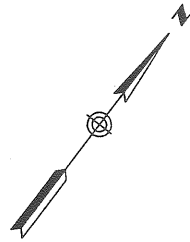


57-J-25

35 Salem St

Salem St #35

Latham, Donna

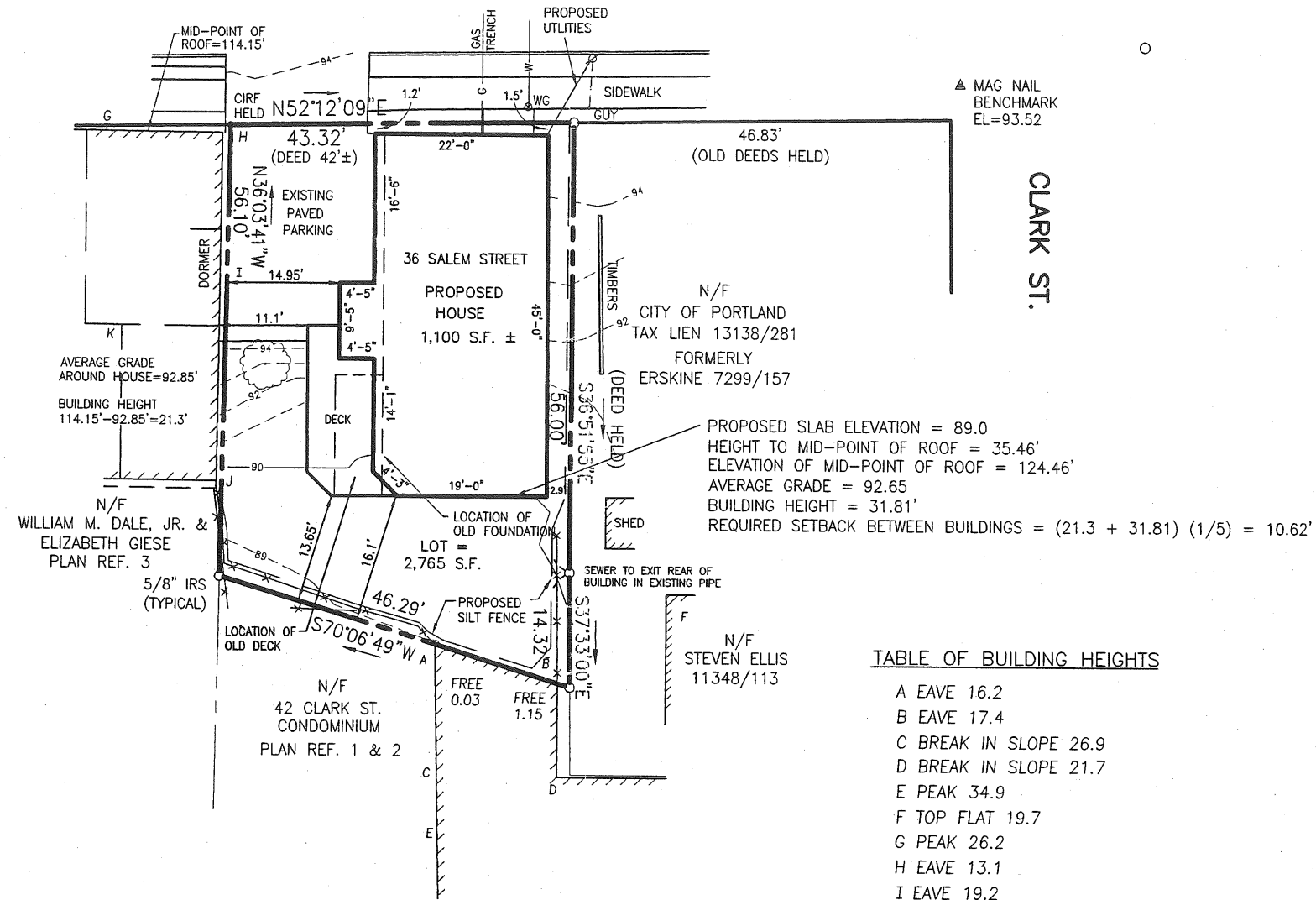


○ APPROXIMATE HYDRANT

RIM=94.44
INV.=86.84

SALEM STREET

PAVED - PUBLIC 49.5' WIDE



▲ MAG NAIL BENCHMARK
EL=93.52

CLARK ST.

PROPOSED SLAB ELEVATION = 89.0
HEIGHT TO MID-POINT OF ROOF = 35.46'
ELEVATION OF MID-POINT OF ROOF = 124.46'
AVERAGE GRADE = 92.65
BUILDING HEIGHT = 31.81'
REQUIRED SETBACK BETWEEN BUILDINGS = $(21.3 + 31.81) (1/5) = 10.62'$

TABLE OF BUILDING HEIGHTS

A EAVE	16.2
B EAVE	17.4
C BREAK IN SLOPE	26.9
D BREAK IN SLOPE	21.7
E PEAK	34.9
F TOP FLAT	19.7
G PEAK	26.2
H EAVE	13.1
I EAVE	19.2
J EAVE	18.0
K BACK RIDGE ABOVE PAVED PARKING	21.3

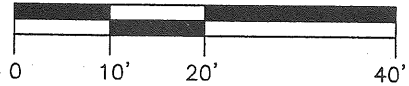
PLAN REFERENCE:

"BOUNDARY SURVEY ON SALEM STREET, PORTLAND, MAINE MADE FOR JO ELLEN COYNE AUGUST 03, 2007, OWEN HASKELL, INC." REVISED 10-24-07.

LEGEND:

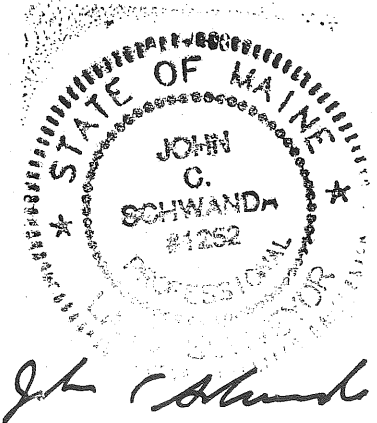
- CAPPED IRON ROD FOUND
- ⊗ WATER VALVE
- ⊘ UTILITY POLE
- SEWER MANHOLE
- × × × FENCE
- ==== CURB
- 90 — 1' CONTOUR

GRAPHIC SCALE

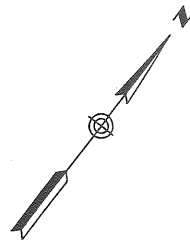


NOTES:

1. OWNER OF RECORD: JO ELLEN COYNE, 197 PINE STREET, APT. 16, PORTLAND, MAINE CCRD BOOK 12887 PAGE 265.
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5. LOCUS IS IN R6 ZONE.



SITE PLAN		
AT		
36 SALEM STREET, PORTLAND, MAINE		
MADE FOR		
JO ELLEN COYNE		
OWEN HASKELL, INC.		
390 Route One, Falmouth, ME 04105 (207)774-0424		
Drwn By	JCS	Date 2/26/08
Job No.	07-123P	Drwg. No. 1
Check By	JCS	Scale 1" = 20'

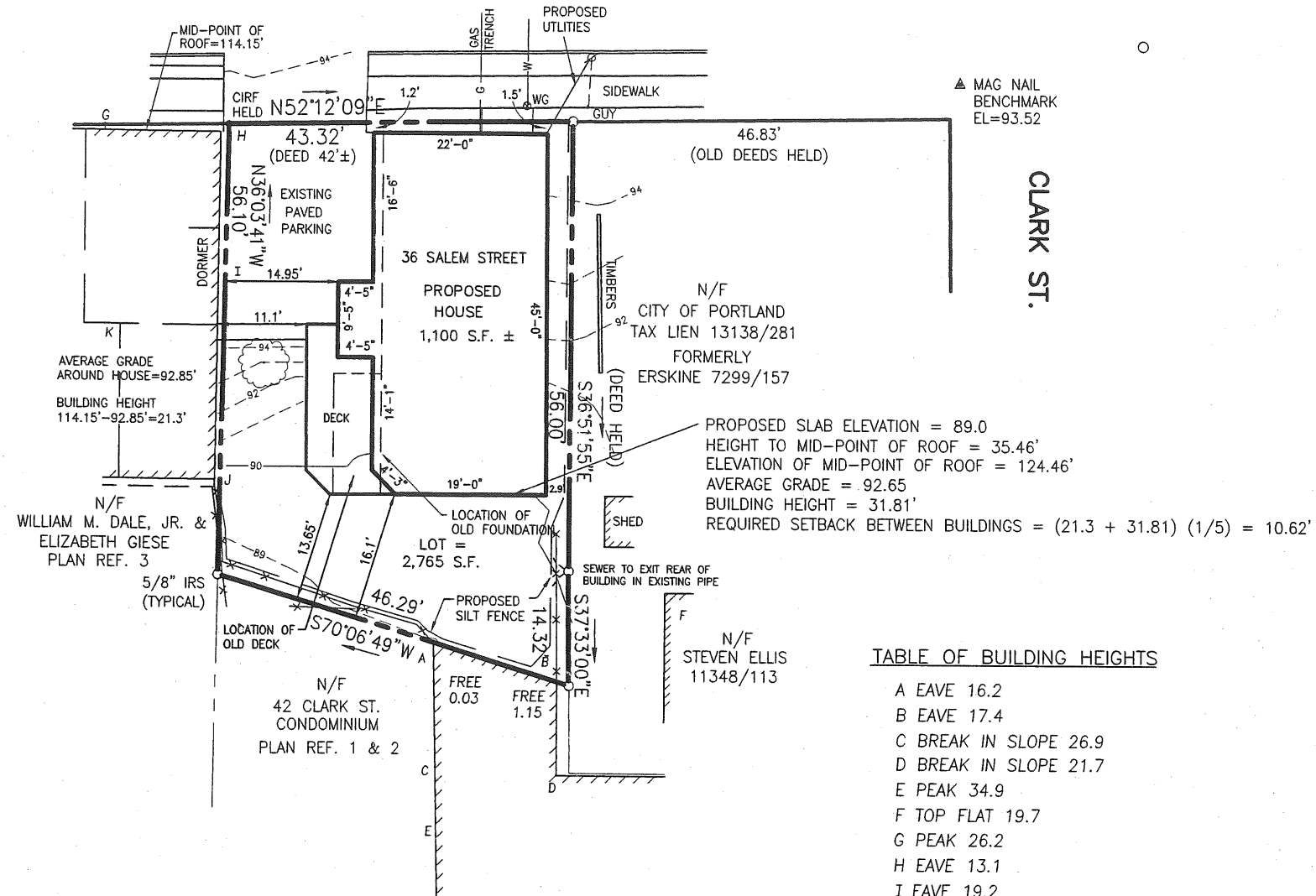


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SALEM STREET

PAVED - PUBLIC 49.5' WIDE



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H	EAVE	13.1
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J	EAVE	18.0
K	BACK RIDGE ABOVE PAVED PARKING	21.3

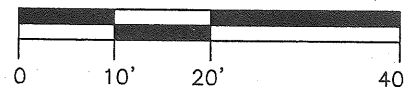
PLAN REFERENCE:

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LEGEND:

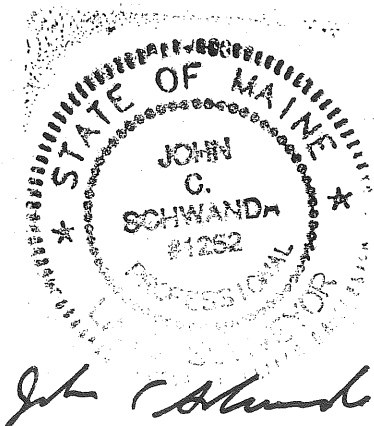
- CAPPED IRON ROD FOUND
- ⊗ WATER VALVE
- ⊙ UTILITY POLE
- SEWER MANHOLE
- x — FENCE
- ==== CURB
- 90 — 1' CONTOUR

GRAPHIC SCALE



NOTES:

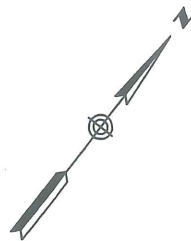
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SITE PLAN
AT
36 SALEM STREET, PORTLAND, MAINE
MADE FOR
JO ELLEN COYNE

OWEN HASKELL, INC.
390 Route One, Falmouth, ME 04105 (207)774-0424

Drwn By	JCS	Date	2/26/08	Job No.	07-123P
Check By	JCS	Scale	1" = 20'	Drwg. No.	1

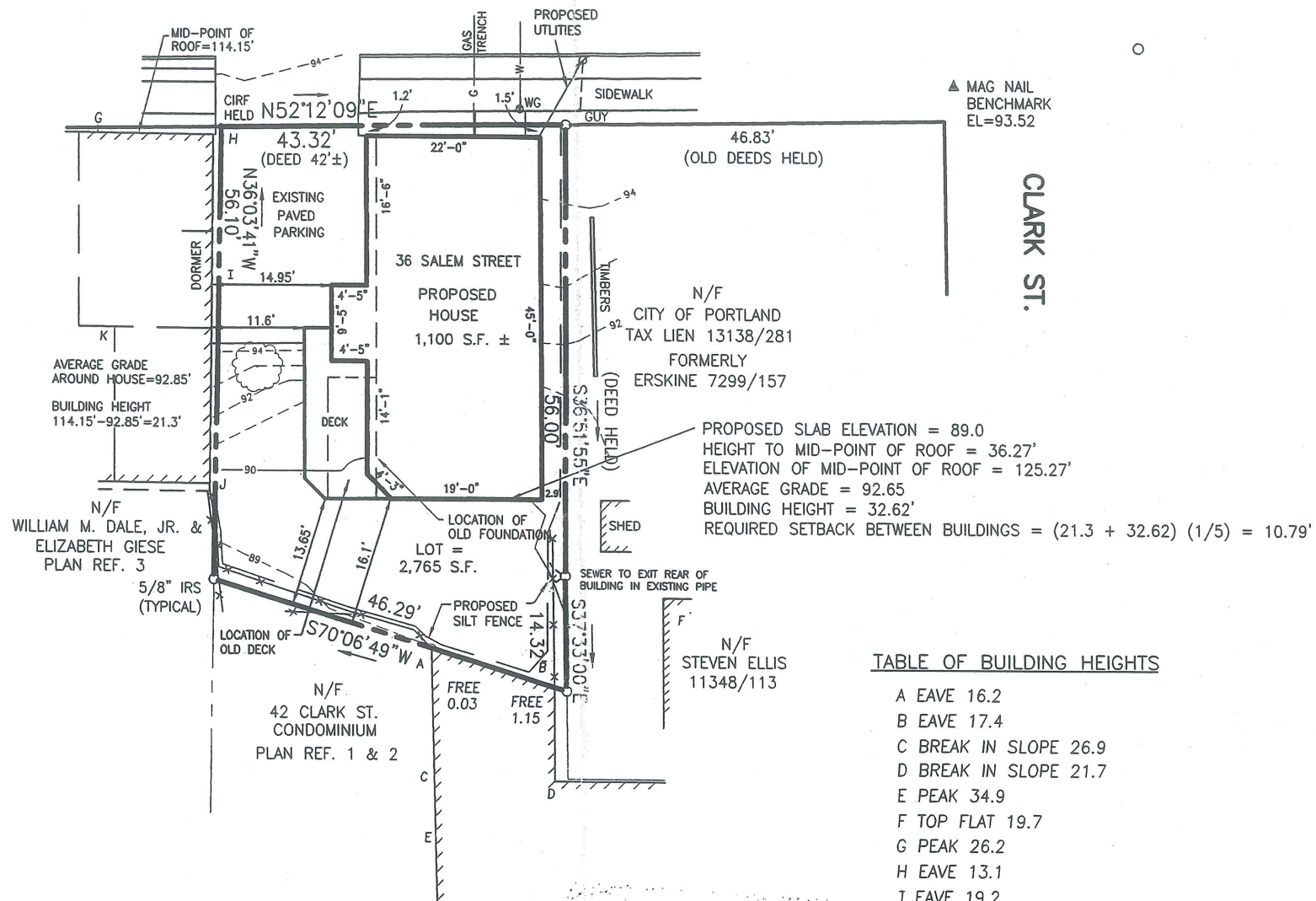


○ APPROXIMATE HYDRANT

RIM=94.44
INV.=86.84

SALEM STREET

PAVED - PUBLIC 49.5' WIDE



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ELEVATION OF MID-POINT OF ROOF = 125.27'
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J	EAVE	18.0
K	BACK RIDGE ABOVE PAVED PARKING	21.3

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 3-24-08

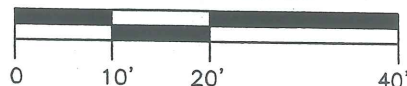
PLAN REFERENCE:

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LEGEND:

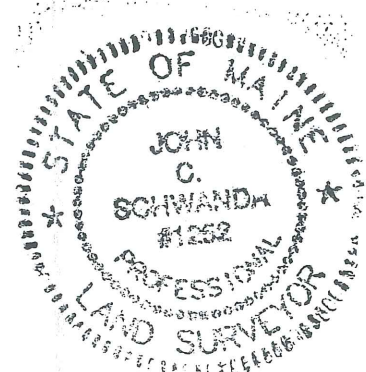
- CAPPED IRON ROD FOUND
- ⊗ WATER VALVE
- ⊘ UTILITY POLE
- SEWER MANHOLE
- *—*— FENCE
- ==== CURB
- 90— 1' CONTOUR

GRAPHIC SCALE



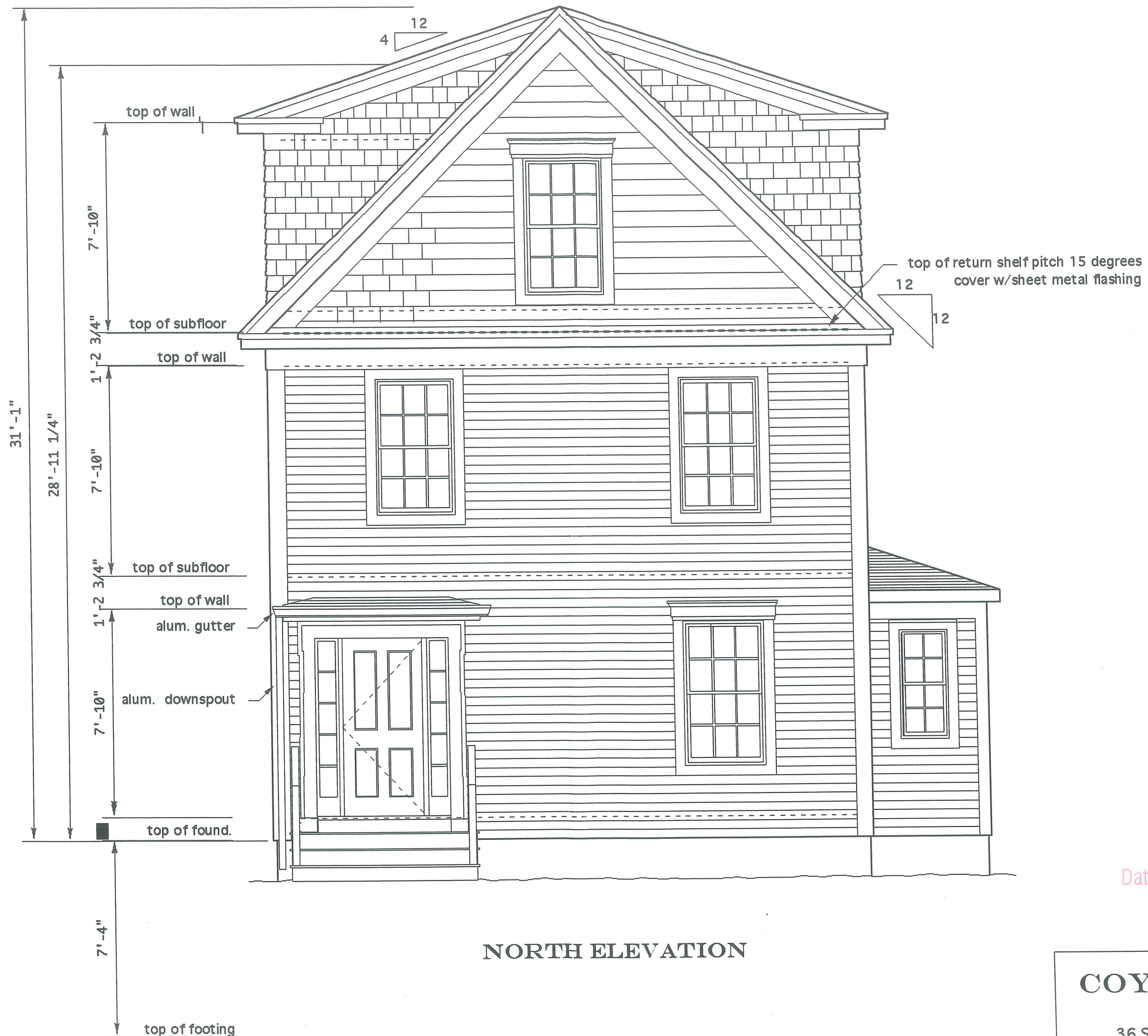
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5. LOCUS IS IN R6 ZONE.



John C. Schwanda

SITE PLAN		
AT		
36 SALEM STREET, PORTLAND, MAINE		
MADE FOR		
JO ELLEN COYNE		
OWEN HASKELL, INC.		
390 Route One, Falmouth, ME 04105 (207)774-0424		
Drwn By	JCS	Date 3/04/08
Job No.	07-123P	Drwg. No.
1		
Check By	JCS	Scale 1" = 20'



NORTH ELEVATION

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 3-24-08

COYNE RESIDENCE

36 SALEM STREET PORTLAND
 SCALE: 1/4"=1'-0" MARCH 4, 2008



SOUTH ELEVATION

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 3-24-08

COYNE RESIDENCE

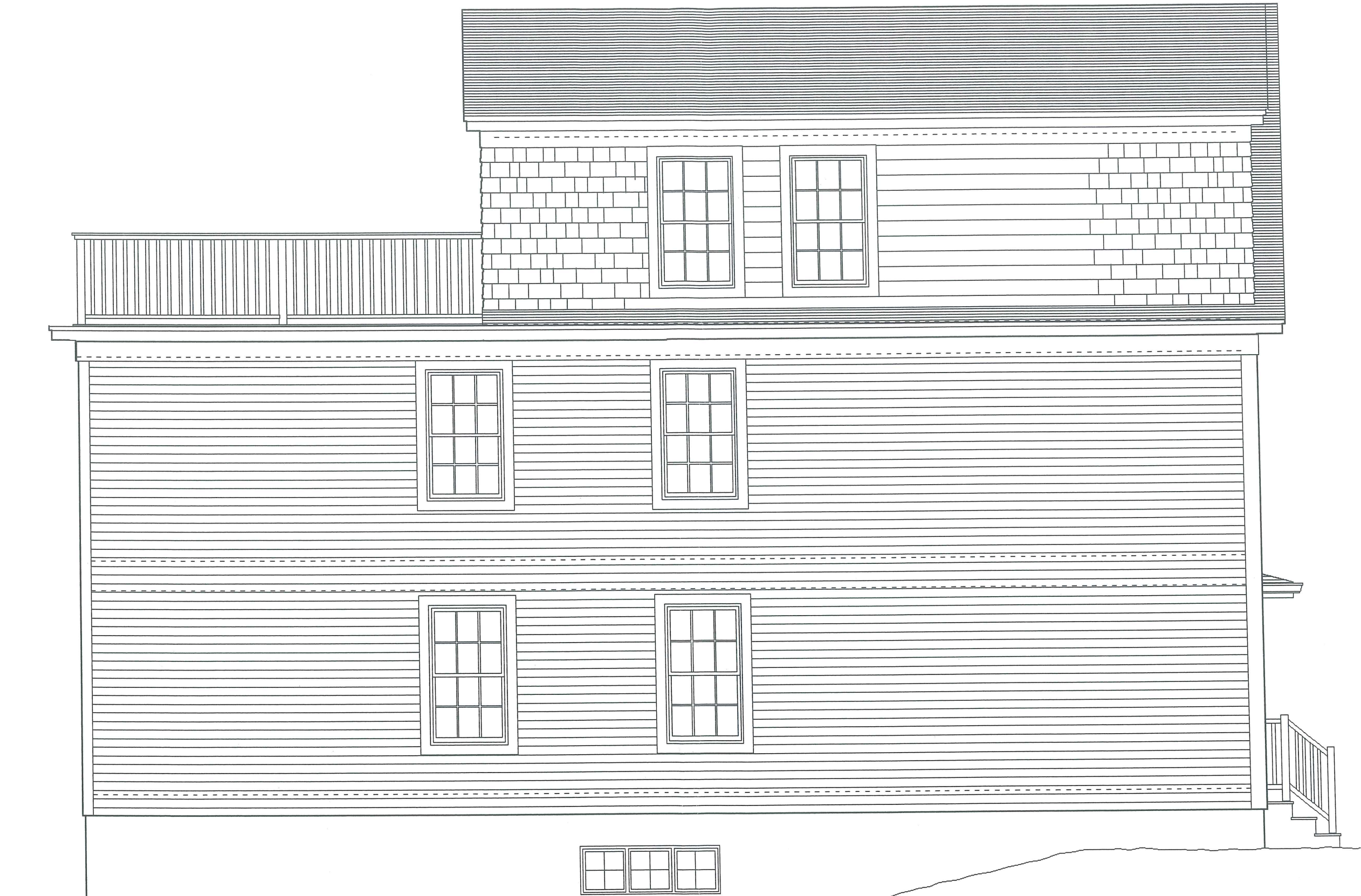
36 SALEM STREET PORTLAND
 SCALE: 1/4"=1'-0" MARCH 4, 2008

COYNE RESIDENCE
36 SALEM STREET PORTLAND
SCALE: 1/4"=1'-0" MARCH 4, 2008



WEST ELEVATION

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 3-24-08

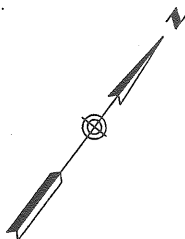


EAST ELEVATION

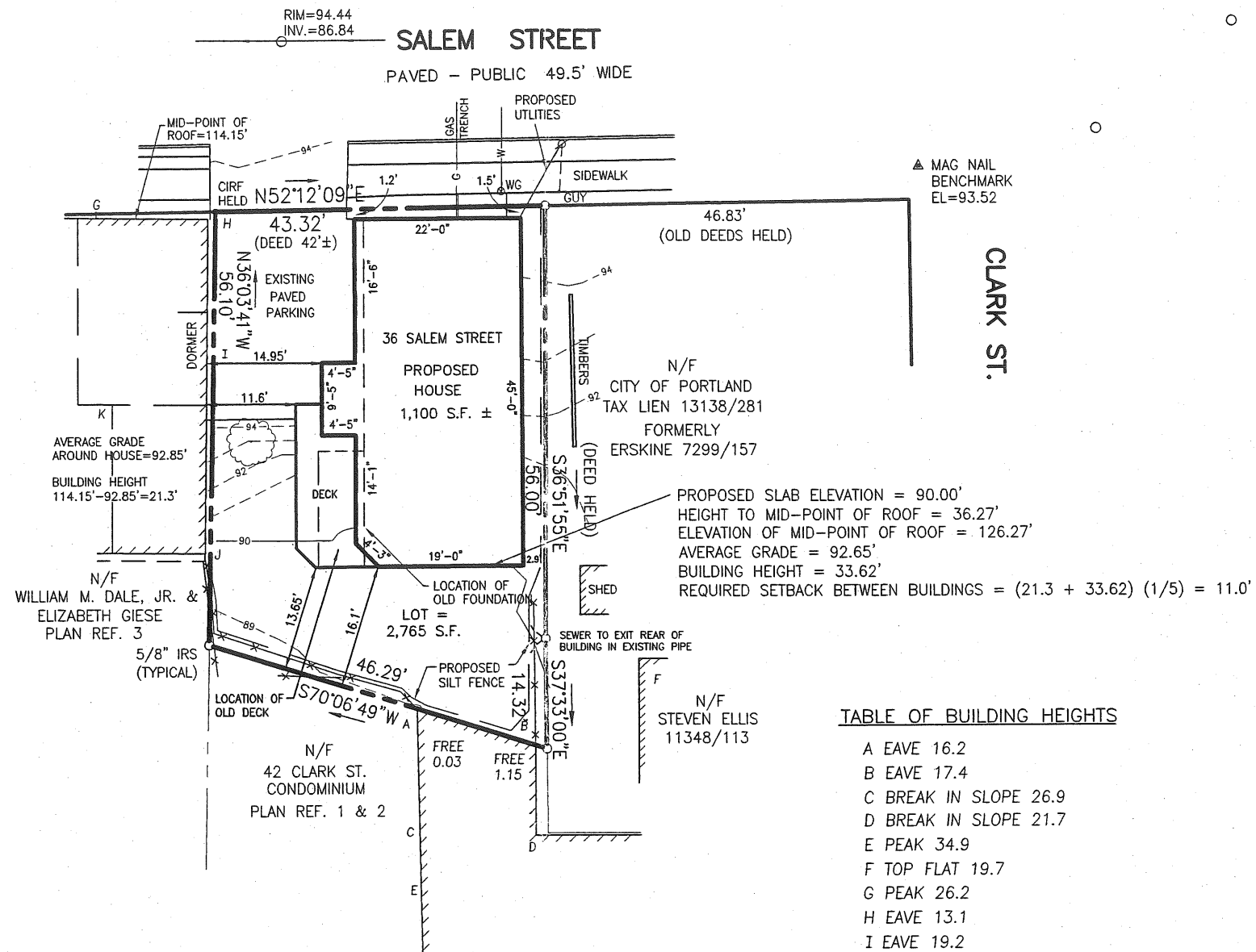
CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 3-24-08

COYNE RESIDENCE

36 SALEM STREET PORTLAND
SCALE: 1/4"=1'-0" MARCH 4, 2008



○ APPROXIMATE HYDRANT



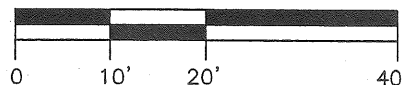
PLAN REFERENCE:

"BOUNDARY SURVEY ON SALEM STREET, PORTLAND, MAINE MADE FOR JO ELLEN COYNE AUGUST 03, 2007, OWEN HASKELL, INC." REVISED 10-24-07.

LEGEND:

- CAPPED IRON ROD FOUND
- ⊗ WATER VALVE
- ⊘ UTILITY POLE
- SEWER MANHOLE
- *—*— FENCE
- ==== CURB
- 90— 1' CONTOUR

GRAPHIC SCALE

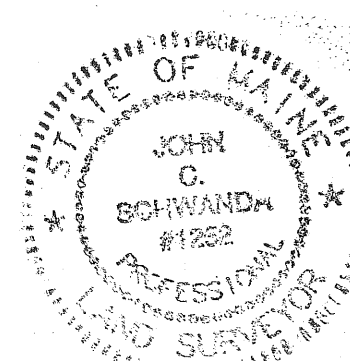


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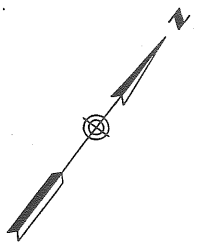
TABLE OF BUILDING HEIGHTS

- A EAVE 16.2
- B EAVE 17.4
- C BREAK IN SLOPE 26.9
- D BREAK IN SLOPE 21.7
- E PEAK 34.9
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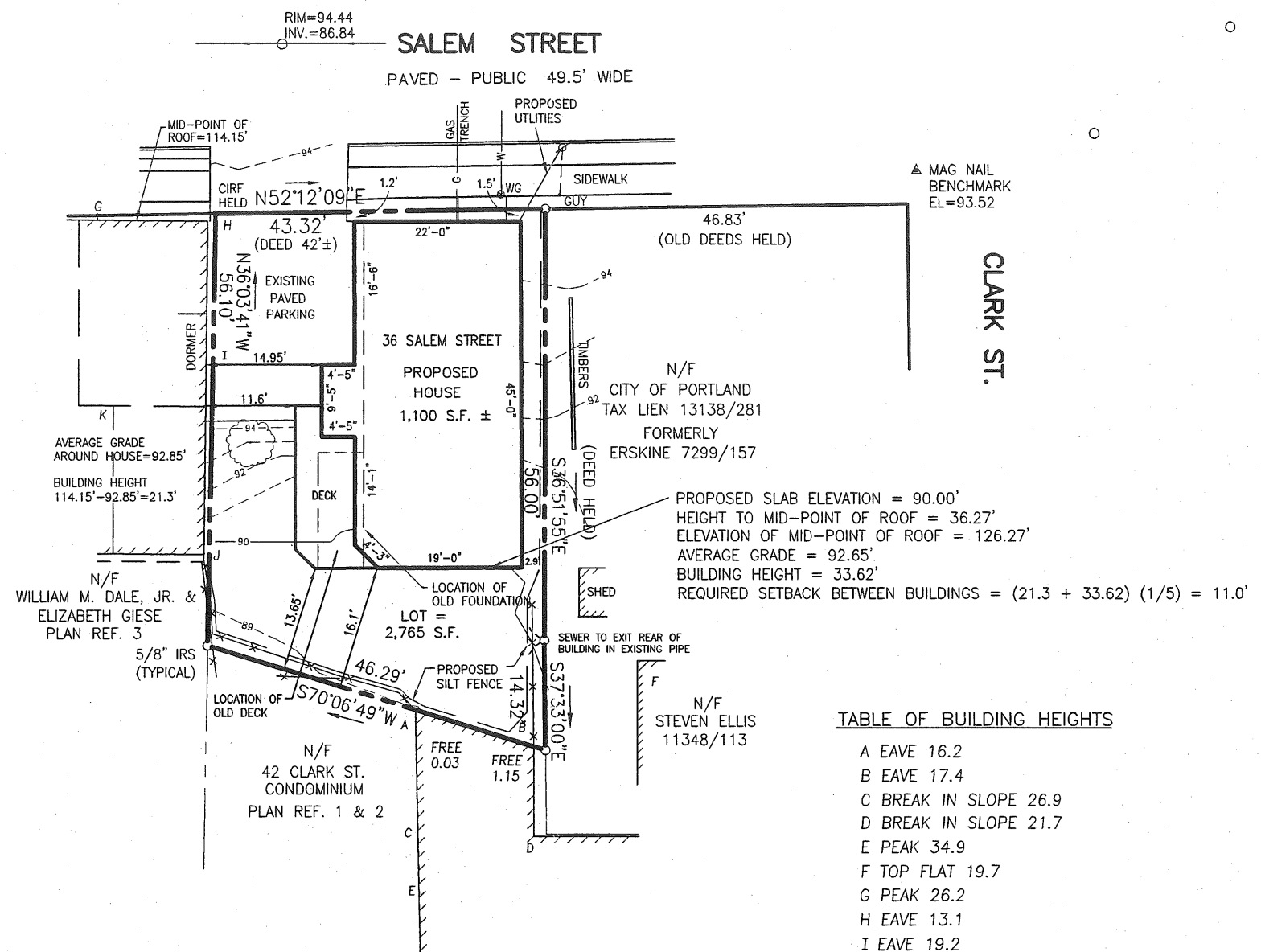


John C. Schwanha

04/04/08			REVISED PROPOSED ELEVATIONS
SITE PLAN AT 36 SALEM STREET, PORTLAND, MAINE MADE FOR JO ELLEN COYNE			
OWEN HASKELL, INC. 390 Route One, Falmouth, ME 04105 (207)774-042			
Drwn By	JCS	Date	3/04/08
Check By	JCS	Scale	1" = 20'
Job No.	07-123P		Drwg. No.
			1



○ APPROXIMATE HYDRANT



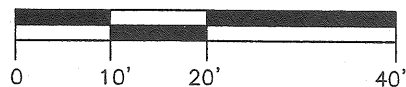
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LEGEND:

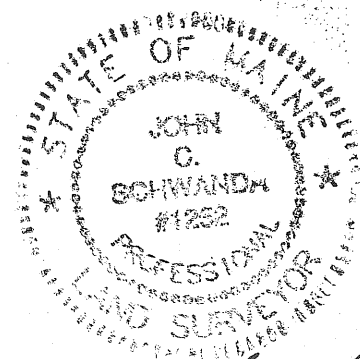
- CAPPED IRON ROD FOUND
- ⊗ WATER VALVE
- ⊙ UTILITY POLE
- SEWER MANHOLE
- x — FENCE
- ==== CURB
- 90 — 1' CONTOUR

GRAPHIC SCALE



NOTES:

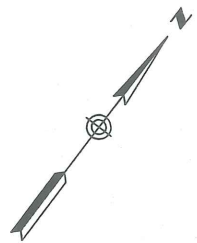
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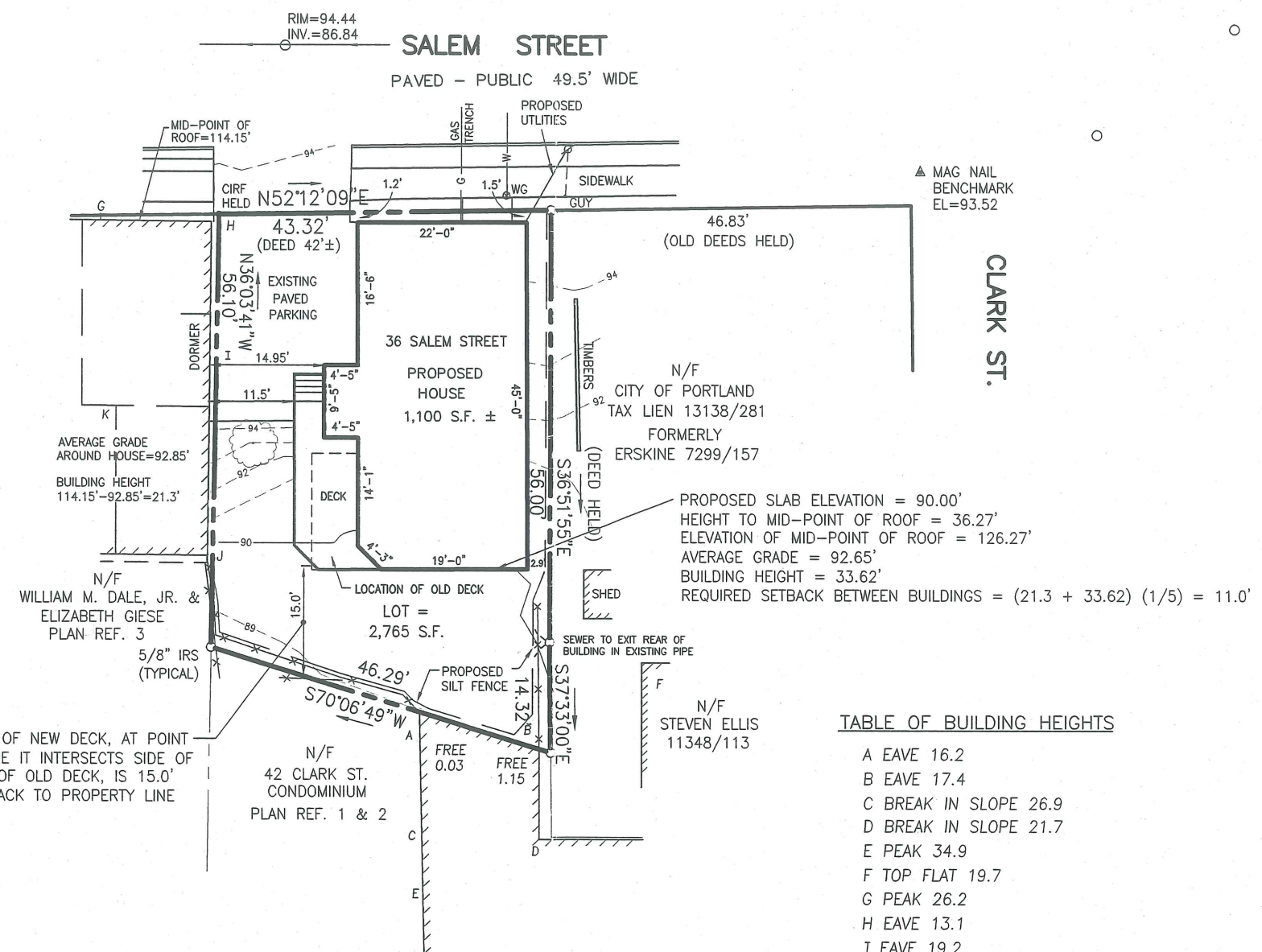
John C. Schunda

04/04/08	REVISED PROPOSED ELEVATIONS	
SITE PLAN AT 36 SALEM STREET, PORTLAND, MAINE MADE FOR JO ELLEN COYNE		
OWEN HASKELL, INC. 390 Route One, Falmouth, ME 04105 (207)774-0424		
Drwn By	JCS	Date 3/04/08
Job No.	07-123P	Drwg. No. 1
Check By	JCS	Scale 1" = 20'

C:\Dwg\123-3.dwg, 4/4/2008 10:36:09 AM



○ APPROXIMATE HYDRANT



RECEIVED

OCT 29 2008

City of Portland
Planning Division

TABLE OF BUILDING HEIGHTS

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- D BREAK IN SLOPE 21.7
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- H EAVE 13.1
- I EAVE 19.2
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- K BACK RIDGE ABOVE PAVED PARKING 21.3

STRUCTURE OF NEW DECK, AT POINT WHERE IT INTERSECTS SIDE OF FOOTPRINT OF OLD DECK, IS 15.0' STRAIGHT BACK TO PROPERTY LINE

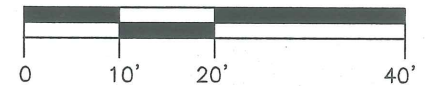
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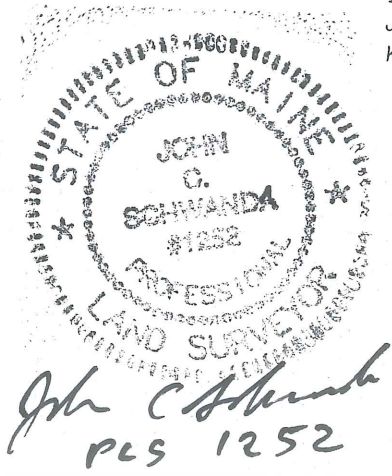
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- ⊗ WATER VALVE
- ⊕ UTILITY POLE
- SEWER MANHOLE
- × × FENCE
- ══ CURB
- 90 — 1' CONTOUR

GRAPHIC SCALE



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10/27/08	AS-BUILT CONDITIONS				
04/04/08	REVISED PROPOSED ELEVATIONS				
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OWEN HASKELL, INC. 390 Route One, Falmouth, ME 04105 (207)774-0424					
Drwn By	JCS	Date	3/04/08	Job No.	07-123P
Check By	JCS	Scale	1" = 20'	Drwg. No.	1



SOUTH ELEVATION

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 3/24/08

COYNE RESIDENCE

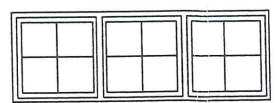
36 SALEM STREET PORTLAND
 SCALE: 1/4"=1'-0" MARCH 4, 2008

COYNE RESIDENCE
36 SALEM STREET PORTLAND
SCALE: 1/4"=1'-0" MARCH 4, 2008



WEST ELEVATION

CITY OF PORTLAND
APPROVED SITE PLAN
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Date of Approval: 3/24/08

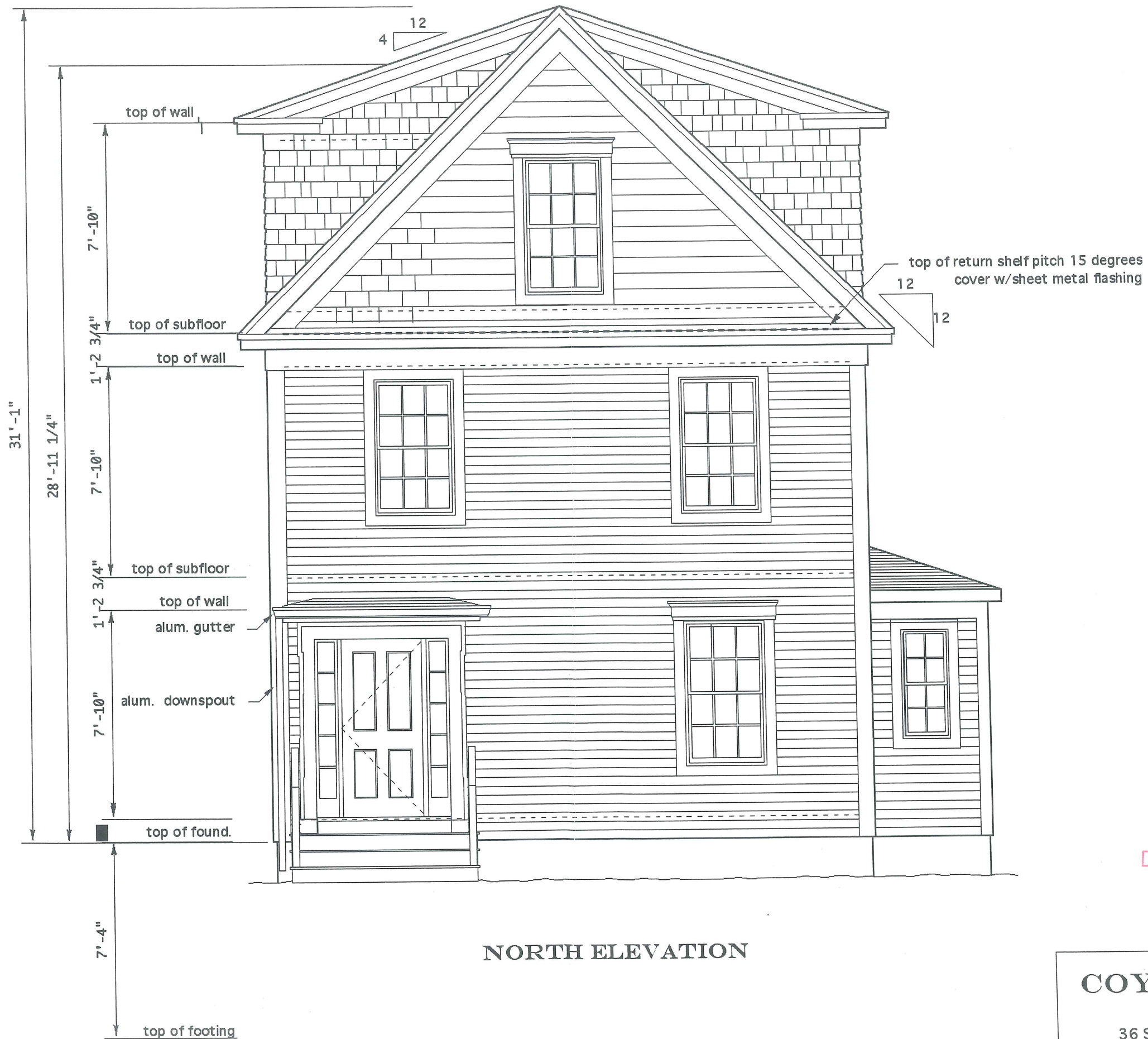


EAST ELEVATION

CITY OF PORTLAND
APPROVED SITE PLAN
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COYNE RESIDENCE

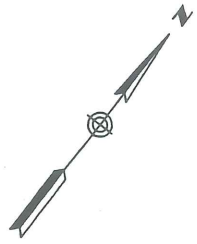
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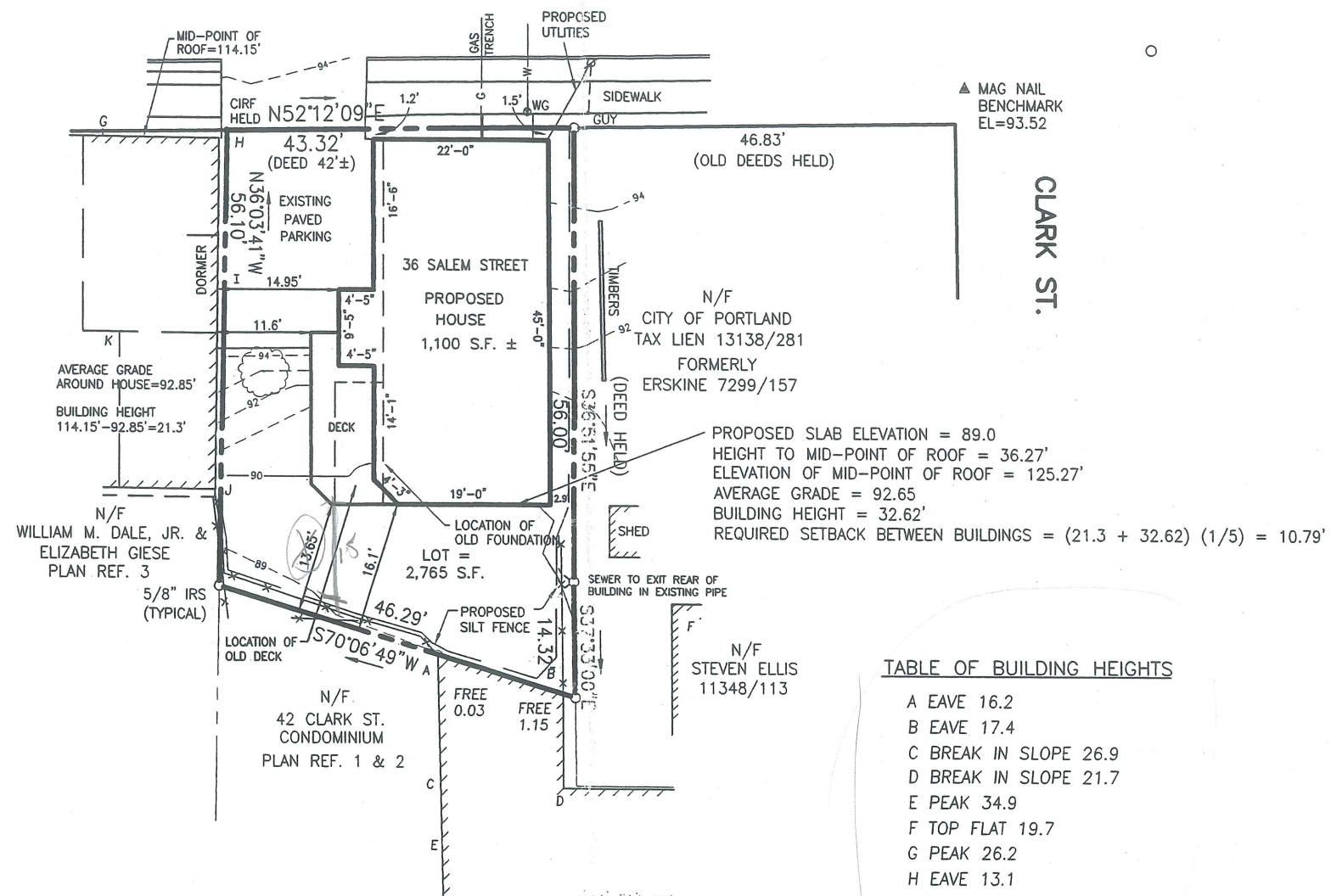


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▲ MAG NAIL BENCHMARK
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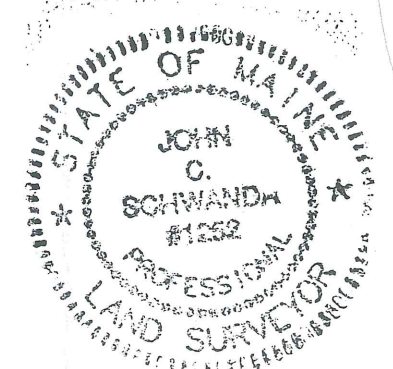
"BOUNDARY SURVEY ON SALEM STREET, PORTLAND, MAINE MADE FOR JO ELLEN COYNE AUGUST 03, 2007, OWEN HASKELL, INC." REVISED 10-24-07.

LEGEND:

- CAPPED IRON ROD FOUND
- ⊗ WATER VALVE
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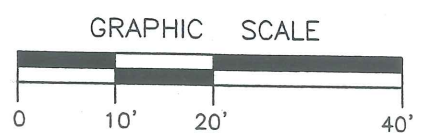
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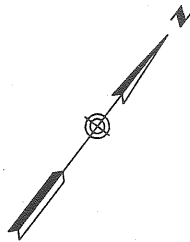


John C. Schwanda

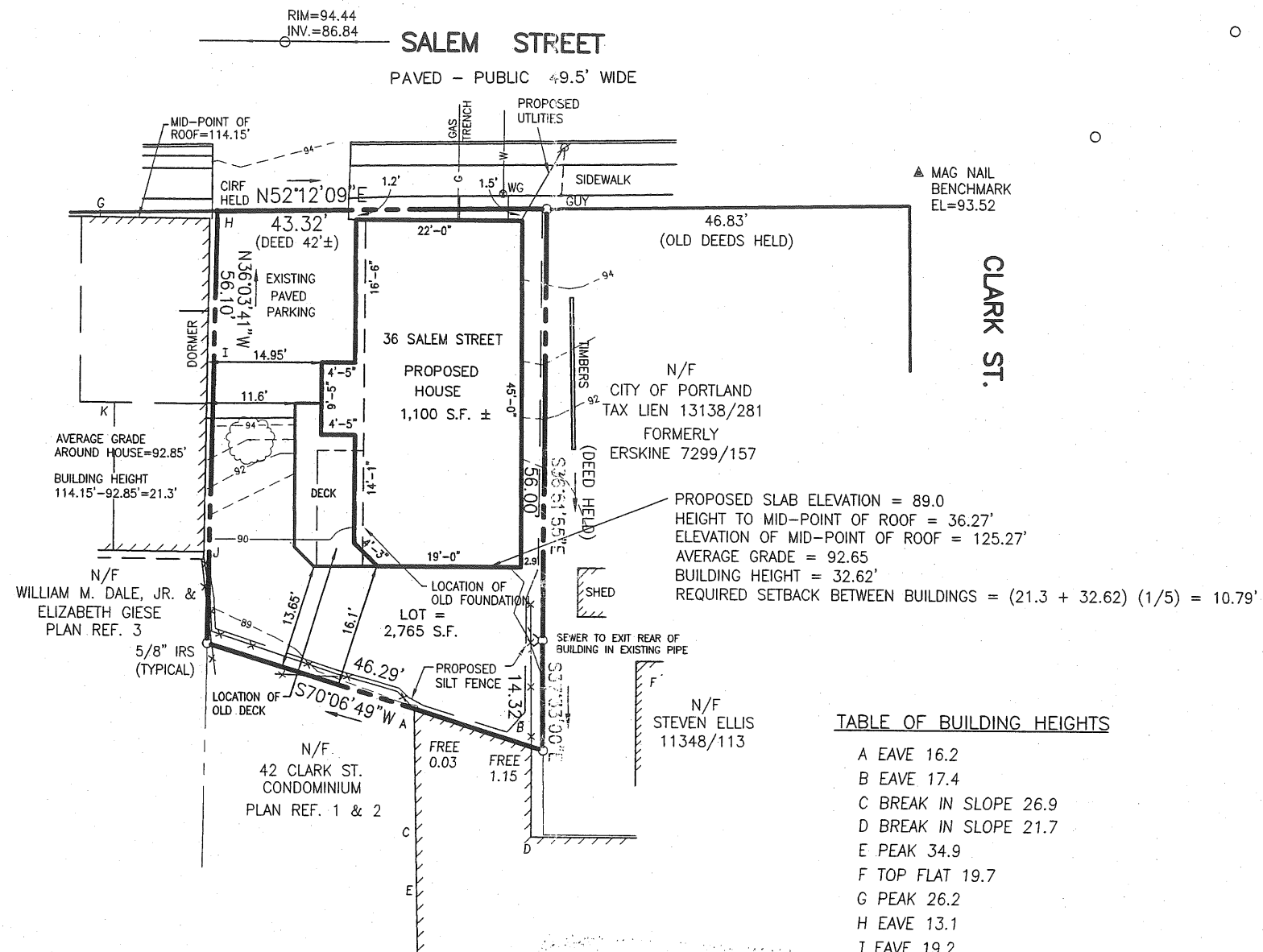
**CITY OF PORTLAND
APPROVED SITE PLAN**
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Date of Approval: 3/24/08

SITE PLAN		
AT		
36 SALEM STREET, PORTLAND, MAINE		
MADE FOR		
JO ELLEN COYNE		
OWEN HASKELL, INC.		
390 Route One, Falmouth, ME 04105 (207)774-0424		
Drwn By	JCS	Date 3/04/08
Job No.	07-123P	Scale 1" = 20'
Check By	JCS	Drwg. No. 1





○ APPROXIMATE HYDRANT





SOUTH ELEVATION

COYNE RESIDENCE

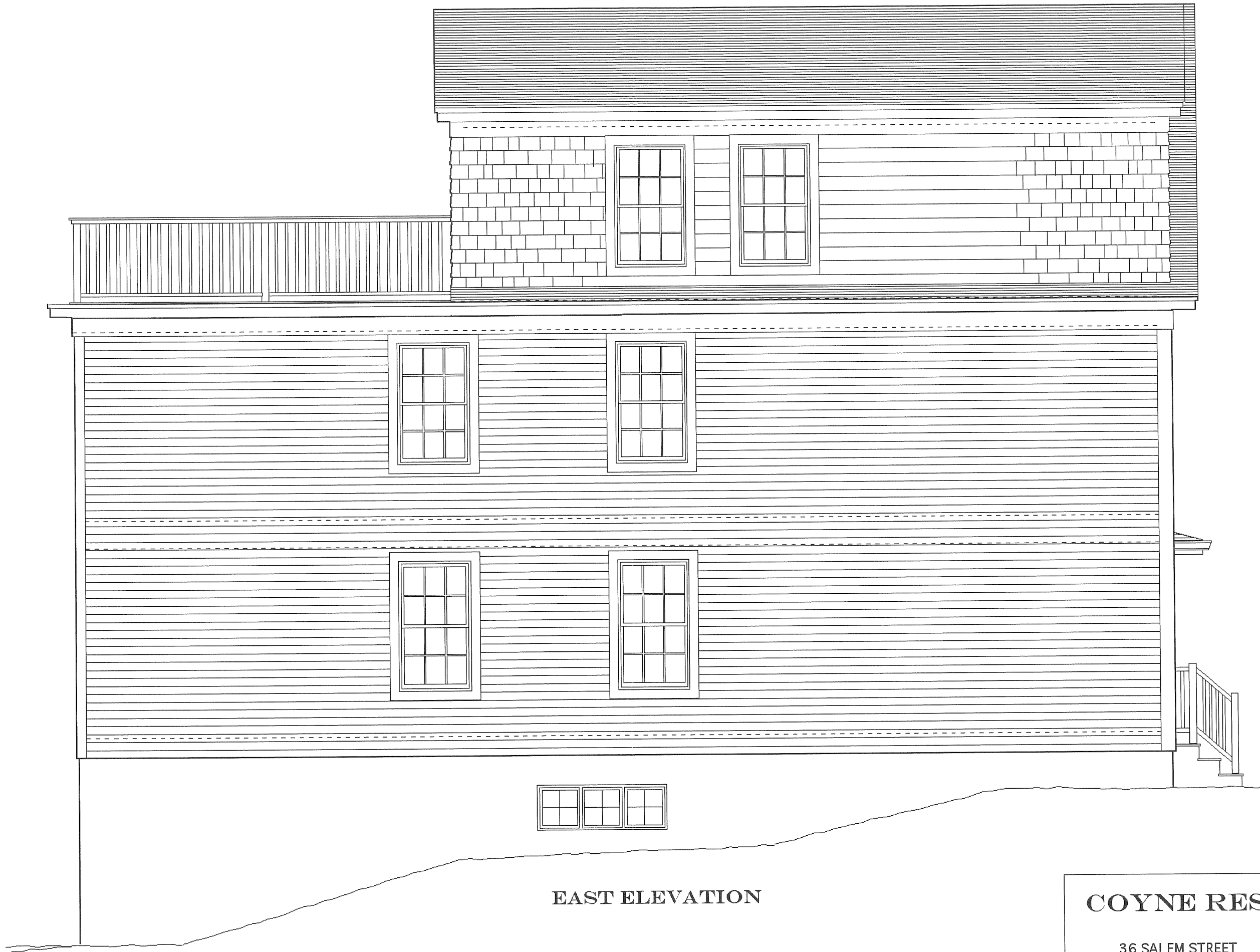
36 SALEM STREET PORTLAND
 SCALE: 1/4"=1'-0" MARCH 4, 2008

COYNE RESIDENCE

36 SALEM STREET PORTLAND
SCALE: 1/4"=1'-0" MARCH 4, 2008

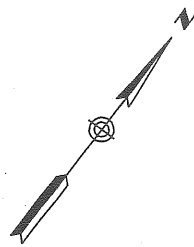


WEST ELEVATION

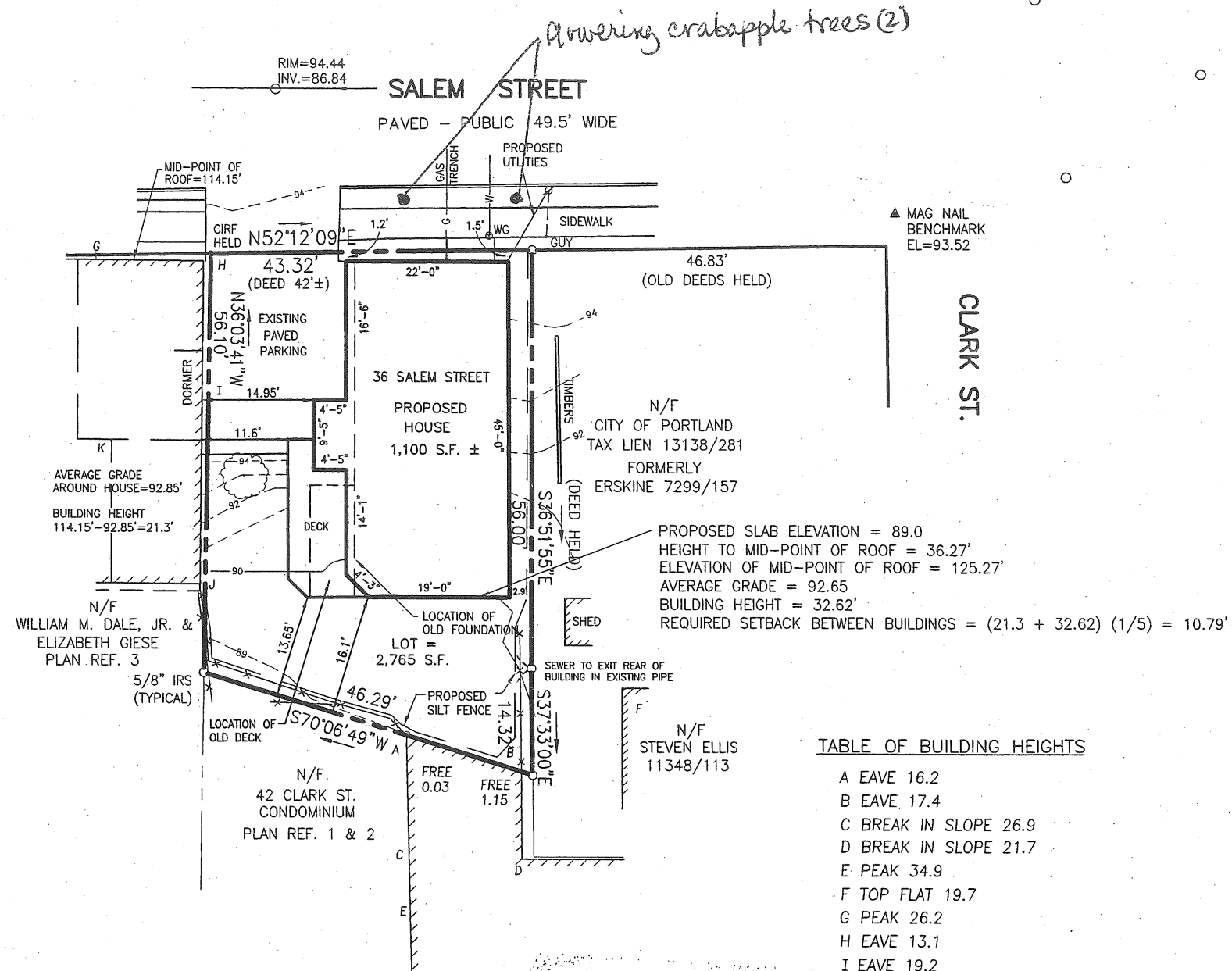


EAST ELEVATION

COYNE RESIDENCE
36 SALEM STREET PORTLAND
SCALE: 1/4"=1'-0" MARCH 4, 2008



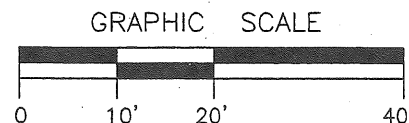
○ APPROXIMATE HYDRANT



PLAN REFERENCE:

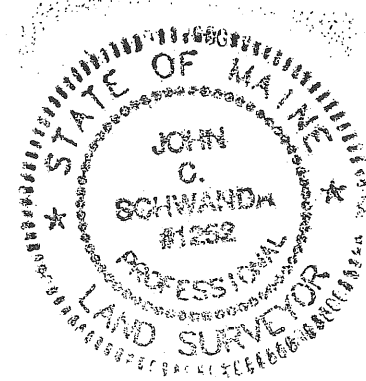
"BOUNDARY SURVEY ON SALEM STREET, PORTLAND, MAINE MADE FOR JO ELLEN COYNE AUGUST 03, 2007, OWEN HASKELL, INC." REVISED 10-24-07.

- LEGEND:**
- CAPPED IRON ROD FOUND
 - ⊗ WATER VALVE
 - ⊘ UTILITY POLE
 - SEWER MANHOLE
 - × × × FENCE
 - ==== CURB
 - 90 — 1' CONTOUR



NOTES:

1. OWNER OF RECORD: JO ELLEN COYNE, 197 PINE STREET, APT. 16, PORTLAND, MAINE CCRD BOOK 12887 PAGE 265.
2. LOCUS IS SHOWN AS LOT 24 BLOCK A ON PORTLAND ASSESSORS MAP 58.
3. ELEVATIONS ARE BASED ON CITY DATUM.
4. AVERAGE GRADE OF HOUSES DETERMINED BY MULTIPLYING THE ELEVATION, ON EACH SECTION OF HOUSE PERIMETER, BY THE LENGTH OF SAID SECTION. ALL OF THOSE NUMBERS WERE ADDED TOGETHER AND THE TOTAL WAS DIVIDED BY THE LENGTH OF THE PERIMETER OF THE HOUSE.
5. LOCUS IS IN R6 ZONE.



John C. Schwanda

TABLE OF BUILDING HEIGHTS

- A EAVE 16.2
- B EAVE 17.4
- C BREAK IN SLOPE 26.9
- D BREAK IN SLOPE 21.7
- E PEAK 34.9
- F TOP FLAT 19.7
- G PEAK 26.2
- H EAVE 13.1
- I EAVE 19.2
- J EAVE 18.0
- K BACK RIDGE ABOVE PAVED PARKING 21.3

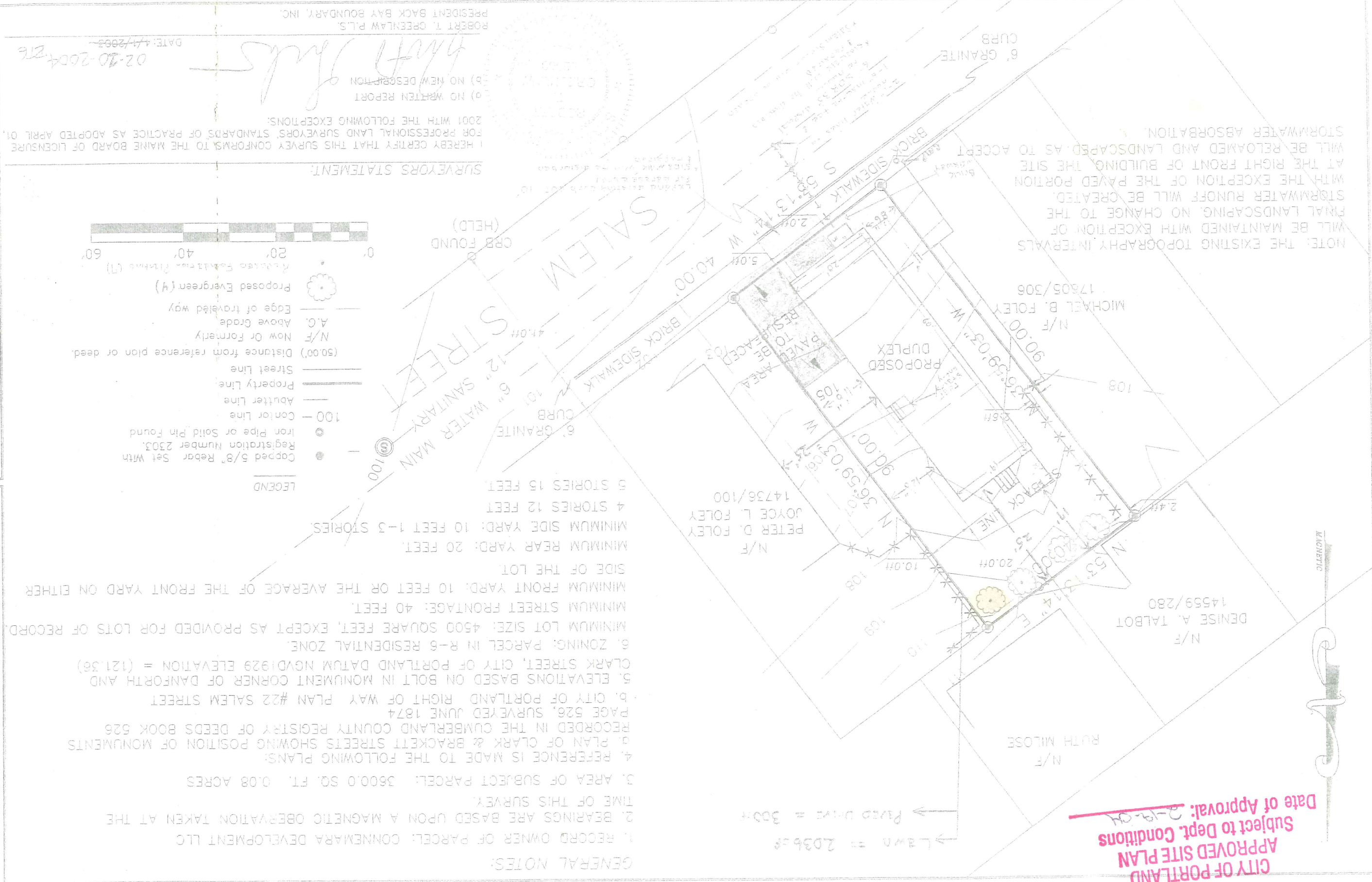
SITE PLAN
AT
36 SALEM STREET, PORTLAND, MAINE
MADE FOR
JO ELLEN COYNE

OWEN HASKELL, INC.
390 Route One, Falmouth, ME 04105 (207)774-0424

Drwn. By JCS	Date 3/04/08	Job No. 07-123P
Check By JCS	Scale 1" = 20'	Drwg. No. 1

DRG Copy

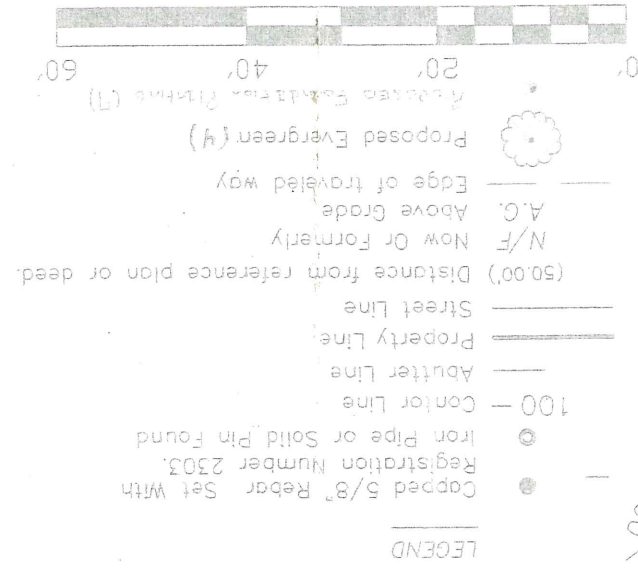
CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 2-19-04



NOTE: THE EXISTING TOPOGRAPHY INTERVALS WILL BE MAINTAINED WITH EXCEPTION OF FINAL LANDSCAPING. NO CHANGE TO THE STORMWATER RUNOFF WILL BE CREATED. WITH THE EXCEPTION OF THE PAVED PORTION AT THE RIGHT FRONT OF BUILDING, THE SITE WILL BE RELOAMED AND LANDSCAPED AS TO ACCEPT STORMWATER ABSORPTION.

GENERAL NOTES:

1. RECORD OWNER OF PARCEL: CONNEMARA DEVELOPMENT LLC
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. AREA OF SUBJECT PARCEL: 3600.0 SQ. FT. 0.08 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 a. PLAN OF CLARK & BRACKETT STREETS SHOWING POSITION OF MONUMENTS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 526 PAGE 526, SURVEYED JUNE 1874
 b. CITY OF PORTLAND RIGHT OF WAY PLAN #22 SALEM STREET
 c. CITY OF PORTLAND RIGHT OF WAY PLAN #22 SALEM STREET
 d. ELEVATIONS BASED ON BOLT IN MONUMENT CORNER OF DANFORTH AND CLARK STREET, CITY OF PORTLAND DATUM NGVD1929 ELEVATION = (121.36)
 e. ZONING: PARCEL IN R-6 RESIDENTIAL ZONE.
 f. MINIMUM LOT SIZE: 4500 SQUARE FEET, EXCEPT AS PROVIDED FOR LOTS OF RECORD.
5. MINIMUM STREET FRONTAGE: 40 FEET.
6. MINIMUM FRONT YARD: 10 FEET OR THE AVERAGE OF THE FRONT YARD ON EITHER SIDE OF THE LOT.
7. MINIMUM REAR YARD: 20 FEET.
8. MINIMUM SIDE YARD: 10 FEET 1-3 STORIES.
9. 4 STORIES 12 FEET
10. 5 STORIES 15 FEET.



SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

a) NO WRITTEN REPORT
 b) NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S.
 PRESIDENT BACK BAY BOUNDARY, INC.

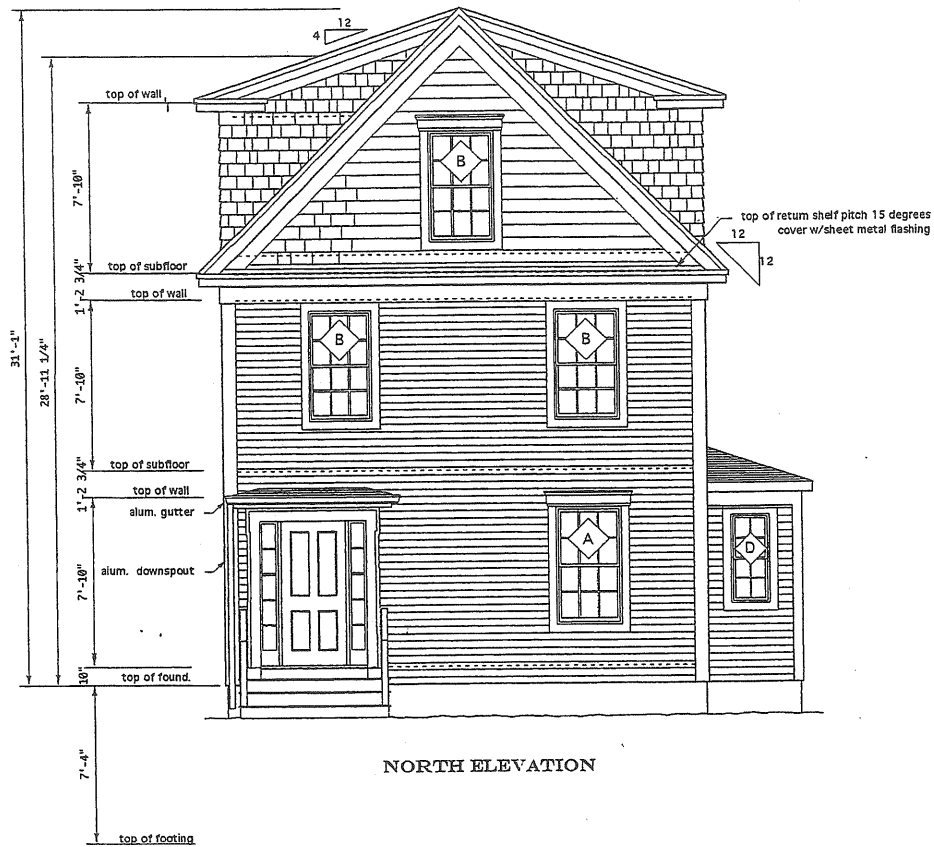
DATE: 4/1/2003
 02-30-2004 ZTC



DRAWN BY: DMD
 CHECKED BY: GAS
 SCALE: 1"=20'
 DATE: 4/1/2003
 JOB NUMBER: 200335
 SHEET: 1 OF 1

PREPARED BY:
BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010

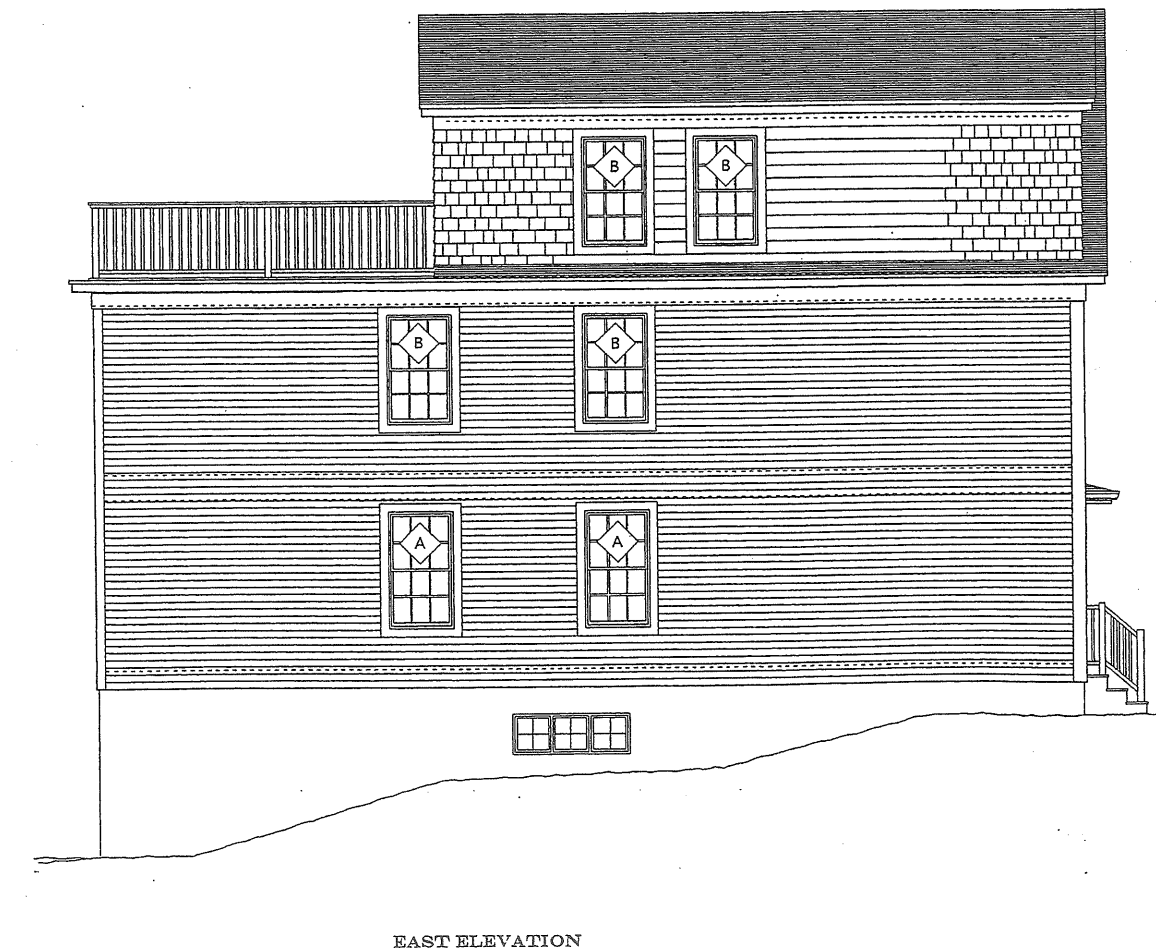
BOUNDARY SURVEY
 AT 11 SALEM STREET PORTLAND, MAINE
 FOR: PETER COYNE



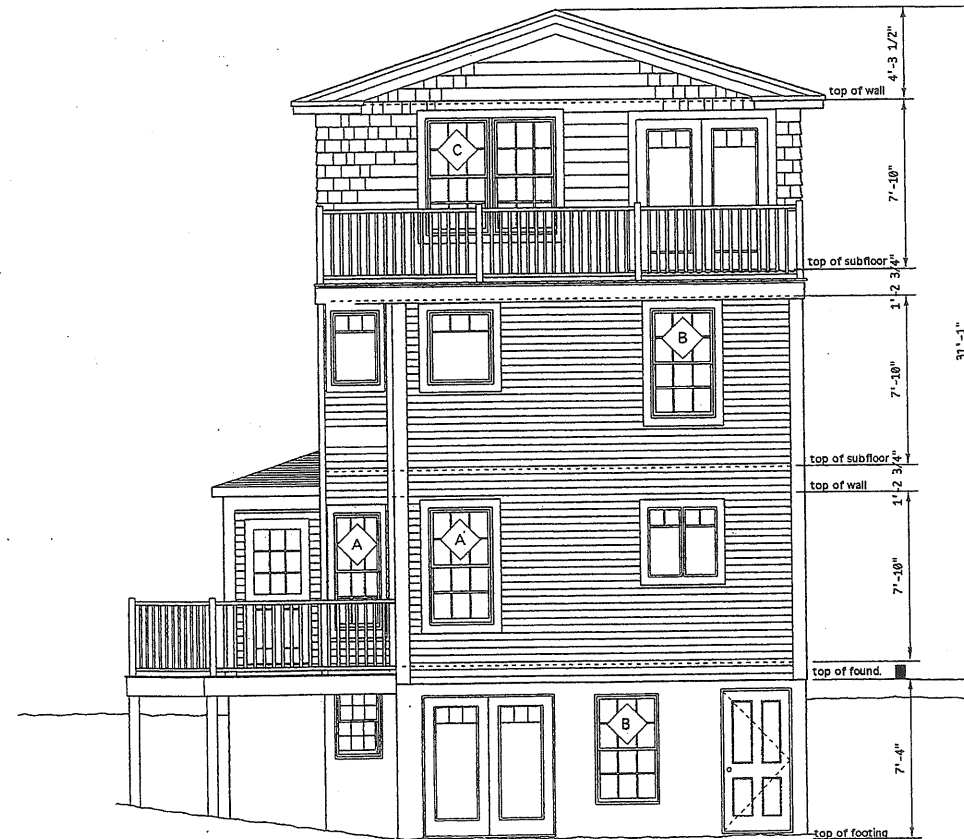
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

TABLE OF WINDOW SUBSTITUTIONS

- A TW21052 5'-4.875"h x 2'-11.625"w
- B TW210410 5'-0.875"h x 2'-11.625"w
- C 2-TW210410
- D TW 18310 4'-0.375"h x 1'-9.625"2w

COYNE RESIDENCE

36 SALEM STREET
PORTLAND, MAINE

ELEVATIONS

DATE: MARCH 3, 2008

SCALE: 1/4"=1'-0"