

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | |
|-----------------------|---------------------------|
| PERMIT ISSUED | |
| Permit No: 02-0741 | Issue Date: 11 18 2002 |
| CBL: 058 A013001 | |

| | | | |
|---|---|--|-------------------------------|
| Location of Construction: 48 Salem St | Owner Name: Codman-portland Assoc | Owner Address: 175 Federal St Suite 700 CITY OF PORTLAND | Phone: 207-772-4386 |
| Business Name: n/a | Contractor Name: HardyPond Construction | Contractor Address: 45 Bridgton Rd. Westbrook | Phone: 2077976066 |
| Lessee/Buyer's Name: n/a | Phone: n/a | Permit Type: Alterations - Multi Family | Zone: R-6 |

| | | | | |
|--|--|--|--|---------------------------|
| Past Use: Multi Family | Proposed Use: Multi Family / New entrance ramp, retaining walls, landscaping, railing. Repairs to concrete foundation. | Permit Fee: \$401.00 | Cost of Work: \$54,000.00 | CEO District: 3 |
| Proposed Project Description: Build new entrance ramp, retaining walls, landscaping and railing. Repairs to concrete wall. | | FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group: R2 Type: N/A 7/17/02 | |
| <i>LEGAL 69 D.U.</i> | | <i>No increase Allowed in # of D.U. under this permit</i> | | |
| | | Signature: <i>[Signature]</i> | Signature: <i>[Signature]</i> | |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | | | | |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | | | | |
| | | Signature: | Date: | |

| | | | | |
|--|--|--|---|--|
| Permit Taken By: gg | Date Applied For: 07/08/2002 | Zoning Approval | | |
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | |
| | Date: <i>7/15/02</i> | Date: | Date: | |

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

EMERGENCY ACTION

Permit Number: 020741

PERMIT

This is to certify that Codman-portland Assoc/Harvard Construction
has permission to Build new entrance ramp, retaining walls, landscaping and railings Repairs to concrete wall.
AT 48 Salem St 058 A013001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is laid or closed-in.
HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 2/17/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Application ID Number: 2-0741

Delete Save Close

Department: Building

Status: Approved with Conditions

Reviewer: Mike Nugent

Comments:

Approval Date: 07/17/2002

Given On Date: 07/16/2002

OK to Issue Permit

Name: Mike Nugent

Date: 07/17/2002

Date 2:

Conditions Section:

Add New Condition from

Add New Condition

Delete Condition

All walking surfaced elevated 15.5 inches or higher must be protected with a 42" guardrail w/openings less than 4 inches.

Create Date: 07/08/2002 By: gg

Update Date: 07/17/2002 By: mjn

02 0741

All Purpose Building Permit Application

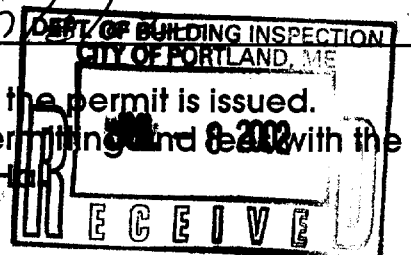
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|--|---|--|
| Location/Address of Construction: <u>48 SALEM ST</u> | | |
| Total Square Footage of Proposed Structure <u>RAMPS: 760 SF</u> | Square Footage of Lot | |
| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>058 A 013</u> | Owner: <u>CODMAN PORTLAND ASSOC. c/o FEDERAL MANAGEMENT</u> | Telephone: <u>772-4386</u> |
| Lessee/Buyer's Name (If Applicable) | Applicant name, address & telephone: <u>HARDYOND CONST, 45 BRIDGTON RD WESTBROOK, ME 04092</u> | Cost Of Work: \$ <u>54,000.00</u> Fee: \$ <u>401.00</u> |
| Current use: <u>MULTI-FAMILY HOUSING</u> | | |
| If the location is currently vacant, what was prior use: <u>NA</u> | | |
| Approximately how long has it been vacant: <u>NA</u> | | |
| Proposed use: <u>SAME</u> | | |
| Project description: <u>NEW ENTRANCE RAMP, RETAINING WALLS, LANDSCAPING, RAILING. REPAIRS TO CONCRETE FOUNDATION, INSTALL FOUNDATION RETAINING WALL</u> | | |
| Contractor's name, address & telephone: <u>HARDYOND CONSTRUCTION, 45 BRIDGTON RD, WESTBROOK, 797-6066</u> | | |
| Who should we contact when the permit is ready: <u>BOB GAUDREAU X-X</u> | | |
| Mailing address: <u>SAME</u> | | |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 797-6066 X-X | | |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|--|------------------|
| Signature of applicant: <u>[Signature]</u> | Date: <u>7/2</u> |
|--|------------------|



This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



**CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE**

Designer: CRITERIUM - MOONEY ENGINEERS

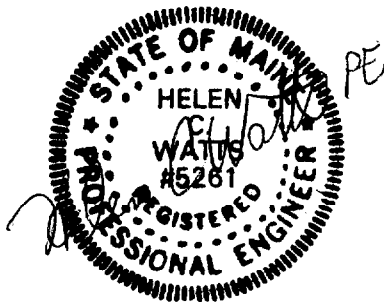
Address of Project 48 SALEM ST

Nature of Project NEW RAMP + REPAIRS TO CONCRETE

Date 7/3/02

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



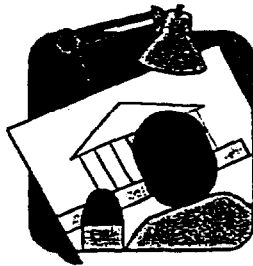
Signature Helen C. Watts PE

Title Project Engineer

Firm Criterion - Mooney Engineers

Address 22 Monument Square Suite 300
Portland, ME 04101

Telephone 775-1969



CITY OF PORTLAND MAINE

389 Congress St., Rm 315
Portland, ME 04101
Tel. - 207-874-8704
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: HELEN C WATTS PE

CRITERIUM - MOONEY ENGINEERS

DATE: 7/3/02

Job Name: NEW RAMPS & REPAIRS TO CONCRETE

Address of Construction: 48 SALEM ST

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 BOCA Use Group Classification(s) R

Type of Construction _____ Bldg. Height NA Bldg. Sq. Footage _____

Seismic Zone _____ Group Class _____

Roof Snow Load Per Sq. Ft. _____ Dead Load Per Sq. Ft. _____

Basic Wind Speed (mph) _____ Effective Velocity Pressure Per Sq. Ft. _____

Floor Live Load Per Sq. Ft. _____

Structure has full sprinkler system? Yes _____ No _____ Alarm System? Yes _____ No _____
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes _____ No _____

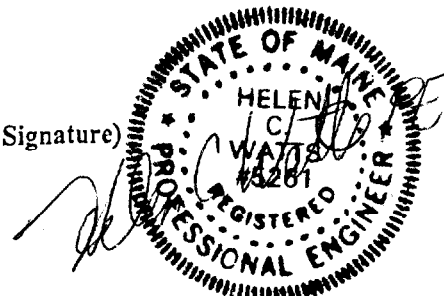
If mixed use, what subsection of 313 is being considered _____

List Occupant loading for each room or space, designed into this Project.

SITWORK + REPAIRS TO CONCRETE
EXISTING RESIDENTIAL STRUCTURE IS
(Designers Stamp & Signature)

PSH 6/07/2K

UNCHANGED.
HCW



36 units - Bldg A

36 units Bldg B

69 units - Bldg C -

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION

48-62 Salem Street & 65 Summer Street
(known as building "C")

Issued to **Codman-Portland Limited**

Date of Issue **May 22, 1974**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. **72/1267**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

entire

APPROVED OCCUPANCY

sixty nine (69) apartment units.

Limiting Conditions:

This certificate supersedes
certificates issued

Approved
5/22/74

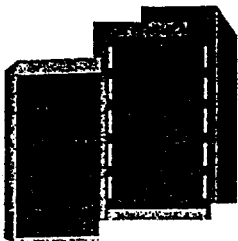
(Date)

P. L. Hiffes
Inspector

[Signature]
Inspector of Buildings

Note: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: HELEN C WATTS PE CRITERIUM-MOONEY ENGINEERS

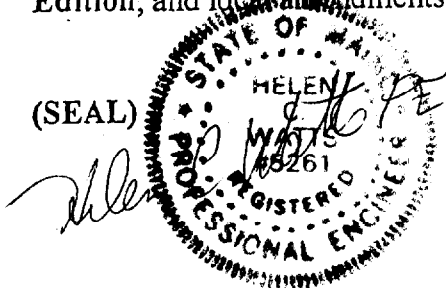
RE: Certificate of Design

DATE: 7/3/02

These plans and/or specifications covering construction work on:

48 SALEM STREET

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature Helen C. Watts

Title Project Engineer

Firm Criterion - Mooney Engineers

Address 22 MONUMENT SQUARE, SUITE 300

As per Maine State Law:

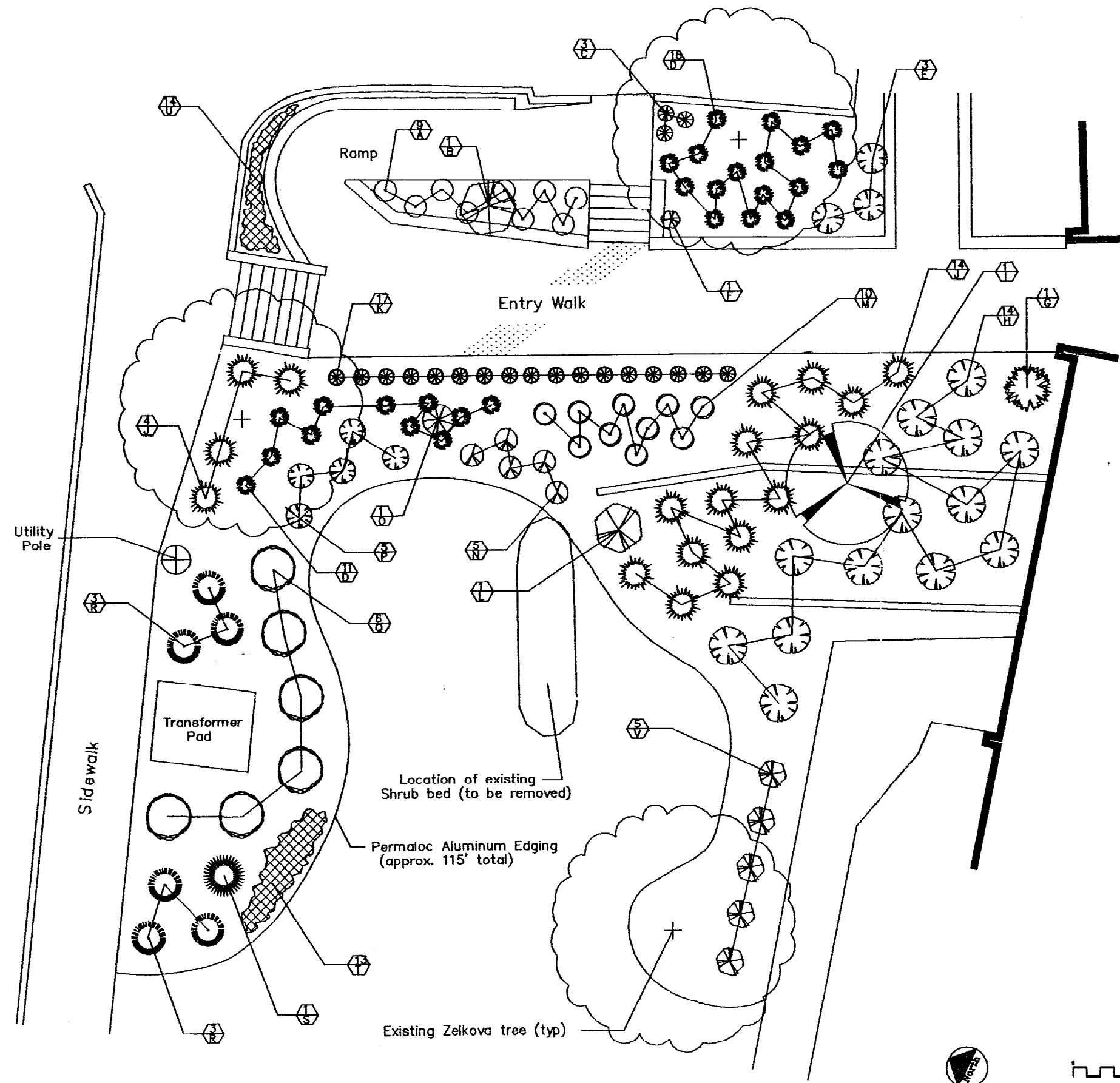
\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PLANT LIST

| SYMBOL | QTY. | BOTANICAL NAME | COMMON NAME | SIZE |
|--------|------|------------------------------|-------------------------------|--------------|
| A | 9 | Rhododendron laetevirens | Wilson Rhododendron | 15-18" sprd. |
| B | 1 | Acer griseum | Paperbark Maple | 6-8' ht. |
| C | 3 | Hosta sieb. 'Frncs Wms' | Frances Williams Hosta | 2 gal. |
| D | 27 | Microbiota decussata | Siberian Carpet | 12-15" sprd. |
| E | 3 | Leucothoe fontanesiana | Drooping Leucothoe | 18-24" sprd. |
| F | 1 | Euonymus fort. 'Moonshadow' | Moonshadow Euonymus | 15-18" sprd. |
| G | 1 | Chamaecyparis ob. 'Gracilis' | Hinoki Cypress | 3-3.5' ht. |
| H | 14 | Rhodo. catawbiense 'Album' | Cat. Album Rhododendron | 2-2.5' sprd. |
| I | 1 | Sorbus alnifolia | Korean Mountain Ash | 2.5-3" cal. |
| J | 18 | Taxus x media 'Tauntoni' | Tauntoni Spreading Yew | 18-24" sprd. |
| K | 17 | Molinia caerulea 'Var.' | Variiegated Purple Moor Grass | 1 gal. |
| L | 1 | Viburnum tom. 'Shasta' | Shasta Doublefile Viburnum | 3-4' ht. |
| M | 10 | Spiraea bumalda 'Goldflame' | Goldflame Spiraea | 15-18" sprd. |
| N | 5 | Rosa meidiland 'Magic' | Magic Meidiland Rose | 2 gal. |
| O | 1 | Viburnum cariesi | Mayflower Viburnum | 2-2.5' sprd. |
| P | 5 | Rhodoendron caroliniana | Carolina Rhododendron | 18-24" ht. |
| Q | 6 | Euonymus alatus 'Compacta' | Dwarf Burning Bush | 2.5-3' ht. |
| R | 6 | Pinus mugo 'Mugo' | Dwarf Mugo Pine | 2-2.5' sprd. |
| S | 1 | Picea glauca 'Conica' | Dwarf Alberta Spruce | 3-3.5' ht. |
| T | 13 | Hemerocallis 'Hyperion' | Hyperion Daylily | 1 gal. |
| U | 14 | Hemerocallis 'Happy Returns' | Happy Returns Daylily | 1 gal. |
| V | 5 | Hydrangea arb. 'Annabelle' | Annabelle Hydrangea | 3 gal. |

NOTES:

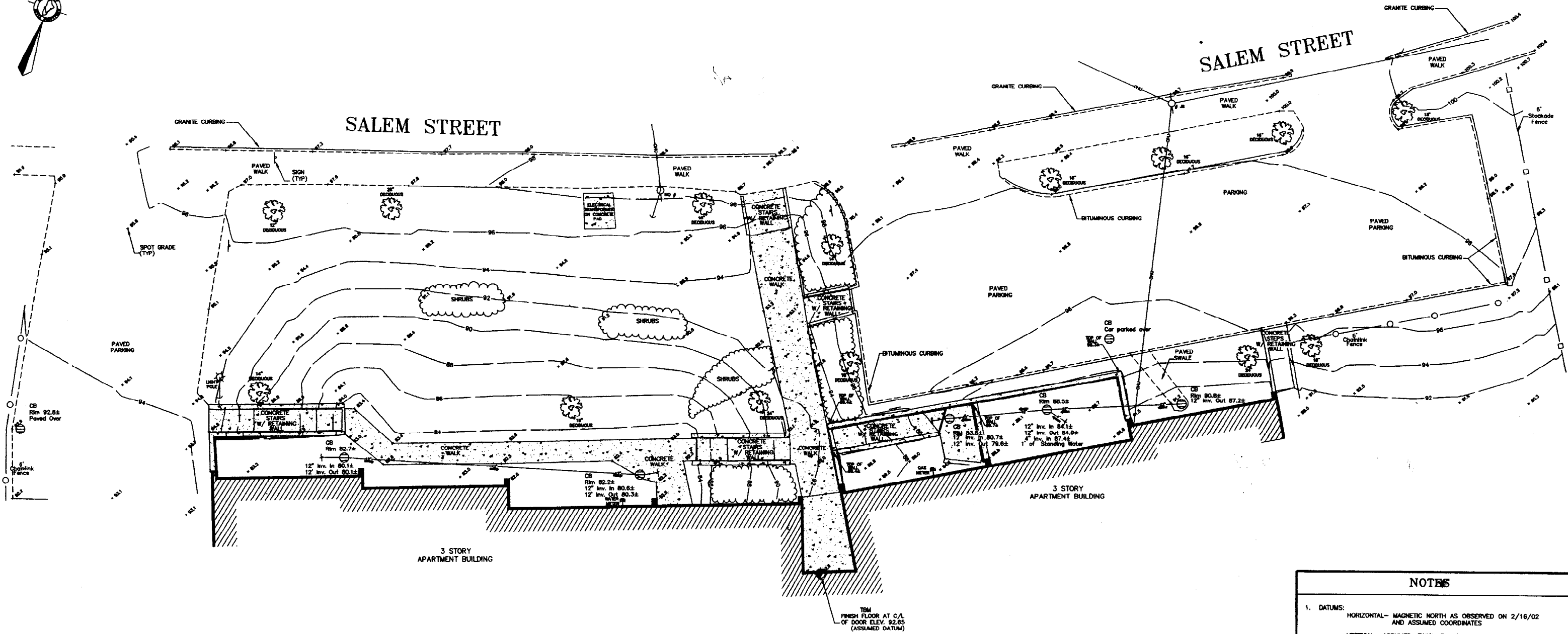
- (1) Planting mix to consist of 3 parts topsoil to 1 part compost (or well-rotted manure).
- (2) All plant beds to be mulched with dark, fine-textured bark mulch. Long-fibered fresh mulch or reddish colored mulch is not acceptable.
- (3) Exercise care when digging in root zone of existing trees. Minor adjustments may be made to planting locations next to trees if necessary to avoid significant damage to roots of existing trees.
- (4) Do not make substitutions to plant list without approval of Owner's Representative.
- (5) Install Permaloc 1/8" mill finish edging along edge of bed, as shown on plan.



LANDSCAPE PLAN

for: 48 Salem Street
Portland, Maine

Design by: PJB Scale: as shown Date: 6/1/02

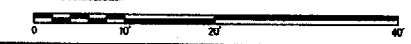


NOTES

- DATUMS:
HORIZONTAL- MAGNETIC NORTH AS OBSERVED ON 2/16/02 AND ASSUMED COORDINATES
VERTICAL- ASSUMED. FINISH FLOOR OF BUILDING ELEVATION 92.65'
- UNDERGROUND UTILITIES AS SHOWN ARE BASED UPON FIELD OBSERVATIONS ONLY. NO INFORMATION OF GAS, WATER, ELECTRICITY WAS AVAILABLE. CONTRACTOR SHALL CONTACT DIG-SAFE PRIOR TO CONSTRUCTION TO IDENTIFY UNDERGROUND UTILITIES NOT SHOWN ON PLAN.

JOB NUMBER: 23110 ACAD FILE: 23110.dwg SOFTDESK PROJECT: 23110

NCS SURVEYING ENGINEERING LAND PLANNING
Northeast Civil Solutions
 INCORPORATED
 153 US ROUTE 1, SCARBOROUGH, MAINE 04074
 Tel: 207.883.1000 Fax: 207.883.1001 e-mail: ncs@neshar.com
 800.862.2227



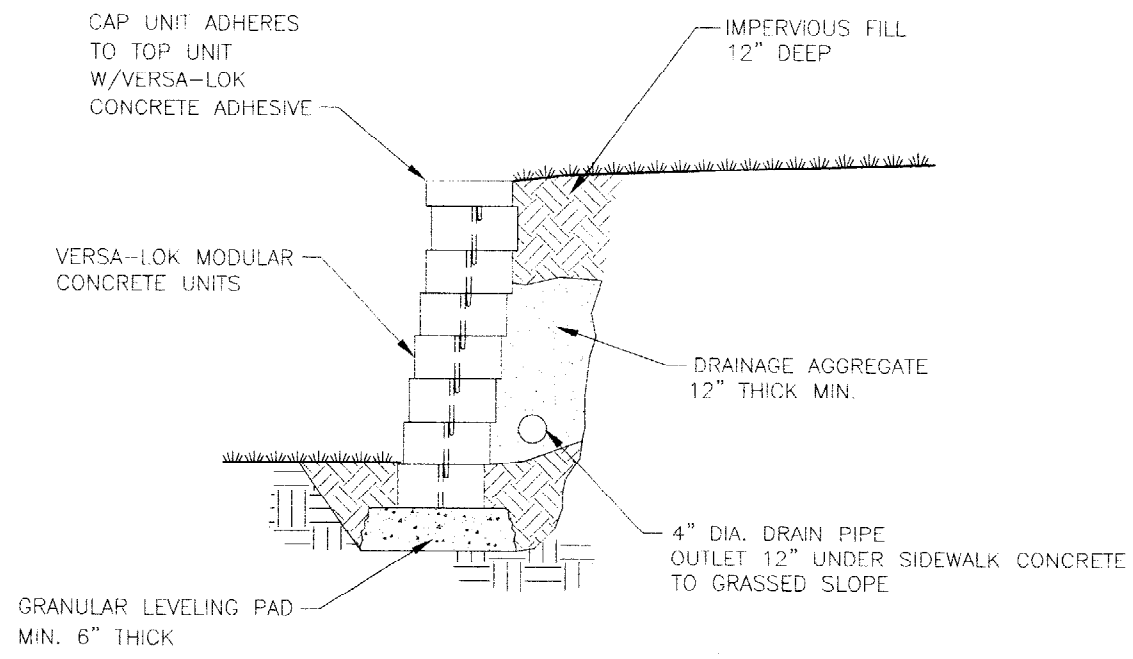
STAMP AND SIGNATURE

[Handwritten Signature] 3/28/2002
 M. JOHANN BRADMAN DATE
 MAINE P.L.E. No. 1314

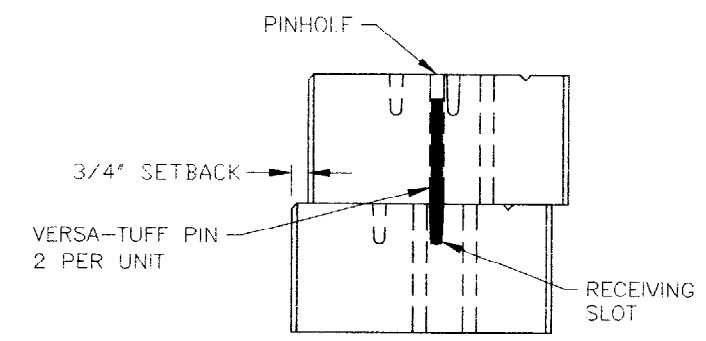
**EXISTING CONDITIONS
 OF
 48 SALEM STREET
 IN
 PORTLAND
 CUMBERLAND COUNTY
 MAINE**

SCALE: 1"=10'
 DATE: MARCH 21, 2002
 REVISED: MARCH 28, 2002
 OWNER: COOMAN-PORTLAND ASSOCIATES
 175 FEDERAL STREET SUITE 700
 BOSTON, MA 02111
 PREPARED FOR: CRITERION & MOONEY ENGINEERS
 22 MONUMENT SQUARE
 PORTLAND, MAINE 04101

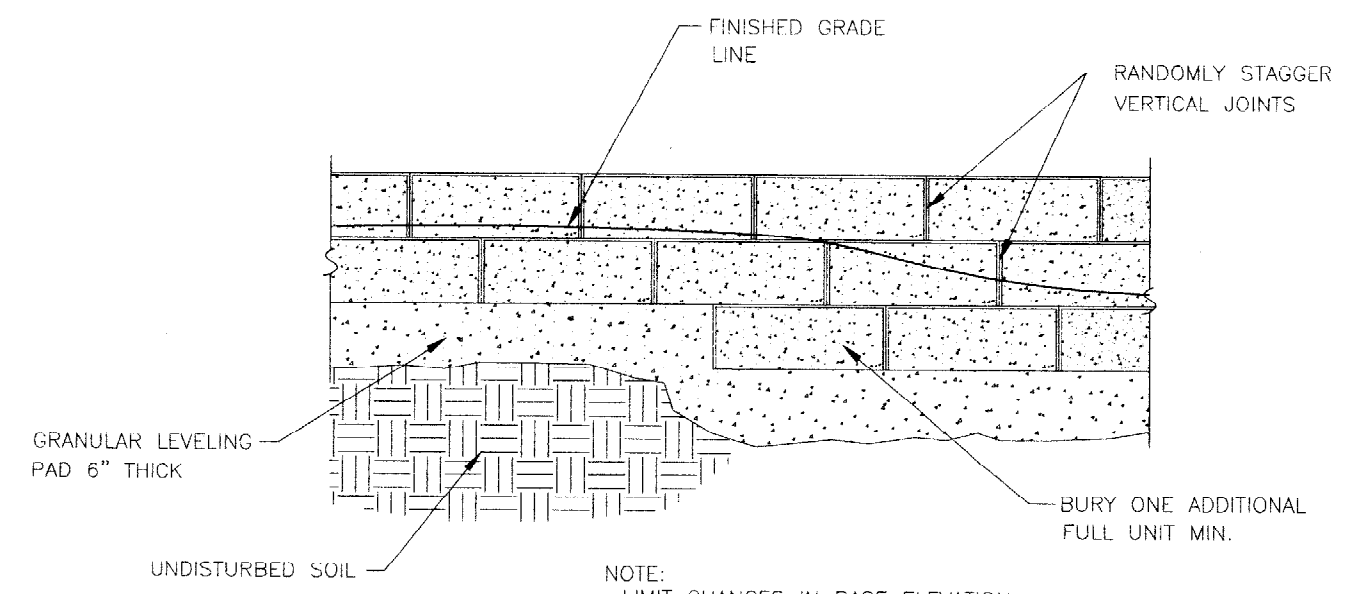
EXISTING CONDITIONS SURVEY \ PROJECT 23110 \ NORTEAST CIVIL SOLUTIONS, INC



TYPICAL SECTION- RETAINING WALLS #1, #2, #3
SCALE: NONE

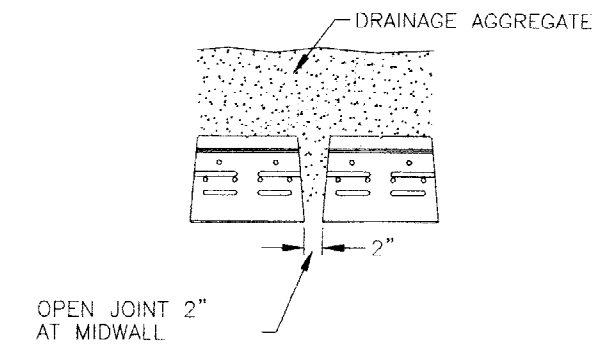


PINNING DETAIL
CROSS SECTION
SCALE: NONE



NOTE:
-LIMIT CHANGES IN BASE ELEVATION TO 6" PER STEP TO AVOID DIFFERENTIAL SETTLEMENT
-STEP OFTEN ENOUGH TO MAINTAIN MINIMUM REQUIRED EMBEDMENT

STEPPING BASE DETAIL
SCALE: NONE



DRAIN DETAIL, WALLS #4, #5
SCALE: NONE



CRITERIUM
MOONEY ENGINEERS
TEL (207) 775-1969
(800) 922-1969
FAX (207) 775-4115

27 MONUMENT SQUARE
SUITE 300
PORTLAND, MAINE 04101

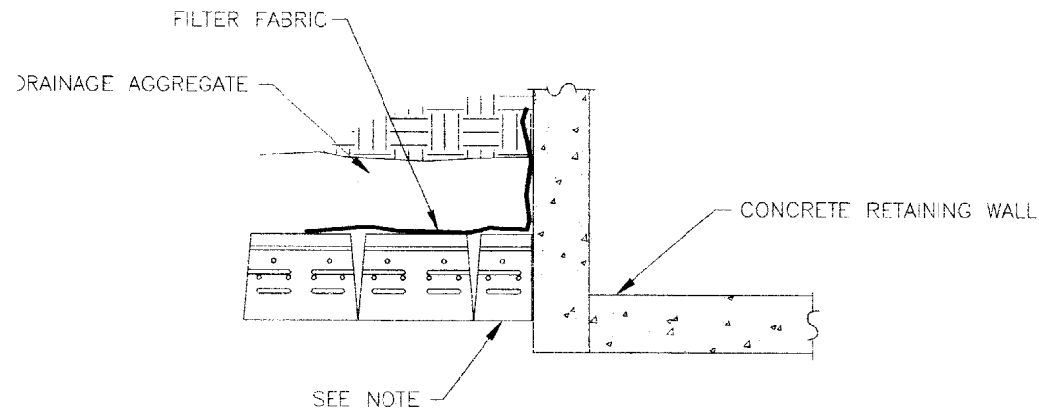
VERSA-LOK
Retaining Wall Systems
800-775-1969

48 Salem Street
Portland ME

| | | | | | |
|----------|---------|-----------|----------|------------|-----|
| Date | 5-28-02 | Scale | 1"=1'-0" | Checked By | HCW |
| Drawn By | | Revisions | | | |

CME Project # 02-015
Retaining Wall Details

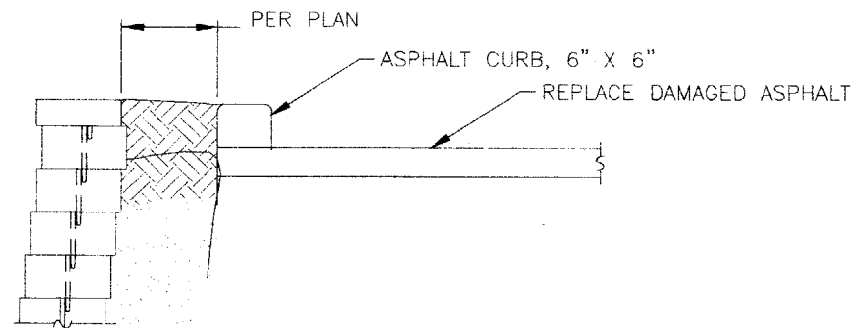
D1



- NOTE:
1. AT ABUTMENT, ALTERNATE FULL UNIT WITH HALF UNIT EVERY OTHER COURSE
 2. START AT FIXED POINTS AND WORK INTO MIDDLE PART OF WALL.
 3. DO NOT ATTATCH VERSA-LOK UNITS TO OTHER STRUCTURES.

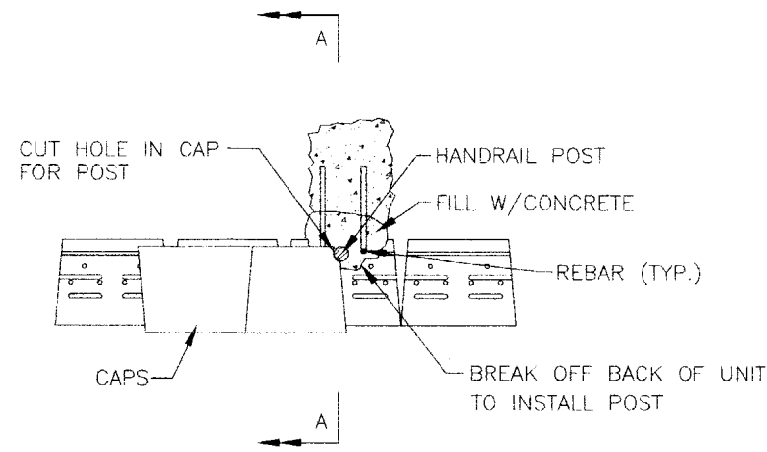
WALL ABUTMENT DETAIL

SCALE: NONE



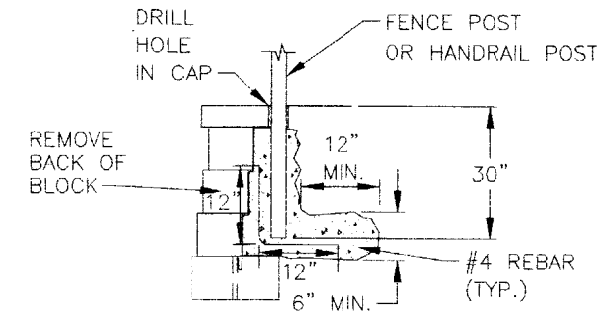
PARKING LOT DETAIL

SCALE: NONE



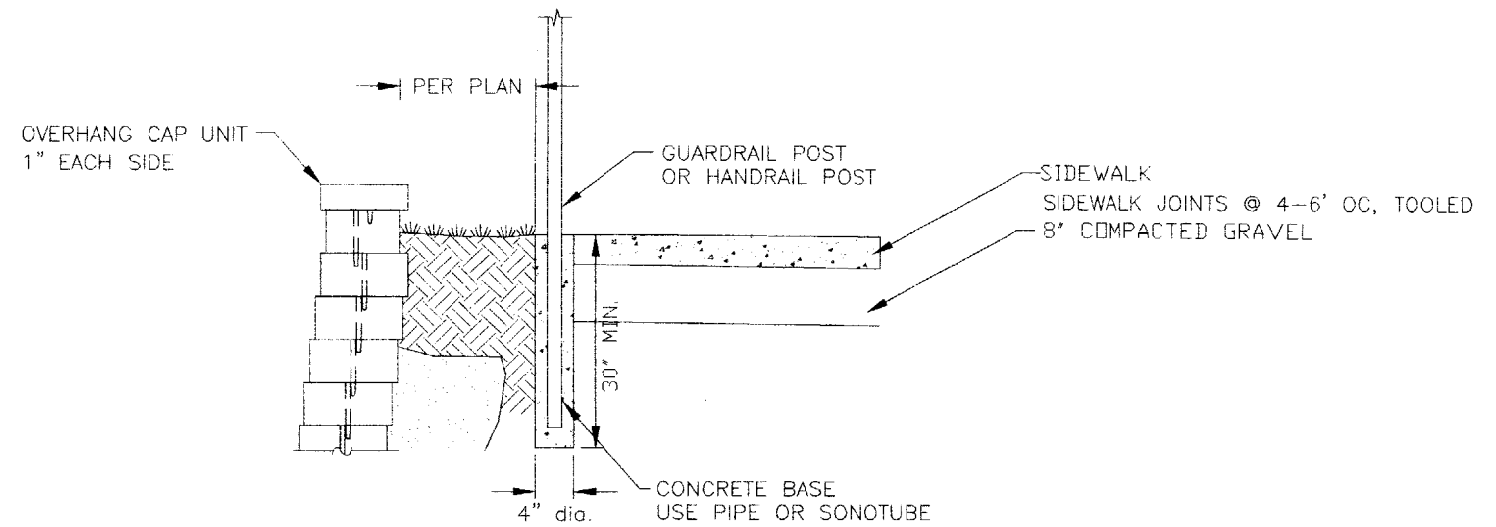
POST DETAIL- PLAN VIEW

TYPICAL HANDRAIL AND/OR FENCE POST
SCALE: NONE



POST DETAIL- SECTION A-A

TYPICAL HANDRAIL AND/OR FENCE POST
SCALE: NONE



TYPICAL HANDRAIL AND/OR GUARDRAIL POST

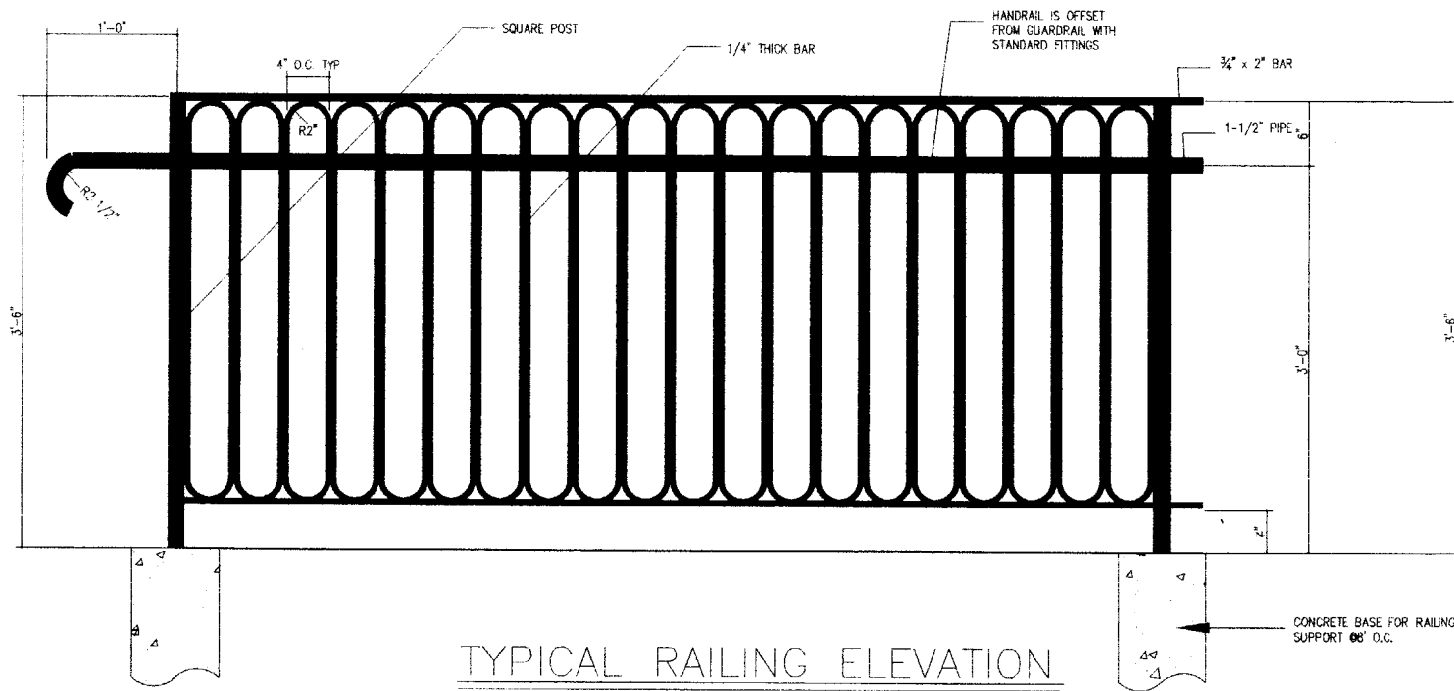
SCALE: NONE



| | | | |
|-----------|---------|------------|----------|
| Date | 5-28-02 | Scale | 1"=1'-0" |
| Drawn By | HCW | Checked By | HCW |
| Revisions | | | |

CME Project # 02-015
**Retaining Wall
Details**

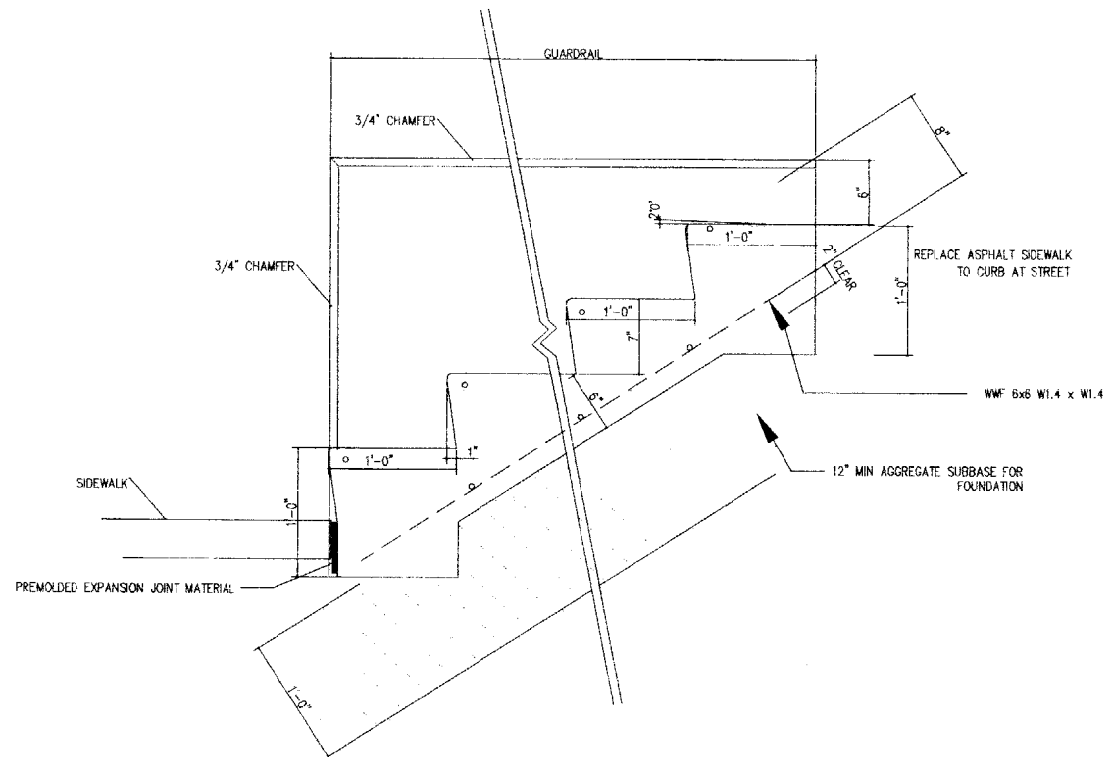
D2



TYPICAL RAILING ELEVATION

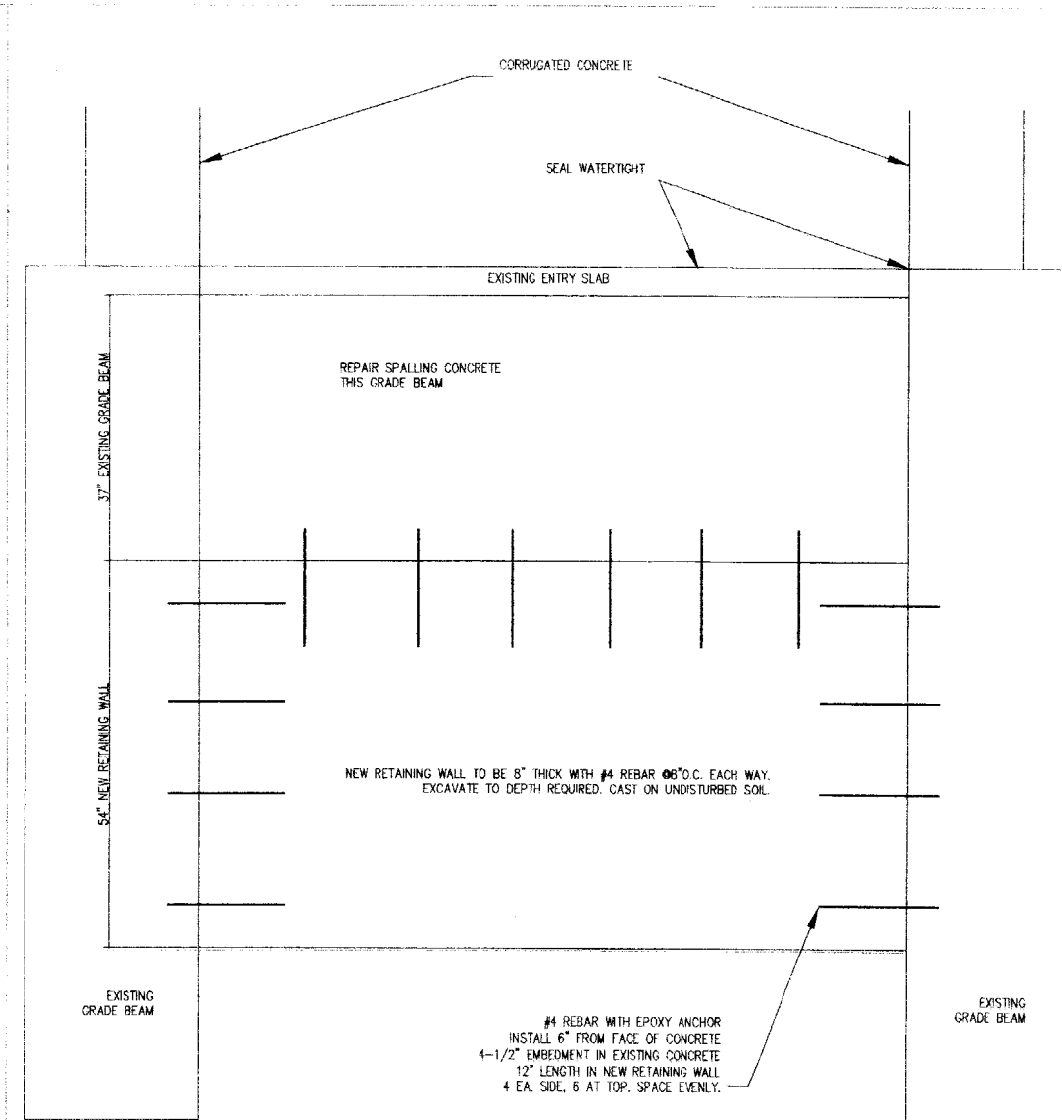
SCALE: 1-1/2" = 1'-0"

HANDRAIL WITHOUT GUARDRAIL: USE SAME POSTS AS GUARDRAIL. MIDRAIL TO BE RECTANGULAR.



TYPICAL SECTION THROUGH CONCRETE STAIR

SCALE: 1-1/2" = 1'-0"



RETAINING WALL ELEVATION

SCALE: 1" = 1'-0"

CONCRETE PATCH REPAIR PROCEDURE:

1. REMOVE ALL LOOSE CONCRETE TO SOUND SURFACE. SAWCUT EDGES OF PATCH AREA MINIMUM 1" DEEP. CHIP CORNERS OF PATCH AREA USING CHIPPING HAMMER—DO NOT OVERCUT PATCH AREA. IF PATCH INCLUDES EXPOSED REBAR, REMOVE CONCRETE 3/4" TO 1" AROUND BAR. EXPOSE ENDS OF REBAR TO WHERE REBAR IS CLEAN OF RUST FOR 1". REPORT ANY UNEXPECTED DETERIORATION TO ENGINEER.
2. SANDBLAST CONCRETE AND REBAR, REMOVE DUST AND DEBRIS.
3. ADD REBAR TO ALL EXISTING REBAR WITH 20% OR MORE LOSS OF SECTIONAL AREA.
4. COAT REBAR AND CONCRETE TO BE PATCHED WITH SIKA ARMADEC110 EPOCCM (OR APPROVED EQUAL) PER MANUFACTURER'S RECOMMENDATIONS FOR A BONDING AGENT.
5. IF THE PATCH IS 1-1/2" THICK OR LESS, FILL THE PATCH WITH SIKA REPAIR 223 (OR APPROVED EQUAL) PER MANUFACTURER'S RECOMMENDATIONS. IF THE PATCH IS DEEPER THAN 1-1/2", FILL THE CONCRETE IN FORMS WITH SIKA MONOTOP 615 (OR APPROVED EQUAL) PER MANUFACTURER'S RECOMMENDATIONS.
6. FOR UNREINFORCED CONCRETE, ADD AT LEAST 2 TIE WIRE ANCHORS PER PATCH AND USE STAINLESS STEEL TIE WIRE.

CRITERIUM
MOONEY ENGINEERS

TEL (207) 776-1069
(800) 922-1989
FAX (207) 775-4115
22 MONUMENT SQUARE
SUITE 300
PORTLAND, MAINE 04101



48 Salem Street
Portland ME

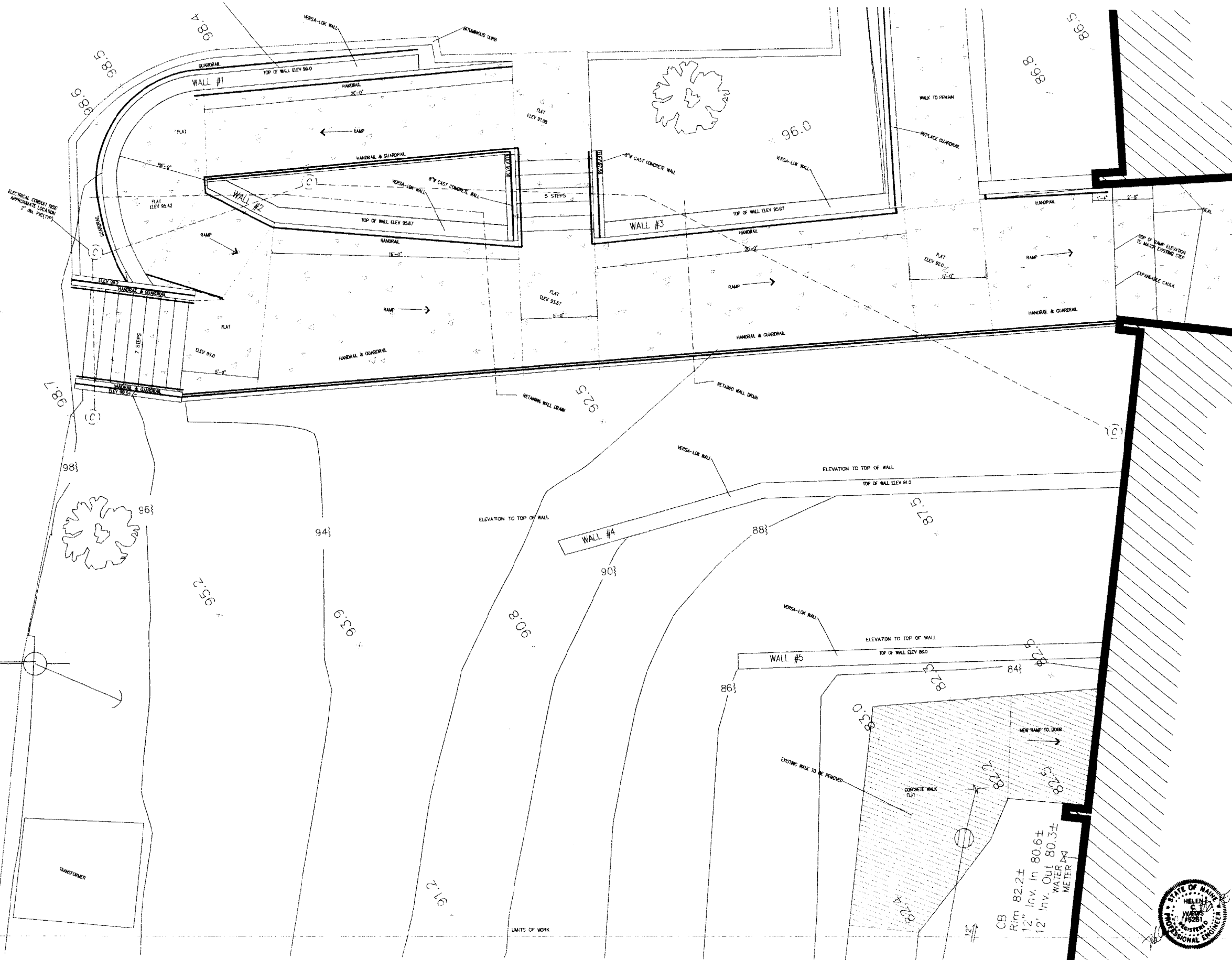
| | | | |
|-----------|---------|------------|----------|
| Date | 5-28-02 | Scale | AS NOTED |
| Drawn By | TCW | Checked By | TCW |
| Revisions | | | |

CME Project # 02-015
Section and Rail
Elevation



D3

SALEM STREET



CB
Rim 82.2±
12" Inv. In 80.6±
12" Inv. Out 80.3±
WATER METER



| | | | | |
|--|--------------------------------|----------------------|---------------|------------------|
| CRITERIUM® MOONEY ENGINEERS TEL (207) 775 1989 (800) 922 1989 FAX (207) 775 4115 | 48 Salem Street Portland ME | | Date 5-28-02 | Scale 3/8"=1'-0" |
| | Walk/Ramp Access | | Drawn By JPCW | Checked By JPCW |
| A1 | | CME Project # 02-015 | Revisions | |