

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT

This is to certify that **26 BRACKETT STREET LLC /  
BEACH GLASS TRANSITIONS**

Located At **26 BRACKETT ST**

CBL: 058- D-011-001

Job ID: 2012-09-5006-CH OF USE

has permission to Change the use right side to 1 retail and 1 counseling office with 3 Residential units above provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
Fire Prevention Officer

*Joanne Bonke* 11/09/2012  
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

*closed*

SCANNED

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close- In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Jeff Levine

Job ID: 2012-09-5006-CH OF USE    Located At: 26 BRACKETT ST    CBL: 058- D-011-001

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Separate permits shall be required for any new signage. It is understood that a permit is on file for signage at this time.
3. The approved use with the issuance of this permit and subsequent issuance of a certificate of occupancy is one retail and one office space on the first floor with three residential dwelling units above. Any change of use requires a separate permit for review and approval.

### **Building**

1. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. This is a Change of Use ONLY permit. It does NOT authorize any construction activities.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

### **Fire**

1. Installation shall comply with City Code Chapter 10.
2. All construction shall comply with City Code Chapter 10.
3. <http://www.portlandmaine.gov/citycode/chapter010.pdf>
4. Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.
5. All smoke detectors and smoke alarms shall be photoelectric.
6. Carbon Monoxide is detection required in accordance with NFPA 720, Standard for Installation of Carbon Monoxide (CO) Detection and Warning Equipment, 2009 edition.
7. Fire extinguishers are required per NFPA 1.
8. Notification: Two means of egress are required from every story. "MRSA Title 25 § 2453"
9. Any cutting and welding done will require a Hot Work Permit from Fire Department.
10. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.



# General Building Permit Application B-1 Zan

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>28 Brackett St. Portland, ME 04102</u>		
Total Square Footage of Proposed Structure/Area <u>931</u>		Square Footage of Lot <u>931</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>58-D-11</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * * Name <u>Lynn Peel</u> Address <u>194 Pleasant Hill Rd.</u> City, State & Zip <u>Scarborough 04074</u>	Telephone: <u>207-272-2797</u> <u>207-450-1026</u>
Lessee/DBA (If Applicable) <u>Beach Glass Transitions, LLC</u>	Owner (if different from Applicant) Name <u>Ashley Salisbury</u> Address <u>26 Brackett St.</u> City, State & Zip <u>Portland, ME 04102</u>	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u><del>Senior Care Consulting (office space)</del> retail</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>office space (consulting)</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Change of use from RETAIL to OFFICE.</u>		
Contractor's name: _____ Address: <u>N/A</u> City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: _____ Telephone: _____ Mailing address: _____		

RECEIVED  
SEP 21 2012  
Dept. of Building & Inspections  
City of Portland

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Lynn Peel      Date: 9-18-12

**This is not a permit; you may not commence ANY work until the permit is issue**

11-14-12 GF BKL BW

FOLLOW UP REQUIRED:

- 1) CHIMNEY THIMBALS CAPS (2)
- 2) HOLES IN BATH CEILING
- 3) RAIL @ OFFICE STAIRS - ONLY ONE SIDE NEEDED

2-20-13 DWM/capt Trone

Final CO OK use "Professional Office"

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-09-5006-CH OF USE	Date Applied: 9/20/2012	CBL: 058- D-011-001	
Location of Construction: 28 BRACKETT ST	Owner Name: 26 BRACKETT STREET LLC- ASHLEY SALISBURY	Owner Address: 26 BRACKETT ST PORTLAND, ME 04101	Phone: 619-1962
Business Name: Beach Glass Transitions, LLC - Lynn Peel	Contractor Name: LESSEE- Quinn Peel	Contractor Address:	Phone: 450-1026
Lessee/Buyer's Name: Quinn & Lynn Peel - Beach Glass Transitions	Phone: 272-2797	Permit Type: BLDG CH OF USE	Zone: B-1 primary
Past Use:  Two retail units on first floor with three dwelling units above	Proposed Use: <i>Right side</i>  To change the use from two retail on the first floor to one retail and 1 counseling office on the first floor with three residential dwelling units above	Cost of Work: \$1000.00	CEO District:
		Fire Dept:  <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <i>B(MA)</i> Type: <i>SB</i> <i>MUBEL '09</i> Signature: <i>JMB</i>
Proposed Project Description: Change of use from Retail to Office		Signature: <i>Capt. Parini</i>	10/18/12
Proposed Project Description: Change of use from Retail to Office		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Lannie	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>N/A</i>  <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>S</i>
	Date: <i>ok with conditns</i> <i>S 9/20/12</i>		

SCANNED

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE





# Certificate of Occupancy

CITY OF PORTLAND, MAINE

Department of Planning and Urban Development  
Building Inspections Division



Location: 26 BRACKETT ST

CBL: 058 D011001

Issued To: 26 Brackett Street Llc

Issued Date: 02/20/2013

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 201248440 has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

FIRST FLOOR, RIGHT SIDE UNIT

APPROVED OCCUPANCY

USE GROUP B  
TYPE 5-B  
PROFESSIONAL OFFICE  
IBC 2009 (MUBEC)

LIMITING CONDITIONS: NONE

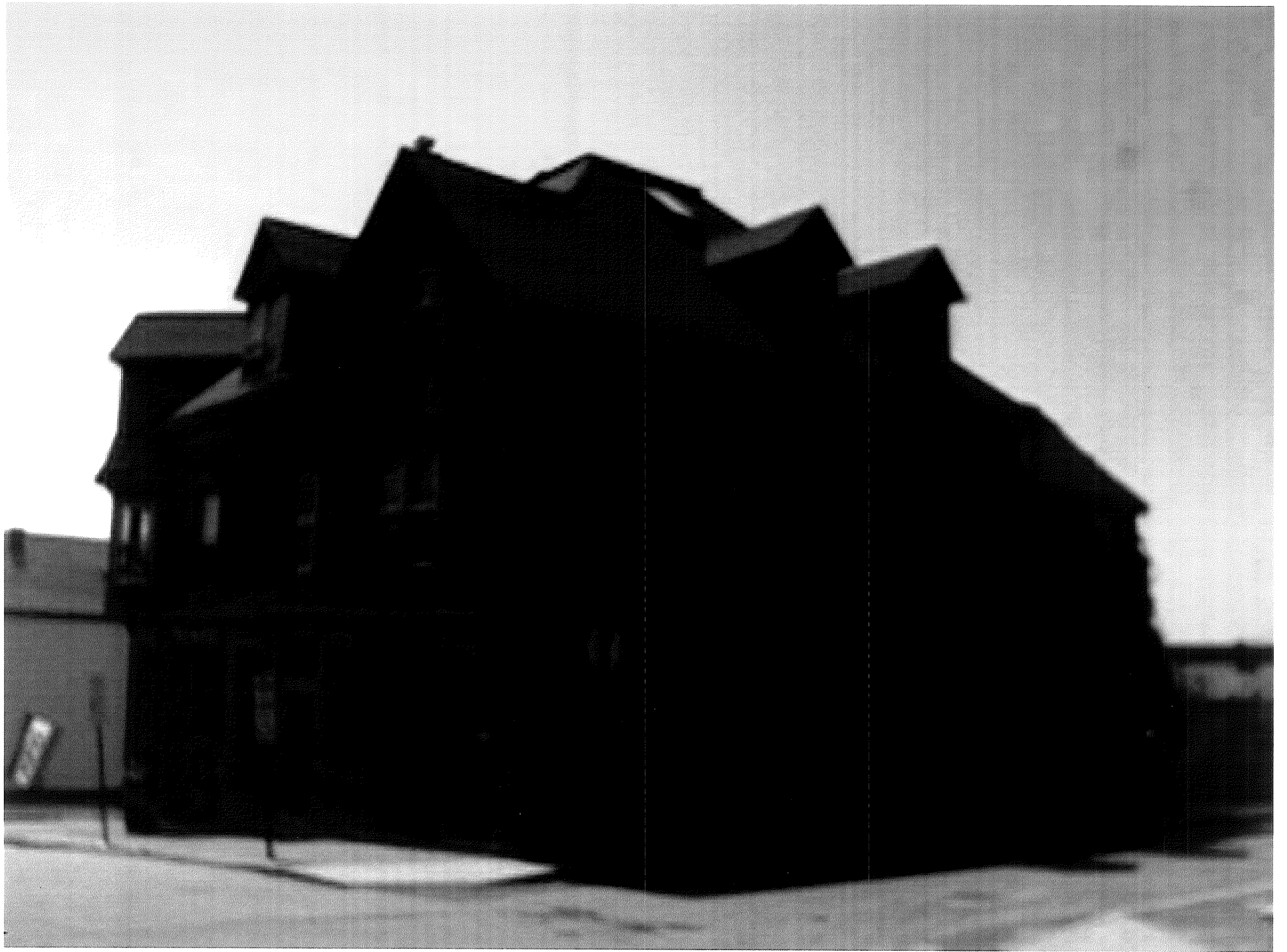
Approved:

Inspector

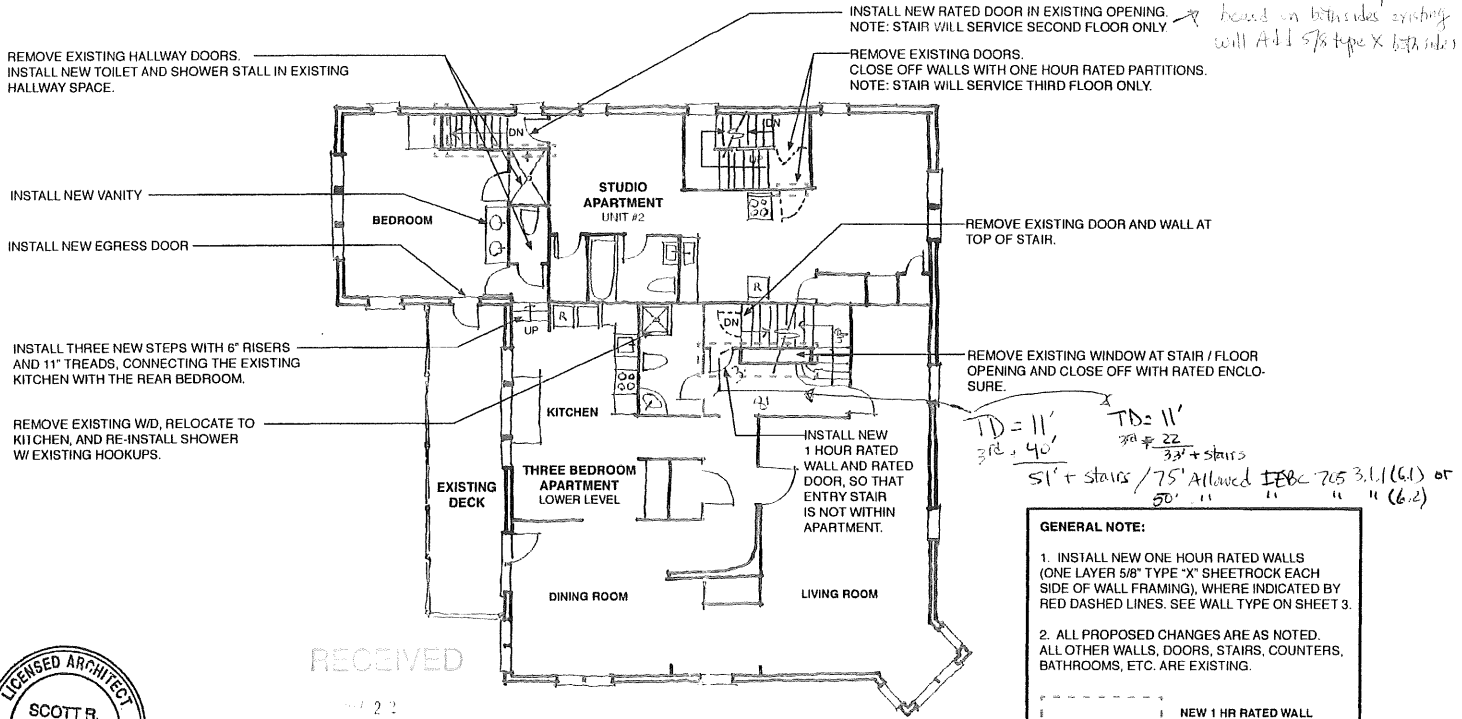
Inspection Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.





*Plan From Previous permit*



REMOVE EXISTING HALLWAY DOORS.  
INSTALL NEW TOILET AND SHOWER STALL IN EXISTING HALLWAY SPACE.

INSTALL NEW RATED DOOR IN EXISTING OPENING.  
NOTE: STAIR WILL SERVICE SECOND FLOOR ONLY.

REMOVE EXISTING DOORS.  
CLOSE OFF WALLS WITH ONE HOUR RATED PARTITIONS.  
NOTE: STAIR WILL SERVICE THIRD FLOOR ONLY.

INSTALL NEW VANITY

INSTALL NEW EGRESS DOOR

INSTALL THREE NEW STEPS WITH 6" RISERS AND 11" TREADS, CONNECTING THE EXISTING KITCHEN WITH THE REAR BEDROOM.

REMOVE EXISTING W/D, RELOCATE TO KITCHEN, AND RE-INSTALL SHOWER W/ EXISTING HOOKUPS.

REMOVE EXISTING DOOR AND WALL AT TOP OF STAIR.

REMOVE EXISTING WINDOW AT STAIR / FLOOR OPENING AND CLOSE OFF WITH RATED ENCLOSURE.

INSTALL NEW 1 HOUR RATED WALL AND RATED DOOR, SO THAT ENTRY STAIR IS NOT WITHIN APARTMENT.

**GENERAL NOTE:**

- INSTALL NEW ONE HOUR RATED WALLS (ONE LAYER 5/8" TYPE "X" SHEETROCK EACH SIDE OF WALL FRAMING), WHERE INDICATED BY RED DASHED LINES. SEE WALL TYPE ON SHEET 3.
- ALL PROPOSED CHANGES ARE AS NOTED. ALL OTHER WALLS, DOORS, STAIRS, COUNTERS, BATHROOMS, ETC. ARE EXISTING.

--- NEW 1 HR RATED WALL



RECEIVED

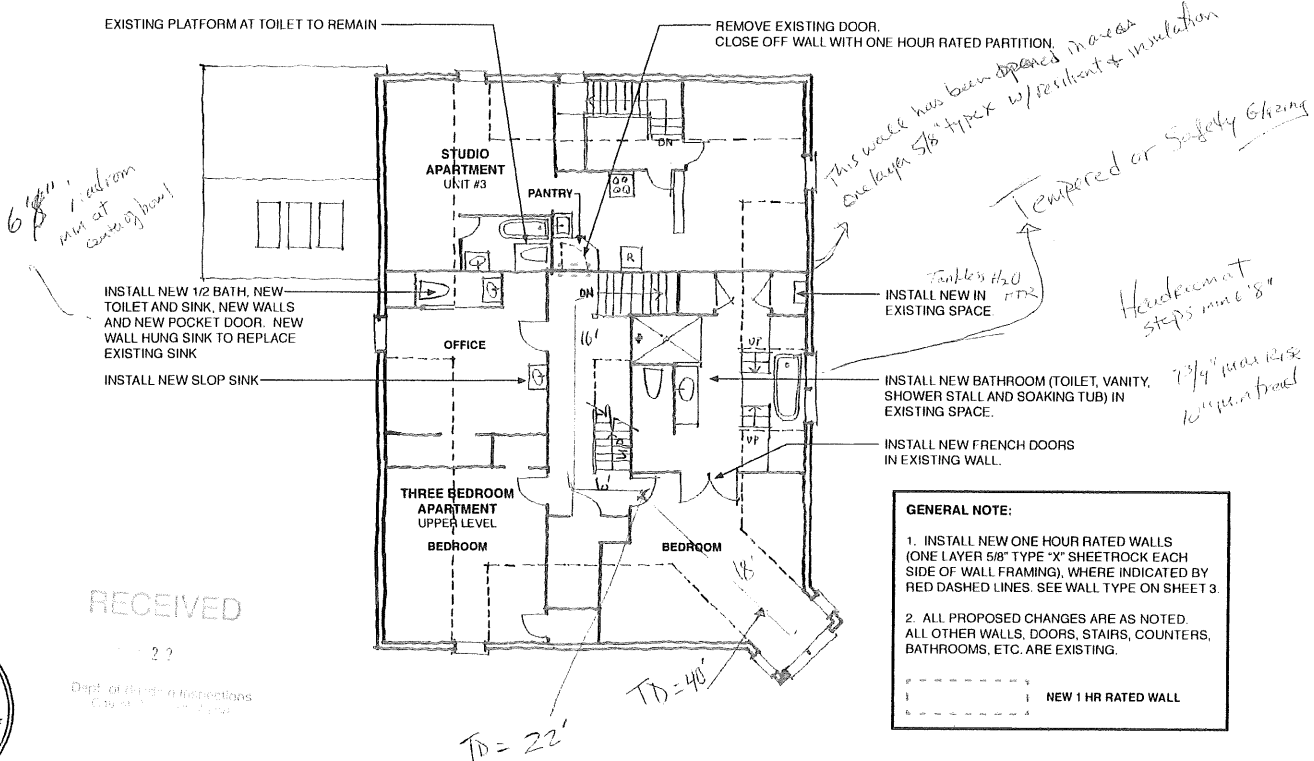
NOV 22 2011  
 Dept. of Public Works  
 City of Portland, ME

**26 BRACKETT STREET - RENOVATIONS**  
 Portland, Maine  
 November 21, 2011

**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

Scott Simons Architects

*Plan From Previous Permit*



**GENERAL NOTE:**

1. INSTALL NEW ONE HOUR RATED WALLS (ONE LAYER 5/8" TYPE "X" SHEETROCK EACH SIDE OF WALL FRAMING), WHERE INDICATED BY RED DASHED LINES. SEE WALL TYPE ON SHEET 3.
2. ALL PROPOSED CHANGES ARE AS NOTED. ALL OTHER WALLS, DOORS, STAIRS, COUNTERS, BATHROOMS, ETC. ARE EXISTING.

NEW 1 HR RATED WALL



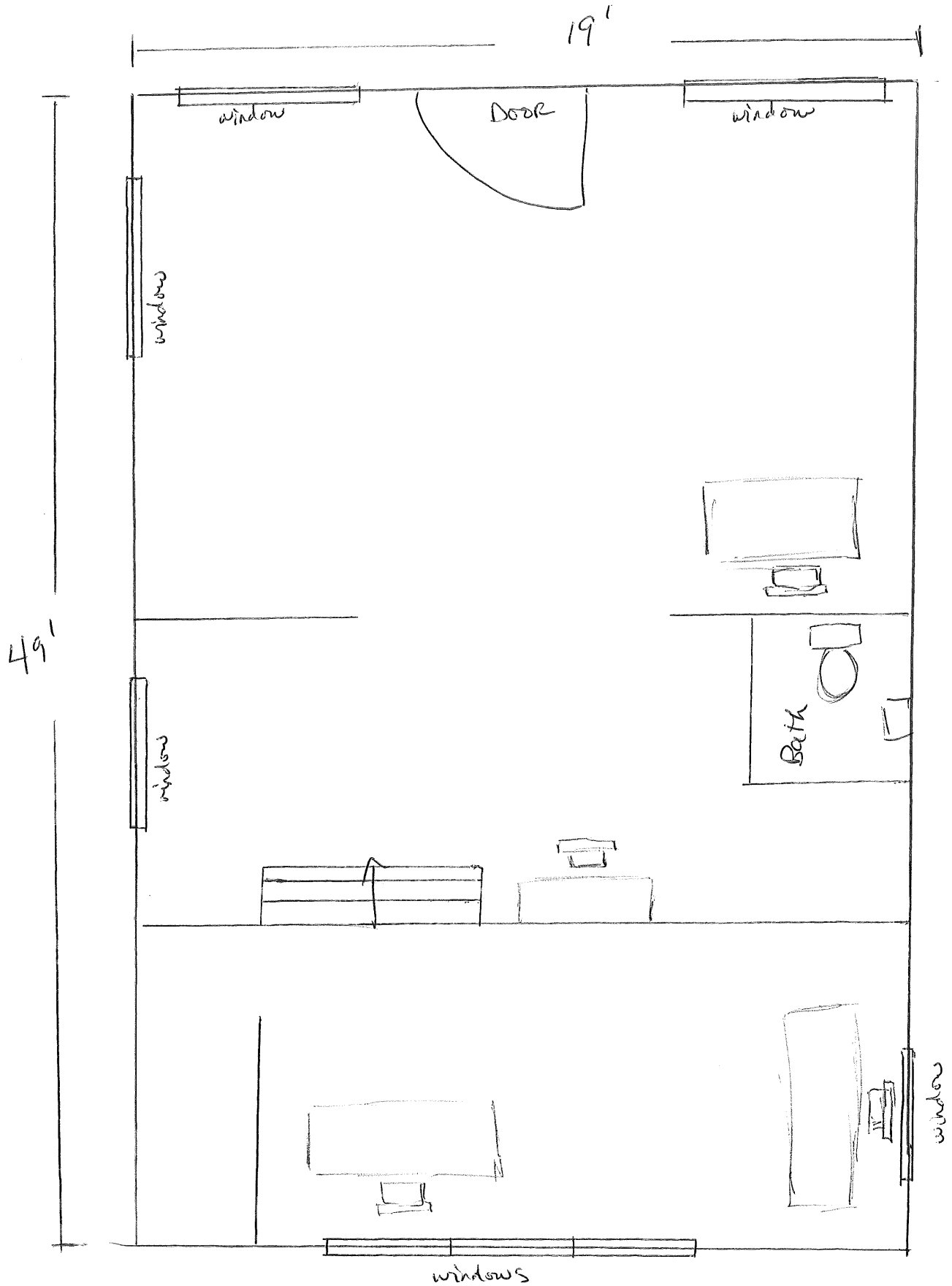
RECEIVED  
 11-22  
 Dept. of Building Inspections  
 100 State Street, Portland, ME 04102

**26 BRACKETT STREET - RENOVATIONS**  
 Portland, Maine  
 November 21, 2011

**THIRD FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

28 Brackett:  
OFFICE SPACE

• NO SPRINKLERS



\* all on street  
public parking

Brackett St.

Sidewalk  
9'

19'

49'

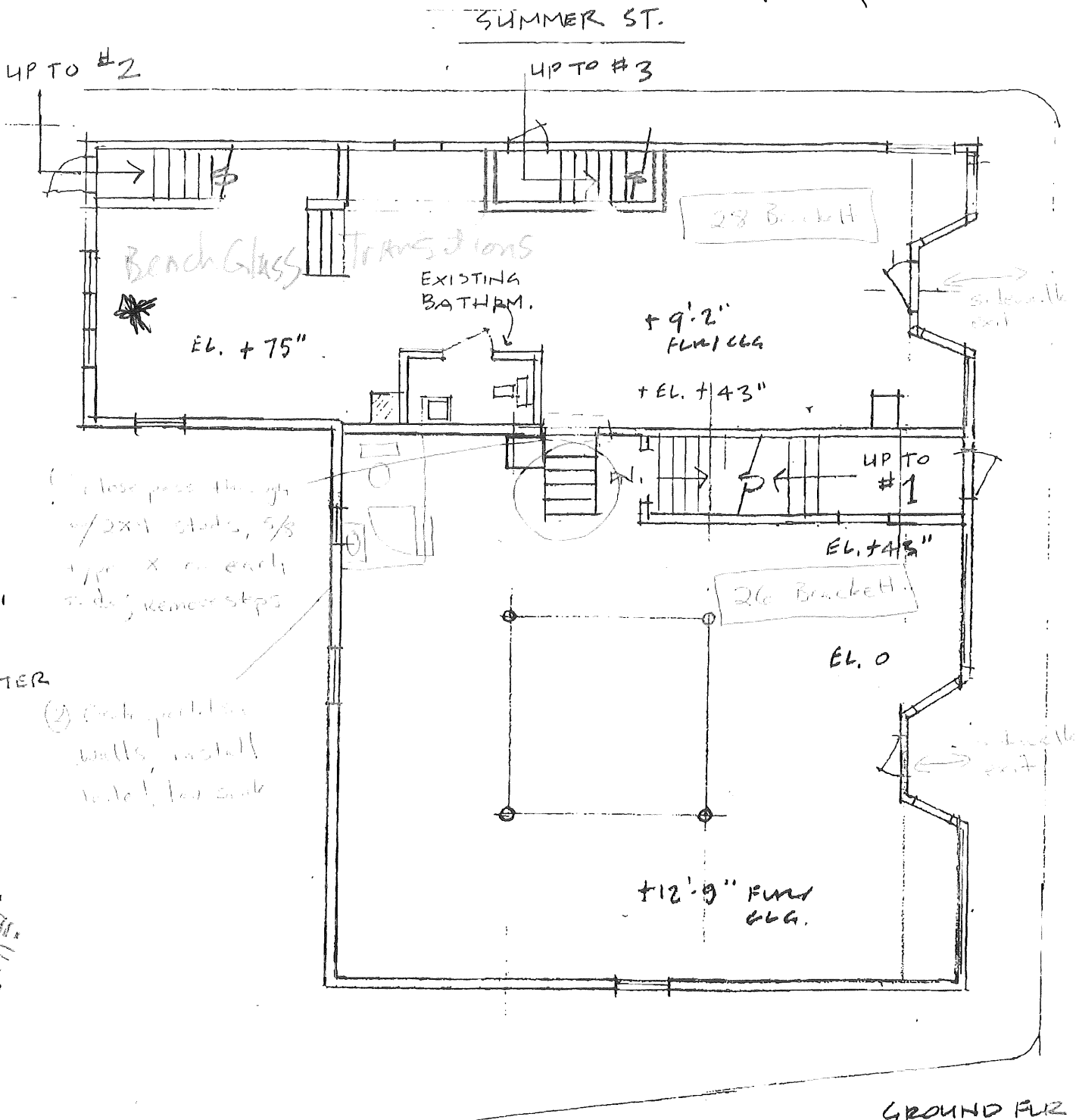
28  
Brackett

Other  
adjacent  
business

$$19 \times 49 = 931 \text{ ft}^2$$

York St.

Plan  
From previous permit



Close pass through  
w/ exit stairs, 5/8  
type X on each  
side; remove steps

TER  
② Check partition  
walls, install  
inside for sink

SUMMER ST.

YORK ST.

GROUND FLOOR

26 BRACKETT ST.

FLOOR PLANS 1/8" = 1'-0"

for ASHLEY SALSBURY

4/11

WHIPPLE CALLENDER ARCHITECTS