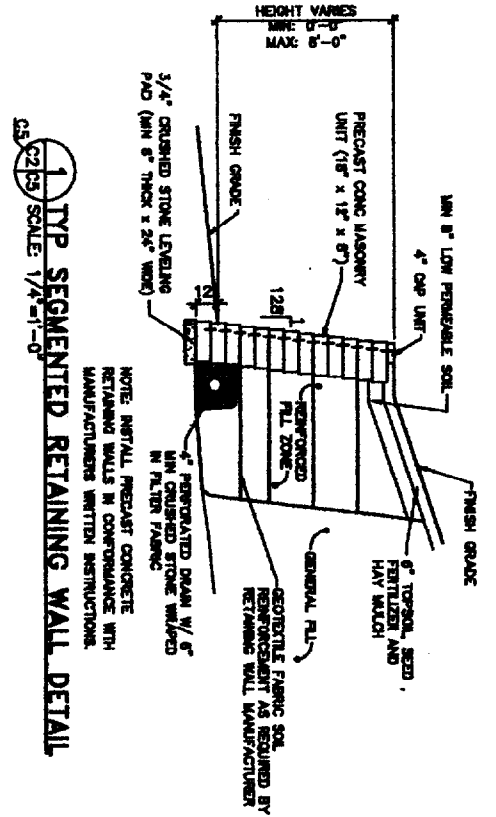


- NOTE:**
1. CONCRETE SHALL BE F_c = 4,000 PSI
 2. REINFORCING: 4" x 4" W/2.9 SQ WELDED WIRE FABRIC. TOP SLAB SHALL BE NO 5'S @ 6" ON CENTER. (H-20 LOADING)(0.12 IN SQ/FT)
 3. SEAL SECTIONAL JOINTS WITH 1" DIAMETER BUTY RUBBER SEALANT ASHTO M198B.
 4. EXTERIOR SHALL BE ASPHALT COATED (2 COATS)
 5. WHERE THE CATCH BASIN IS INSTALLED ADJACENT TO BITUMINOUS CONCRETE OR TYPE V SLOPED CURB, SET CENTRELINE OF CATCH BASIN FRAME 1'-6" OFF FACE OF CURB
 6. CATCH BASIN TO CONFORM TO ASTM-C478 AND BE DESIGNED FOR ASHTO H-20 LOADING (32,000 POUND AXLE LOAD).

7 TYP CATCH BASIN DETAIL
CS/CSX NOT TO SCALE (DRAIN MANHOLE SIMILAR)

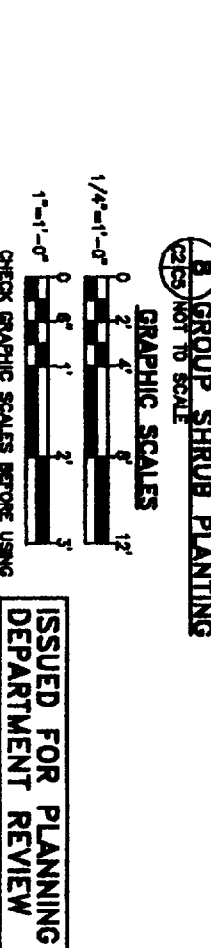


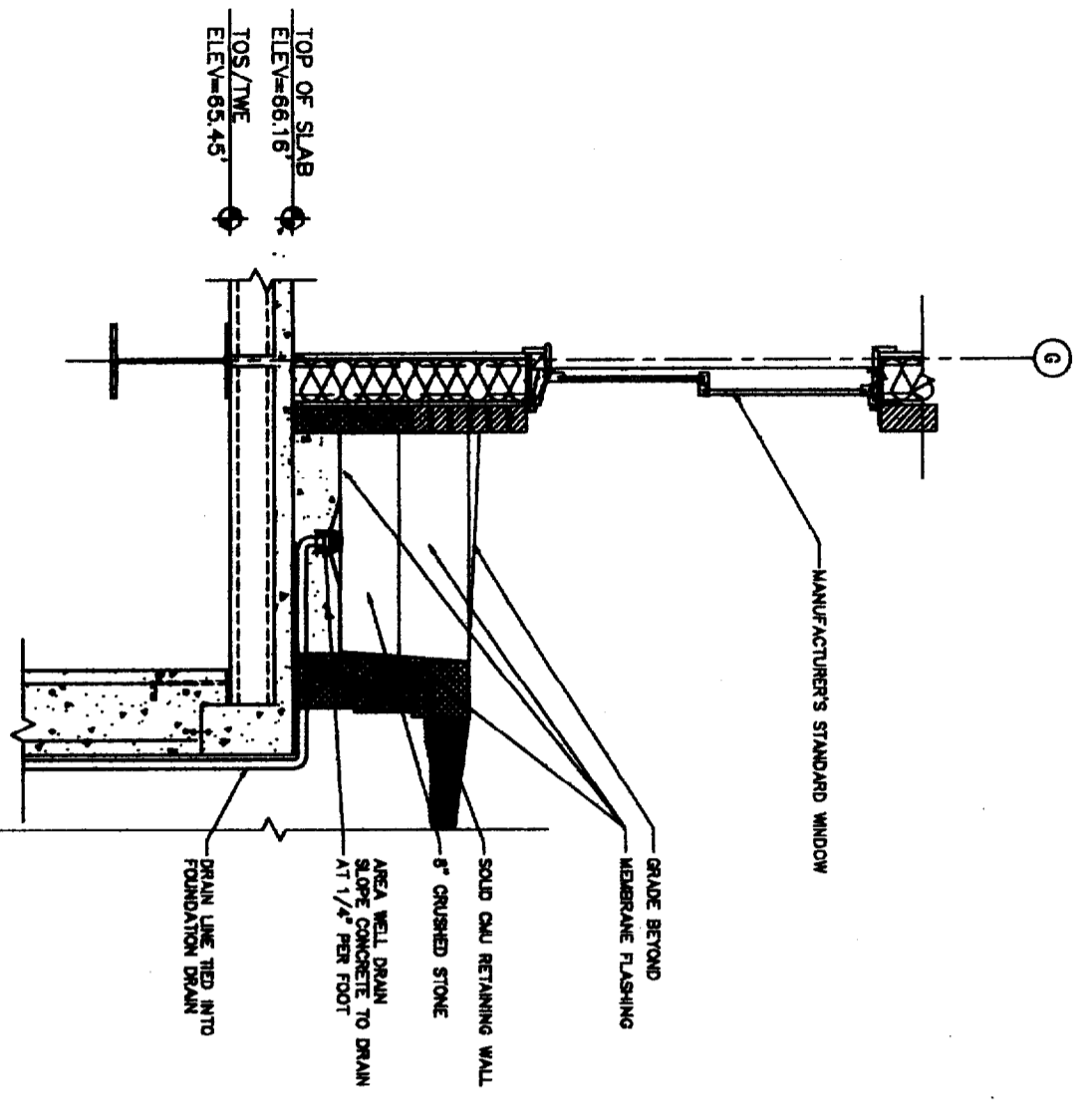
ISSUED FOR PLANNING DEPARTMENT REVIEW



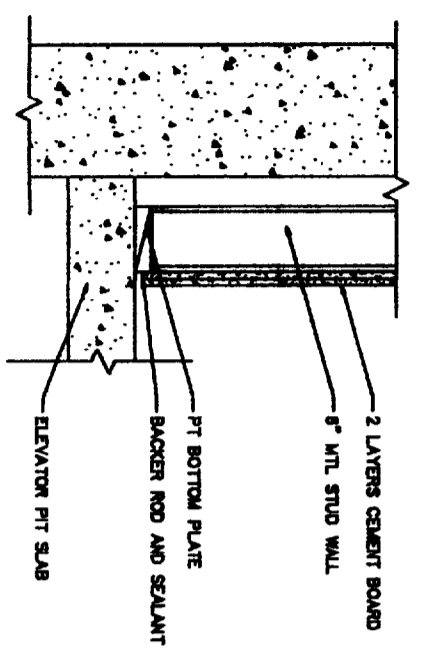
NO.	DATE	DESCRIPTION	BY

2020-03-27/09 10-21-03 12:30:00 pm BT

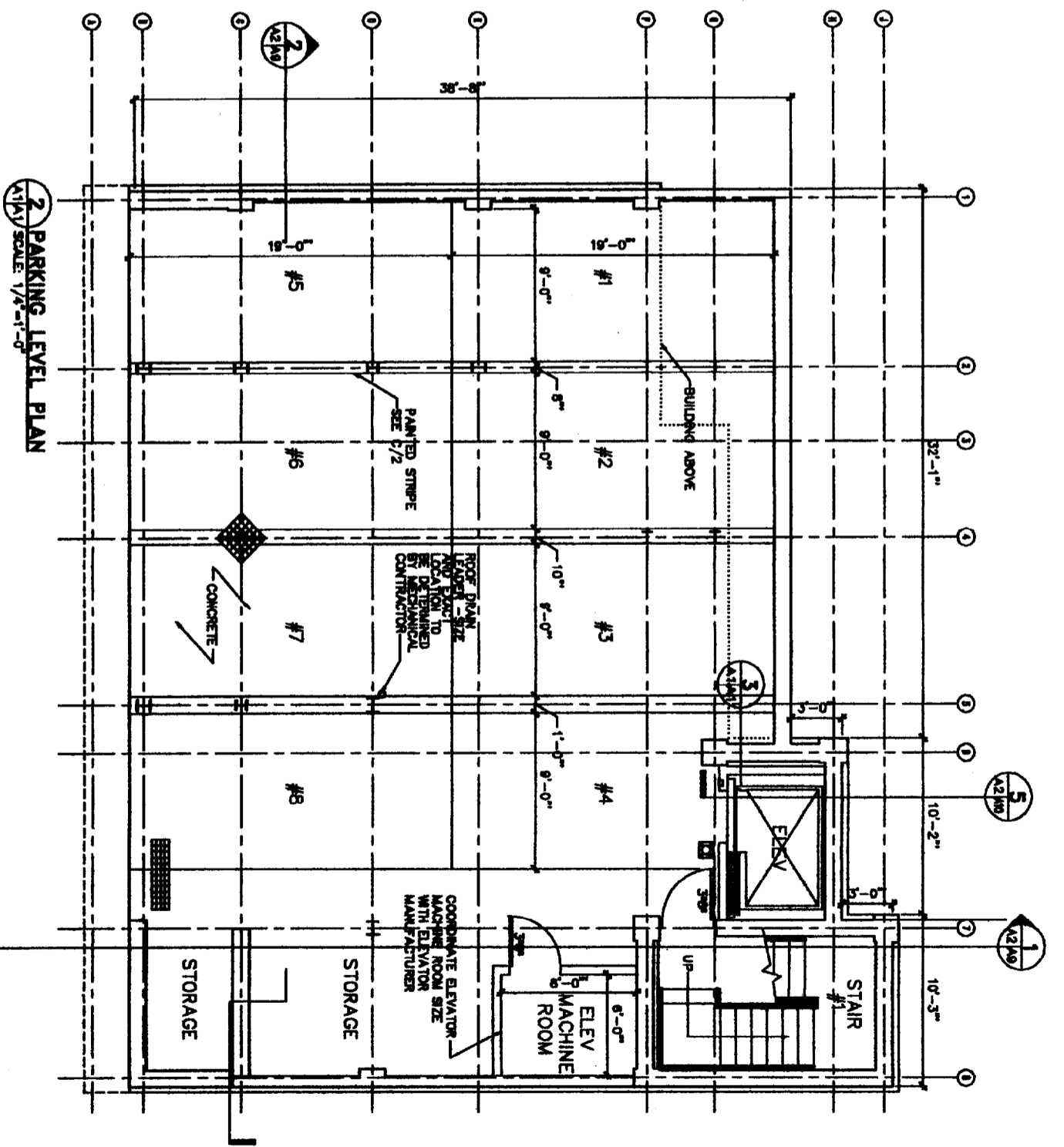




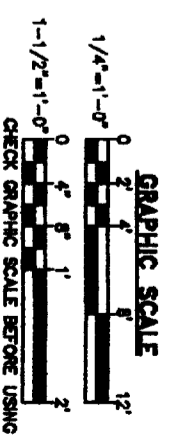
1 WINDOW WELL DETAIL
 (1/4") SCALE: 1/4"=1'-0"



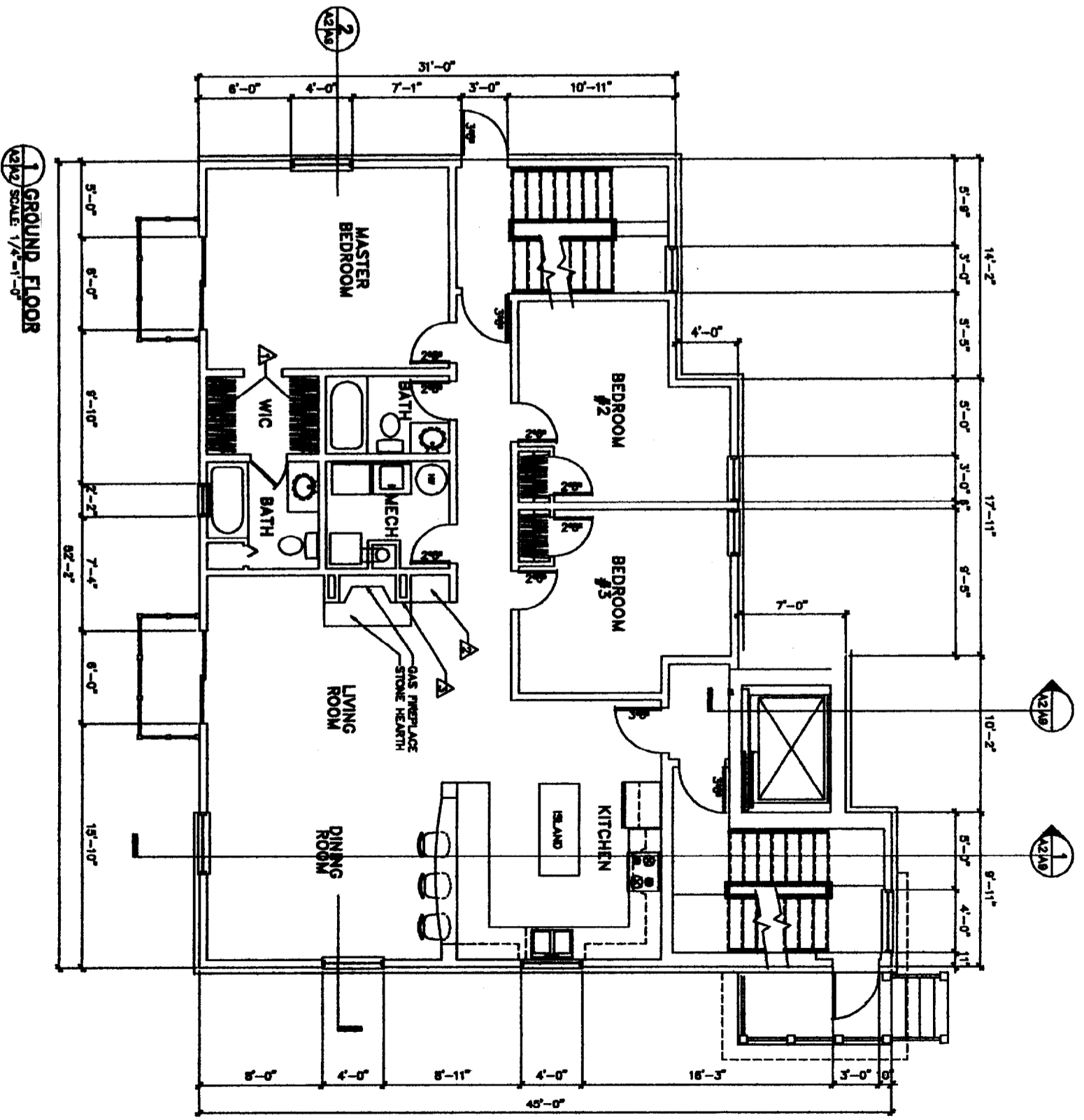
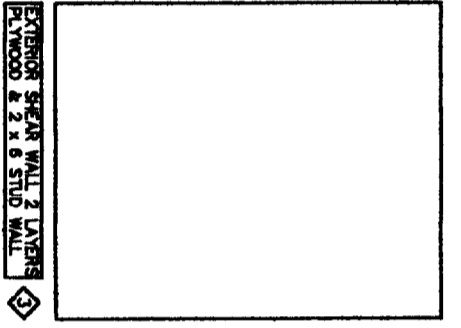
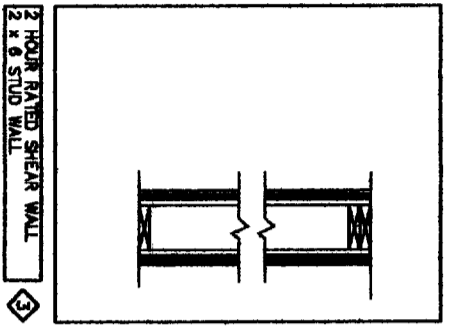
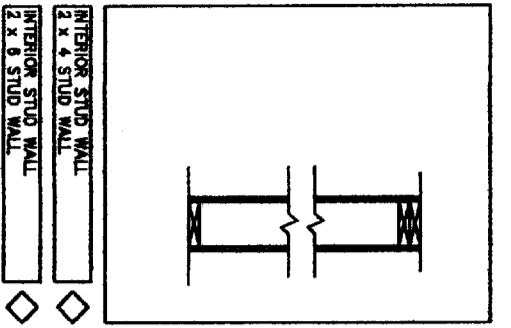
3 SHAFT WALL DETAIL
 (1/4") SCALE: 1-1/2"=1'-0"



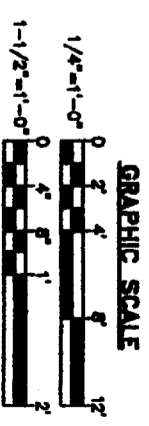
2 PARKING LEVEL PLAN
 (1/4") SCALE: 1/4"=1'-0"



ISSUED FOR PLANNING
 DEPARTMENT REVIEW

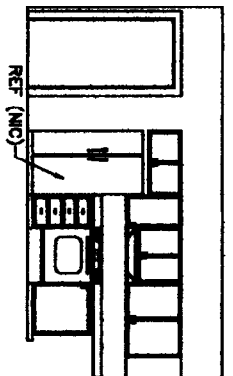


- KEYNOTES THIS SHEET ONLY**
- ▲ PROVIDE NOB AND SHELF AT CLOSETS TYPICAL
 - ▲ PROVIDE BUILT-IN STORAGE CABINETS AND SHELVING
 - ▲ PROVIDE MANTLE SURROUND, BROCO ANDERSON OR EQUAL

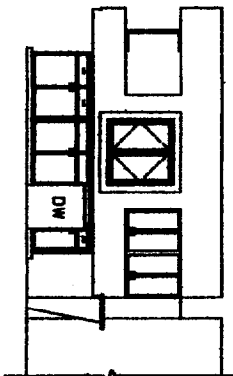


ISSUED FOR PLANNING
DEPARTMENT REVIEW

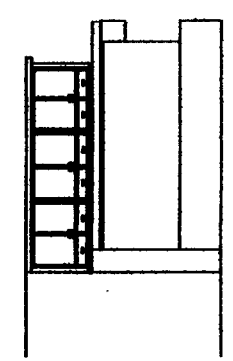
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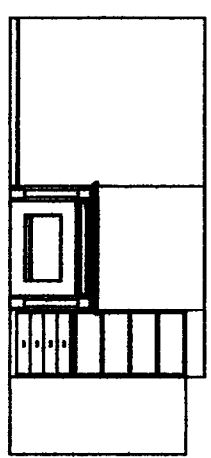
2 KITCHEN ELEVATION
AS/AS SCALE: 1/4"=1'-0"



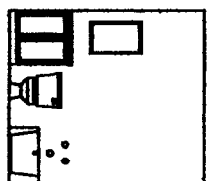
3 KITCHEN ELEVATION
AS/AS SCALE: 1/4"=1'-0"



4 KITCHEN ELEVATION
AS/AS SCALE: 1/4"=1'-0"

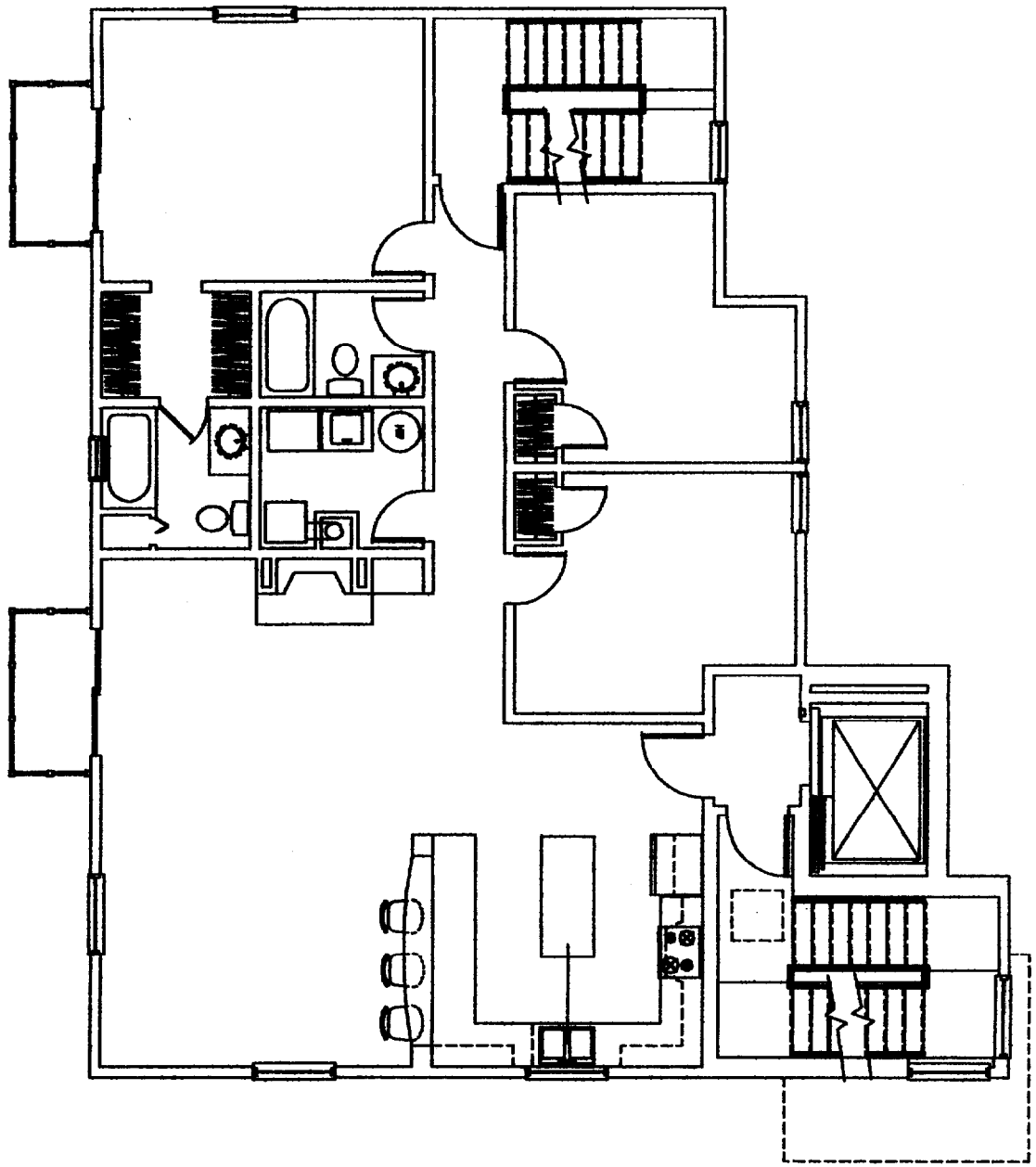


5 KITCHEN ELEVATION
AS/AS SCALE: 1/4"=1'-0"



6 KITCHEN ELEVATION
AS/AS SCALE: 1/4"=1'-0"

GENERAL NOTE:
PROVIDE BLOCKING
FOR ALL BUILT-INS
AND ACCESSORIES.



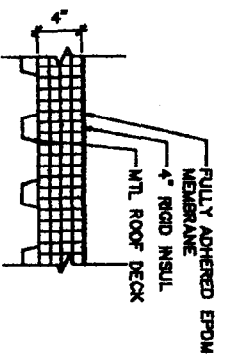
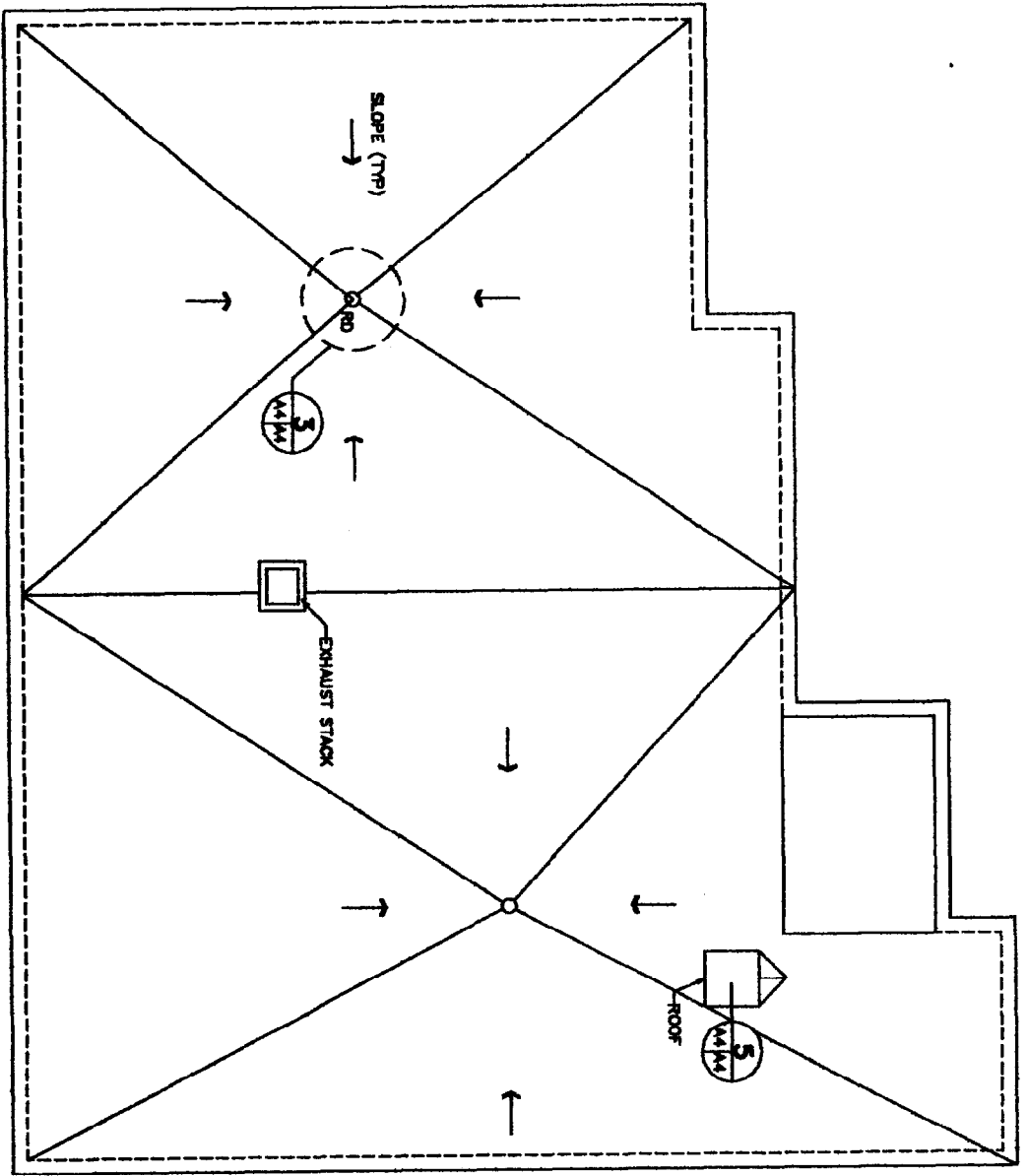
1 TYPICAL FLOOR PLAN (2-2)
AS/AS SCALE: 1/4"=1'-0"

- KEYNOTES: THIS SHEET ONLY**
- △ PROVIDE ROD AND SHELF AT CLOSETS TYPICAL.
 - △ PROVIDE BUILT-IN CORNER CHINA CLOSET
 - △ PROVIDE MANTLE SURROUND, BROSCO ANDERSON OR EQUAL
 - △ PROVIDE BUILT IN SHELVING
 - △ VERIFY SKYLIGHT LOCATIONS WITH STRUCTURAL ROOF FRAMING PLANS
 - △ PROVIDE BUILT-IN STORAGE CABINETS AND SHELVING

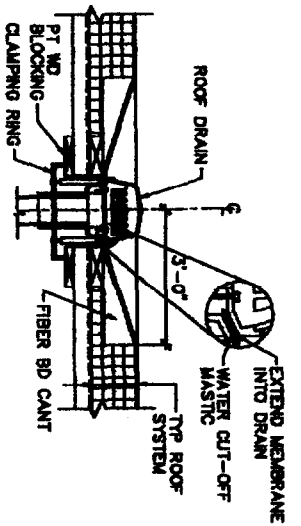


ISSUED FOR PLANNING
DEPARTMENT REVIEW

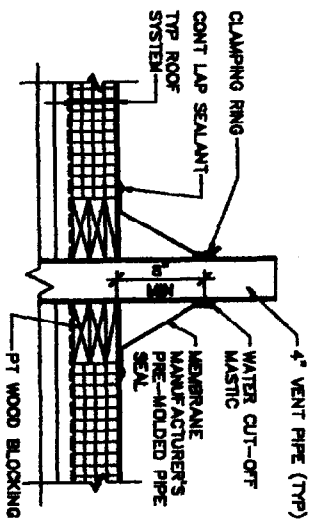
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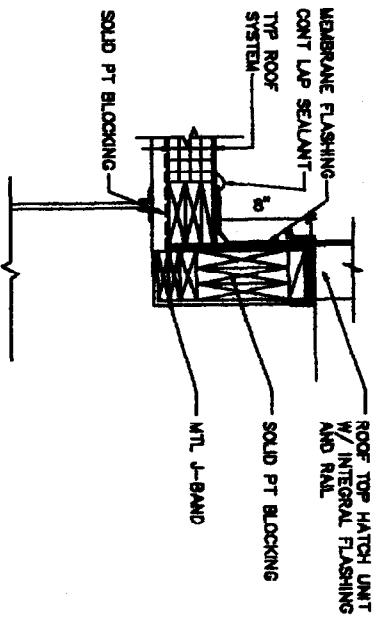
2 TYP EPDM ROOF SYSTEM
SCALE: 1-1/2"=1'-0"



3 TYP ROOF DRAIN
SCALE: 1-1/2"=1'-0"



4 TYP ROOF VENT DETAIL
SCALE: 1-1/2"=1'-0"



5 ROOF ACCESS HATCH DETAIL
SCALE: 1-1/2"=1'-0"



ISSUED FOR PLANNING
DEPARTMENT REVIEW

OAK POINT ASSOCIATES

ARCHITECTS - ENGINEERS
221 MAIN STREET BOSTON, MAINE 02108

4 UNIT CONDOMINIUMS
20-24 BRACKETT STREET
PORTLAND, MAINE
RECORD OWNER
MESSENIER, LLC
28 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04064

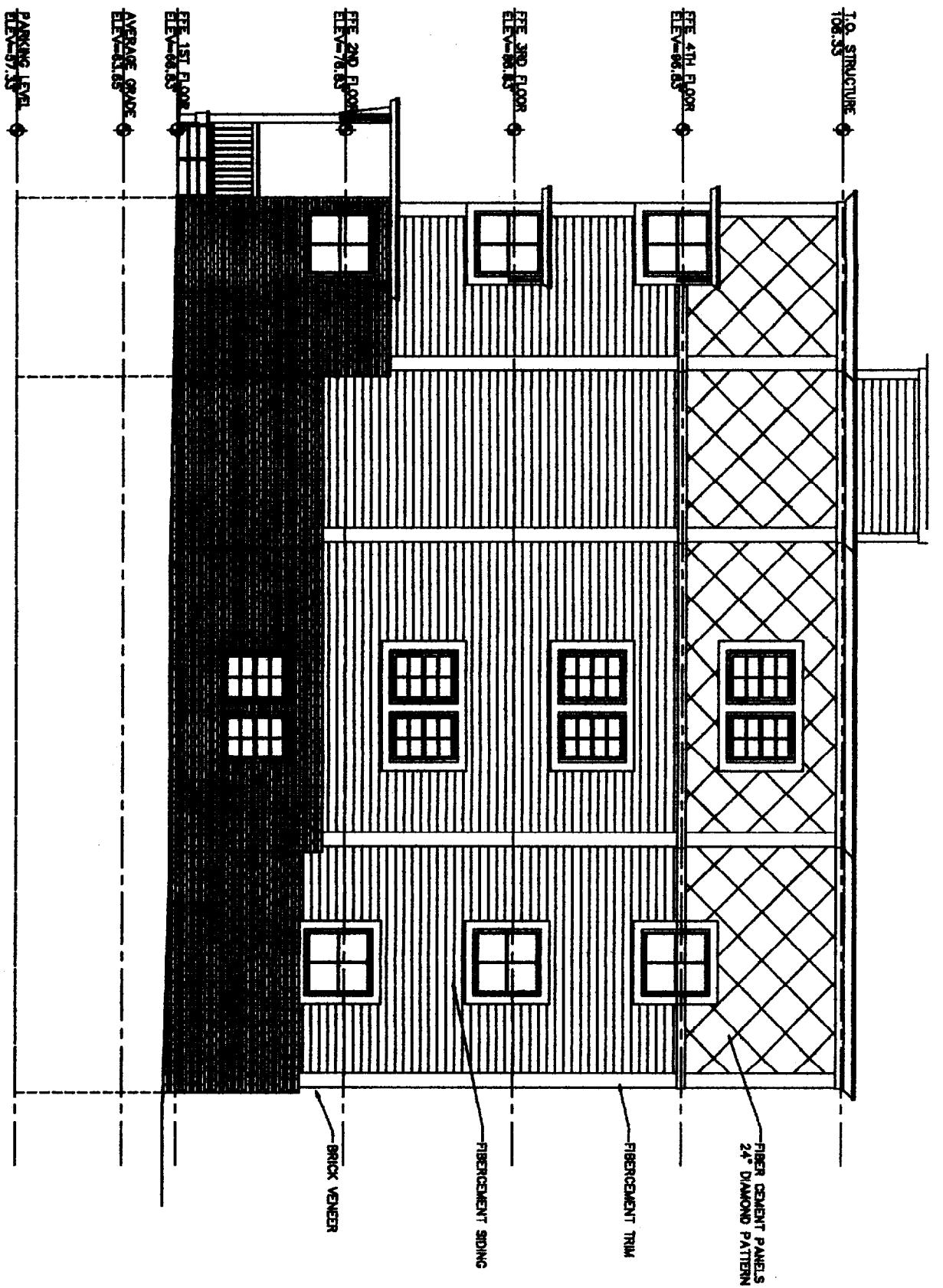
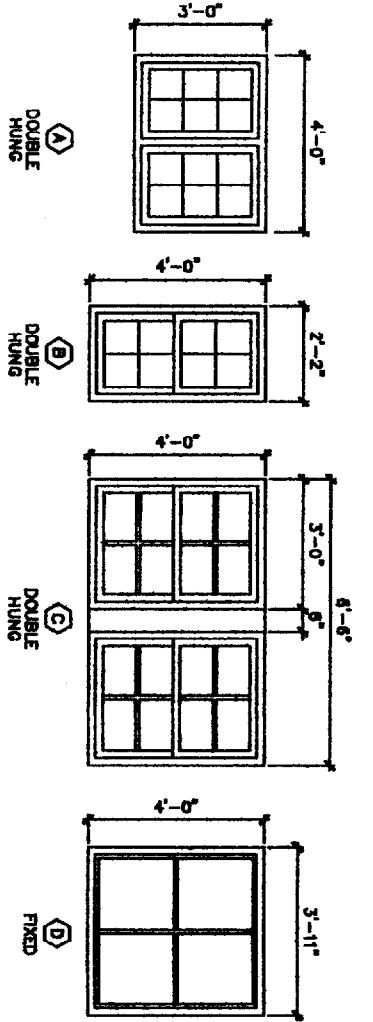
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DRAWN: TCB
CHECKED: ELM
SCALE: AS NOTED
JOB: 20304.30

ROOF PLAN &
DETAILS

A4

10 OF 29

WINDOW TYPES
SCALE: 1/2"=1'-0"



1 NORTH ELEVATION
SCALE: 1/4"=1'-0"



ISSUED FOR PLANNING DEPARTMENT REVIEW

2024-05-09 10:00 AM 2024-05-09

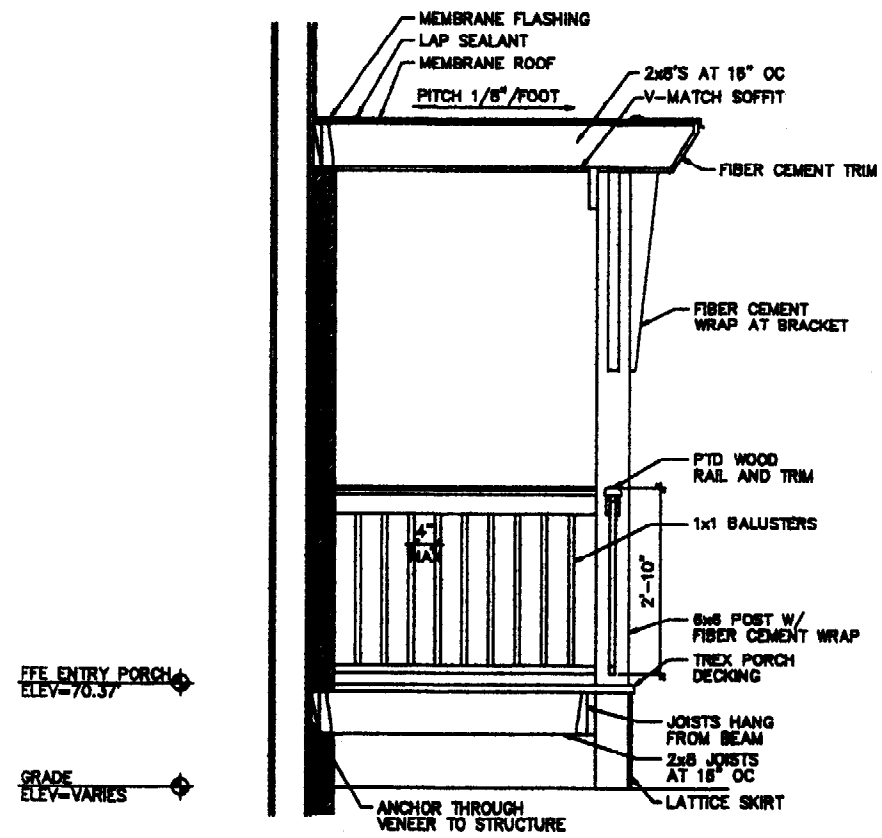
NORTH ELEVATION & WINDOW SCHEDULE

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DESIGN:	GH
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SCALE:	AS NOTED
JOB:	26304.30

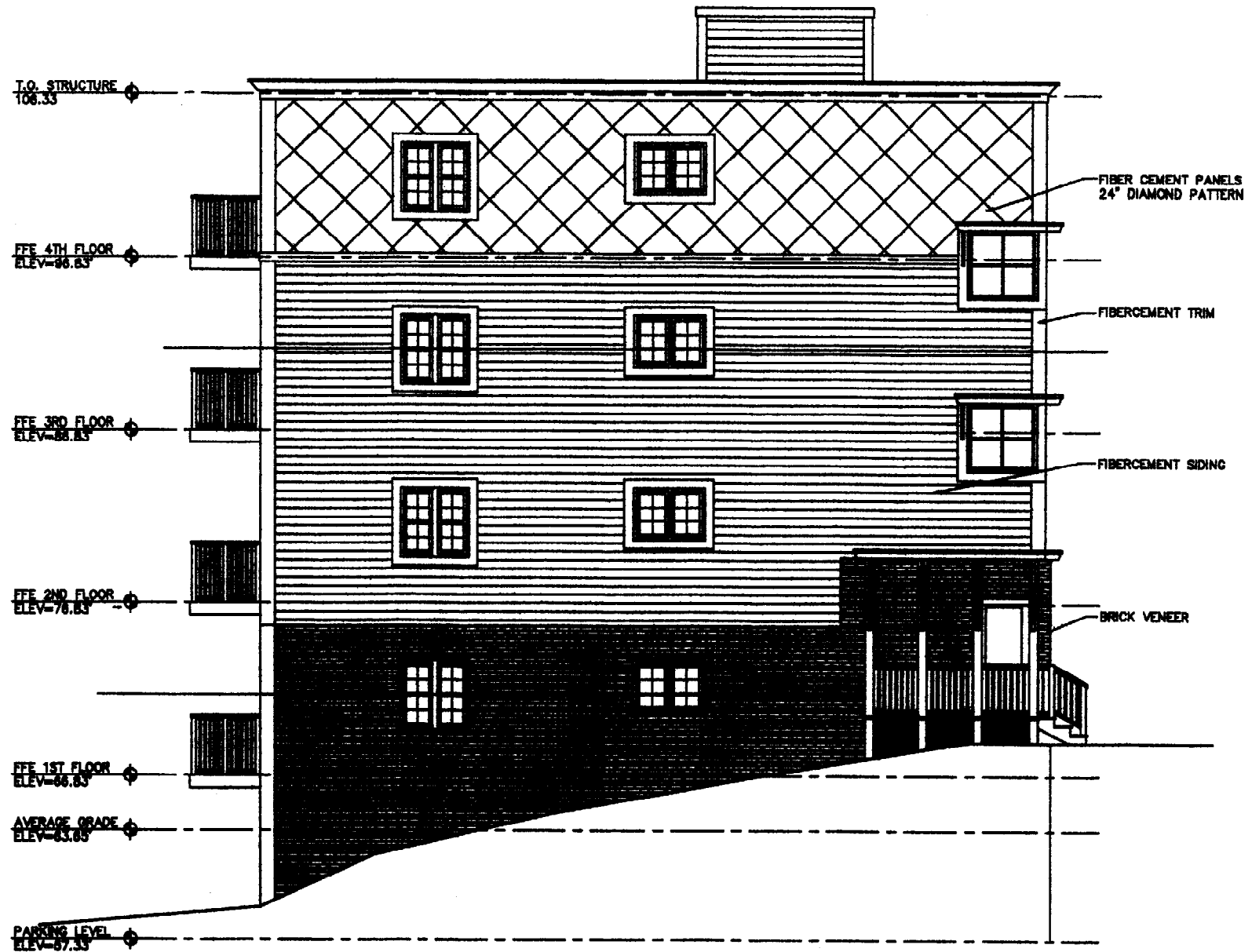
4 UNIT CONDOMINIUMS
20-24 BRACKETT STREET
PORTLAND, MAINE
RECORD OWNER
MESDEN, LLC
26 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04064

OAK POINT ASSOCIATES
ARCHITECTS - ENGINEERS
631 MAIN STREET BANGOR, MAINE 04401

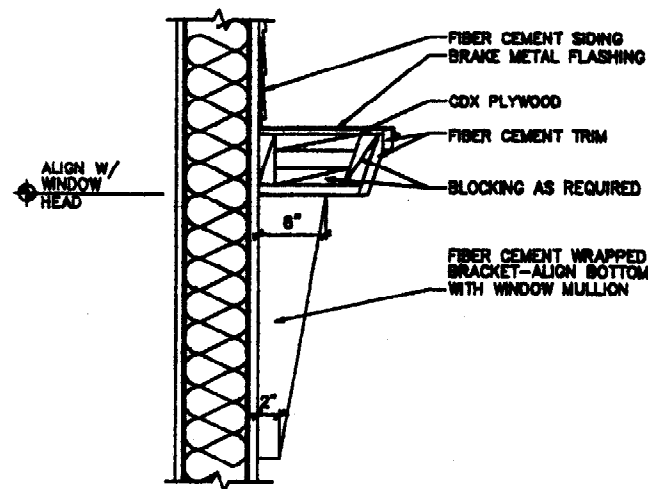
A5
OF 29



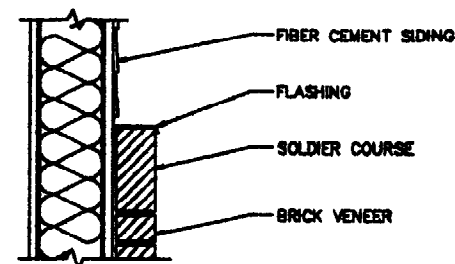
1 ENTRY PORCH SECTION
 A8/A8 SCALE: 3/4"=1'-0"



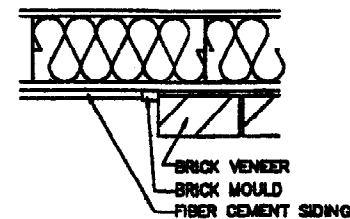
2 EAST ELEVATION
 A1/A8 SCALE: 1/4"=1'-0"



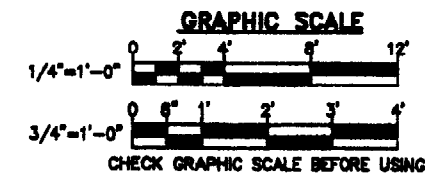
3 WINDOW SHADE DETAIL
 A8/A8 SCALE: 1-1/2"=1'-0"



4 BRICK TRANSITION DETAIL
 A8/A8 SCALE: 1-1/2"=1'-0"



5 BRICK TRANSITION DETAIL
 A8/A8 SCALE: 1-1/2"=1'-0"



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 DEPARTMENT REVIEW

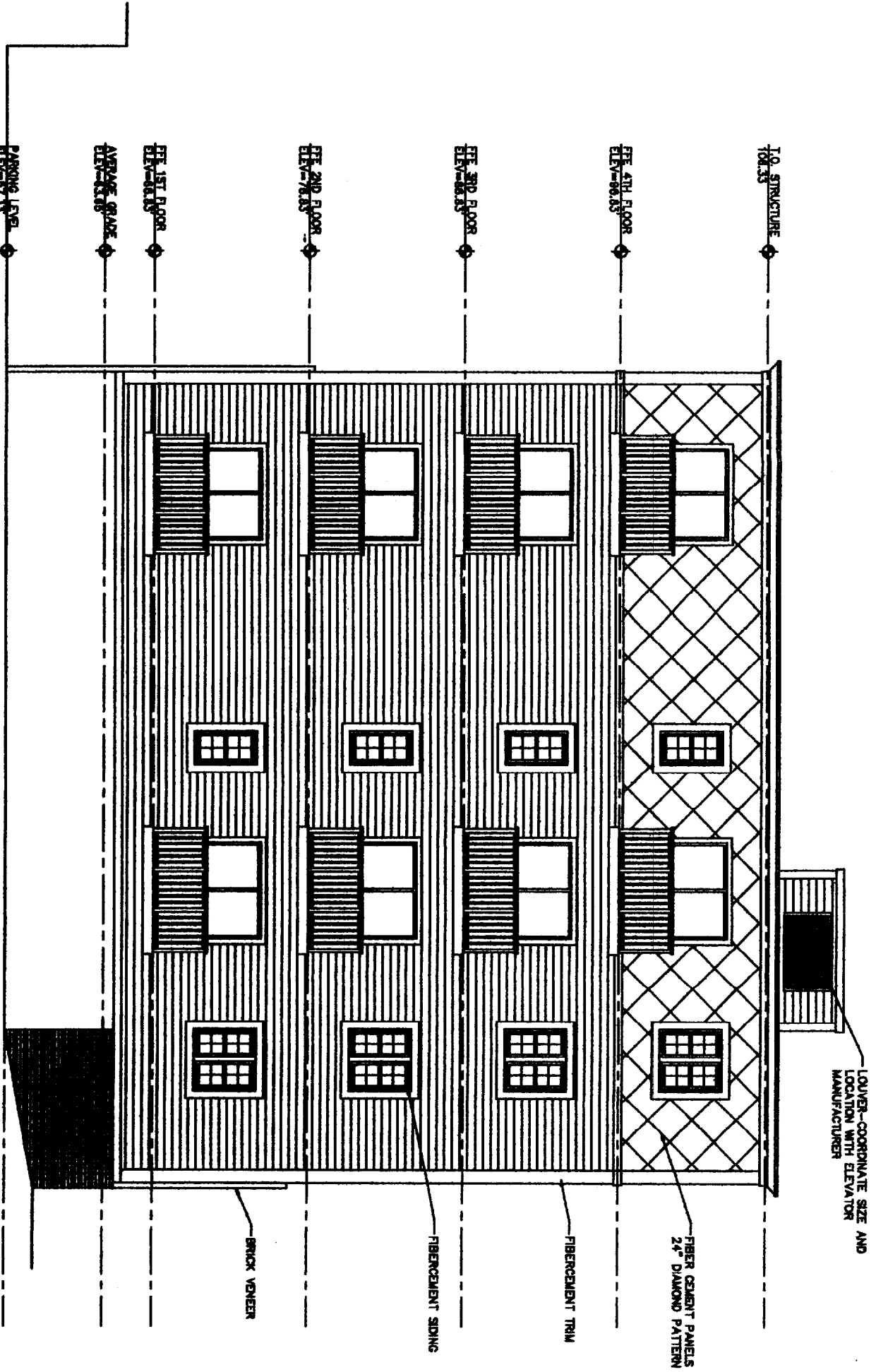
OAK POINT ASSOCIATES

4 UNIT CONDOMINIUMS

EAST ELEVATION &
 DETAILS

A6

12 OF 29



2 SOUTH ELEVATION
1/4\"/>



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DEPARTMENT REVIEW

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**SOUTH ELEVATION
AND DETAILS**

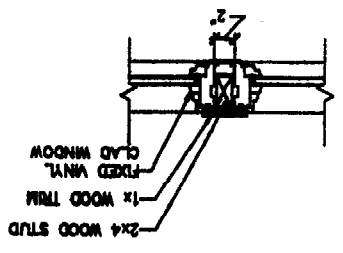
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SCALE:	AS NOTED
JOB:	20304.30

4 UNIT CONDOMINIUMS
20-24 BRACKETT STREET
PORTLAND, MAINE
RECORD OWNER
MESDEN, LLC
28 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04084

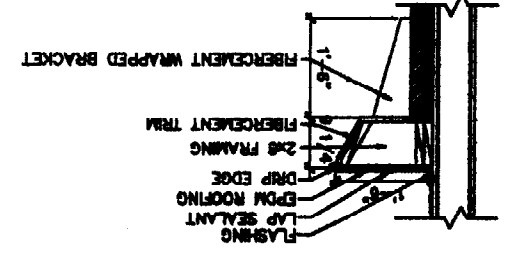
OAK POINT ASSOCIATES
ARCHITECTS - ENGINEERS
231 MAIN STREET BOBBFORD, MAINE 04008

A7
13 OF 29

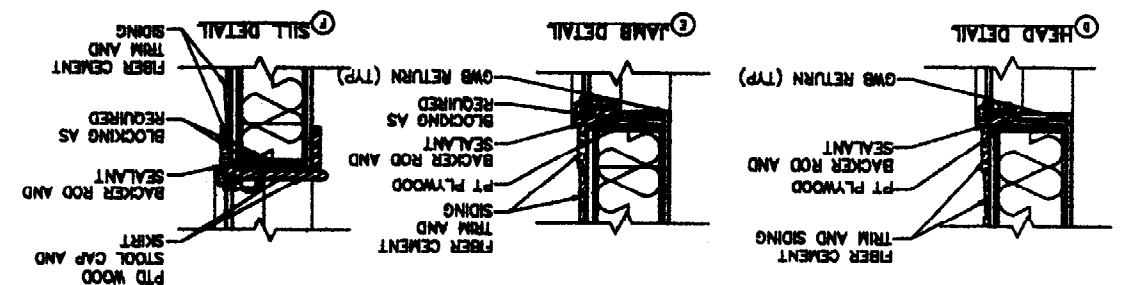
5 BRICK VENEER DETAIL
AS/AS SCALE: 1-1/2"=1'-0"



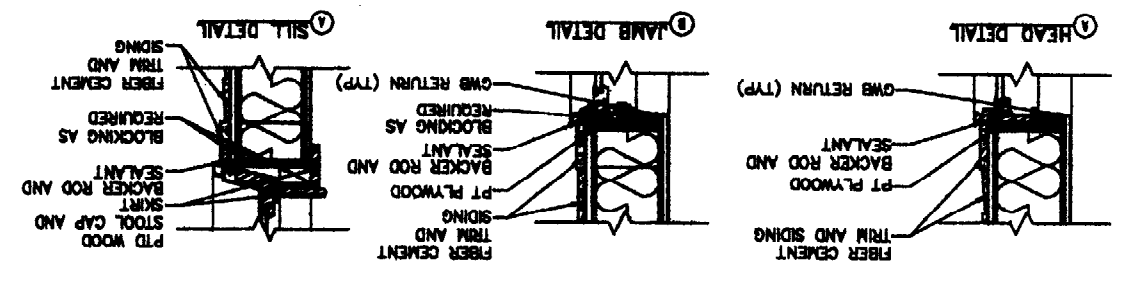
7 BRICK VENEER DETAIL
AS/AS SCALE: 3/4"=1'-0"



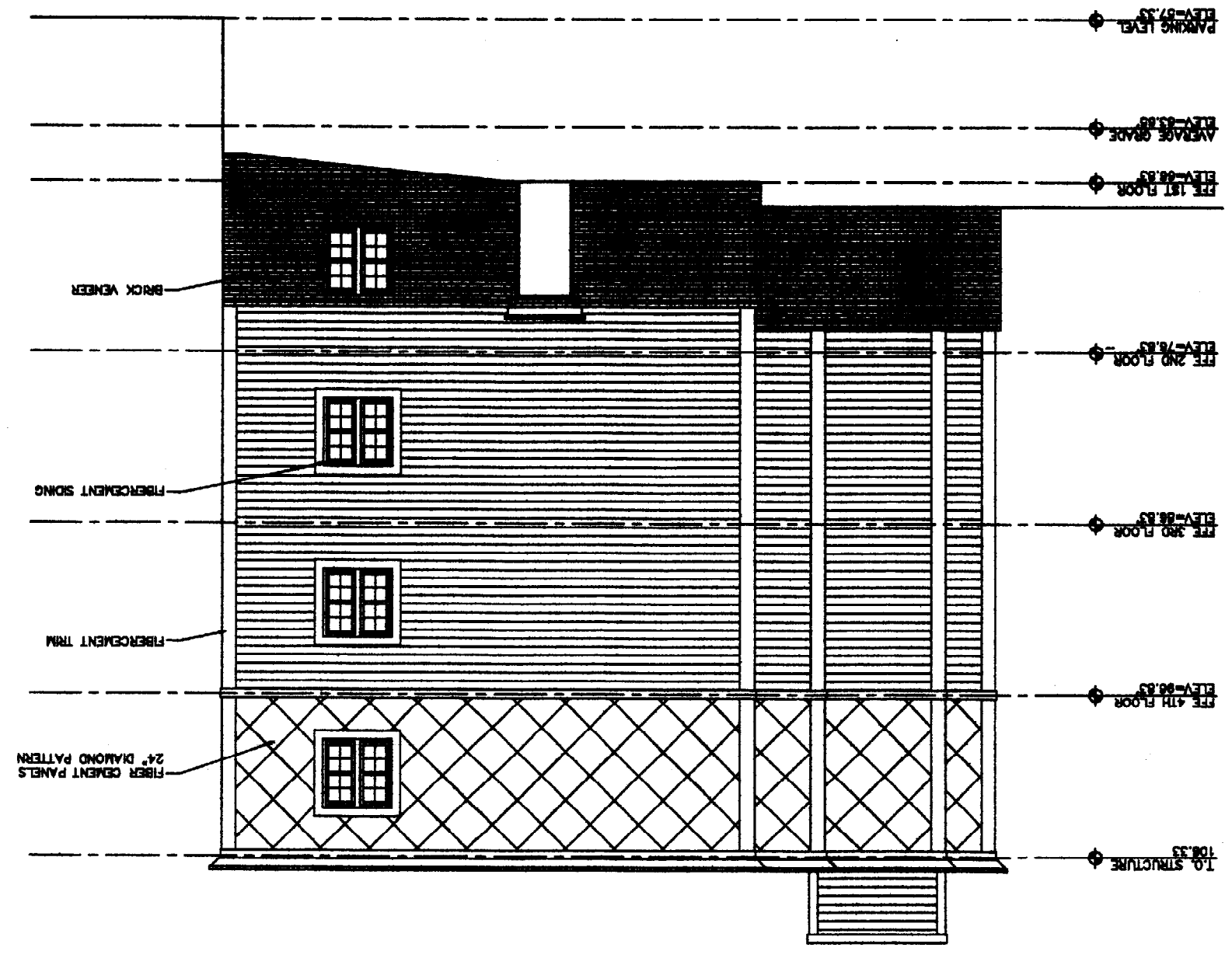
2 AWNING WINDOW DETAILS • STUD WALL
AS/AS SCALE: 1-1/2"=1'-0"



1 DOUBLE HUNG DETAILS • STUD WALL
AS/AS SCALE: 1-1/2"=1'-0"



8 WEST ELEVATION
AS/AS SCALE: 1/4"=1'-0"



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DEPARTMENT REVIEW

A8
14 OF 29

WEST ELEVATION
& DETAILS

DATE	BY/REV
DESIGN: SJI	
DRAWN: TDB	
CHECKED: SJI	
SCALE: AS SHOWN	
JOB: 23034-20	

4 UNIT CONDOMINIUMS
20-24 BRACKETT STREET
PORTLAND, MAINE
RECORD OWNER
NESTEN, LLC
28 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04064

ARCHITECT - ENGINEER
28 MAIN STREET, PORTLAND, MAINE 04101

OAK POINT ASSOCIATES
28 MAIN STREET, PORTLAND, MAINE 04101

STRUCTURAL NOTES

- 1. CONCRETE MATERIALS AND WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH ACI 308.1, ACI 308R, ACI 318, ACI 318R AND ACI 347R.
2. CONCRETE EXPOSED TO WEATHER SHALL BE NORMAL WEIGHT F-4000 PSI (MINIMUM WATER/CEMENT RATIO=0.40).
3. UPON COMPLETION OF FOOTING EXCAVATION AND PRIOR TO THE INSTALLATION OF FORMS OR CONCRETE PLACEMENT THE EXISTING SUBGRADE BENEATH ALL FOOTINGS SHALL BE COMPACTED WITH 3 PASSES OF A WELDED PLATE COMPACTOR.

WOOD

- 1. WOOD FRAMING AND FASTENERS SHALL BE IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE AND THE AMERICAN FOREST AND PAPER ASSOCIATION NATIONAL DESIGN SPECIFICATION (1987)(AFPA NDS), UNLESS SPECIFIED OTHERWISE.
2. EACH PIECE OF LUMBER SHALL BE "S-DRY" AND BEAR THE GRADE STAMP OF A GRADING RULES AGENCY APPROVED BY THE PS-20 "AMERICAN SOFTWOOD LUMBER STANDARDS COMMITTEE".
3. MINIMUM STRUCTURAL PROPERTIES OF EXTERIOR LOAD BEARING, PLATES AND BLOCKING SHALL BE AS FOLLOWS: SPRUCE-PINE-FIR NO 2 OR BETTER WITH MINIMUM DESIGN VALUES OF F=875 PSI, Fv=70 PSI, Ft=450 PSI, E=1,150,000 PSI, AND E=1,400,000 PSI.

STRUCTURAL STEEL

- 1. ALL STEEL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION'S MANUAL OF STEEL CONSTRUCTION LOAD AND RESISTANCE FACTOR DESIGN-THIRD EDITION.
2. STEEL FOR ROLLED SECTIONS: ASTM A992/A992M (Fy=50 KSI)
3. ANCHOR BOLTS: ASTM A307, NUTS: ASTM A563, GRADE 5.
4. STRUCTURAL BOLTS: ASTM A325/A325M, TYPE 1, UNLESS NOTED OTHERWISE. WASHERS: ASTM F436M, NUTS: ASTM A563M.

GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY SUPPORT OF ALL FRAMING DURING CONSTRUCTION TO PREVENT FAILURE AND DAMAGE.
2. ARCHITECTURAL, CIVIL, MECHANICAL AND ELECTRICAL PLANS AND DETAILS.
3. SEE THIS SHEET FOR EXCAVATION SHORING NOTES.

TEMPORARY SHORING NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF EXCAVATION SHORING SYSTEM.
2. SHORING SYSTEM SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MAINE.

MASONRY

- 1. ALL MASONRY WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 530.1-02/ASCE 8-02/THIS 402-02.
2. CONCRETE MASONRY UNITS SHALL BE PERFORMED BY THE CONTRACTOR AS SPECIFIED. ALL REPORTS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER OF RECORD ON A DAILY BASIS.

STEEL DECK

- 1. FASTEN FLOOR DECK WITH EITHER 5/8" WELDS OR #12 SCREWS IN A 36/4 PATTERN WITH (2) #10 SCREWS (SIDELAP FASTENERS) PER SPAN.
2. FASTEN STEEL DECK TO SUPPORT FRAMING IN ACCORDANCE WITH STEEL DECK INSTALUTE DESIGN MANUAL FOR COMPOSITE DECKS, FORM DECKS AND ROOF DECKS, AND WITH THE STEEL DECK MANUFACTURER'S RECOMMENDATIONS AS FOLLOWS:

BUILDING DESIGN LOADS

Table with columns for load types and values. Includes: ROOF SNOW LOAD (Ps) = 50.0 PSF, FLOOR DEAD LOAD = 22 PSF, SNOW LOAD IMPORTANCE FACTOR (I) = 1.0, WIND EXPOSURE = EXPOSURE C.

STRUCTURAL ABBREVIATIONS:

Table mapping abbreviations to full names. Includes: Fy - PLUS OR MINUS YIELD STRESS, ACI - AMERICAN CONCRETE INSTITUTE, HSB - HOLLOW STRUCTURAL SECTION.

ISSUED FOR PLANNING DEPARTMENT REVIEW

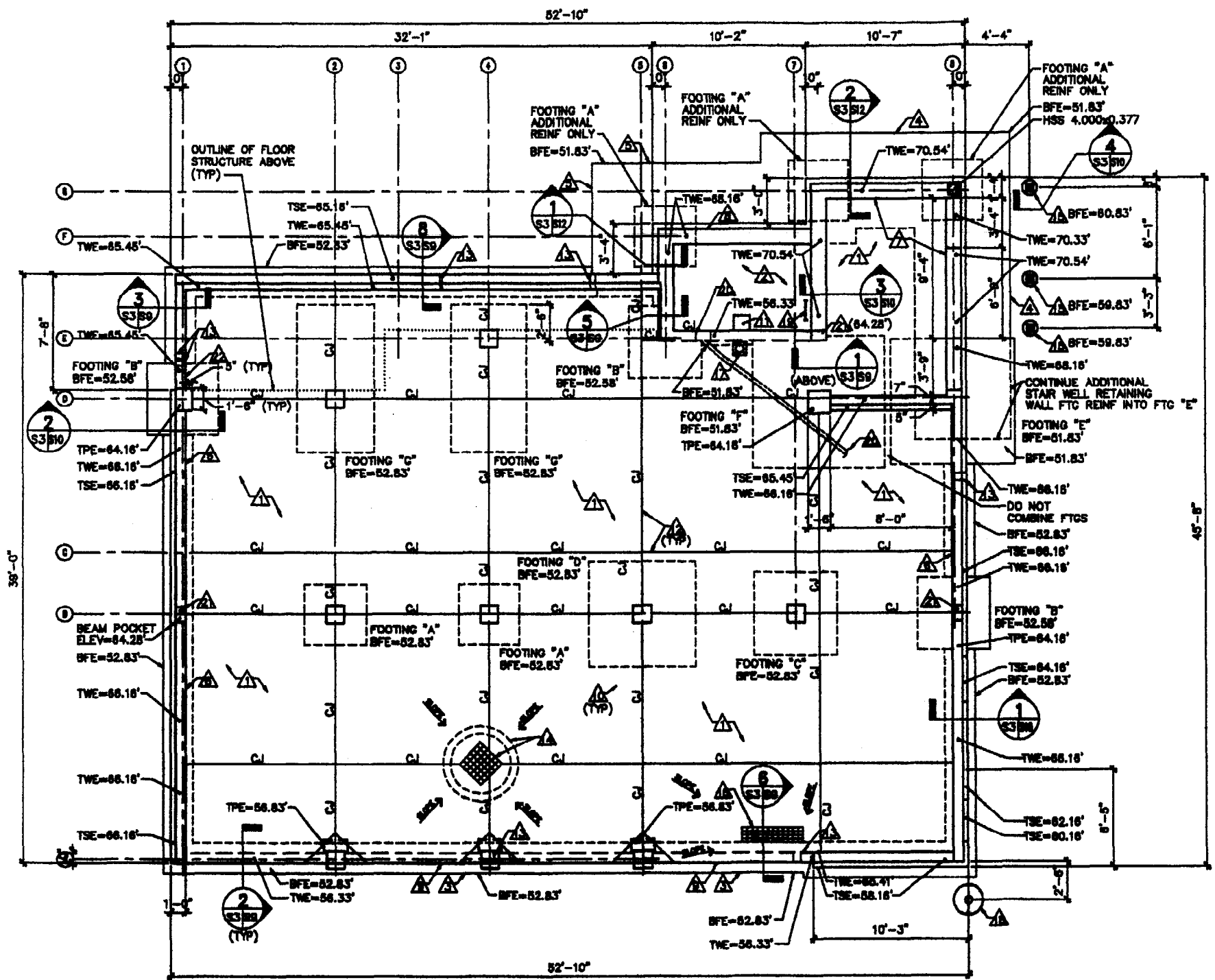
STRUCTURAL NOTES, DESIGN LOADS AND ABBREVIATIONS

Table with columns: DATE, DRAWN, CHECKED, SCALE, DATE.

4 UNIT CONDOMINIUMS 20-24 BRACKETT STREET PORTLAND, MAINE

REGISTERED OWNER: NESTER, LLC 28 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04064

OAK POINT ASSOCIATES 28 MAIN STREET, PORTLAND, MAINE 04101

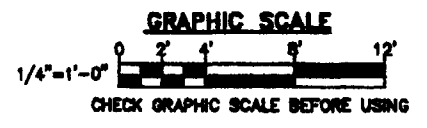


1 FOUNDATION PLAN
 S2 B2 SCALE: 1/4"=1'-0"
 PLAN NORTH

KEYNOTES: (THIS SHEET ONLY)

- △ 6" REINFORCED CONCRETE SLAB-ON-GRADE WITH #4'S AT 1'-0" ON CENTER EACH WAY. TOP OF SLAB ELEVATION=57.33'.
- △ 2'-0" REINFORCED CONCRETE ELEVATOR PIT SLAB AND RETAINING WALL FOOTING. ELEVATOR PIT SIZE SHALL MATCH MANUFACTURERS PRINTED INSTRUCTIONS (PLAN IS APPROXIMATELY 5'-8"x8'-4"). TOP OF SLAB/FOOTING ELEVATION=53.33'.
- △ 1'-0"x2'-0" REINFORCED CONCRETE FOOTING.
- △ REINFORCED CONCRETE STAIRWELL RETAINING WALL FOOTING. SEE DETAIL 2/S12.
- △ REINFORCED CONCRETE ELEVATOR SHAFT RETAINING WALL FOOTING. SEE DETAIL 1/S12.
- △ 1'-0" REINFORCED CONCRETE FOUNDATION WALL. SEE DETAIL 1/S10.
- △ 1'-4" REINFORCED CONCRETE STAIRWELL RETAINING WALL. SEE DETAIL 2/S12.
- △ 1'-4" REINFORCED CONCRETE ELEVATOR SHAFT RETAINING WALL. SEE DETAIL 1/S12.
- △ 8" REINFORCED CONCRETE FOUNDATION WALL. SEE DETAIL 2/S9.
- △ 1'-6"x1'-6" REINFORCED CONCRETE PIER. SEE DETAIL 4/S9.
- △ 1'-0"x1'-0"x1'-0" SUMP PIT.
- △ SAWCUT CONTROL JOINT. SEE DETAIL 5/S10.
- △ UTILITY PIPE SLEEVE EMBEDDED IN FOUNDATION WALL. CONTRACTOR TO COORDINATE PIPE SLEEVE SIZE, LOCATION, AND ELEVATION WITH REQUIRED UTILITY ENTRANCES.
- △ CATCH BASIN WITH RIM ELEVATION=57.00'. SEE DETAIL 7/C4.
- △ 1'-0" DIAMETER PREFORMED CYLINDRICAL FORM. SEE DETAIL 4/S10.
- △ TRENCH DRAIN WITH RIM ELEVATION=57.18'. SEE DETAIL 6/S9.
- △ 6" DIAMETER PIPE BOLLARD ANCHORED TO TOP OF CONCRETE SLAB-ON-GRADE. SEE DETAIL 6/S10.
- △ 6" DIAMETER GALVANIZED BOLLARD IN 2'-0" DIAMETER CONCRETE FOUNDATION. BOLLARD SHALL EXTEND DOWN TO TOP OF FOOTING AND EXTEND 3'-6" ABOVE FINISH GRADE.
- △ ELEVATOR PIT LADDER. SEE DETAIL 7/S10.
- △ 12" DIAMETER PIPE SLEEVE. COORDINATE LOCATION AND HEIGHT OF SLEEVE THROUGH WALL AND SLAB WITH ELEVATOR MANUFACTURER.
- △ 8" DEEP x 12" LONG BEAM POCKET. SEE DETAIL 5/S84 (S1M).
- △ 8" FOUNDATION WALL AT GARAGE BELOW GRADE. SEE DETAIL 3/S9.

FOOTING SCHEDULE		
TYPE	SIZE	REINFORCING
A	4'-0"x4'-0"x1'-0"	(4) #5'S EW
B	4'-6"x4'-6"x1'-3"	(8) #5'S EW
C	5'-6"x5'-6"x2'-0"	(8) #7'S EW
D	7'-0"x7'-0"x2'-0"	(7) #7'S EW
E	8'-3"x8'-3"x2'-0"	(8) #7'S EW
F	8'-9"x8'-9"x2'-0"	(8) #7'S EW
G	5'-0"x8'-0"x1'-3"	(8) #5'S LW (10) #5'S SW



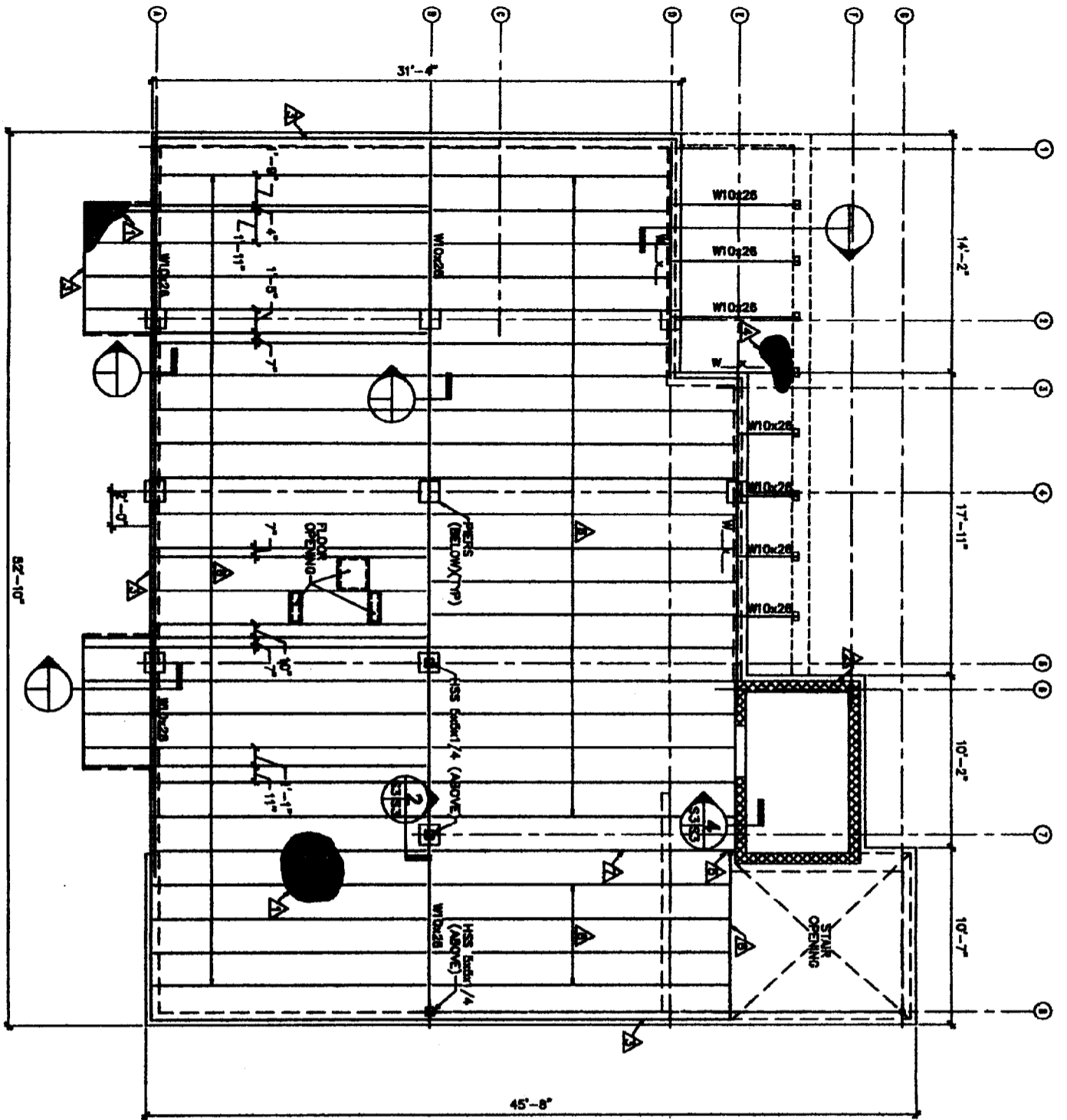
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OAK POINT ASSOCIATES
 ARCHITECTS - ENGINEERS
 521 MAIN STREET, PORTLAND, MAINE 04101

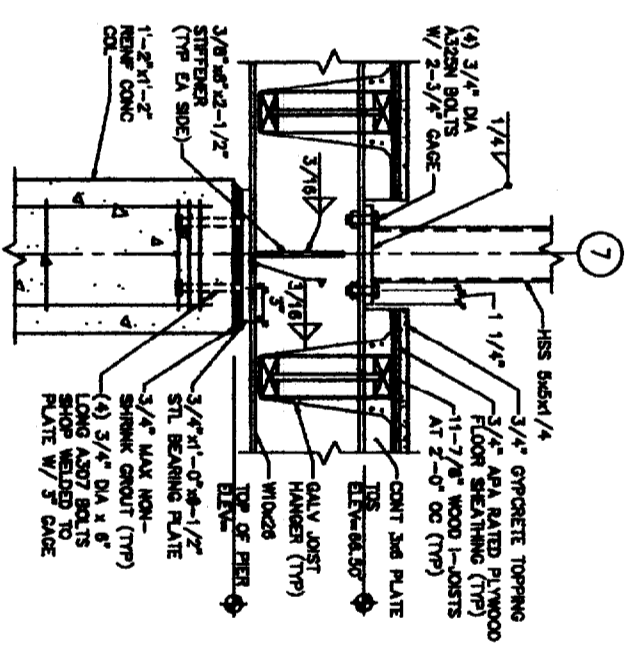
4 UNIT CONDOMINIUMS
 20-24 BRACKETT STREET
 PORTLAND, MAINE
 RECORDED OWNER
 MESSER, LLC
 28 CHESTRUT STREET, OLD ORCHARD BEACH, MAINE 04064

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CHECKED:	MM
SCALE:	AS NOTED
JOB:	24304-28

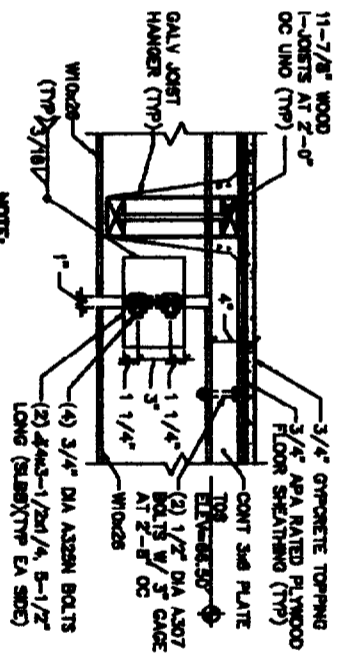
FOUNDATION PLAN



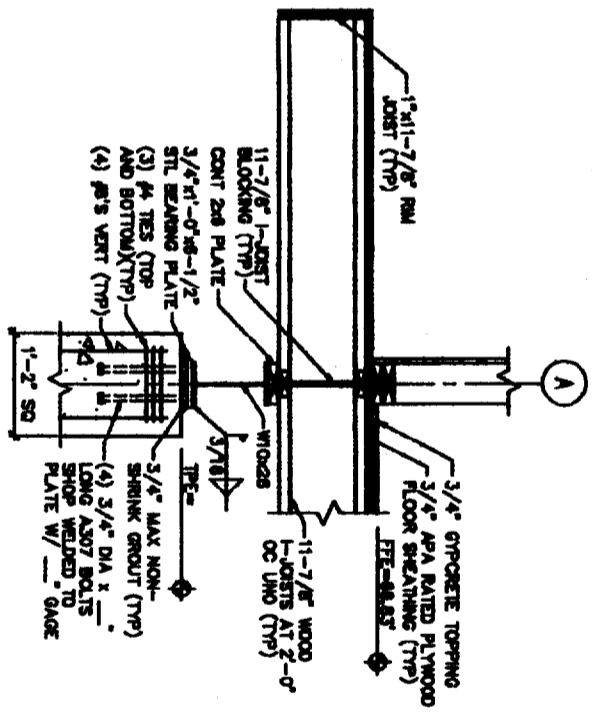
1 FIRST FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0"
 PLAN NORTH



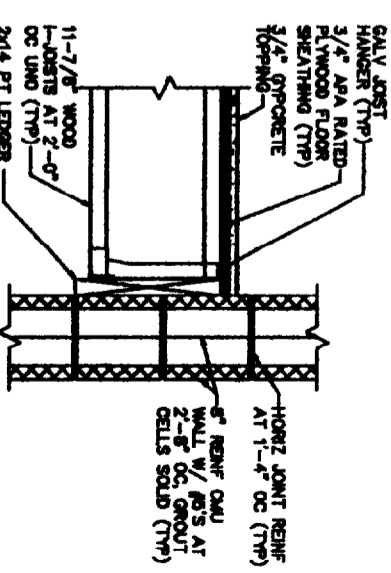
2 TYP HSS 5x5x1/4 TO W10x26 TO CONC PIER CONN DETAIL
 SCALE: 1-1/2"=1'-0"



3 TYP W10x26 SPLICE DETAIL
 SCALE: 1-1/2"=1'-0"

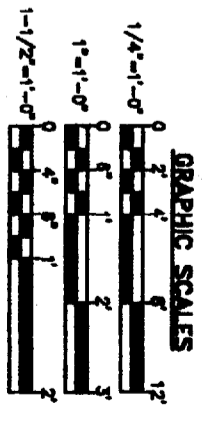


4 TYP W10x26 TO REINFC CONC PIER CONN DETAIL AT 11-7/8" JOIST OVERHANG
 SCALE: 1"=1'-0"



5 TYP 11-7/8" WOOD JOIST TO 8" REINFC CMU WALL CONN DETAIL
 SCALE: 1-1/2"=1'-0"

- KEYNOTES:** (THIS SHEET ONLY)
- ▲ 3/4" APA RATED PLYWOOD FLOOR SHEATHING.
 - ▲ 8" REINFORCED CMU WALL.
 - ▲ 11-7/8" RIM JOIST.
 - ▲ 1-1/2" x 20 GA STEEL COMPOSITE DECK WITH 4" FIBER REINFORCED CONCRETE TOPPING SLAB.
 - ▲ HANGER CAPACITY = 3000 POUNDS.
 - ▲ 11-7/8" WOOD JOISTS AT 2'-0" ON-CENTER, UNLESS NOTED OTHERWISE.
 - ▲ 3-1/2" x 11-7/8" VERSA-LAM 3000 DF.
 - ▲ 1-3/4" x 11-7/8" VERSA-LAM 2900 DF.



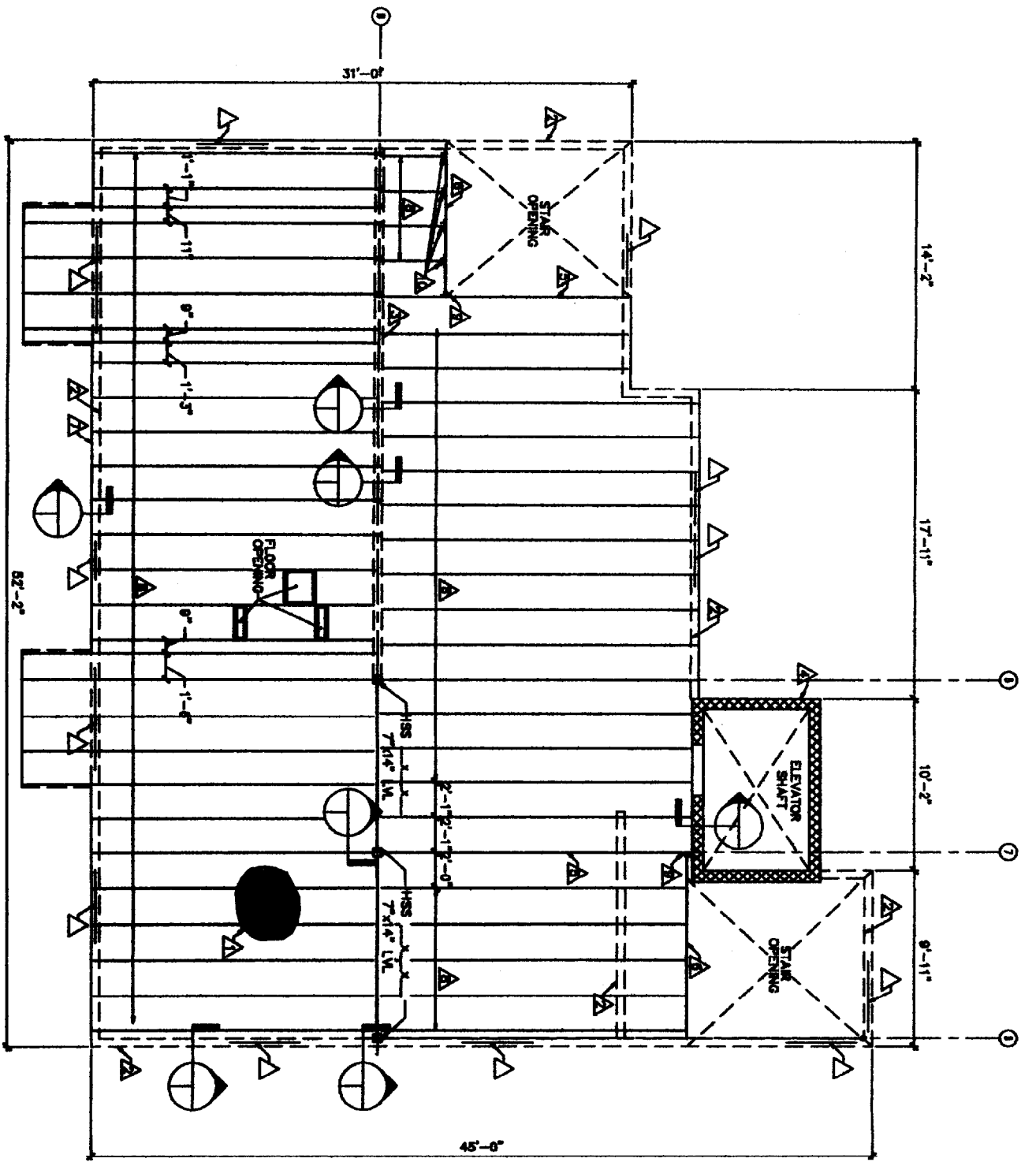
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JOB:	25304.30

4 UNIT CONDOMINIUMS
 20-24 BRACKETT STREET
 PORTLAND, MAINE
 RECORD OWNER
 MESDEN, LLC
 28 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04064

OAK POINT ASSOCIATES
 PROJECT - OWNER
 321 MAIN STREET BOWDOIN, MAINE 04801

**FIRST FLOOR FRAMING
 PLAN AND DETAILS**



1 TYP FLOOR FRAMING PLAN
 PLAN NORTH
 SCALE 1/4"=1'-0"

2 TYP LANDING FLOOR FRAMING PLAN
 PLAN NORTH
 SCALE 1/4"=1'-0"

- KEYNOTES:** (THIS SHEET ONLY)
- ▲ 3/4" APA RATED PLYWOOD FLOOR SHEATHING.
 - ▲ 2x6 LOAD BEARING WALL AT 2'-0" ON-CENTER. STUDS SPACED AT 1'-0" ON-CENTER AT FIRST TO SECOND FLOOR.
 - ▲ 2x6 LOAD BEARING WALL AT 2'-0" ON-CENTER. USE (2)2x6 STUDS AT 2'-0" ON-CENTER AT FIRST TO SECOND FLOOR.
 - ▲ 8" REINFORCED CMU WALL.
 - ▲ 3-1/2"x11-7/8" VERSA-LAM 3090 DF.
 - ▲ 1-3/4"x11-7/8" VERSA-LAM 2800 DF.
 - ▲ 11-7/8" RIM JOIST.
 - ▲ 11-7/8" WOOD JOISTS AT 2'-0" ON-CENTER, UNLESS NOTED OTHERWISE.
 - ▲ HANGER CAPACITY = 3000 POUNDS.
 - ▲ HANGER CAPACITY = 500 POUNDS.

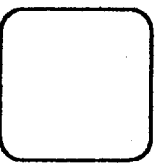
DRAWING NOTE:
 REFER TO SHEET S1 FOR ENGINEERED LUMBER PROPERTIES.



CHECK GRAPHIC SCALE BEFORE USING
ISSUED FOR PLANNING DEPARTMENT REVIEW

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SCALE:	AS NOTED
JOB:	20304.30

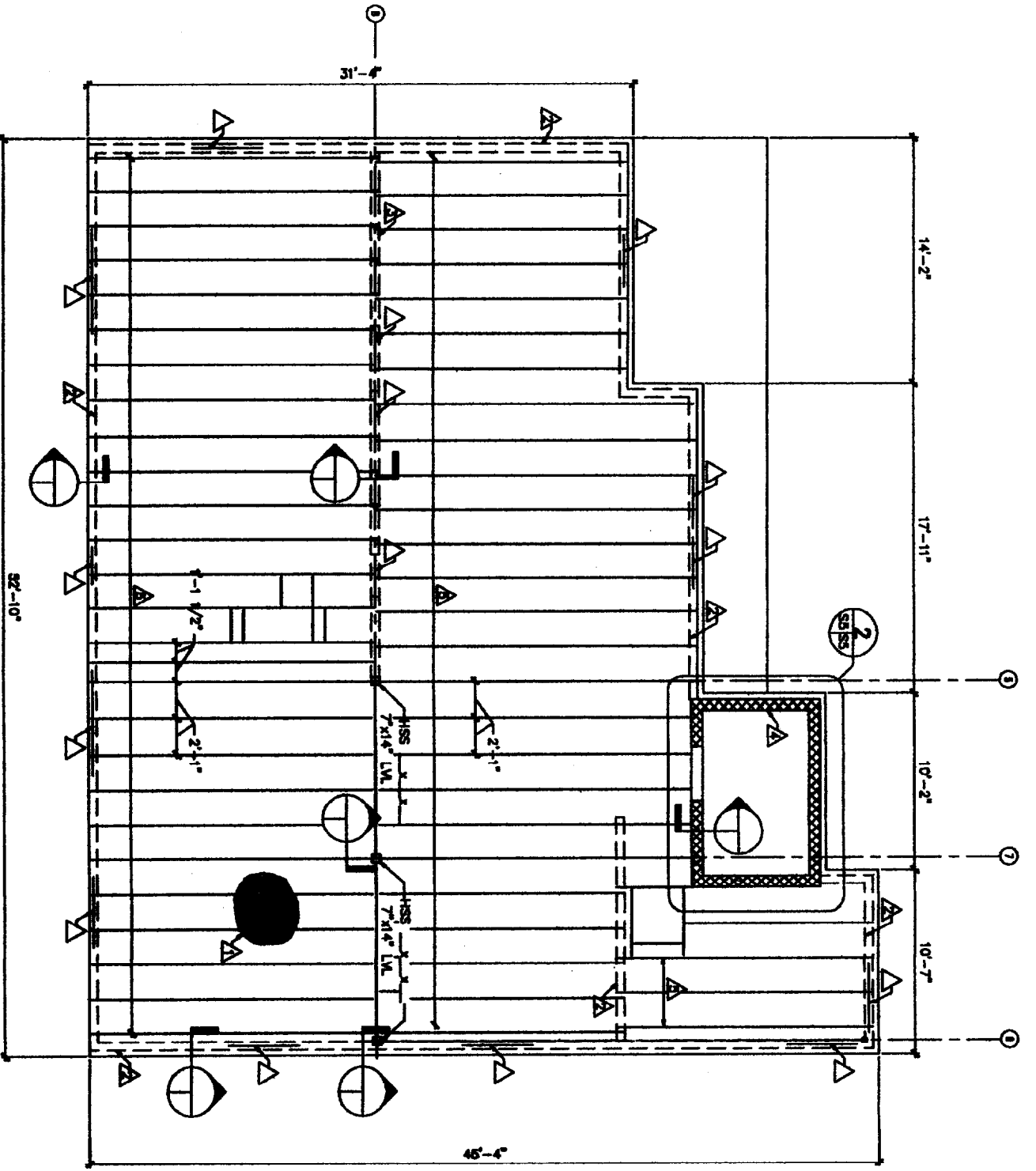
4 UNIT CONDOMINIUMS
 20-24 BRACKETT STREET
 PORTLAND, MAINE
 RECORD OWNER
 MESDEM, LLC
 28 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04084



OAK POINT ASSOCIATES
 ARCHITECTS - ENGINEERS
 23 MAIN STREET BOSTON, MAINE 02108

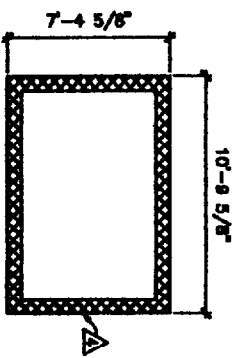
TYP FLOOR FRAMING PLAN AND DETAILS

S4
 OF 29



1 ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"
 PLAN NORTH

- KEYNOTES: (THIS SHEET ONLY)**
- ▲ 3/4" APA RATED PLYWOOD FLOOR SHEATHING.
 - ▲ 2x6 LOAD BEARING WALL AT 2'-0" ON-CENTER, STUDS SPACED AT 1'-0" ON-CENTER AT FIRST TO SECOND FLOOR.
 - ▲ 2x8 LOAD BEARING WALL AT 2'-0" ON-CENTER, USE (2)2x6 STUDS AT 2'-0" ON-CENTER AT FIRST TO SECOND FLOOR.
 - ▲ 8" REINFORCED CMU WALL.
 - ▲ 11'-7/8" WOOD JOISTS AT 2'-0" ON-CENTER, UNLESS NOTED OTHERWISE.



2 ELEVATOR SHAFT ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"

DRAWING NOTE:
 REFER TO SHEET S1 FOR ENGINEERED LUMBER PROPERTIES.



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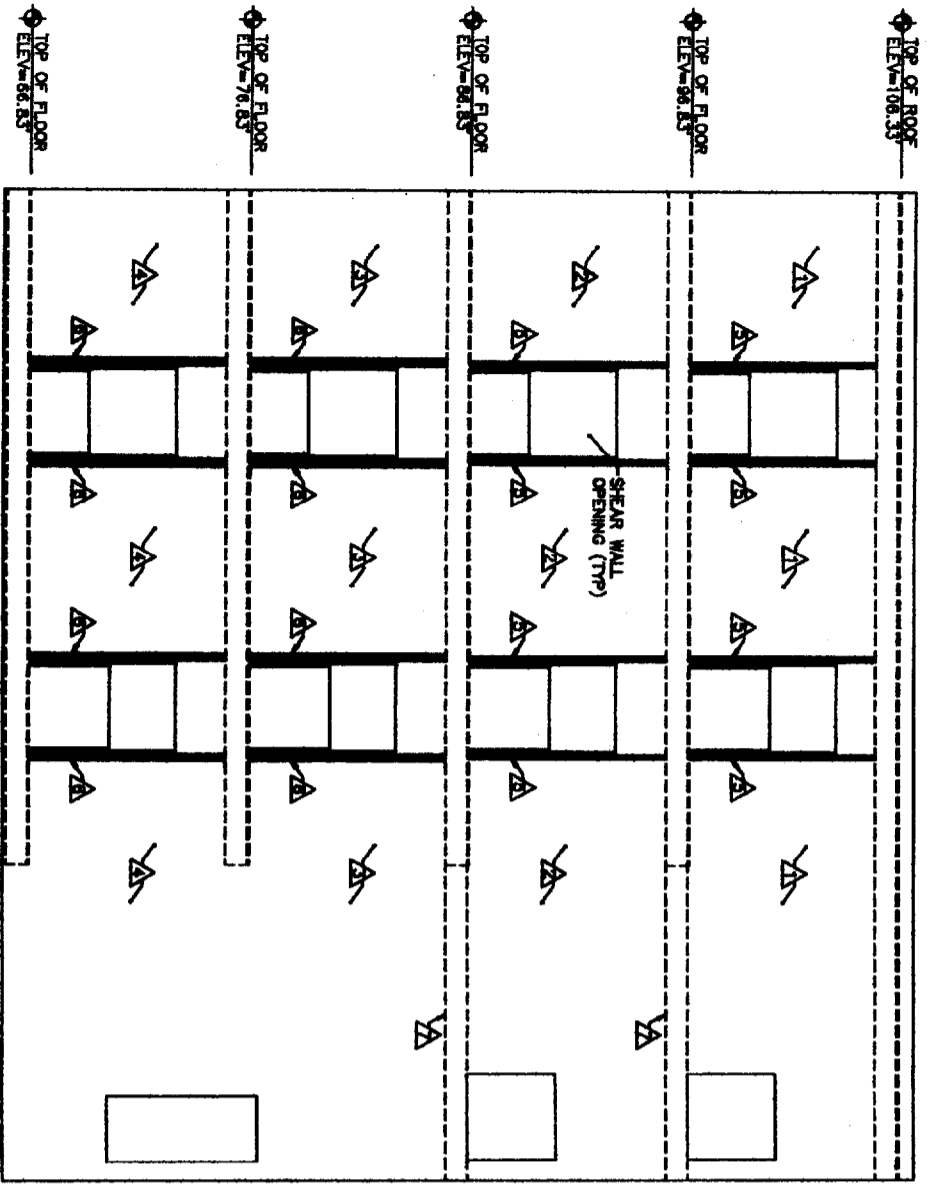
OAK POINT ASSOCIATES
 ARCHITECTS - ENGINEERS
 231 MAIN STREET BRISFORD, MAINE 04886

4 UNIT CONDOMINIUMS
 20-24 BRACKETT STREET
 PORTLAND, MAINE
 RECORD OWNER
 MESDEN, LLC
 28 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04084

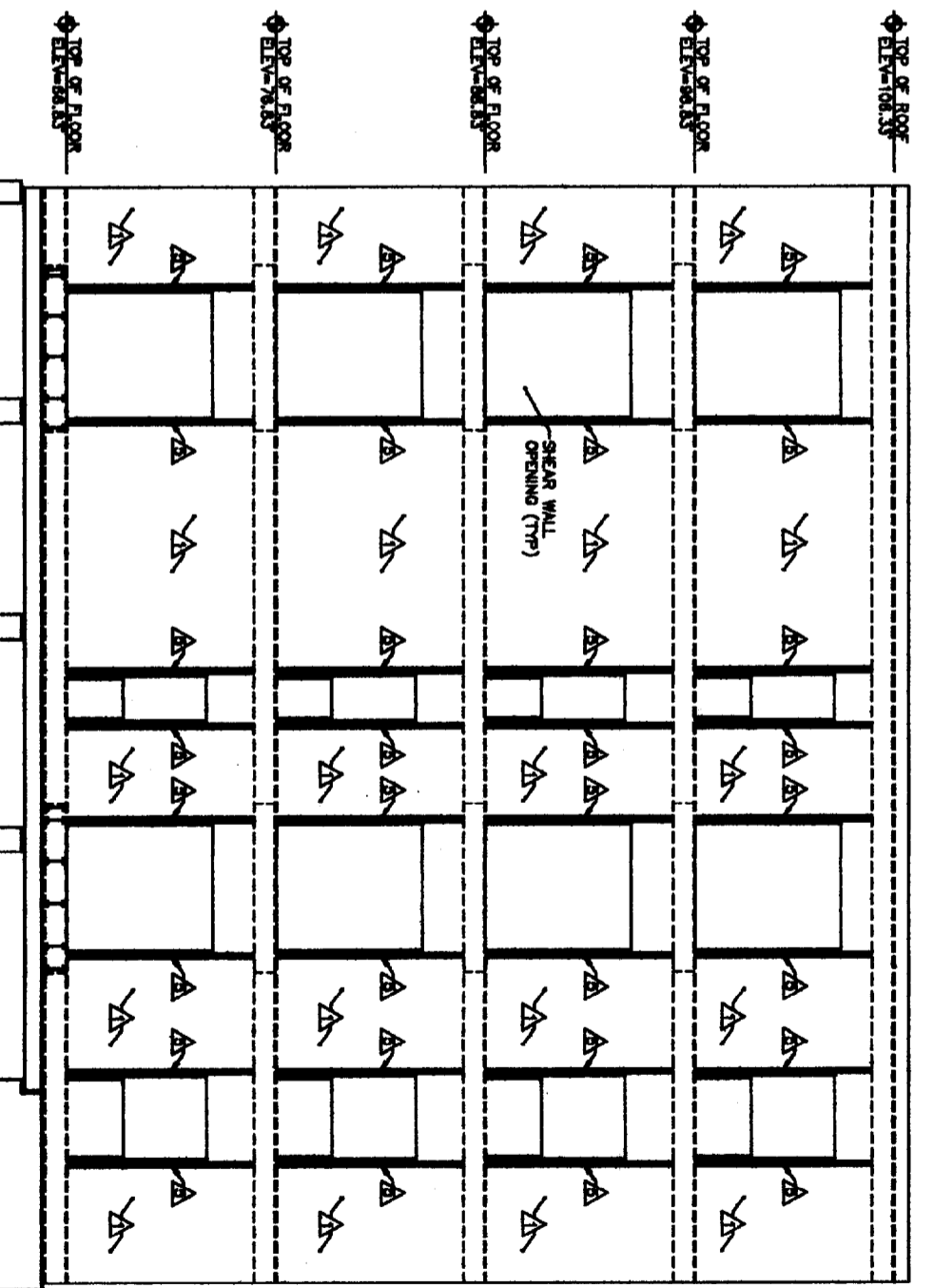
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 SCALE: AS NOTED
 JOB: 20304.30

ROOF FRAMING PLAN AND DETAILS

S5
 OF 29



1 SHEAR WALL #1
SCALE 1/4"=1'-0"



2 SHEAR WALL #2
SCALE 1/4"=1'-0"

- KEYNOTES: (THIS SHEET ONLY)**
- △ 19/32 APA RATED PLYWOOD SHEATHING WITH 10d NAILS AT 8" ON-CENTER.
 - △ 19/32 APA RATED PLYWOOD SHEATHING WITH 10d NAILS AT 4" ON-CENTER.
 - △ 19/32 APA RATED PLYWOOD SHEATHING WITH 10d NAILS AT 3" ON-CENTER.
 - △ 19/32 APA RATED PLYWOOD SHEATHING EACH SIDE OF WALL WITH 10d NAILS AT 4" ON-CENTER.
 - △ CONTINUOUS (2) 2x6's.
 - △ CONTINUOUS (3) 2x6's.
 - △ 5-1/4"x11-7/8" L.V. BEAM.

GRAPHIC SCALE
1/4"=1'-0"
CHECK GRAPHIC SCALE BEFORE USING

ISSUED FOR PLANNING
DEPARTMENT REVIEW

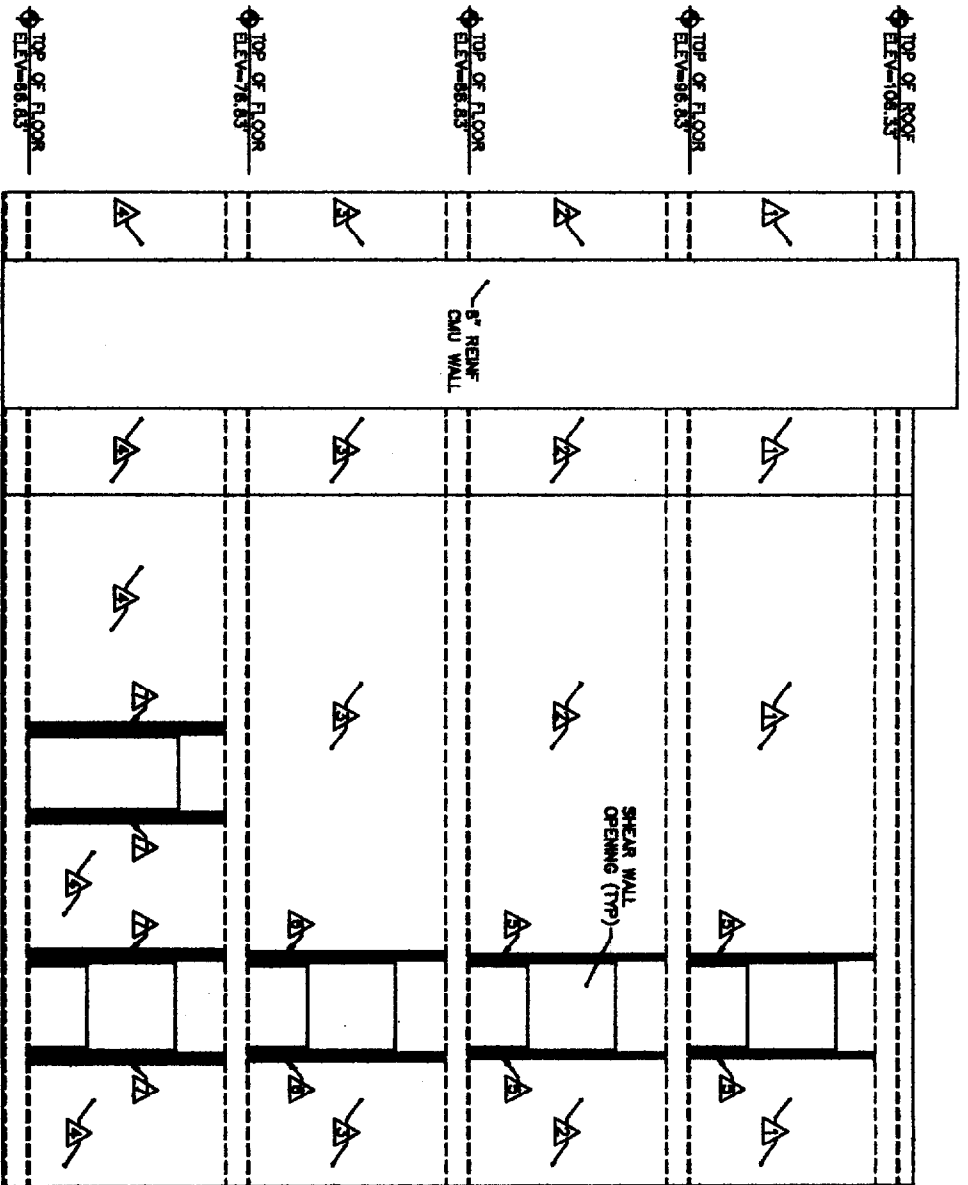
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CHECKED	SM
SCALE	AS NOTED
JOB	25304.30

4 UNIT CONDOMINIUMS
20-24 BRACKETT STREET
PORTLAND, MAINE
RECORD OWNER
MESDEN, LLC
28 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04064

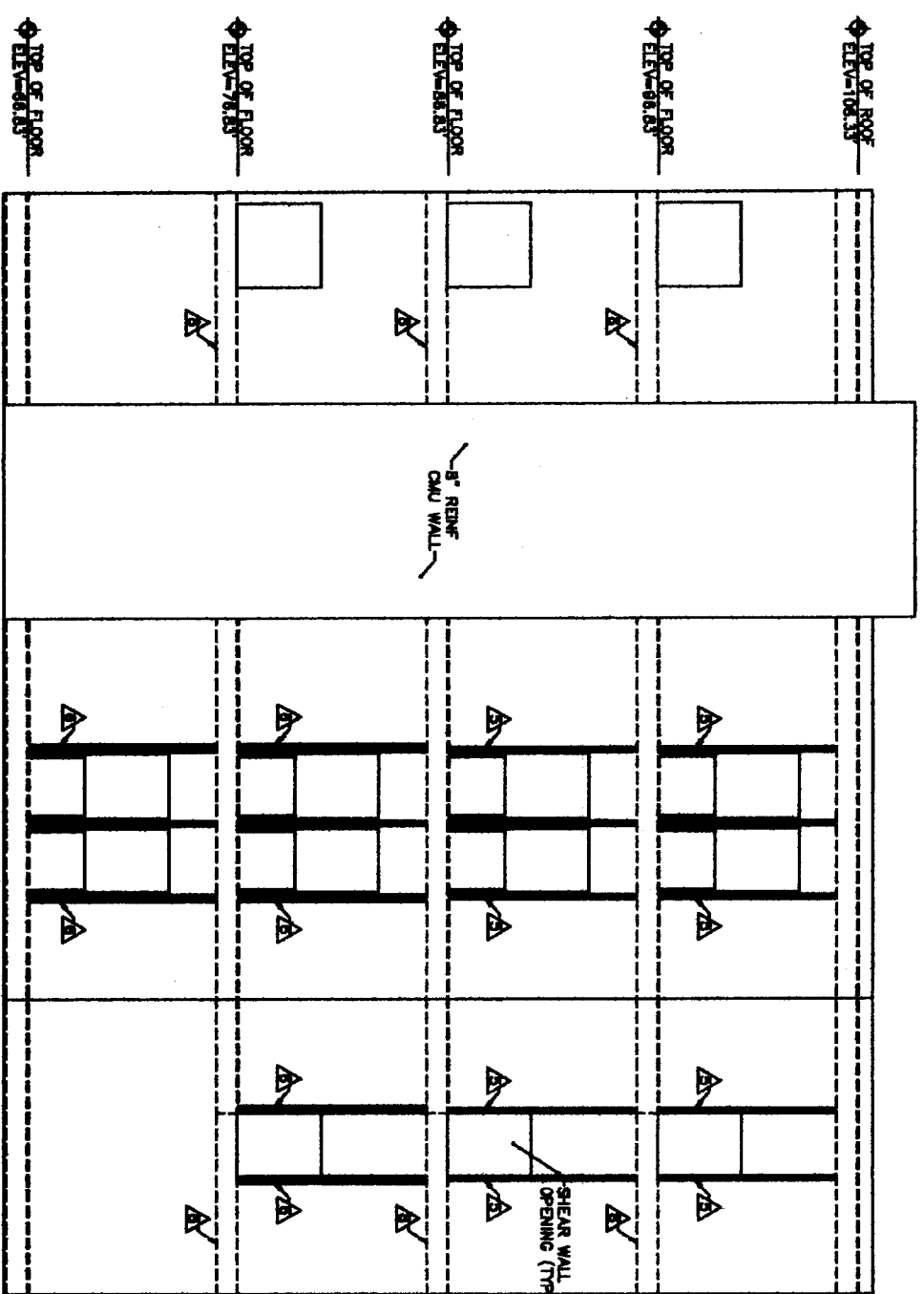
OAK POINT ASSOCIATES
ARCHITECTS - ENGINEERS
221 MAIN STREET BURLINGTON, MAINE 04006

SHEAR WALL ELEVATIONS

S6
OF 29



1 SHEAR WALL #3
SCALE: 1/4"=1'-0"

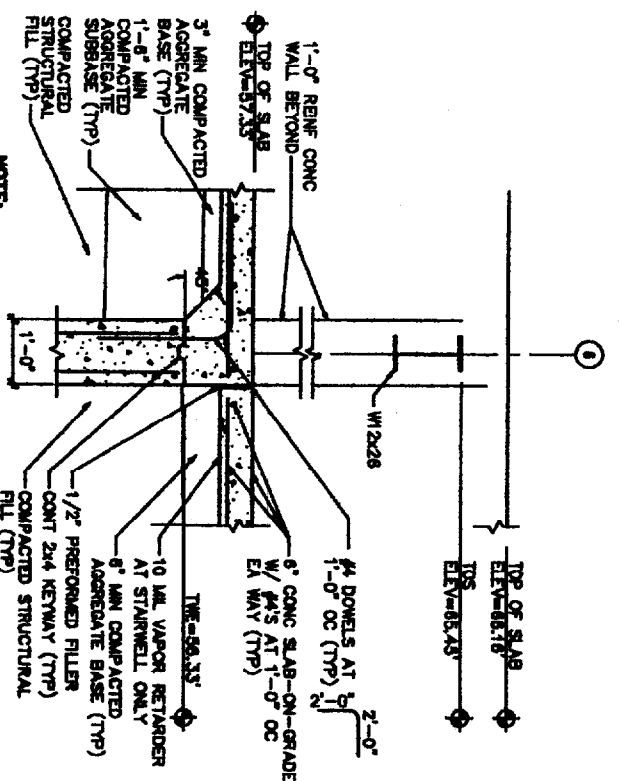


2 SHEAR WALL #4
SCALE: 1/4"=1'-0"

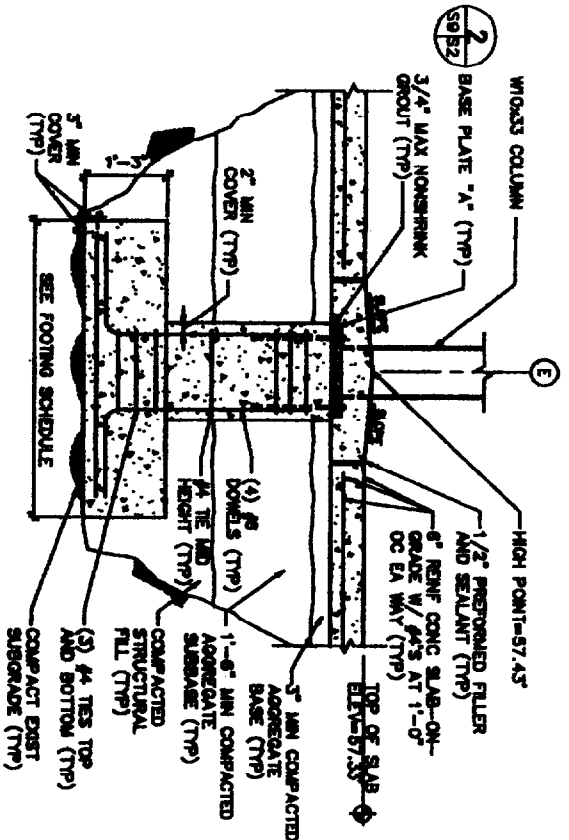
- KEYNOTES: (THIS SHEET ONLY)**
- ▲ 19/32 APA RATED PLYWOOD SHEATHING WITH 10d NAILS AT 8" ON-CENTER.
 - ▲ 19/32 APA RATED PLYWOOD SHEATHING WITH 10d NAILS AT 4" ON-CENTER.
 - ▲ 19/32 APA RATED PLYWOOD SHEATHING WITH 10d NAILS AT 2" ON-CENTER.
 - ▲ 19/32 APA RATED PLYWOOD SHEATHING EACH SIDE OF WALL WITH 10d NAILS AT 5" ON-CENTER.
 - ▲ CONTINUOUS (2) 2x6's.
 - ▲ CONTINUOUS (3) 2x6's.
 - ▲ CONTINUOUS (4) 2x6's.
 - ▲ 5-1/4"x11-7/8" LVL BEAM.



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DEPARTMENT REVIEW

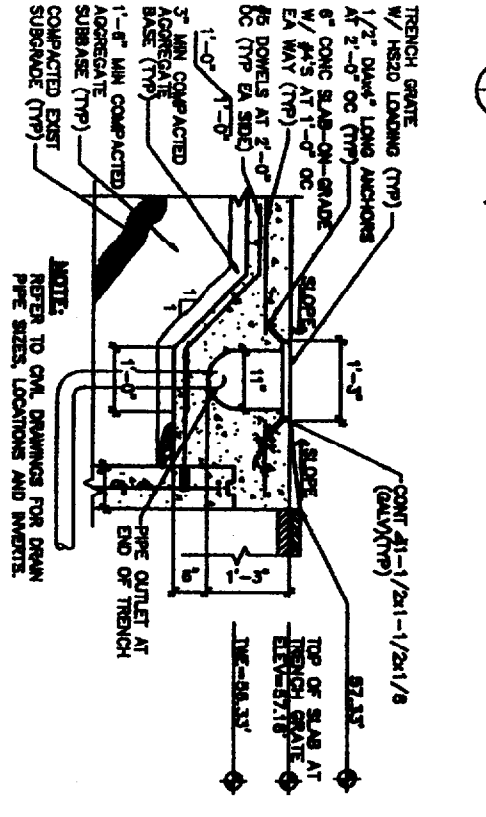


1 TYP END WALL SECTION AT STAIRWELL DOOR
SCALE: 3/4"=1'-0"

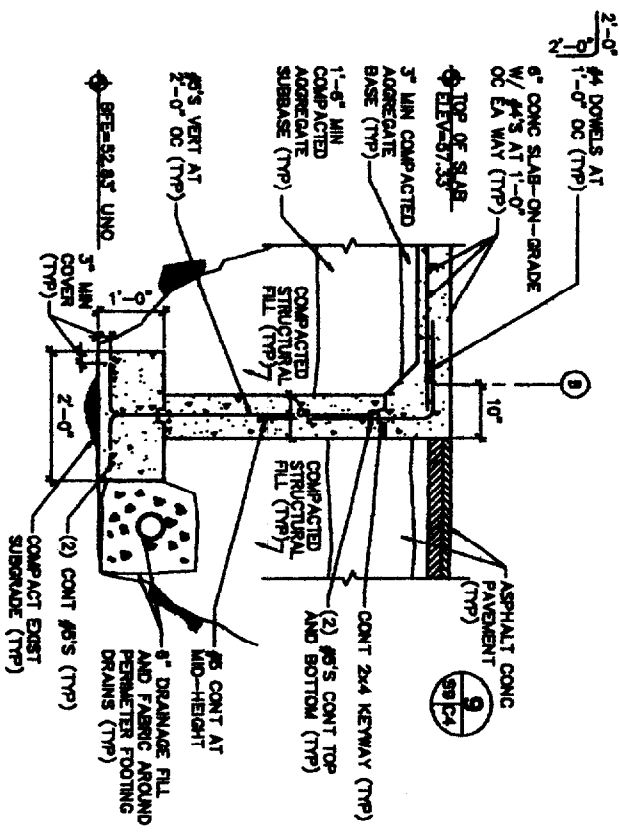
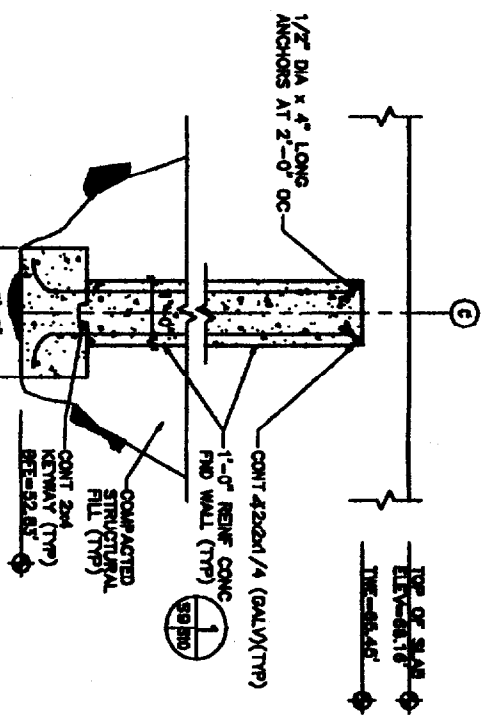


2 TYP PARKING SLAB AT DRIVEWAY DETAIL
SCALE: 3/4"=1'-0"

4 TYP ISOLATED COLUMN FOOTING/PIER DETAIL
SCALE: 3/4"=1'-0"

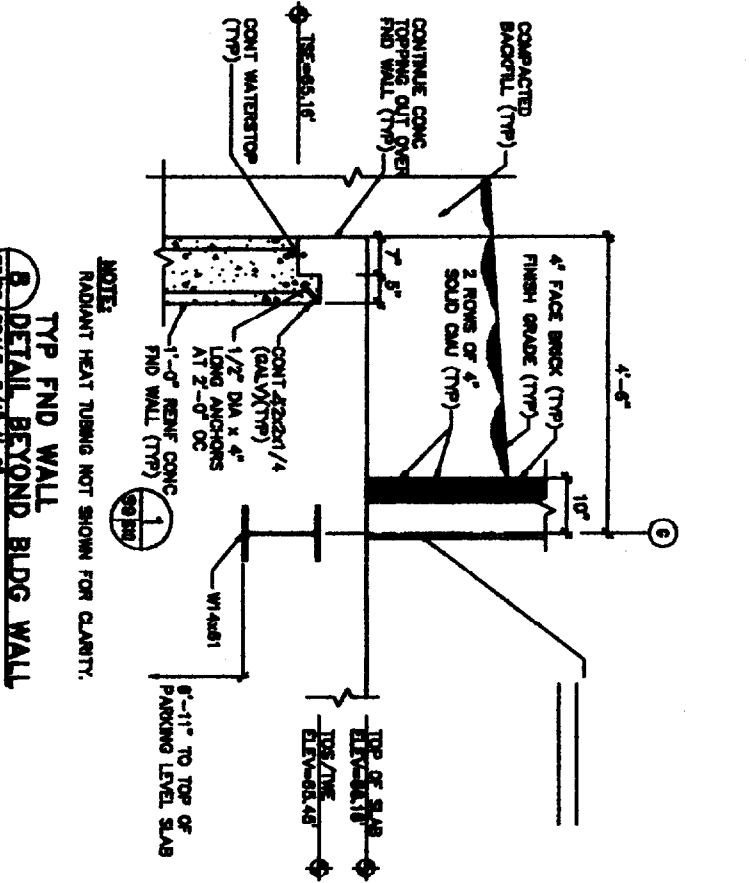


5 TYP END WALL DETAIL AT ELEV SHAFT
SCALE: 3/4"=1'-0"



6 TYP FLOOR TRENCH DETAIL
SCALE: 3/4"=1'-0"

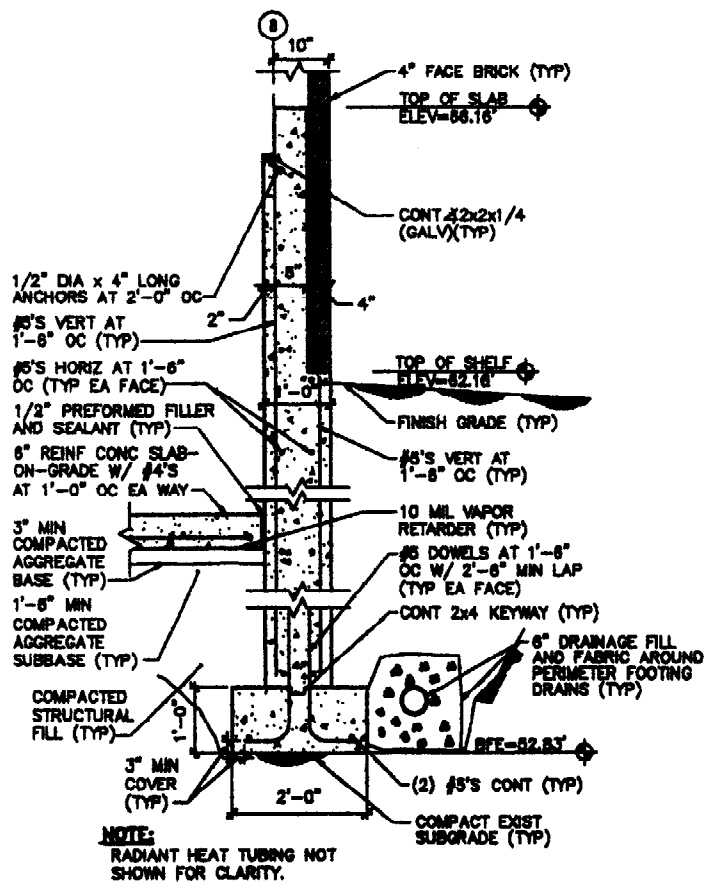
3 TYP 8\"/>



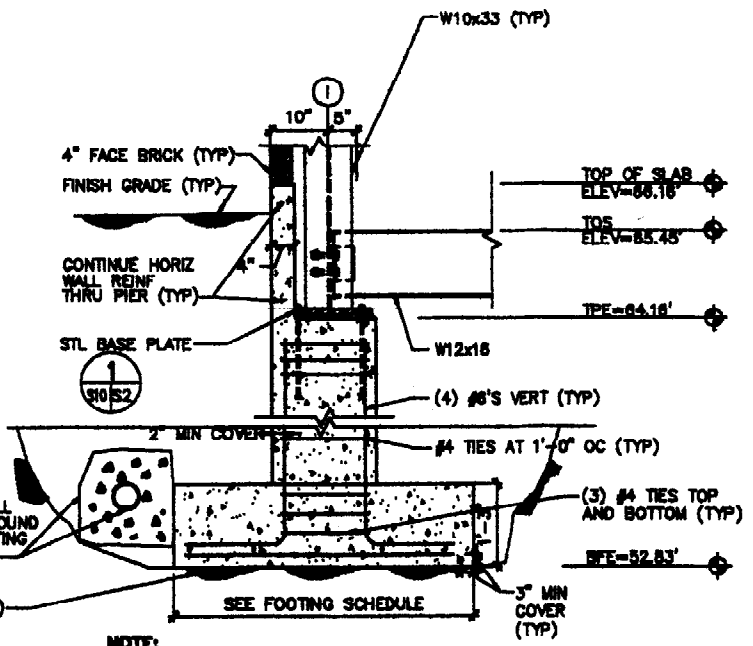
7 TYP INT CONC SHEAR WALL DETAIL
SCALE: 3/4"=1'-0"

8 TYP FND WALL DETAIL BEYOND BLDG WALL
SCALE: 3/4"=1'-0"

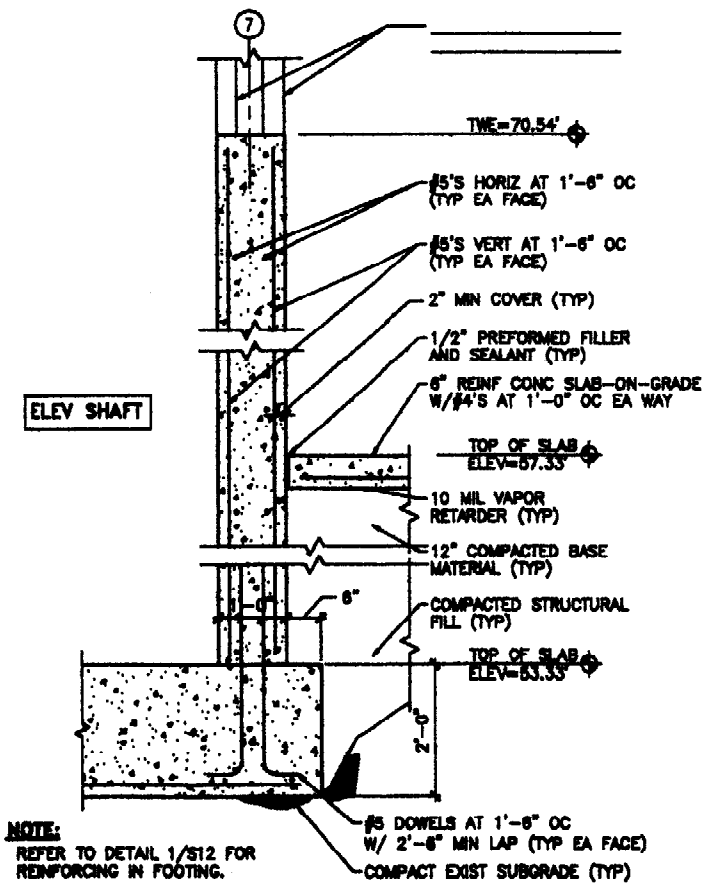
ISSUED FOR PLANNING DEPARTMENT REVIEW



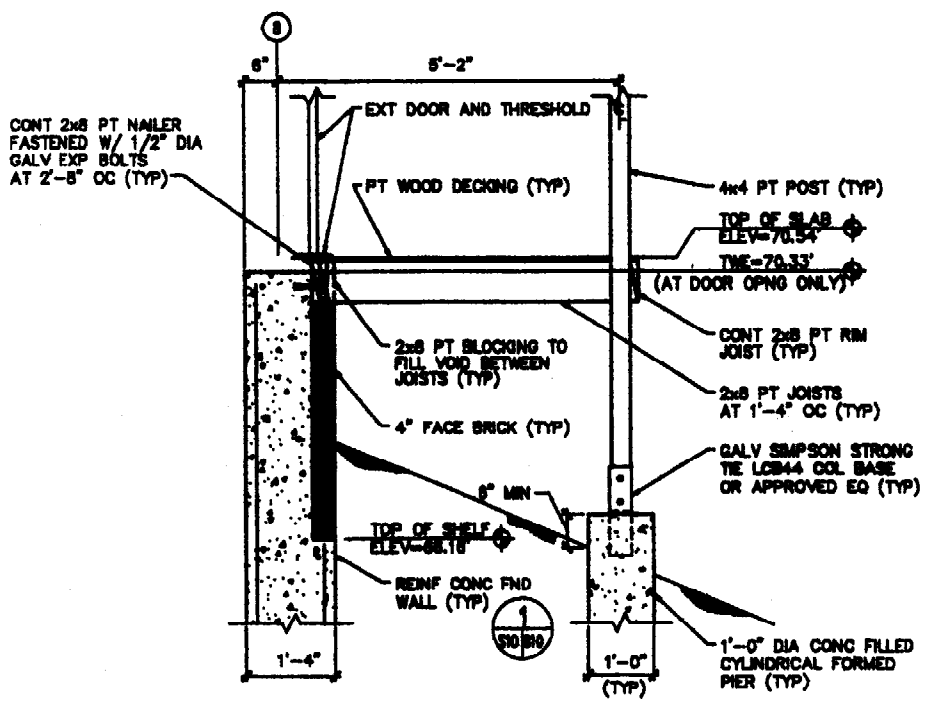
1 TYP FND WALL DETAIL
S2.310 SCALE: 3/4"=1'-0"



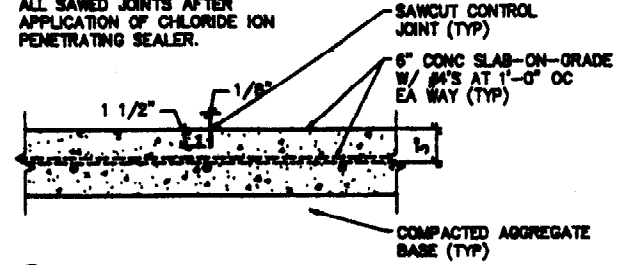
2 TYP PIER DETAIL AT EXT FND WALL
S3.300 SCALE: 3/4"=1'-0"



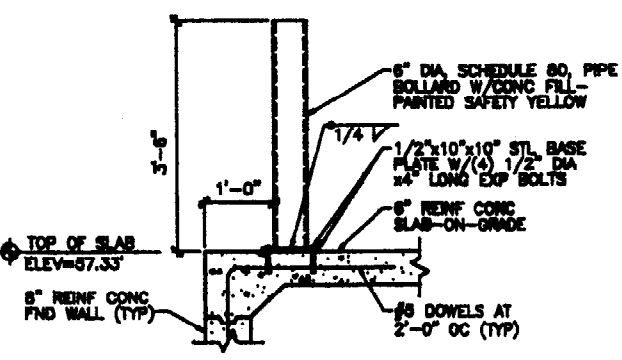
3 TYP FND WALL AT STAIR/ELEV SHAFT
S3.300 SCALE: 3/4"=1'-0"



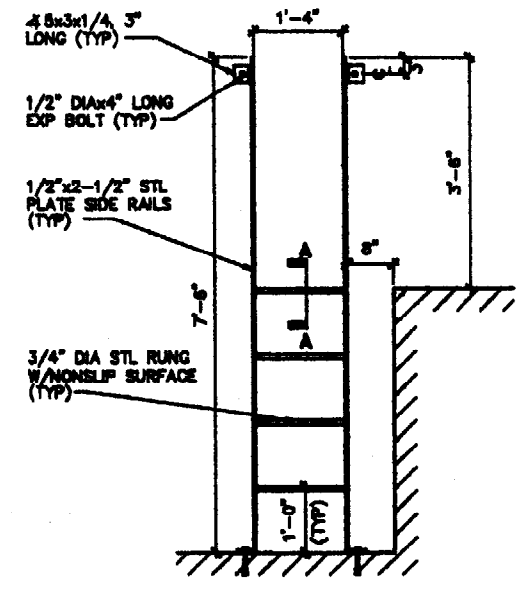
4 TYP ENTRY PORCH FND SECTION
S3.300 SCALE: 3/4"=1'-0"



5 TYP CONTROL JOINT DETAIL
S3.300 SCALE: 1-1/2"=1'-0"



6 TYP SURFACE MOUNTED BOLLARD DETAIL
S3.300 SCALE: 3/4"=1'-0"



7 TYP ELEV PIT LADDER DETAIL
S3.300 SCALE: 3/4"=1'-0"



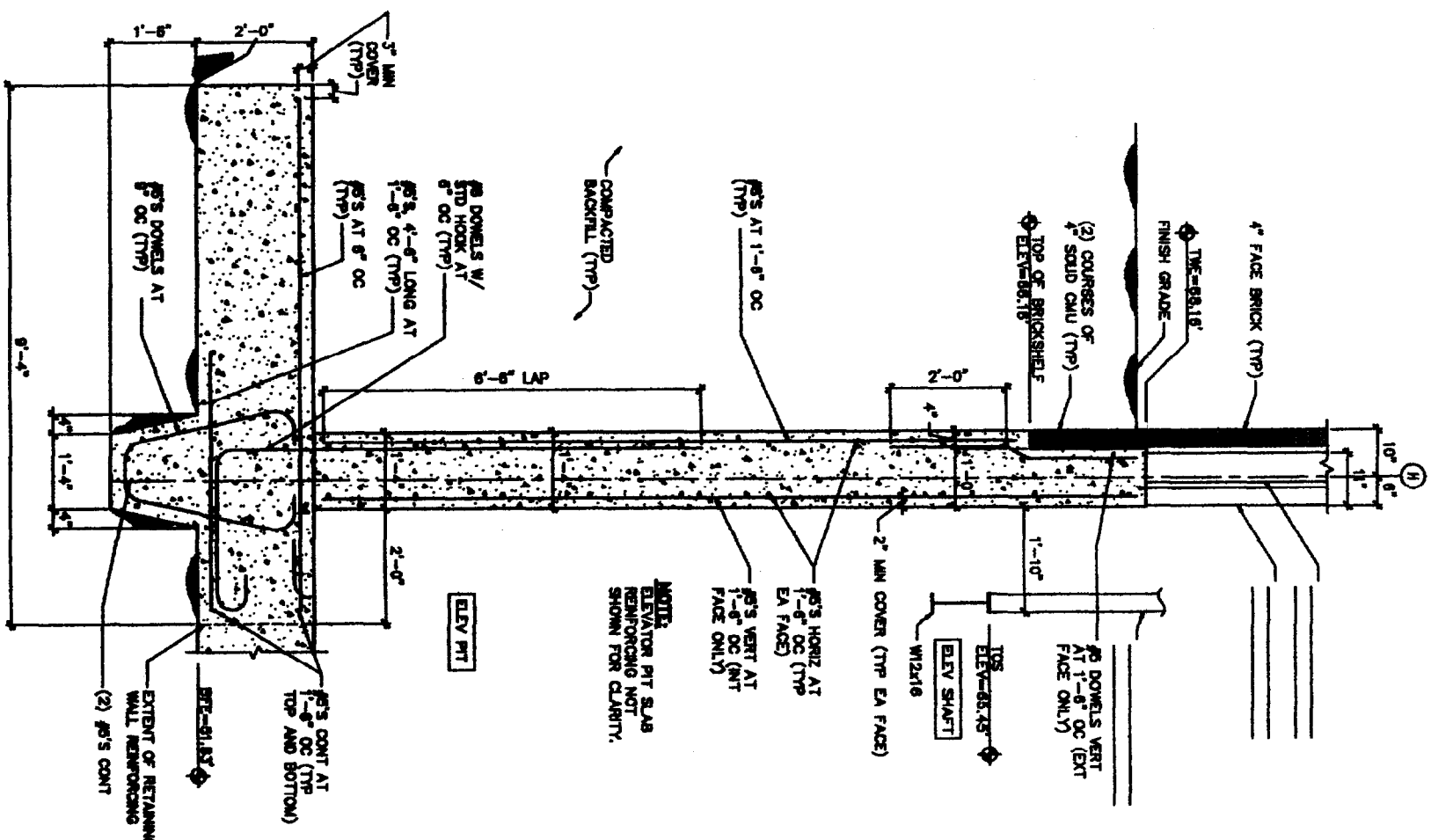
ISSUED FOR PLANNING DEPARTMENT REVIEW

OAK POINT ASSOCIATES
ARCHITECTS - ENGINEERS
520 MAIN STREET BOSTON, MAINE 02108

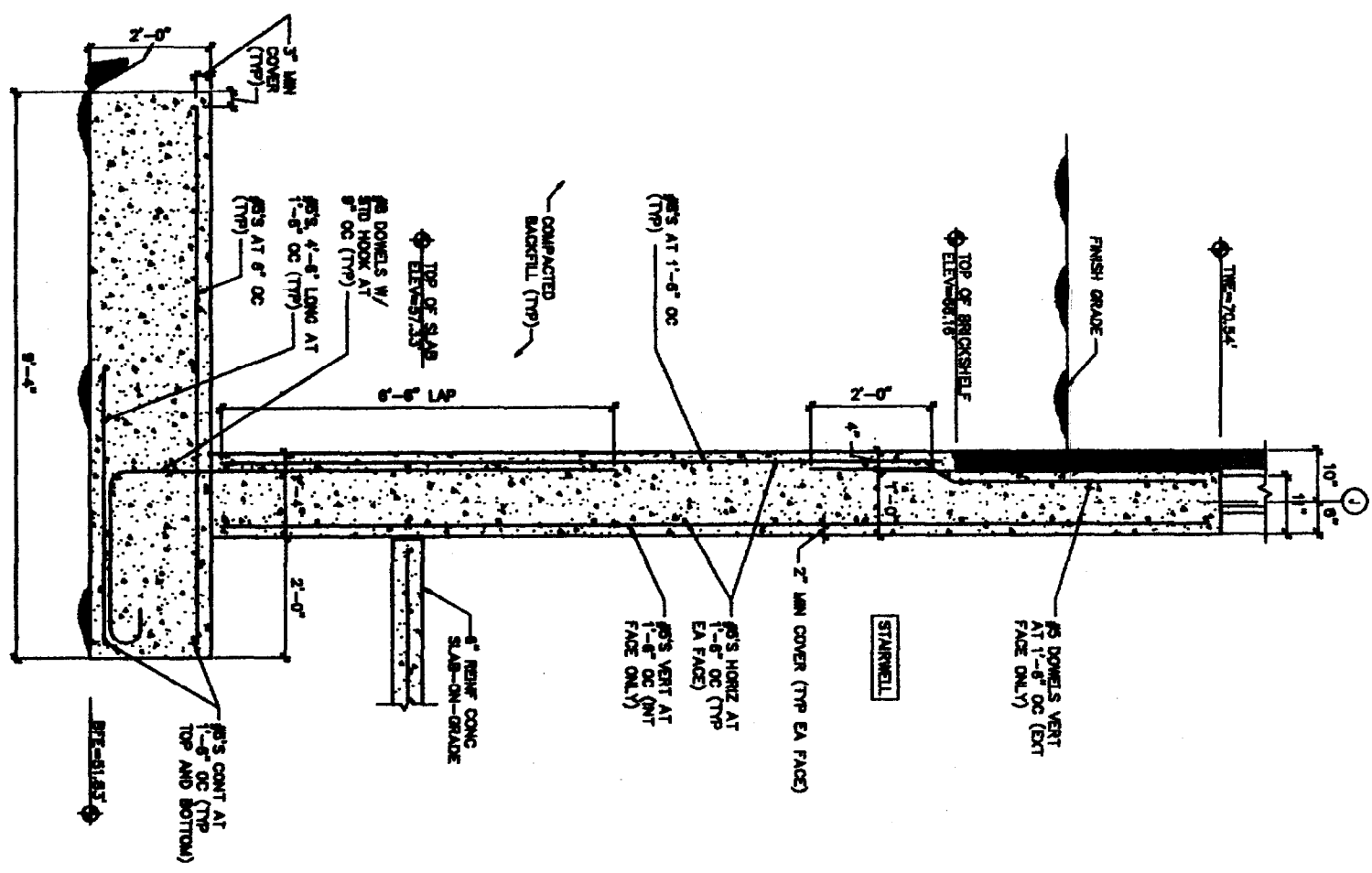
4 UNIT CONDOMINIUMS
20-24 BRACKETT STREET
PORTLAND, MAINE
RECORD OWNER
MESSIER, LLC
28 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04064

DATE	10/27/03
DESIGNED BY	DM
DRAWN BY	LFC
CHECKED BY	DM
SCALE	AS NOTED
JOB	S20A.30

FOUNDATION DETAILS



1 TYP RETAINING WALL DETAIL AT ELEV SHAFT
 (SEE) SCALE: 3/4"=1'-0"



2 TYP RETAINING WALL DETAIL AT STAIRWELL
 (SEE) SCALE: 3/4"=1'-0"



ISSUED FOR PLANNING
 DEPARTMENT REVIEW

DATE:	10/21/13
DESIGN:	DM
DRAWN:	JED/MJC
CHECKED:	DM
SCALE:	AS NOTED
JOB:	20394.30

4 UNIT CONDOMINIUMS
 20-24 BRACKETT STREET
 PORTLAND, MAINE
 RECORD OWNER
 MESDA, LLC
 28 CHESTNUT STREET, OLD ORCHARD BEACH, MAINE 04084

OAK POINT ASSOCIATES
 ARCHITECTS - ENGINEERS
 221 MAIN STREET BOSTON, MAINE 02102

STRUCTURAL DETAILS

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