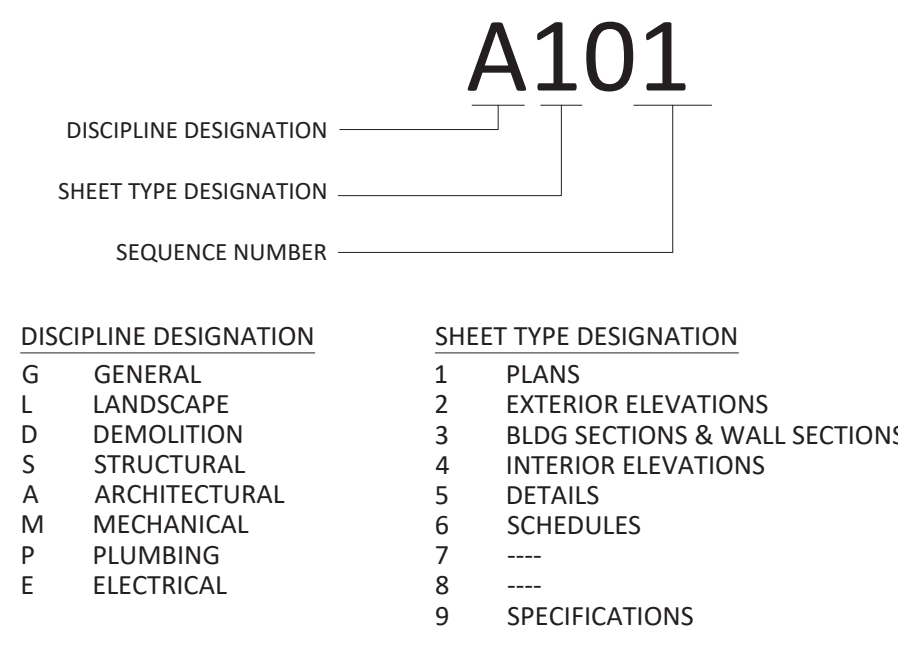


**ABBREVIATIONS**

AFF	ABOVE FINISH FLOOR
B.O.	BOTTOM OF
BSMT	BASEMENT
CL	CENTER LINE
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
ELEV	ELEVATION
EXT	EXTERIOR
EXT'G	EXISTING
FDN	FOUNDATION
FL	FLOOR
FTG	FOOTING
INT	INTERIOR
M.R.	MOISTURE RESISTANT
O.A.	OVERALL
O.D.	OUTSIDE DIAMETER
P.T.	PRESSURE TREATED
R.O.	ROUGH OPENING
SIM.	SIMILAR
T.O.	TOP OF
T.O.F.	TOP FOOTING
T.O.W.	TOP OF WALL
TYP.	TYPICAL
TTW	TO THE WEATHER
U.N.O.	UNLESS NOTED OTHERWISE
W/	WITH
WD	WOOD

**SHEET LEGEND**

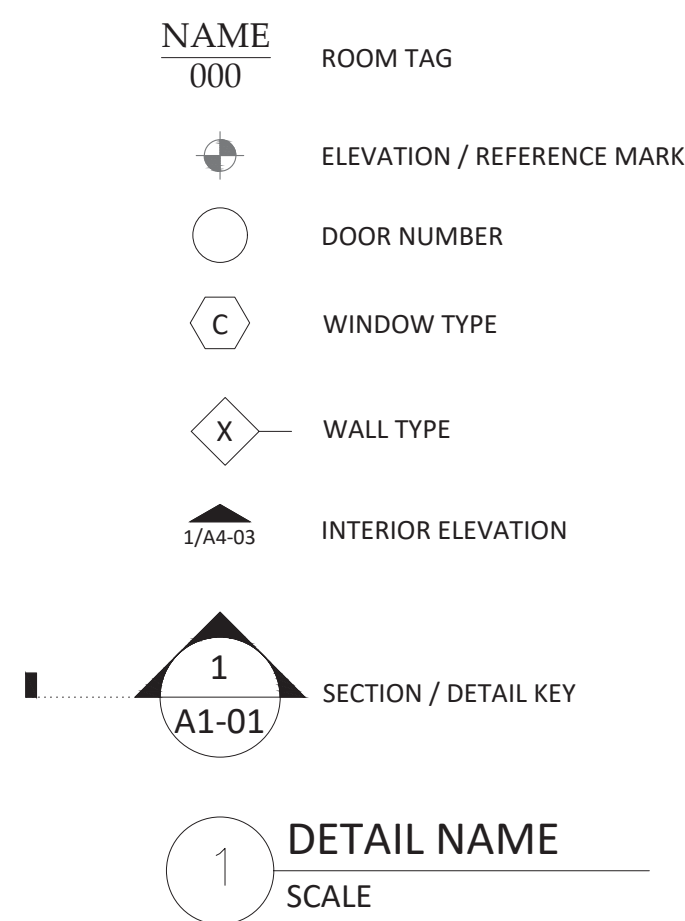


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THESE DRAWINGS ARE FOR DESIGN INTENT ONLY AND SHOULD NOT BE RELIED UPON FOR BUILDING PURPOSES UNLESS STAMPED "FOR CONSTRUCTION".

THESE DRAWINGS DO NOT CONTAIN COMPLETE CONSTRUCTION DETAILING. ANY PERSON OR FIRM USING THESE DRAWINGS FOR CONSTRUCTION MUST TAKE RESPONSIBILITY FOR CONSTRUCTION METHODS, MATERIALS AND PRACTICES. ANY ERRORS AND INCONSISTENCIES WITHIN THESE PLANS OR BETWEEN THE PLANS AND EXISTING CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGNERS. EXISTING CONDITIONS MAY REQUIRE A CHANGE IN STRUCTURAL MATERIALS AND INSTALLATION INDICATED IN THESE PLANS. THE BUILDER AND OWNER ARE FULLY RESPONSIBLE FOR ANY SUCH CHANGES. RESPONSIBILITY FOR EXECUTION OF THE INTENDED DESIGN RESTS SOLELY ON THE OWNERS AND THEIR CONTRACTOR AND SO RELEASES MICHAEL MAINES RESIDENTIAL DESIGN FROM ANY SUCH CLAIMS.

**TYPICAL SYMBOLS**



**CODE**

DESIGNED TO MEET INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, 2009

# The Villani House

20 Salem Street - Portland, Maine 04102

OWNERS:  
ALLISON & JAY VILLANI  
20 SALEM ST.  
PORTLAND, MAINE 04102

DESIGN:  
MICHAEL MAINES RESIDENTIAL DESIGN  
336 NORTH PALERMO ROAD  
PALERMO, MAINE 04354

SOILS ENGINEER:  
N/A

STRUCTURAL ENGINEER:  
TONY DUMAIS, P.E.  
CASCO BAY ENGINEERING  
424 FORE STREET  
PORTLAND, ME 04110

PROJECT DESCRIPTION:  
REMOVE EXISTING ROOF OF 2-STORY BUILDING TO CONSTRUCT FULL HEIGHT 3RD FLOOR WITH NEW ROOF TO MATCH THE EXISTING ROOF. NEW 3RD FLOOR TO INCLUDE A NEW STAIRCASE, STUDIO, FULL BATH, MASTER BEDROOM, WALK-IN-CLOSET, SITTING AREA, AND BALCONY.

LOT DESCRIPTION:  
CBL: 058 8003001  
LOCATION: PORTLAND, ME  
BOOK/PAGE: 31797/152  
ZONE: R6

**WALL TYPES**

A		T+G ACETYLATED WOOD SIDING, 1/2" RAINSCREEN, WRB, 7/16" ZIP SHEATHING/AIR BARRIER, DOUBLE 2X4 STUD WALL @ 24" O.C. WITH DENSE-PACK CELLULOSE (R-30), 1/2" DRYWALL WITH LATEX PAINT
A2		T+G ACETYLATED WOOD SIDING, 1/2" RAINSCREEN, WRB, 7/16" ZIP SHEATHING/AIR BARRIER, 2X6 STUDS @ 24" O.C., 2X3 HORIZONTAL STRAPPING @ 16" O.C., DENSE-PACK CELLULOSE (R-24), 1/2" DRYWALL WITH LATEX PAINT
B		1/2" G.W.B., 2X4 @ 24" O.C. FRAMING, 1/2" G.W.B.
B2		1/2" SOUND-CONTROL G.W.B., 2X4 @ 24" O.C. FRAMING, SOUNDPROOFING INSULATION, 1/2" SOUND-CONTROL G.W.B., TITEBOND GREENCHOICE @ TOP AND BO. PLATES
C		1/2" G.W.B., 2X6 @ 24" O.C. FRAMING, 1/2" G.W.B.
C2		1/2" SOUND-CONTROL G.W.B., 2X6 @ 24" O.C. FRAMING, SOUNDPROOFING INSULATION, 1/2" SOUND-CONTROL G.W.B., TITEBOND GREENCHOICE @ TOP AND BO. PLATES

**SHEET LIST**

1	G101	COVER SHEET
2	G601	SCHEDULES
4	L101	SITE PLAN
5	A101	DEMOLITION PLANS
6	A201	DEMOLITION EXTERIOR ELEVATIONS
7	A102	FIRST AND SECOND FLOOR PLANS
8	A103	THIRD FLOOR PLAN + ROOF PLAN
9	A202	EXTERIOR ELEVATIONS - N + W
10	A203	EXTERIOR ELEVATIONS - S + E
11	A301	BUILDING SECTION
12	A302	BUILDING SECTION @ BALCONY
13	A401	INTERIOR ELEVATIONS
14	S101	FOUND. + FIRST FLR FRAMING PLANS
15	S102	THIRD FLOOR + ROOF FRAMING PLANS
16	E101	ELECTRICAL PLANS
17	M101	MECHANICAL PLANS

**VICINITY MAP**

