

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 65-85 W. Commercial St		Owner: J.R. Brown & Sons		Phone: 774-5908		Permit No: 990204	
Owner Address: 482 Congress St 04112		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: Lawrence Elevator		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED MAR 11 1999 CITY OF PORTLAND </div>	
Past Use: Mixed-Use		Proposed Use: Same		COST OF WORK: \$ 40,000.00 PERMIT FEE: \$ 220.00		INSPECTION: Use Group 3/4 Type: 3/3 Signature: [Signature]	
Proposed Project Description: Completion of elevator installation. Shaft way was constructed under prior permit in 1996. & Installation of egress stairs to serve 2nd & 3rd floor				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Denied Approved with Conditions: <input type="checkbox"/> Denied Signature: [Signature] Date: [Blank]		Zone: CBL: 058-C-001 Zoning Approval: 3/11/99 Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: UB		Date Applied For: 09 March 1999					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Call Steve Reynolds at JR Brown for pick-up 774-5908

**PERMIT ISSUED
WITH REQUIREMENTS**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT ADDRESS: DATE: 10 March 1999 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT



**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED**

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): 65-85 W. COMMERCIAL STREET			
Total Square Footage of Proposed Structure 40,000 SF		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number Chart# 58 Block# C Lot# 001		Owner: J. B. BROWN & SONS	Telephone#: 774-5908
Owner's Address: 482 CONGRESS ST PORTLAND, ME 04112		Lessee/Buyer's Name (If Applicable)	Cost Of Work: \$ 40,000 Fee: \$ 220
Proposed Project Description: (Please be as specific as possible) COMPLETION OF ELEVATOR INSTALLATION START WAY WAS CONSTRUCTED UNDER PRIOR PERMIT 1996 & INSTALLATION OF BUSINESS STAIRS TO SERVE 2ND & 3RD FLOOR * call Steve Reynolds for P/LU 7745908			
Contractor's Name, Address & Telephone LAWRENCE ELEVATOR			797-2962 Rec'd By LIB
Current Use: MIXED-USE		Proposed Use: MIXED USE	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>[Signature]</i>	Date: 3/9/99
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Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum





State of Maine

DEPARTMENT OF PROFESSIONAL & FINANCIAL REGULATION

BOARD OF ELEVATOR & TRAMWAY SAFETY

Registration # EL35657

ELEVATOR

Registrant:
65-85 COMMERCIAL
66 WEST ST
PORTLAND, ME 04102

Inspector: GENE E CROWL

Type: PASSENGER

Speed Allowed (FPM): 125

Capacity Allowed(lbs): 2100

Location:
65-85 COMMERCIAL

Last Safety Test Date: 09/09/99

**THIS ELEVATOR CERTIFICATE MUST BE POSTED IN ELEVATOR.
TRAMWAY CERTIFICATE POST IN A CONSPICUOUS PLACE IN MACHINE ROOM**

ISSUE DATE
SEP 09, 1999

EXPIRATION DATE
SEP 09, 2000

Catherine Haynes

751286

THIS DOCUMENT MUST BE DISPLAYED AT THE HOLDERS PERMANENT PLACE OF BUSINESS

Please make note of your license number and reference this number in any future correspondence with the BOARD OF ELEVATOR & TRAMWAY SAFETY. Should you require further information, please call (207) 624-8616.

NOTICE OF ACCIDENTS: Pursuant to 32 M.R.S.A. §1521, each elevator or tramway accident caused by equipment failure, resulting in injury to a person or in substantial damage to equipment, must be reported by the owner or lessee to the Office of Licensing and Registration at 207/624-8629 immediately.

CBL 58-C-1



NOT APPLICABLE

POCKET or WALLET CARD.

✕ Detach and sign on the backside

BUILDING PERMIT REPORT

DATE: 10/march 99 ADDRESS: 65-85 W Commercial ST CBL #58-C-001
REASON FOR PERMIT: Install elevator
BUILDING OWNER: J. B. Brown
CONTRACTOR: Lawrence Ele.
PERMIT APPLICANT: Burke
USE GROUP Mixed BOCA 1996 CONSTRUCTION TYPE 3B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *14 *24, 18, 19, 31

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
9. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise. (Section 1014.0)
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or

knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)

13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1

~~14.~~ All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0

15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1

16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0

18. The Fire Alarm System shall be maintained to NFPA #72 Standard.

19. The Sprinkler System shall maintained to NFPA #13 Standard.

20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)

21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)

~~24.~~ All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

25. All requirements must be met before a final Certificate of Occupancy is issued.

26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).

27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)

28. Please read and implement the attached Land Use-Zoning report requirements.

29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.

30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.

31. Fire Fighter recall shall be required

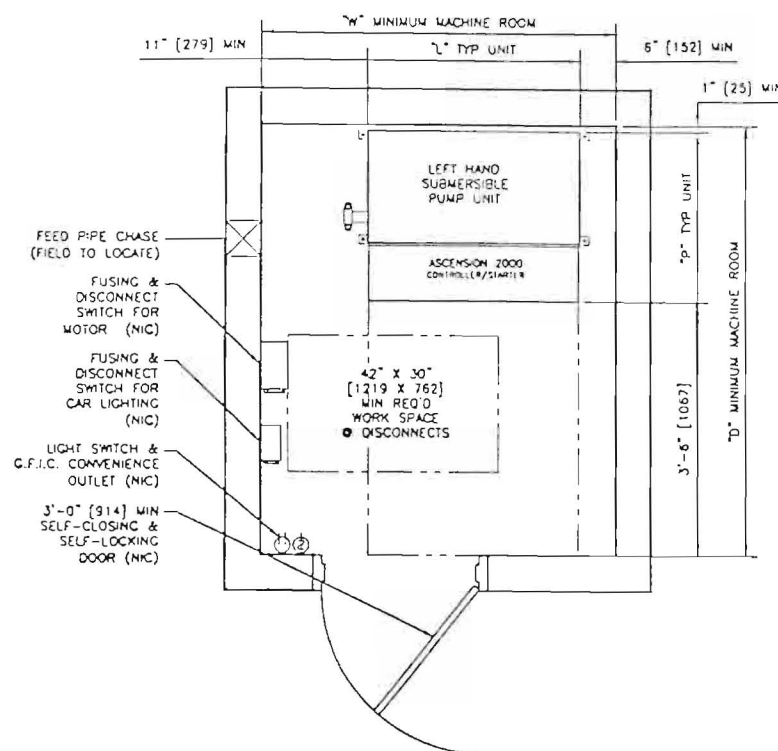
32.

33.

P. Samuel Holmes, Building Inspector

cc/Lt. McDougall, PFD

Marge Schmuckal, Zoning Administrator

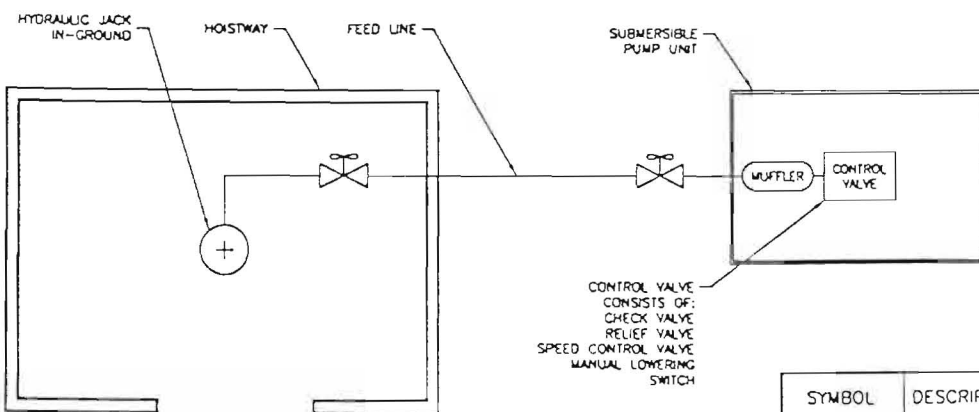


MINIMUM MACHINE ROOM PLAN

ESCALE: N/A
L/H SHOWN R/H SYMMETRICALLY OPPOSITE
L/H ☐ R/H ☐

MACHINE ROOM IS LOCATED:
ADJACENT ☒ *1 UNDG. REMOTE ☐ FEET _____ * UNDG
THE ELEVATOR EQUIPMENT ARRANGEMENT SHOWN IS FOR REFERENCE ONLY.
THE EQUIPMENT MAY BE ARRANGED AS REQUIRED TO SUIT THE ACTUAL JOB
CONDITIONS AND MACHINE ROOM SIZE. REQUIRED MACHINE ROOM HEIGHT IS
7'-0" (2134) MINIMUM CLEAR.

SUBMERSIBLE PUMP UNIT DIMENSIONS				MINIMUM MACHINE ROOM DIMENSIONS	
TYPE	L	P	W	D	
SMALL (95 GAL) (360 LTS)	36 1/2" (927)	28" (711)	60 1/2" (1536)	71" (1803)	
MEDIUM (130 GAL) (492 LTS)	38 1/2" (978)	33" (838)	62 1/2" (1588)	76" (1930)	
LARGE (218 GAL) (825 LTS)	47" (1194)	33 5/8" (854)	71" (1803)	76 5/8" (1946)	

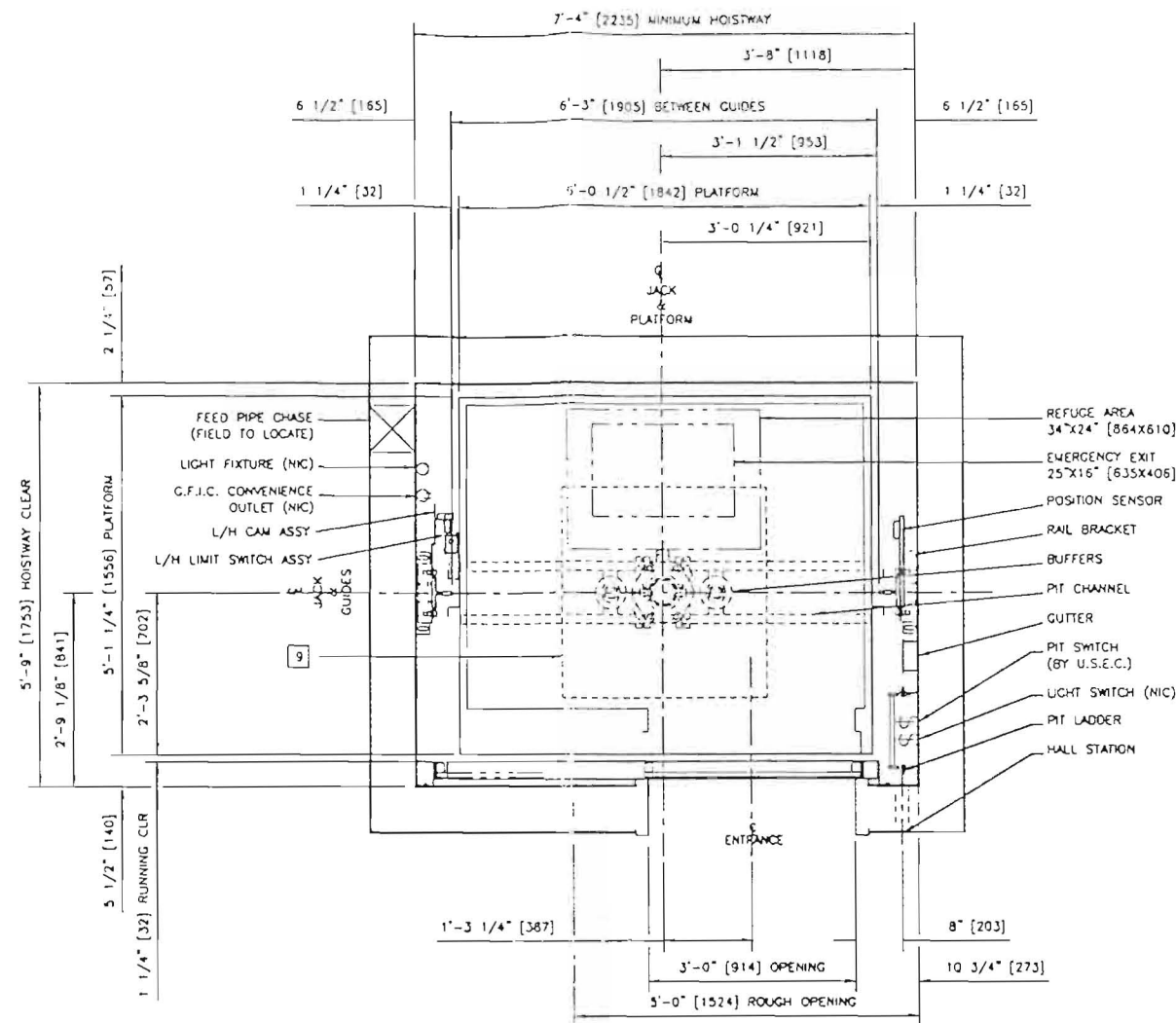


HYDRAULIC SCHEMATIC - HOLED

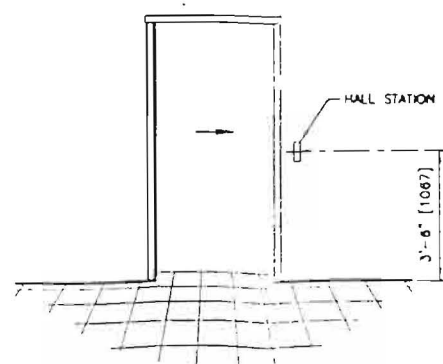
PLUNGER	CYL	OIL REQUIRED FOR JACK (gal [lts])
4"	6"	(RISE + 4'-0") = 0.86 ((RISE + 1.22 m) = 10.74)
4 1/2"	6"	(RISE + 4'-0") = 0.89 ((RISE + 1.22 m) = 8.57)
4 1/2"	8"	(RISE + 4'-0") = 1.79 ((RISE + 1.22 m) = 22.23)
5 1/2"	8"	(RISE + 4'-0") = 1.37 ((RISE + 1.22 m) = 17.01)
6 1/2"	10"	(RISE + 4'-0") = 2.35 ((RISE + 1.22 m) = 29.18)

PIPE	OIL REQUIRED FOR FEED LINE
2"	0.163 gal/ft (2.02 lts/m)
2 1/2"	0.255 gal/ft (3.17 lts/m)
3"	0.367 gal/ft (4.56 lts/m)

SYMBOL	DESCRIPTION
	BALL VALVE
	ISOLATION COUPLING (IF REQUIRED)
	Y-STRAINER (IF REQUIRED)
	RUPTURE VALVE (IF REQUIRED)



HOISTWAY PLAN VIEW



TYPICAL ENTRANCE ELEVATION
ARROW INDICATES DOOR CLOSURE DIRECTION
SCALE: N/A

HALL POSITION (DOT MATRIX)	ONLY ONE PER LANDING	BLOCKOUT SIZE
	TERMINAL & INTERMEDIATE FLOORS	2 1/4" X 6 1/4" (57) X (159)
	INTERMEDIATE FLOOR WITH FIRE SWITCH	2 1/4" X 8 1/4" (57) X (210)
	WHEN SPECIFIED (PER ELEVATOR)	
HALL LANTERN (L.E.D. ARRAY)	ALL FLOORS	4" X 6 1/4" (102) X (159)
	WHEN SPECIFIED (PER ELEVATOR)	
HALL POS. IN (DOT MATRIX)	AT SPECIFIED LANDING	8 1/4" X 4" (210) X (102)
	WHEN SPECIFIED (PER ELEVATOR)	

DESIGNED PER - ANSI A17.1 1996

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PROVISIONS BY OTHERS

- HOISTWAY AND MACHINE ROOM IN ACCORDANCE WITH ELEVATOR SAFETY CODE REGULATIONS. HOISTWAY TO BE ERECTED PLUMB WITHIN 1/2" (12.7) THROUGHOUT.
- NO CONDUIT, WIRING, OR PIPING OTHER THAN THAT PERTAINING TO THIS ELEVATOR IS PERMITTED IN THE HOISTWAY AND MACHINE ROOM.
- A 120 VAC (SINGLE PHASE) 20 AMP DEDICATED W/LOCKABLE SWITCH ADJACENT TO DISCONNECT SWITCH FOR CAR LIGHTING.
- 120 VOLT LIGHT FIXTURES, SWITCH AND G.F.I.C. CONVENIENCE OUTLET IN PIT. SWITCH TO BE ON JAMB SIDE OF BOTTOM LANDING DOOR. ILLUMINATION TO BE 100 LUX MINIMUM.
- 120 VOLT LIGHT FIXTURES, SWITCH AND G.F.I.C. CONVENIENCE OUTLET IN MACHINE ROOM. SWITCH TO BE LOCATED WITHIN 18" (457) OF LOCK JAMB SIDE OF MACHINE ROOM DOOR. ILLUMINATION TO BE 100 LUX MIN.
- ADEQUATE HEATING AND VENTILATION IS REQUIRED FOR THE ELEVATOR EQUIPMENT:
- MACHINE ROOM TO BE MAINTAINED AT A TEMPERATURE OF 50°F TO 105°F (10°C TO 32°C).
- MACHINE ROOM VENTILATION REQUIRED FOR HEAT DISSIPATION OF 125 BTU/HP/HR @ 30 STARTS/HR.
- FRONT WALLS (ROUGH OPENING) TO BE ERECTED AFTER INSTALLATION OF ENTRANCE FRAMES. FINISH MASONRY & GROUT IN SADDLES FULL LENGTH. NOTE: ENTRANCE FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS. SUITABLE SUPPORTS FOR THESE LOADS MUST BE PROVIDED BY OTHERS.
- PIT LADDER EXTENDING A MINIMUM OF 4'-0" (1200) ABOVE THE SILL OF THE LOWEST ACCESS DOOR.
- LEAVE A 3'-0" (914) SQUARE HOLE IN PIT FLOOR FOR SETTING JACK. GROUT SOLID AFTER JACK IS SET IN PLACE.
- SLEEVES & BLOCKOUTS FOR OIL AND ELECTRIC DUCTS FROM MACHINE ROOM TO HOISTWAY AS REQUIRED.
- DRY PIT FLOOR MUST BE REINFORCED TO SUPPORT A VERTICAL FORCE (INCLUDES ALLOWANCE FOR IMPACT).

EQUIPMENT DATA

GENERAL	SERVICE	PASSENGER
	CAPACITY	2100 lbs (950 kg)
	SPEED	125 FPM
	OPERATION	SIMPLEX SELECTIVE COLLECTIVE
CAR	LANDINGS/OPENINGS	3/3
	CAR ENCLOSURE	CI-26 MODULAR
	GUIDES	6" ROLLERS
	GUIDE RAILS	12 LBS
HYDRAULIC MACHINE	DOORS	HORIZONTAL SLIDING DOORS (RHSS)
	PUMP UNIT	SMALL AUBMERSIBLE
	MOTOR	20 HP
	VOLTAGE	208 VAC, 3 PH, 60 HZ
JACK ASSEMBLY	MOTOR CURRENT (STARTING)	93.0 AMPS
	MOTOR CURRENT (RUNNING)	65.4 AMPS
	WORKING PRESSURE	335 PSI
	RELIEF PRESSURE	418 PSI
WEIGHTS	FLOW	87 GPM
	PLUNGER	4.449"
	PLUNGER LENGTH	27'-11.75"
	CYLINDER	6.625"
REACTIONS	CYLINDER LENGTH	27'-5.75"
	FEEDLINE	2" SCH. 80
	SPRING BUFFERS	(2) @5400 LBS
	JACK WEIGHT	989 LBS
DIMENSIONS ARE IN INCHES (MILLIMETERS)	CAR WEIGHT	2400 LBS
	PLUNGER WEIGHT	354 LBS
	GROSS LOAD	4834 LBS
	RAIL LOADS (RUNNING)	R1=139LBS R2= 67LBS
DRAWN J.C.M.	RAIL LOADS (LOADING)	R1=139LBS R2= 67LBS
	RAIL LOADS (SEISMIC)	R1= N/A R2= N/A
	MAXIMUM BRACKET SPAN	14'-6"(ACTUAL) 18' (CODE)
	BUFFER IMPACT LOAD	10619 LBS

DIMENSIONS ARE IN INCHES (MILLIMETERS)		U.S. ELEVATOR		LAWRENCE ELEVATOR COMPANY, INC.	
DRAWN J.C.M.		JOB NAME		65-85 COMMERCIAL	
CHECKED		ADDRESS		66 WEST STREET	
APVD		CITY		PORTLAND, ME. 04102	
REL		ARCHITECT		VAN DAM & RENNER	
FILENAME		CONTRACTOR		J.B. BROWN & SONS	
		JOB NUMBER			
		DWG TITLE		2100 LBS HOLED LAYOUT, (RHSS) HOISTWAY PLAN VIEW & MACH ROOM	
		SIZE		DWG NO.	
				L-204U	
		SCALE		REV	
				SHEET 1 OF 5	

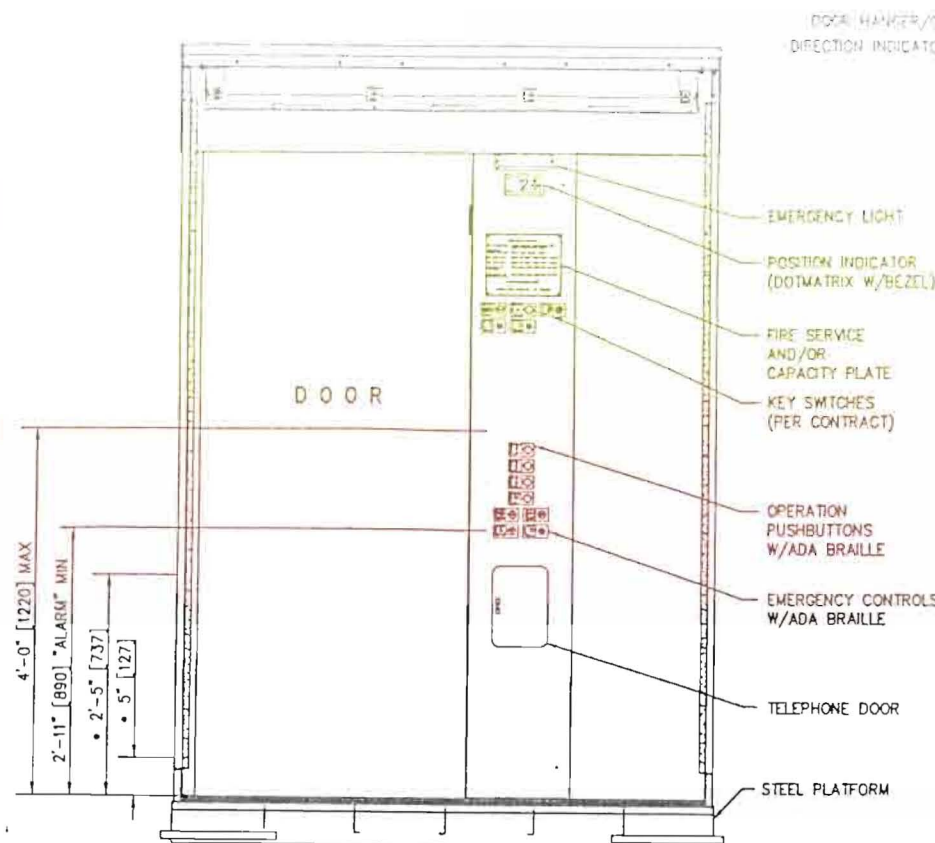
RAIL BRACKET
SUPPORT DETAIL



DESIGNED PER - ANSI A17.1 1996

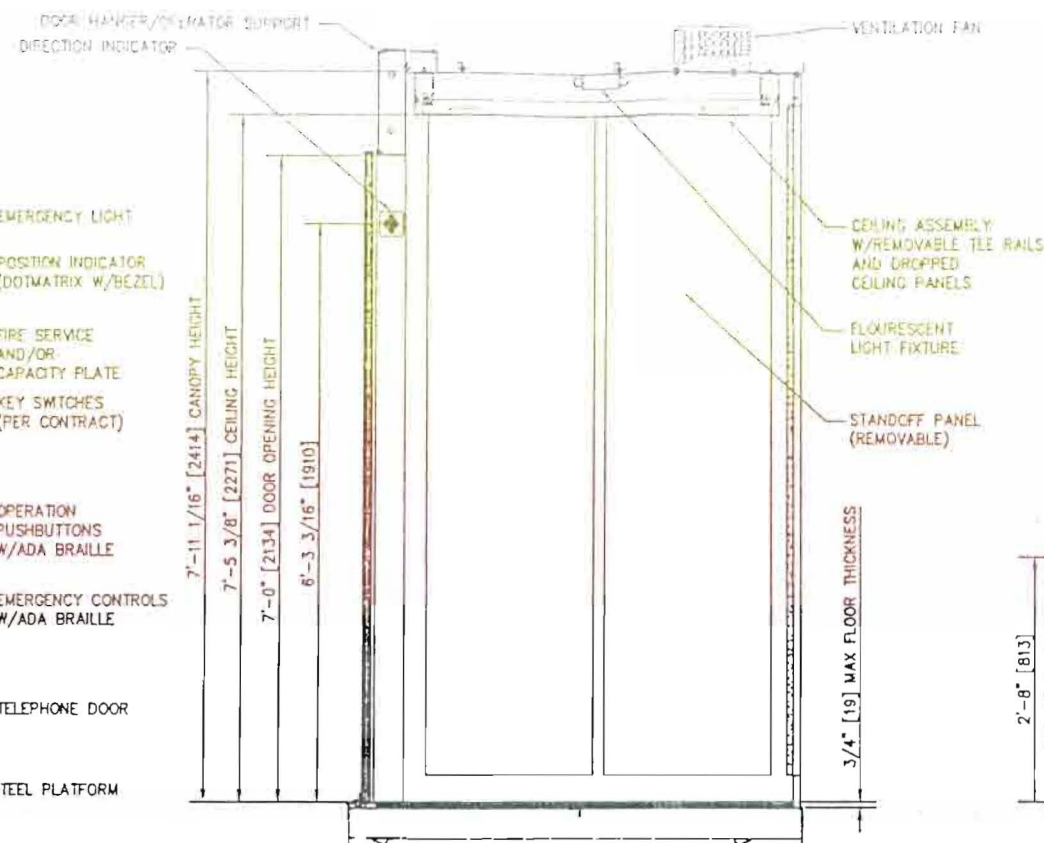
<p>DESIGNED PER - ANSI A17.1, 1996</p>		<p>THE MINIMUM DISTANCE REQUIRED BETWEEN JOINTS AND RAIL BRACKETS IS 9". IF SPACING BETWEEN BRACKETS EXCEEDS 9", BRACKETS MUST BE PERMISSIBLE BY CODE. INTERMEDIATE BRACKETS MUST BE USED AS REQUIRED. IF HOISTWAY WALL STRUCTURE IS OTHER THAN CONCRETE AND/OR MASONRY, SUPPORT BRACKETS MUST BE PROVIDED BY OTHER PARTY.</p>	
<p>DESIGNED BY: J. B. BROWN & SONS, INC.</p>		<p>DATE: 10/15/96</p>	
<p>PROJECT: 65 WEST STREET, PORTLAND, ME</p>		<p>CLIENT: VAN DAM & RENNERT</p>	
<p>SCALE: 1/2" = 1'-0"</p>		<p>JOBS: 65-85 COMMERCIAL</p>	
<p>REV: 1</p>		<p>JOBS: 65-85 COMMERCIAL</p>	
<p>SECTION VIEW & RAIL SCHEDULE</p>		<p>JOBS: 65-85 COMMERCIAL</p>	
<p>2100 LBS HOLED LAYOUT, FRONT OPNG.</p>		<p>JOBS: 65-85 COMMERCIAL</p>	
<p>SHEET 2 OF 5</p>		<p>JOBS: 65-85 COMMERCIAL</p>	

REVISIONS				
LTR.	DESCRIPTION	DRAWN/DATE	APVD/DATE	REL/DATE

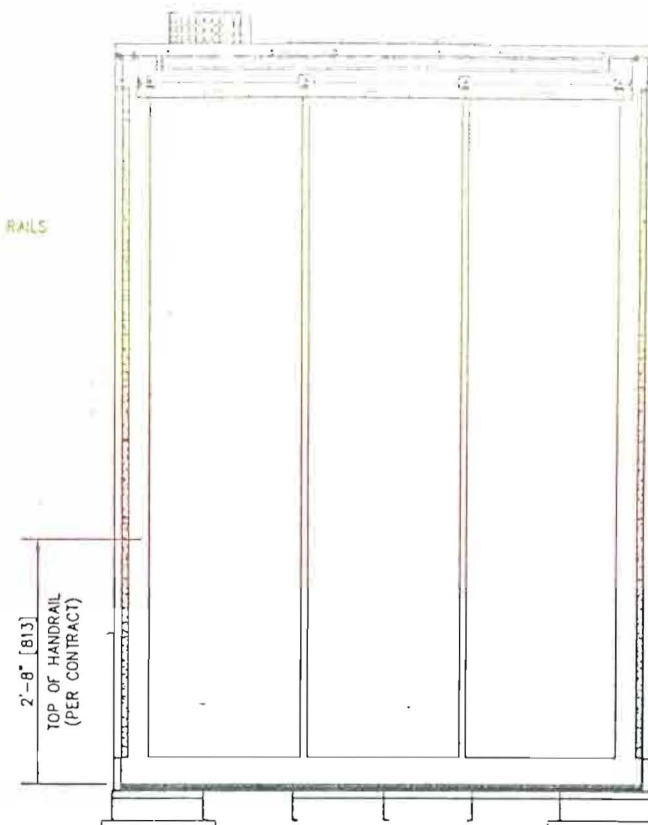


FRONT WALL

• PHOTOEYE BEAM LOCATIONS
OR OPTIONAL INFRARED SCREEN
ENTIRE DOOR HEIGHT



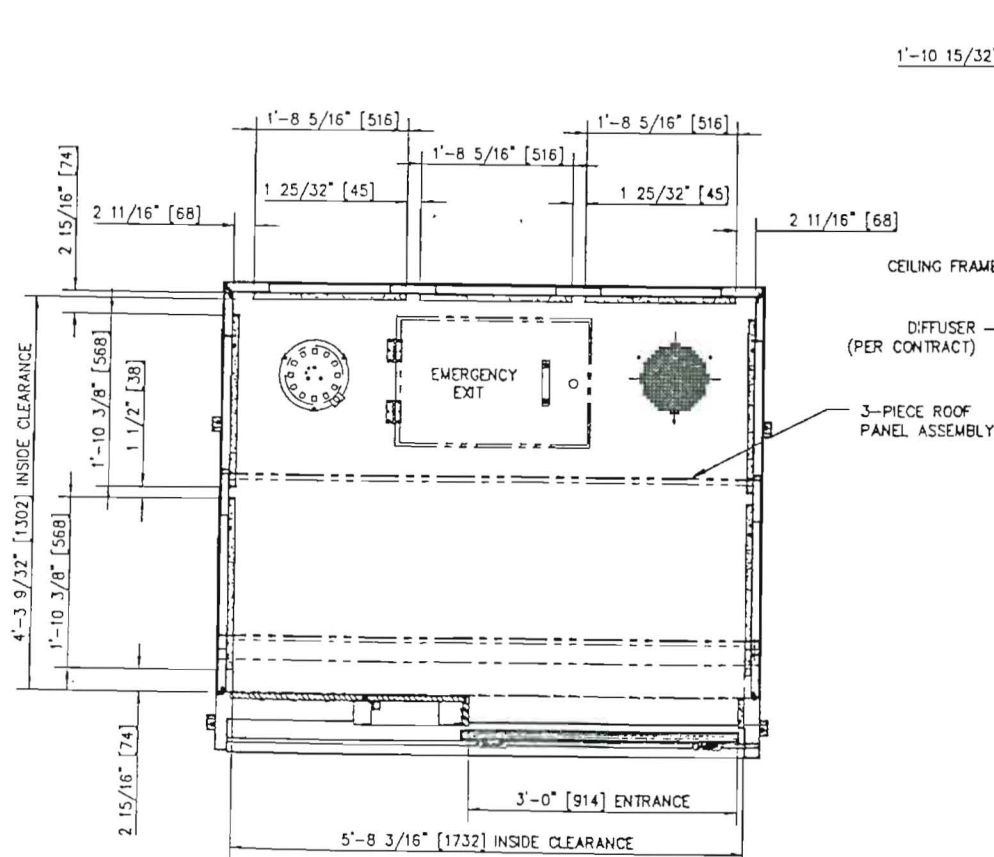
RIGHT SIDE WALL



REAR WALL

FINISHES

STEEL WALLS PTD. BLACK	REAR REM. PANELS
CANOPY PTD. WHITE	<input checked="" type="checkbox"/>
RETURN PANEL STN.-STL. #4	SILL ALUMINUM
STRIKE JAMB STN.-STL. #4	REAR HANDRAIL 1/4" x 2" ST.-STL. #4
HEADER STN.-STL. #4	
CAR DOOR STN.-STL. #4	CEILING FRAME BRUSHED ALUMINUM
SIDE REM. PANELS	DIFFUSER PANELS EGGRATE
<input checked="" type="checkbox"/>	FLOOR COVERING BY OTHERS



REFLECTED CEILING PLAN
SCALE: 1/2"=1'-0"

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DIMENSIONS ARE IN FEET/INCHES [MILLIMETERS]		LAWRENCE ELEVATOR COMPANY, INC.	
DRAWN	J.C.M.	JOB NAME	65-85 COMMERCIAL
CHECKED		ADDRESS	66 WEST STREET
APVD		CITY	PORTLAND, ME. 04102
REL		ARCHITECT	VAN DAM & RENNER
FILENAME		CONTRACTOR	J.B. BROWN
		JOB NUMBER	
		DWG TITLE	2100# MOD CAB, 8' HIGH, SINGLE SLIDE, RH, ASCENSION*
		DWG NO.	L-204U
		REV	

8'-1 13/16" [2484] STRUT CHANNEL

7'-3 7/8" [2232]

3 5/4" [95]

TOP OF FINISH FLOOR

ELEVATION AS VIEWED FROM HALLWAY

HALLWAY CLEAR

TO LINE OF PLATFORM

6'-5 5/8" [1972] SILL SUPPORT CHANNEL

6'-1" [1854] SILL

2 3/8" [60]

PLATFORM (REF)

3'-1 1/2" [952] DOOR PANEL

ACCESS SWITCH (AS REQUIRED)

DOOR (IN OPEN POSITION)

1 1/4" [32]
RUNNING CLEAR

5 1/2" [140]
WALL

8" BMT

ENTRANCE (REF)

1'-6" [457]

3'-0" [914] CLEAR OPENING

3'-4" [1016] HEADER

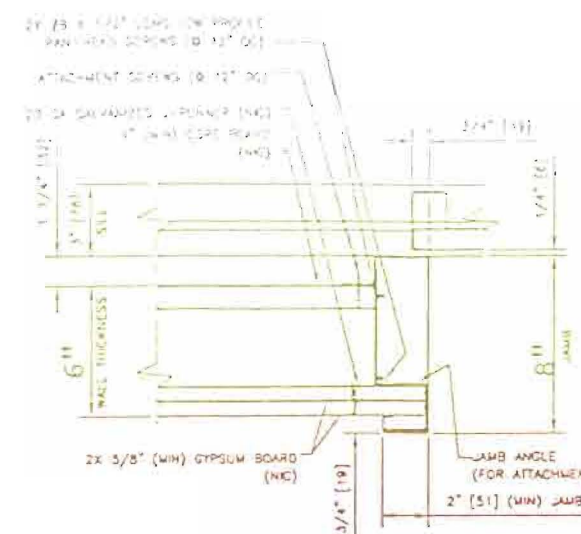
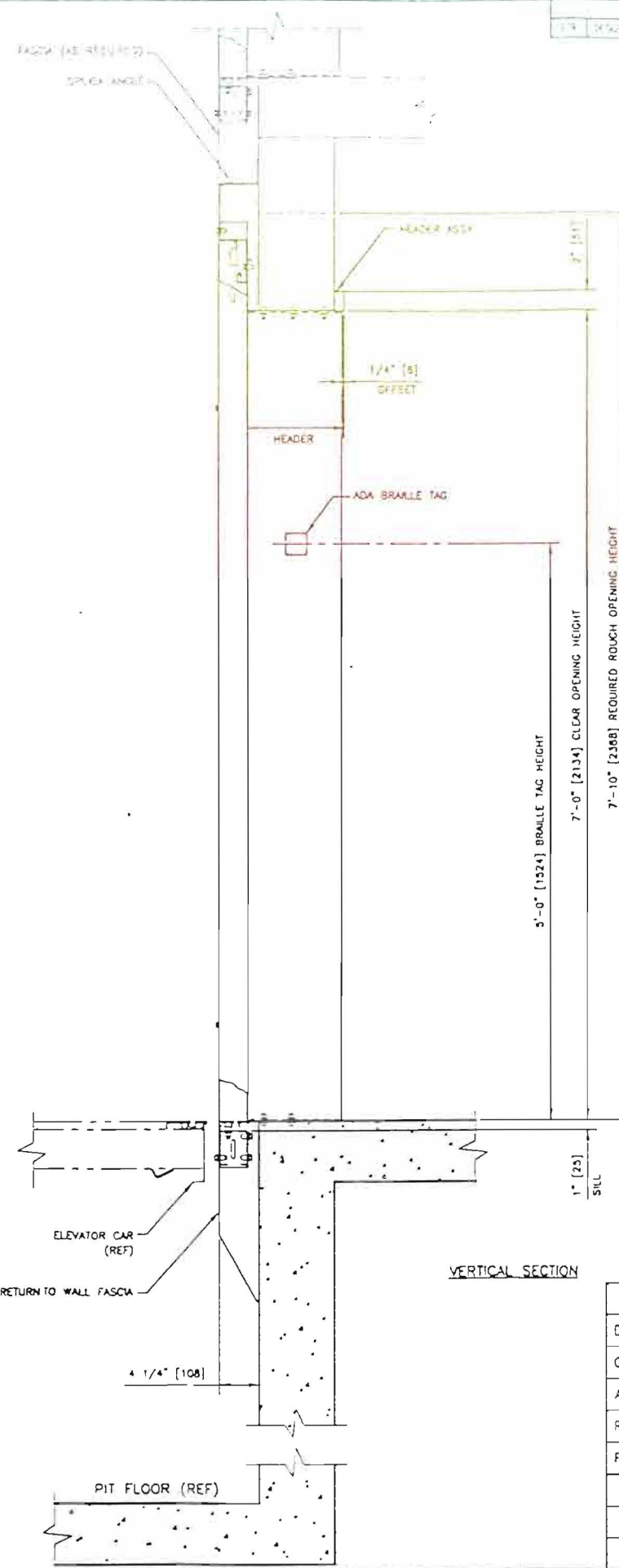
5'-0" [1524] REQUIRED OPENING "MASONRY WALL ONLY"

"FOR DRYWALL DO NOT ERECT WALLS UNTIL ENTRANCES ARE SET IN PLACE"

PLAN VIEW

NOTE:

"X" = SEE DAYLIGHT
DIM. ON 101 DWG.
FOR REFERENCE



DRYWALL DETAIL

NOTE:

PLEASE VERIFY WALL TYPE & THICKNESS
ENTRANCES ARE OF BOLTED CONSTRUCTION
ENTRANCE DEPICTS SINGLE SLIDE RIGHT HAND DOORS

ARCHITECT'S FINISH SELECTION:

ENTRANCE FINISH: X

QUANTITY: 3

CAR DOOR FINISH: ST. STL. #4

QUANTITY: 1

HALL DOOR FINISH: X

QUANTITY: 3

DIMENSIONS ARE IN INCHES/FEET (MILLIMETERS)		U.S. ELEVATOR LAWRENCE ELEVATOR COMPANY, INC.	
DRAWN		JOB NAME	65-85 COMMERCIAL
CHECKED		ADDRESS	66 WEST STREET
APVD		CITY	PORTLAND, ME, 04102
REL		ARCHITECT	VAN DAM & RENNER
FILENAME		CONTRACTOR	J.B. BROWN & SONS
		JOB NUMBER	
		DOOR TITLE	3'-0" RIGHT HAND SINGLE SLIDE (RHSS) ENTRANCE ARRANGEMENT, N TYPE
SIZE	DWG NO.	REV	
	L-204U		
SCALE		SHEET 4 OF 5	

REVISIONS		DATE	BY	DESCRIPTION

QUANTITY REQUIRED: N/A
LOCATE AT LANDINGS:
BOX CUTOUT SIZE: 2 1/4" X 8 1/4" [57 X 210]

QUANTITY REQUIRED: 1 N/A
LOCATE AT LANDINGS: *1
BOX CUTOUT SIZE: 2 1/4" X 6 1/4" [57 X 159]

QUANTITY REQUIRED: 1
LOCATE AT LANDINGS: 3RD
BOX CUTOUT SIZE: 2 1/4" X 6 1/4" [57 X 159]

QUANTITY REQUIRED: 1
LOCATE AT LANDINGS: 2ND
BOX CUTOUT SIZE: 2 1/4" X 6 1/4" [57 X 159]

QUANTITY REQUIRED: 1
LOCATE AT LANDINGS: *1
BOX CUTOUT SIZE: 2 1/4" X 6 1/4" [57 X 159]

QUANTITY REQUIRED: N/A
LOCATE AT LANDINGS:
BOX CUTOUT SIZE: 2 1/4" X 6 1/4" [57 X 159]

SOFTOUCH® CALL STATIONS

THE DIRECTION ARROWS ARE 17/32" [13] HIGH AND ARE LASER ETCHED ON A BLACK ANODIZED ALUMINUM DISK. THEY ARE SURROUNDED BY A CLEAR POLYCARBONATE HALO WHICH ILLUMINATES VIA RED LIGHT EMITTING DIODES WHEN THE BUTTON IS PRESSED. THE BEZELS ARE BLACK POLYCARBONATE MOLDED PLASTIC.

THE FIREMAN'S KEY SWITCH BEZEL HAS "ON", "OFF" AND "BY-PASS" ENGRAVED IN 3/32" [2] TALL LETTERS; FILLED WHITE. THE SWITCH IS A MORTISE CYLINDER 5 DISC TUMBLER LOCK LOCATED IN A RED KEY INSERT.

FACEPLATE FINISH	
14 GA 304 STAINLESS STEEL #4	LANDING(S): <u>ALL</u>
14 GA 304 STAINLESS STEEL #8	LANDING(S): <u> </u>
0.080" THK 60/40 BRONZE #4	LANDING(S): <u> </u>
0.080" THK 60/40 BRONZE #8	LANDING(S): <u> </u>

ELEVATOR#
SALES#
U.S.E. SERIAL#

DIMENSIONS ARE IN INCHES [MILLIMETERS]	
DRAWN	J.C.M.
CHECKED	
APVD	
REL	
FILENAME	
JOB NAME 65-85 COMMERCIAL	
ADDRESS 66 WEST STREET	
CITY PORTLAND, ME. 04102	
ARCHITECT VAN DAM & RENNER	
CONTRACTOR J.B. BROWN & SONS	
JOB NUMBER	
DWG TITLE ASCENSION® 1000 HALL OPERATING AND SIGNAL FIXTURES	
DWG NO.	REV
L-204U	

QUANTITY REQUIRED: 1
LOCATE AT LANDINGS: CAR
BOX CUTOUT SIZE: 4" X 6 1/4" [102 X 159]

LED ARRAY LANTERN

NOTIFICATION OF ELEVATOR CAR ARRIVAL IS PROVIDED BY ILLUMINATION OF ARROW AND AUDIBLE SIGNAL. ARROW CONSISTS OF AN ARRAY OF BICOLOR LIGHT EMITTING DIODES WHICH ILLUMINATE GREEN FOR UP DIRECTION AND RED FOR DOWN DIRECTION. AUDIBLE SIGNAL IS AN ELECTRONICALLY GENERATED TONE WHICH SOUNDS ONCE FOR UP SIGNAL AND TWICE FOR DOWN SIGNAL.

QUANTITY REQUIRED: 1
LOCATE AT LANDINGS: CAR
BOX CUTOUT SIZE: 8 1/4" X 4" [210 X 102]

SOFTOUCH® DOT MATRIX POSITION INDICATOR

FLOOR LOCATION AND DIRECTION OF TRAVEL INDICATIONS PROVIDED VIA ILLUMINATION OF RED LIGHT EMITTING DIODES. COMBINATIONS OF ONE OR TWO CHARACTERS ALONG WITH THE DIRECTION ARROW ARE POSSIBLE. ALL CHARACTERS ARE BLOCK STYLE, 1.375" [35] HIGH, 7x8 DOT MATRIX ARRAY. BEZEL MATERIAL IS TEXTURED BLACK POLYCARBONATE. LENS IS RED LEXAN WITH NON-GLARE SURFACE FINISH.

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