

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING DEPARTMENT

### PERMIT

Permit Number: 090625

Please Read Application And Notes, If Any, Attached

This is to certify that WEYAND RACHAEL E & SEAN S HARVEY TS/Property Owner  
has permission to Remove existing 16' x 11' kitchen wing on back side of house replace w/ new kitchen wing measuring 20.5' x 11'  
AT 25 SUMMER ST CE 058 B013001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_ 8/2009  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*Roman H. Mahler* 7/1/10  
Director - Building & Inspection Services

CITY OF PORTLAND PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0625	Issue Date:	CBL: 058 B013001
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Location of Construction: 25 SUMMER ST	Owner Name: WEYAND RACHAEL E & SETH	Owner Address: 25 SUMMER ST	Phone:
Business Name:	Contractor Name: Property Owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Demolition - Building/Rebuild	Zone: R-6

Past Use: Single Family Home	Proposed Use: Single Family Home - Remove existing 16' x 11' kitchen wing on back side of house replace w/ new kitchen wing measuring 20.5' x 11'	Permit Fee:	Cost of Work: \$10,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	

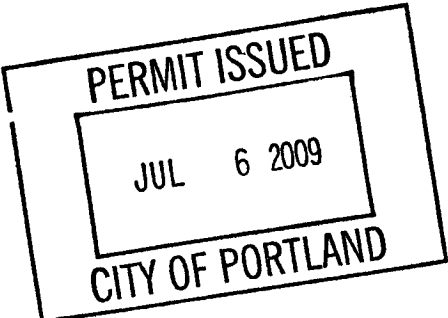
**Proposed Project Description:**  
Remove existing 16' x 11' kitchen wing on back side of house replace w/ new kitchen wing measuring 20.5' x 11'

Signature: \_\_\_\_\_  
Signature: *Jim* 7/1/09  
**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**  
Action:  Approved  Approved w/Conditions  Denied  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: Ldobson	Date Applied For: 06/16/2009	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/22/09</i> <i>ABU</i> <i>7/1/09</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Note: Foundation walls must be 10 inches thick in lieu of lack of footing setbacks to be checked closely. DMM

7/16/09 - See Notes on Plan.  
Allowed 8" w/ w/ly Rebar  
O.K. to pour footing -  
setbacks O.K. existing on 2 sides  
10' to nearest Bldg. i.e. prop. line  
on remaining side O.K.



7/22/09  
8" Wall (Foundation) Already poured (in place)  
Green guard installed with radiant heat tubes  
at 50 PSI pressure test. OK to pour floor  
SMH



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>25 Summer Street, Biddeford</u>		
Total Square Footage of Proposed Structure/Area <u>225.5</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>58</u> <u>B</u> <u>13</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>Seth Harkness + Rachael Weyand</u> Address <u>25 Summer St.</u> City, State & Zip <u>Portland, ME 04102</u>	Telephone: <u>(207) 939-2774</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>\$10,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Kitchen for single family home</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Remove existing dilapidated 16'x11' kitchen wing on back side of house.</u> <u>Replace with new kitchen wing measuring 20.5' by 11'!</u>		
Contractor's name: _____ Address: _____ City, State & Zip: _____ Telephone: _____ Who should we contact when the permit is ready: <u>Seth Harkness + Rachael Weyand</u> Telephone <u>(207) 939 2774</u> Mailing address: <u>25 Summer St. Portland, ME 04102</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u>Seth Harkness</u>	Date: <u>June 15-2009</u>	DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME
This is not a permit; you may not commence ANY work until the permit is issued		JUN 16 2009
		RECEIVED

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers** ✓

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

*Thomas W. Markley*

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

*7/1/09*

\_\_\_\_\_  
Date

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0625	<b>Date Applied For:</b> 06/16/2009	<b>CBL:</b> 058 B013001
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<b>Location of Construction:</b> 25 SUMMER ST	<b>Owner Name:</b> WEYAND RACHAEL E & SETH S	<b>Owner Address:</b> 25 SUMMER ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Property Owner	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Demolition - Building/Rebuild	

<b>Proposed Use:</b> Single Family Home - Remove existing 16' x 11' kitchen wing on back side of house replace w/ new kitchen wing measuring 20.5' x 11'	<b>Proposed Project Description:</b> Remove existing 16' x 11' kitchen wing on back side of house replace w/ new kitchen wing measuring 20.5' x 11'
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 07/01/2009
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.</li> <li>This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</li> <li>This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</li> </ol>			

<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 07/02/2009
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.</li> <li>Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.</li> <li>Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.</li> </ol>			

<b>Comments:</b>
6/22/2009-amachado: Left vcm for Seth. Numbers on the plot plan are unclear. Need to know what side setback will be for the addition and what the rear setback will be. Also is the addition 20.5' or 20'5"?
6/22/2009-amachado: Received email from Seth with the required information.
6/29/2009-amachado: Tom started to review the permit. The demolition information was submitted (6/26/09) after I did my reiew (6/22/09) and signed off. Tom noticed that the footing for the new foundation would extend 8" across the neighbor's property line (21 Summer St.). Zoning can't sign off on an addition that will encroach on the neighbor's property. I spoke to Seth and he will submit plans where the footong does not go over the property line.
7/1/2009-amachado: Received revised foundation plan. It does not encroach on the neighbor's property.

June 21, 2009

Dear Pete and Megan,

As we mentioned, we are planning to rebuild our kitchen this summer and we want to be sure you are aware of our building plans. In fact, the city of Portland has asked us to seek your approval of these plans before we begin to build because the proximity of our houses means that the underground footings for our new foundation – with your permission -- will extend slightly across your property line.

Our plan is to tear down the existing kitchen and rebuild it on a concrete slab foundation. The new kitchen footprint will be exactly the same dimensions as the old one, except that it will extend an additional four and a half feet on the Clark Street side of the property. There would be no change in dimensions on the side where the kitchen wall marks the shared boundary between our properties.

Placing a proper foundation under the kitchen wing would require us to build a two-foot wide concrete footing at the base of the foundation walls. This footing would lie approximately two feet below grade and would extend eight inches across your property line. We are seeking your permission to carry out these plans and to step onto your property as necessary to build the foundation and the east wall of the kitchen. We would be responsible for cleaning up any debris and regarding any disturbed ground following construction.

DN

\* revised foundation plan received 7/1/09. ~~For~~ no looking encroaches on neighbor's property line

We are including a foundation plan and a building diagram for our project to help you understand what we propose to build. If these plans are acceptable to you, we would ask that you please sign the second copy of this letter and return it to us. If there is anything about our plans that is unclear or you would like to discuss further, please let us know. Thank you and we look forward to improving our kitchen and your view.

Sincerely,

Rachael Weyand and Seth Harkness  
25 Summer Street

Hi Seth & Rachel

6-19-09

Thank you for the letter. We agree that you can reconstruct your kitchen & understand that you will access our

Revised foundation plan submitted 7/1/09. There is no footing encroachment

property & do so & that the foundation footings will encroach on property line below grade by approx 6-8 inches. we give permission for that as well. Sincerely, Pete Simon



# Demolition Call List & Requirements

Site Address: 25 SUMMER ST

Owner: SETH HARNNESS + RACHAEL WEYAND

Structure Type: WOODEN

Contractor: \_\_\_\_\_

### Utility Approvals

Utility Approvals	Number
Central Maine Power	1-800-750-4000
Northern Utilities	<del>541-2533</del>
Portland Water District	761-8310
Dig Safe	1-888-344-7233

Contact Name/Date  
Cindy Descheneff / 6-16-09  
Barbra Monti 6/16/09  
Heather Fields 6/16/09  
2009 250 4218 - PERMIT TICKET.  
 exp. (July 16. permit)

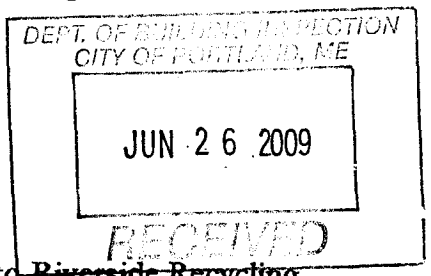
After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)	874-8891
DPW/ Sealed Drain Permit (C. Merritt)	874-8822
Historic Preservation	874-8726
Fire Dispatcher	874-8576
DEP - Environmental (Augusta)	287-2651

Lucy Cote 6/16/09  
Carol Merritt 6/16/09  
Deb Andrews 6/16/09  
Brad Williams 6/16/09  
Sandy Moody 6/16/09

### Additional Requirements

- 1) Written notice to adjoining owners
- 2) A photo of the structure(s) to be demolished
- ✓ 3) A plot plan or site plan of the property
- ✗ 4) Certification from an asbestos abatement company



All construction and demolition debris generated in Portland must be delivered to ~~Riverside Recycling~~ Facility at 910 Riverside Street. Source separated salvage materials placed in specifically designated containers are exempt from this provision. For more information contact Troy Moon @ 874-8467.

U.S. EPA Region 1 - No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk  
 US EPA Region 1 (SEA)  
 JFK Federal Building  
 Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.

Signed: [Signature]

Date: 6-18-2009

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



June 21, 2009

Dear Pete and Megan,

As we mentioned, we are planning to rebuild our kitchen this summer and we want to be sure you are aware of our building plans. In fact, the city of Portland has asked us to seek your approval of these plans before we begin to build because the proximity of our houses means that the underground footings for our new foundation – with your permission -- will extend slightly across your property line.

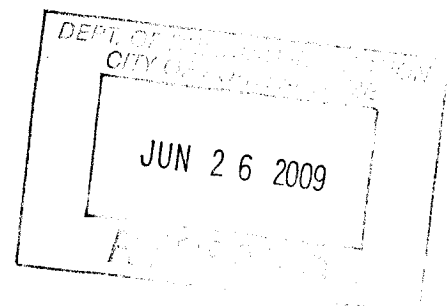
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We are including a foundation plan and a building diagram for our project to help you understand what we propose to build. If these plans are acceptable to you, we would ask that you please sign the second copy of this letter and return it to us. If there is anything about our plans that is unclear or you would like to discuss further, please let us know. Thank you and we look forward to improving our kitchen and your view.

Sincerely,

Rachael Weyand and Seth Harkness  
25 Summer Street

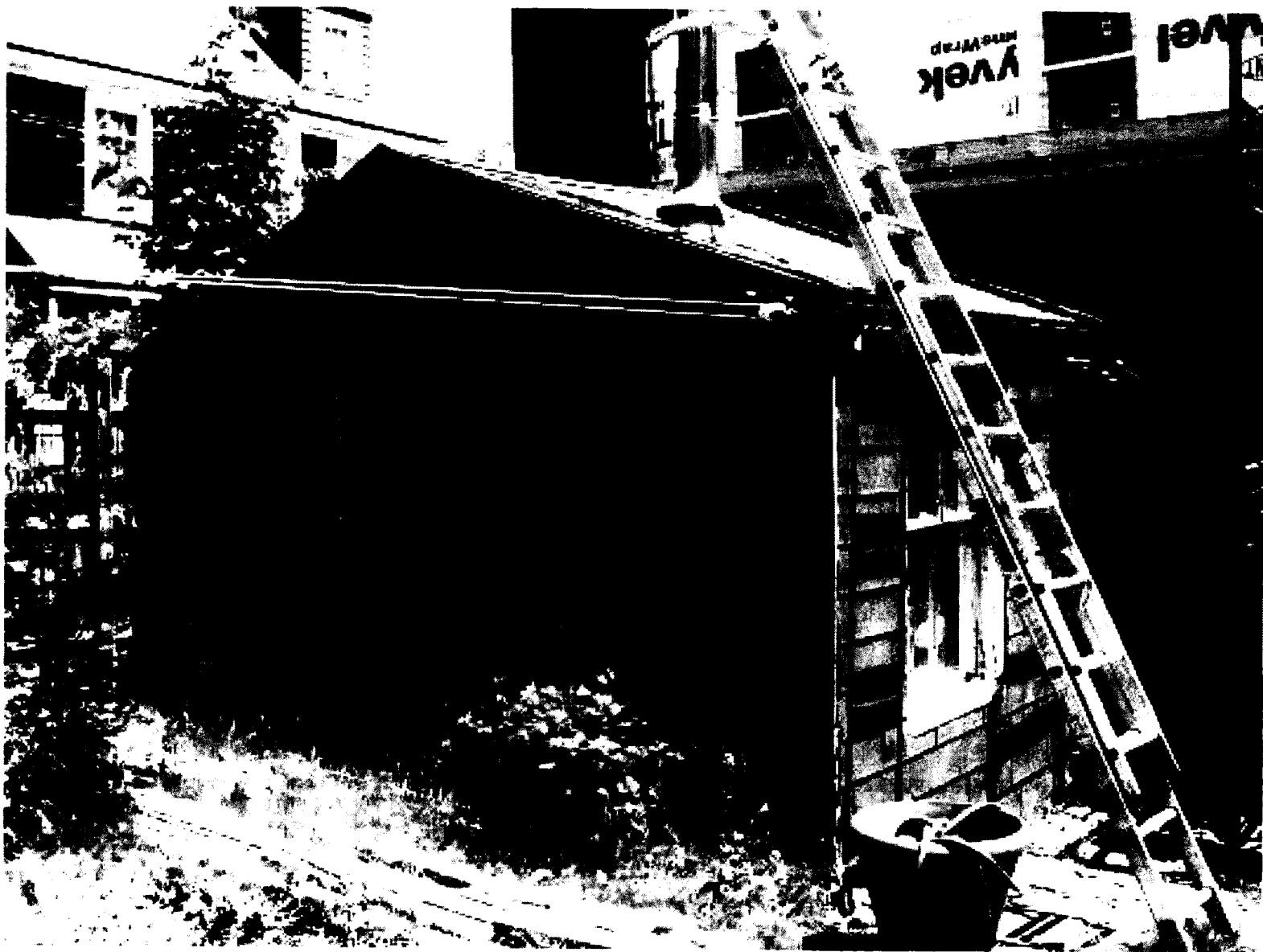




DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

JUN 26 2009





DEPT. OF PUBLIC PROTECTION  
CITY OF PORTLAND, ME

JUN 26 2009

RECEIVED

**Ann Machado - Fwd: 25 Summer Street building permit application**

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**From:** Seth Harkness <seth.harkness@gmail.com>  
**To:** <amachado@portlandmaine.gov>  
**Date:** 6/22/2009 10:10 AM  
**Subject:** Fwd: 25 Summer Street building permit application

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Hi Anne,

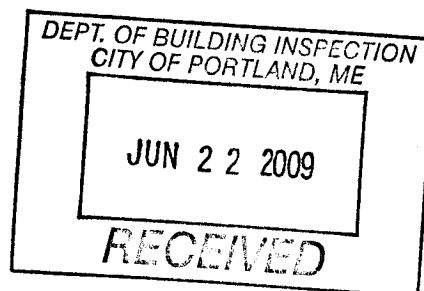
Just to confirm, the proposed addition to replace our current kitchen would measure 20 feet 6 inches by 11 feet.

The setback from our neighbor's property on the Clark Street side would be 10 feet.

The setback to the rear of the property would be 25 feet 6 inches.

Thanks,

Seth





# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

6.16. 2009

Received from

Rachel W. Jand-

Location of Work

25 Sumner St.

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ 120 Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 120

Building (I2) \_\_\_\_\_  Plumbing (I5) \_\_\_\_\_  Electrical (I2) \_\_\_\_\_  Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 58-B-13

Check #: 530 Total Collected \$ 120

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

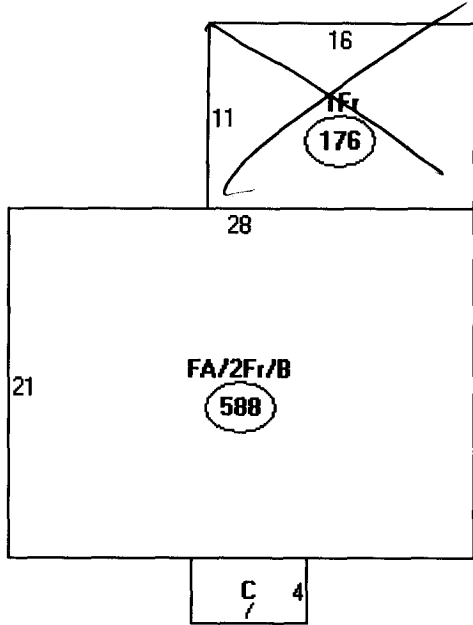
Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy









Descriptor/Area

A: FA/2Fr/B  
588 sqft

~~B: 1Fr  
176 sqft~~

C: OFF  
28 sqft

$11 \times 20.5 = 225.5 \phi$

841.5

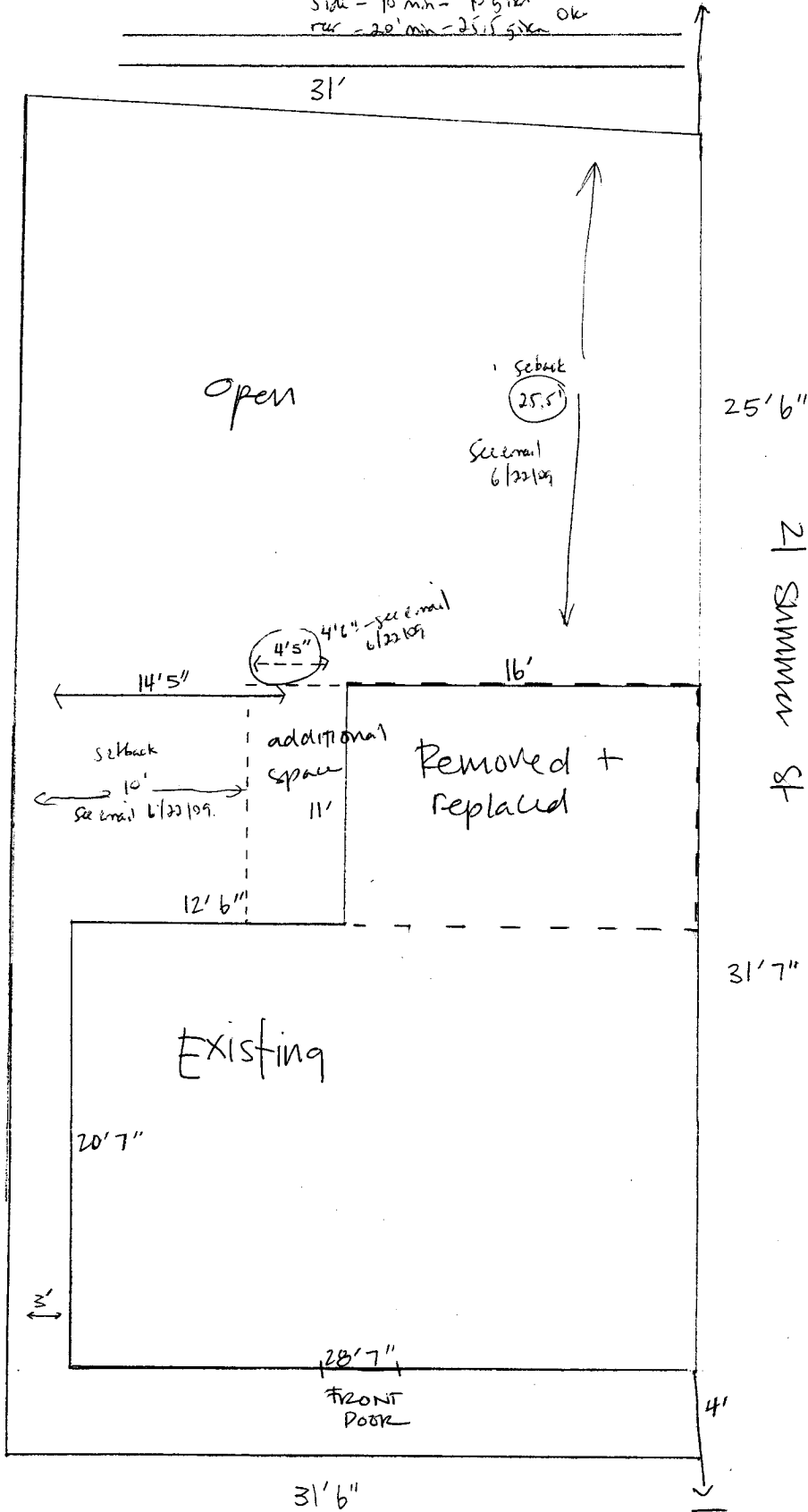
# lot Map

lot size 1817 -  
lot coverage - 50% = 908.5  
841.5 proposed OK

front - N/A  
side - 10' min - 10' given OK  
rear - 20' min - 25.5' given OK

lot line

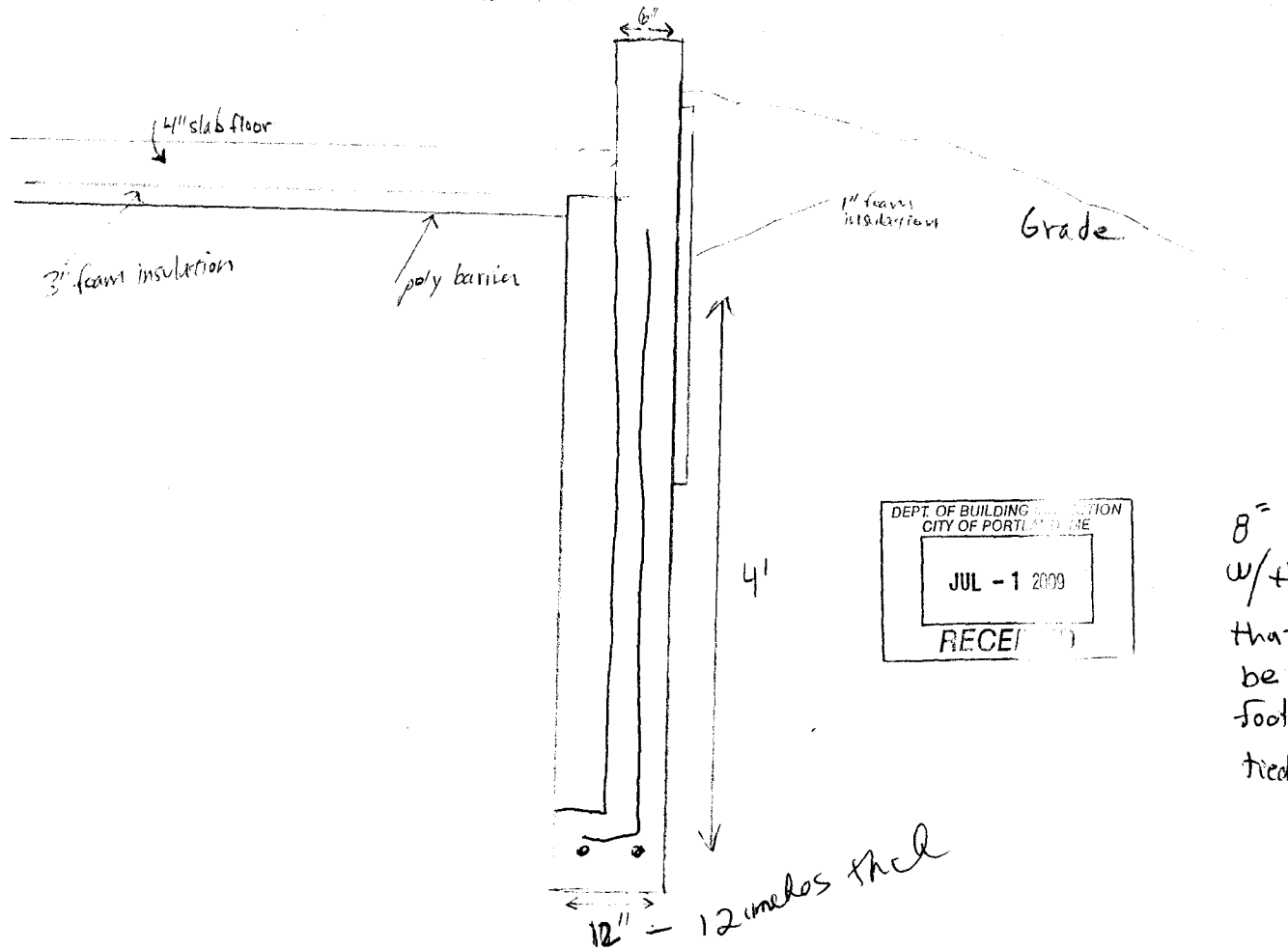
33 CLARK STREET



Summer St

lot Map

Foundation Plan, East Side

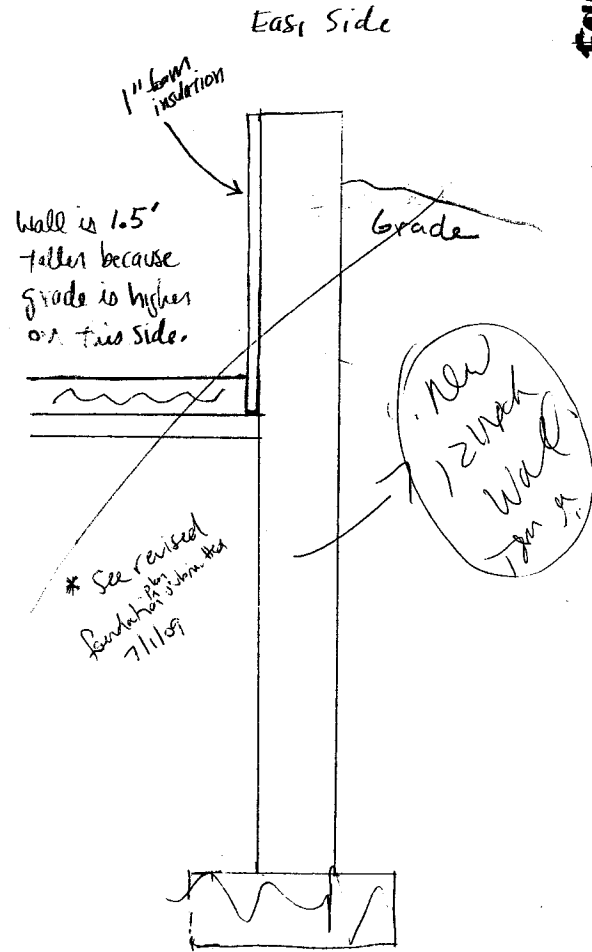
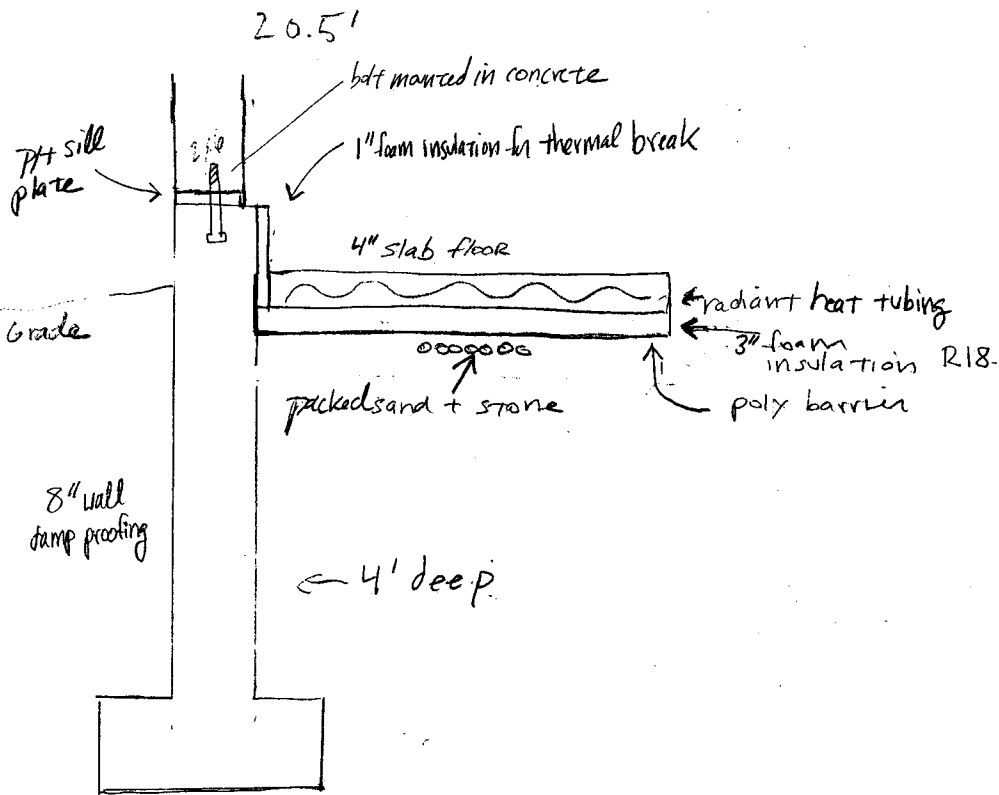
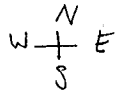
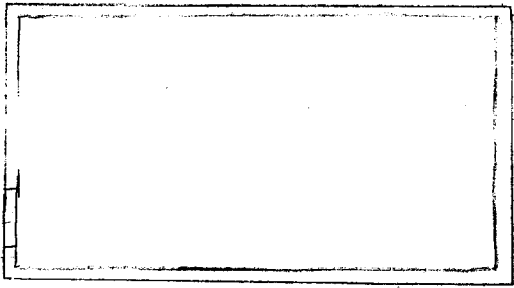


8" wall allowed  
w/ the condition  
that 2 rebar  
be added to the  
footing and rebar  
tied into 8" wall

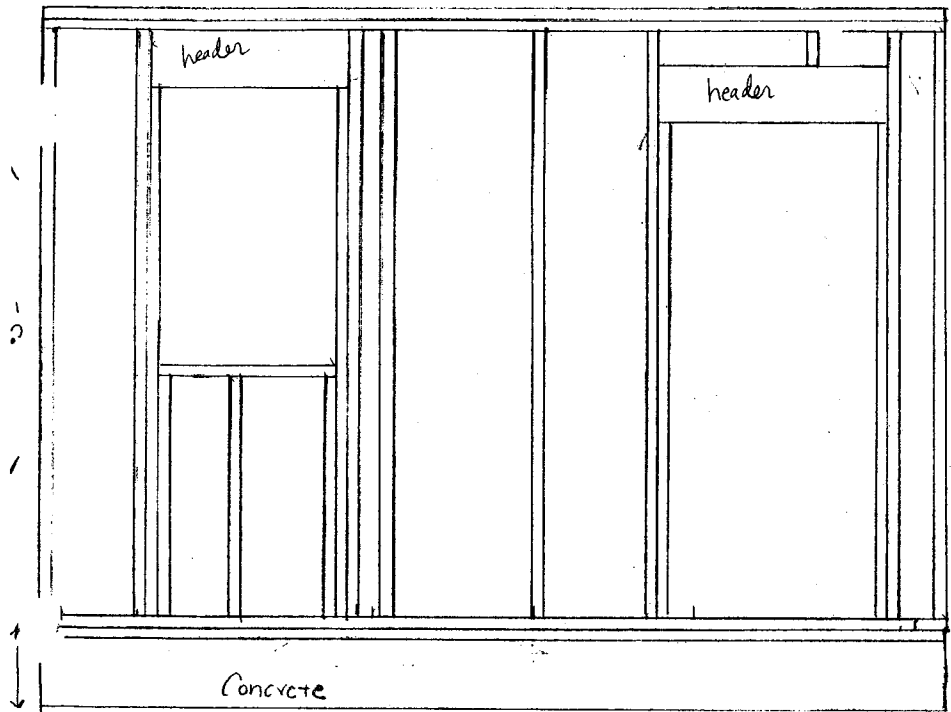
Jeth Harkness  
Michael Spand  
939-24111

25 Summer St.

Foundation Plan



West Wall



Concrete

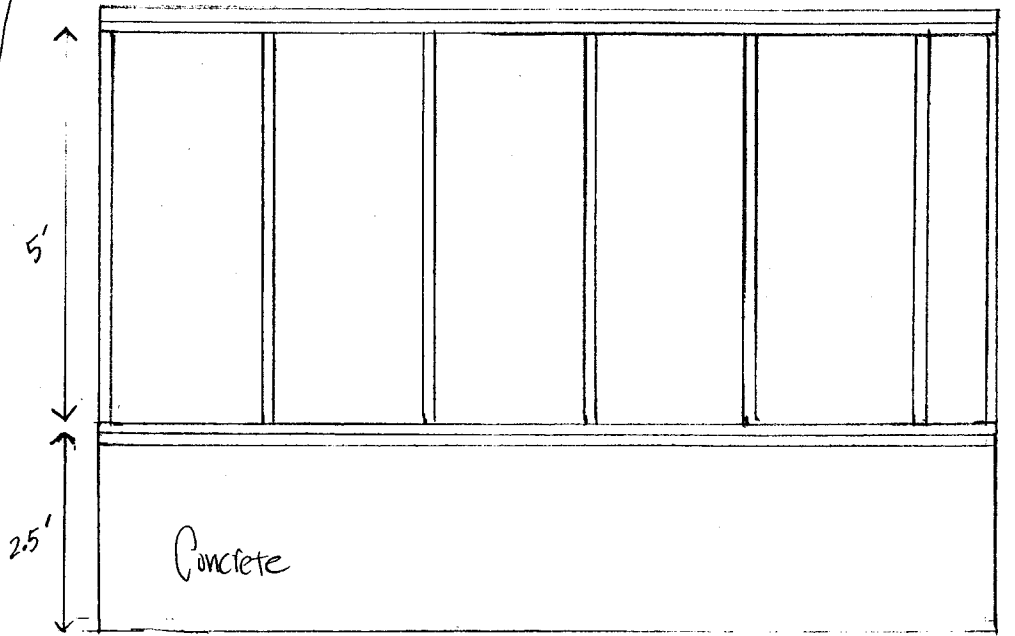
← 11' →

Framing Schedule I

2x6 construction  
 24" on center  
 R 19  
 Poly vapor barrier

PT 2x6 bottom plate  
 interlocked at corners

East Wall



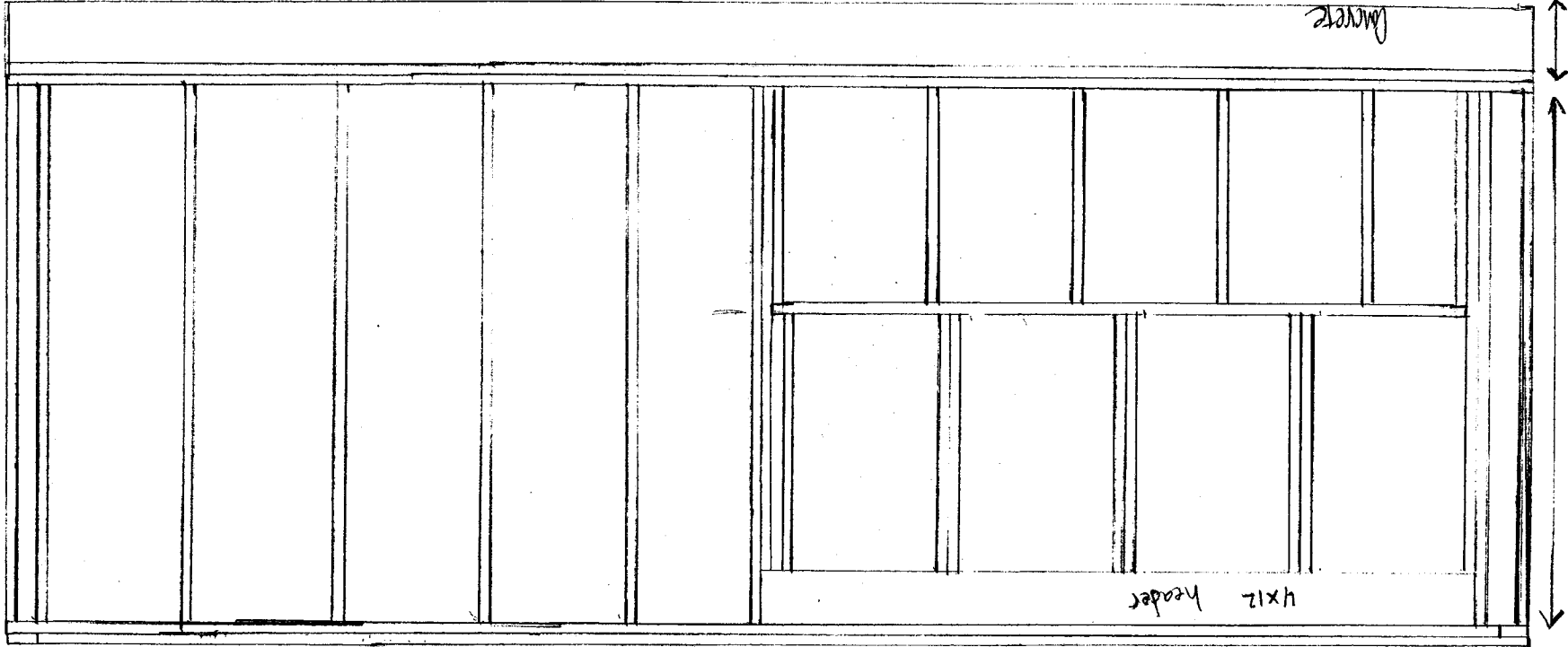
5'

25'

Concrete

FRAMING SCHED.

20.5'



Concrete

45' 6"

4x12 header

South Wall

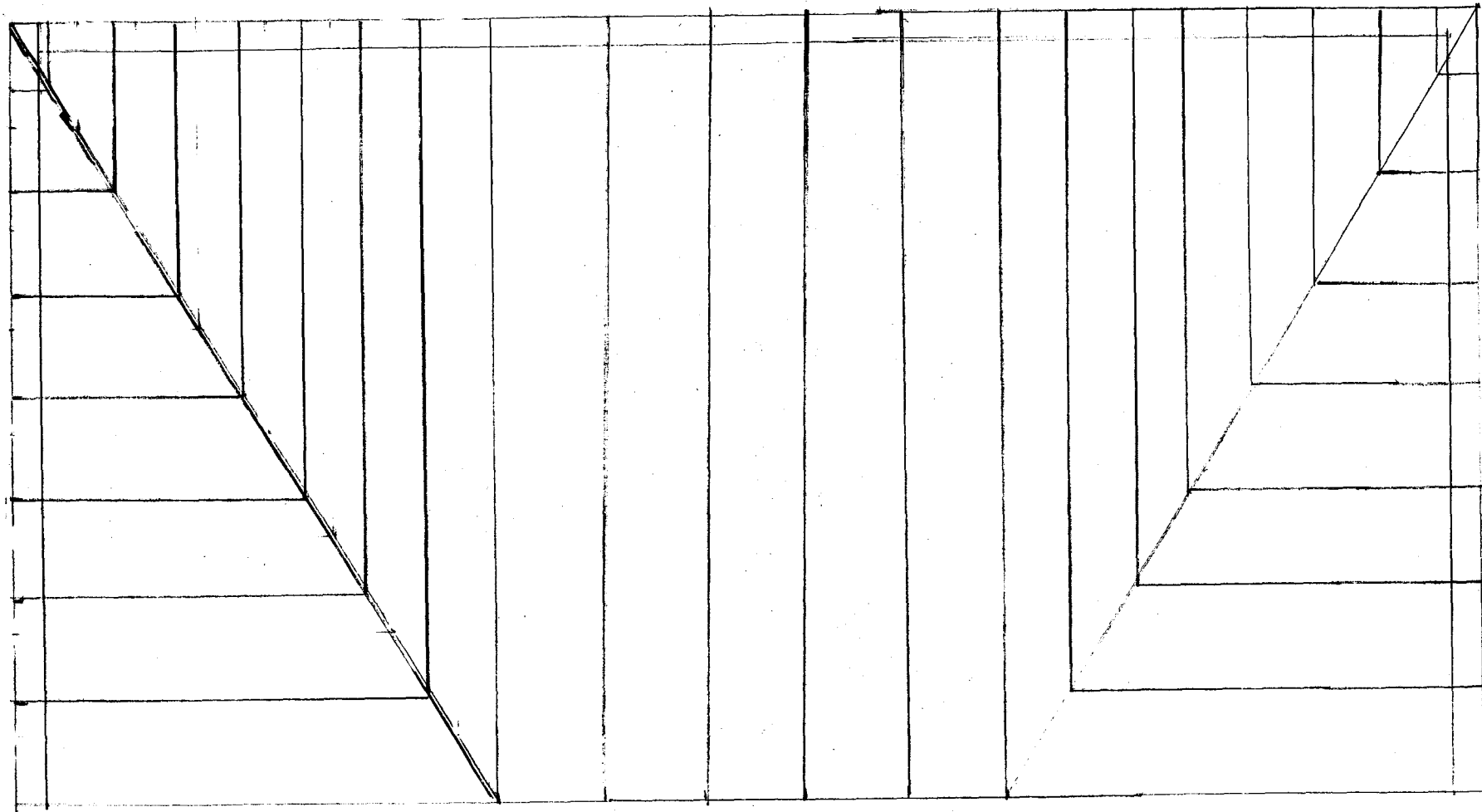
Framing Schedule #1

East

FRAMING SCHED.

Framing Schedule III

2x10 framing, 16" O.C.



11.5'

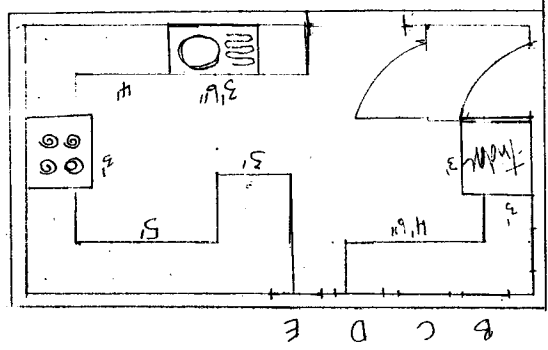
21.5'

10" cellulose insulation  
R 40

FRAMING SCHEDULE

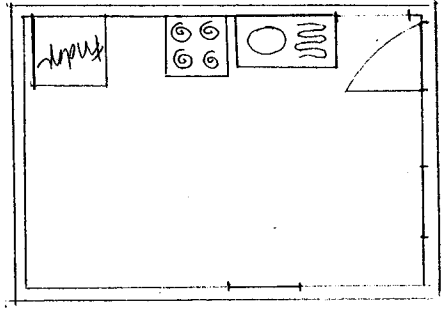
FLOOR PLAN

20.5



proposed

16

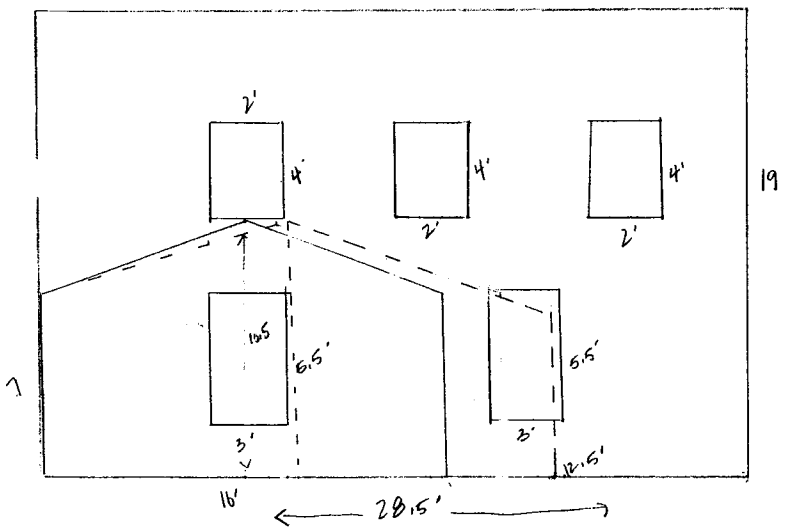


existing

Floor plans

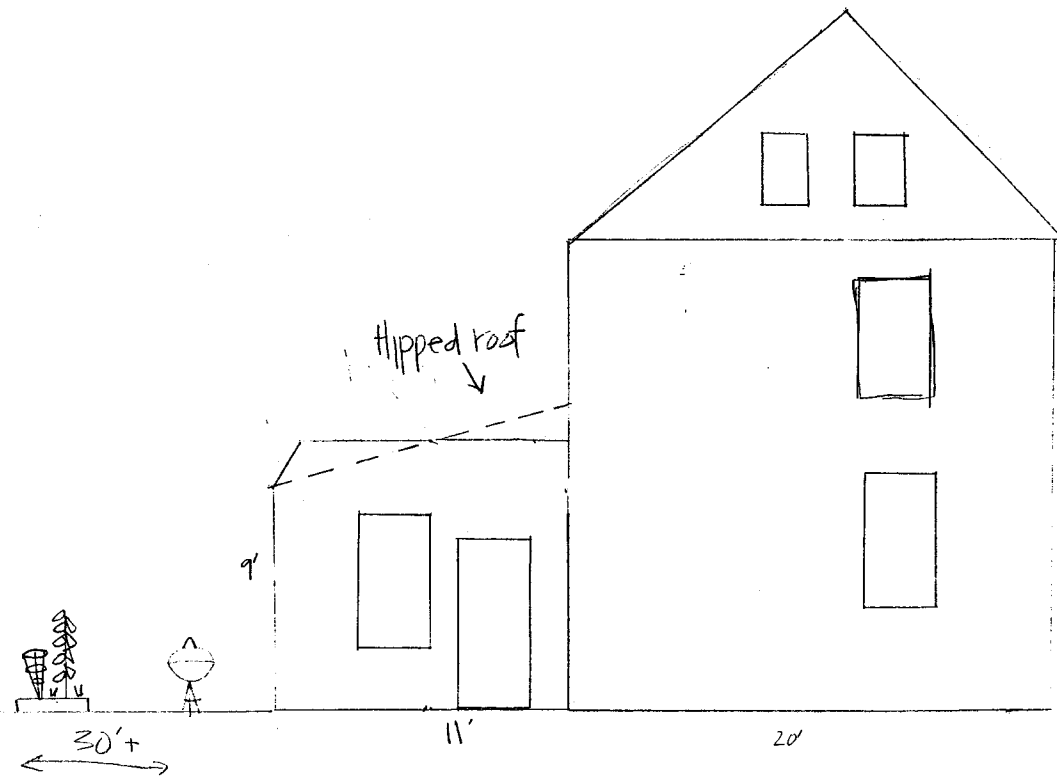


# House elevations (proposed + existing)



→  
property  
line

# East side elevation (proposed + existing)



elevations