

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 041862

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Dylewski Stephanie R & /n/a
has permission to Legalization of nonconforming unit / currently three units; requested to legalize one unit, to be a total of four unit
AT 88 Salem St City of Portland 058 A009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is occupied or closed-in.
FOUR HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (I1) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

Zoning Division
Marge Schmuckal
Zoning Administrator

Department of Planning & Development
Lee Urban, Director



CITY OF PORTLAND

December 30, 2004

Stephanie R & Victoria Dylewski
88 Salem Street
Portland, ME 04101

RE: 88 Salem Street – 058-A-009 – R-6 Zone – application #04-1862

Dear Stephanie & Victoria,


I am in receipt of your permit application to change the use from three legal dwelling units and adding a new dwelling unit in the basement area. You have applied under section 14-391 of the zoning ordinance. This section of the ordinance requires you to show competent evidence, supported by public records that the structure in which it will be located was originally designed to accommodate the total number of such units that you are proposing (section 14-391(c)(1)). The assessor's records show that this building was built in 1885. You have submitted no evidence that this building was built in 1885 as a four dwelling unit building. I am not sure that you really need to use this section on the zoning ordinance to add a new unit.

You may only need to meet the normal R-6 zoning requirements of 14-136(a)2. I have attached a copy of the requirements that you would need to meet under this section.

I have put your permit on hold until I hear back from you. Certainly we can discuss this further when you get back from vacation. I want to wait before I send out the required notices and request inspections from both the Fire Department and Housing Inspector.

Please feel free to call me at 874-8695 so that we can set up a meeting to discuss this further.

Very truly yours,


Marge Schmuckal
Zoning Administrator

Cc: File

2/9/05
Never heard
back from
owners
Application is void
& Expired

additional dwelling unit within five (5) years from the date of issuance of the building permit. Any building reviewed as a two-family dwelling in accordance with section 14-524 or not reviewed under article V, which is altered or enlarged to include any additional dwelling unit after this five-year period, shall be reviewed as a major development pursuant to article V of this chapter.

2. Multifamily dwellings, provided that any alteration of a structure in residential use on December 2, 1987:
 - a. Shall not result in the creation of any additional dwelling unit of less than six hundred (600) square feet of floor area, exclusive of common hallways and storage in basement and attic; and
 - b. Shall not result in any existing dwelling unit being reduced in size to less than one thousand (1,000) square feet of floor area, exclusive of common areas and storage in basement and attic;
 - c. Parking shall be provided as required by division 20 of this article;
 - d. No open outside stairways or fire escapes above the ground floor shall be constructed;
 - e. A below-grade dwelling unit shall be permitted only if access is provided directly to the outside of the building;
 - f. Such development shall be subject to article V (site plan) of this chapter for site plan review and approval.
3. Handicapped family unit, as defined in section 14-47 (definitions) of this article, for handicapped persons plus staff.
4. Single-family, multiple-component manufactured

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1862	Issue Date:	CBL: 058 A009001
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Location of Construction: 88 Salem St	Owner Name: Dylewski Stephanie R & <i>Vetouch</i>	Owner Address: 88 Salem St	Phone: 207-773-4077
Business Name: n/a	Contractor Name: n/a <i>650-5198 call</i>	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Legalization of Non-Conforming Units	Zone: <i>R6</i>

Past Use: Multi Family 3 units	Proposed Use: Legalization of nonconforming unit / currently three units; requested to legalize one unit, to be a total of four units.	Permit Fee: \$375.00	Cost of Work: \$0.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	

Proposed Project Description: Legalization of nonconforming unit / currently three units; requested to legalize one unit, to be a total of four units.	Signature:	Signature:
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: gg	Date Applied For: 12/23/2004	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

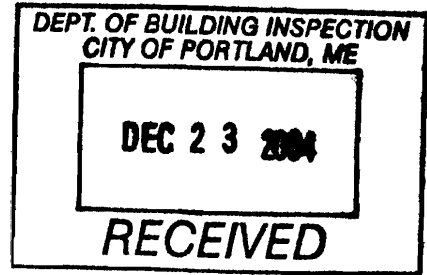
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

Zoning Division
Marge Schmuckal
Zoning Administrator



Department of Planning & Development
Lee Urban, Director



CITY OF PORTLAND

APPLICATION FOR
LEGALIZATION OF NONCONFORMING DWELLING UNITS
Section 14-391 – In effect March 24, 2004

Location/Address of Legalization: 88 SALEM ST, Portland ME 04102-3916

Tax Assessor's Chart, Block & Lot
Chart# Block# Lot# Owner: Stefania & Victoria A. Dylewski Telephone: (207) 793-4077
058 A 009 001 Address: 88 SALEM ST

Contact name, address & telephone if different than above: N/A Cost of Work: \$ _____
Fee: \$ _____
\$300 per legalized unit & \$75 per C of O

Current # of legal D.U. 3 Requested # of units
To be legalized: 1 Total bldg. units: 34

Attach evidence that each requested unit to be legalized existed as of 4/1/95:
List evidence that you are submitting:
① Real Estate assessment records ② City of Portland records dated 22 May 1924 ③ Old Gas pipes removal worksheet

Attach evidence that the current owner/applicant neither constructed nor established the non-conforming dwelling units to be legalized: List evidence that you are submitting:
See above

I hereby certify that I am the Owner of record of the above property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.
Signature of applicant: Victoria Dylewski Date: 22 Dec 04
This is NOT a permit, you may not commence ANY work until the permit is issued.



CITY OF PORTLAND

APPLICATION FOR LEGALIZATION OF NONCONFORMING DWELLING UNITS

Section 14-391 – In effect March 24, 2004

Applies to: Dwelling Units (not rooming units) that are currently recognized by the City as illegal or nonconforming, and located within the following zones: R-3, R-4, R-5, R-6 or R-7; or the B-1, B-1(b), B-2, B-2(b) or B-3 Zones.

Fee: \$300.00 for each dwelling unit to be legalized by the applicant. When a permit is able to be issued, there is a requirement for a fee of \$75.00 for each certificate of occupancy required for each unit to be legalized.

Required Submissions:

1. A plot plan, drawn to scale, showing building(s), parking, easements, dumpsters, fencing, public ways and any other significant feature.
2. A dimensioned floor plan for every unit in the dwelling, whether or not it is the subject of the application.
3. The applicant shall supply competent evidence, such as assessor's records, purchase and sale agreements, affidavits, other public records and such, that:
 - a. The nonconforming dwelling unit(s) existed as of 4/1/95.
 - b. Or that the structure was originally designed and built to accommodate more than the number of units presently in use.
 - c. The applicant neither constructed, nor established the nonconforming dwelling unit(s).
4. The nonconforming dwelling unit(s) must comply or be able to comply with the National Fire Protection Association Life Safety Code – Fire Prevention Code PRIOR to the issuance of the requested permit.
5. The nonconforming dwelling unit(s) must comply or be able to comply with the City's Housing Code PRIOR to the issuance of the requested permit.

Notification requirements: Every application is subject to notifications to owners of abutting properties as well as owners of properties situated within 300 feet of the structure with the request to legalize nonconforming dwelling unit(s). Any objection must be submitted in writing to the Zoning Administrator within ten (10) days of the notice sent to them.

The Zoning Administrator may only approve such an application if:

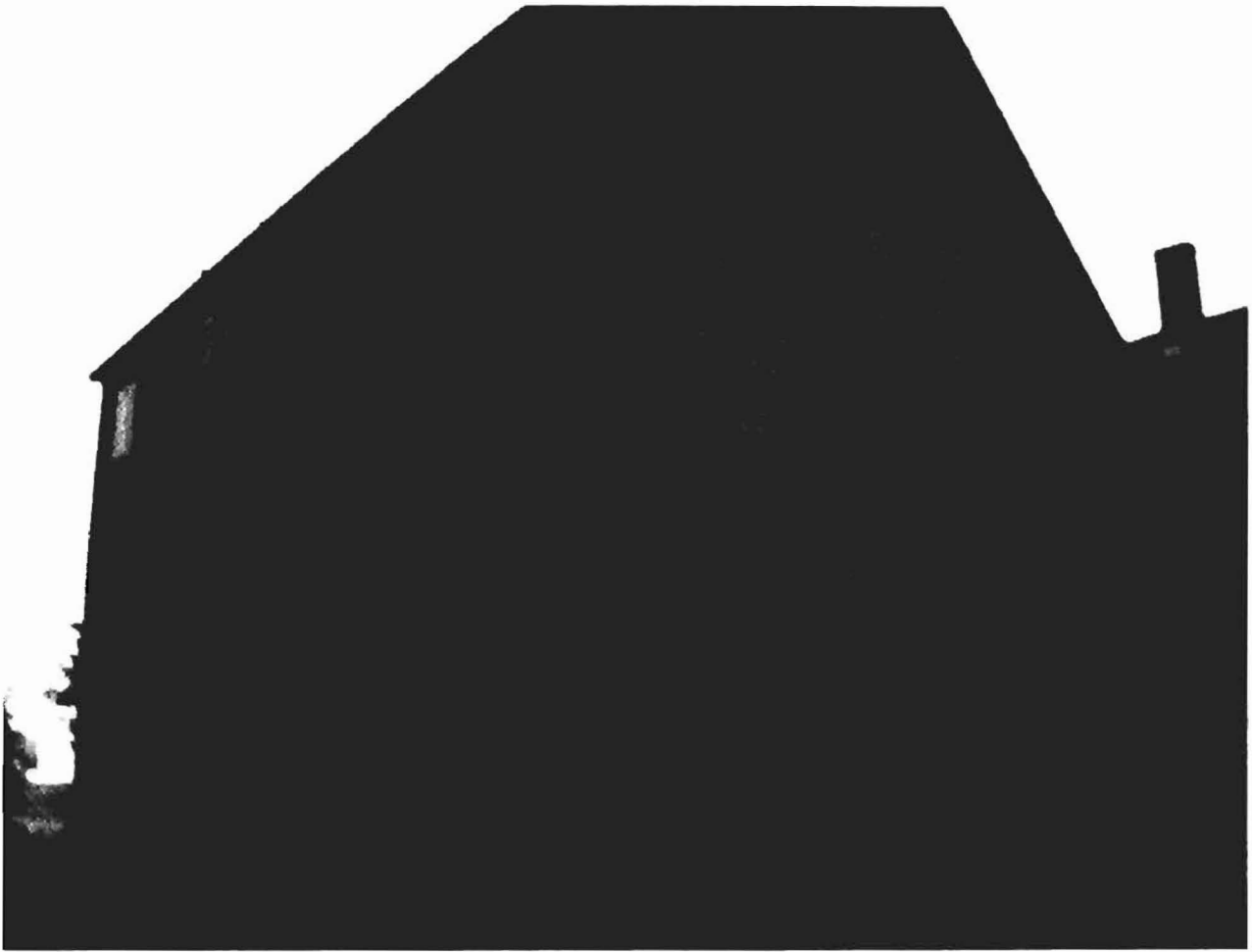
1. The evidence presented by the application satisfies all of the requirements, and
2. Both the office of Inspection Services and the Fire Prevention Bureau have certified that the nonconforming unit(s) conform with the applicable codes, and
3. No abutter or person entitled to notice has requested that the application be referred to the Zoning Board of Appeals for approval as a substitute in place of the Zoning Administrator.

Action required by the Zoning Board of Appeals:

1. When the Zoning Administrator can not approve an application based on submitted , or lack of submitted evidence.
2. When a timely objection is filed by a qualified person.
3. When either of the above #1 and/or #2 occurs, the applicant/owner of the submitted legalization request has thirty (30) days from the decision of the Zoning Administrator or objection to file a Conditional Use Appeal to the Zoning Board of Appeals. All current fees for an appeal application and ZBA notifications will apply in addition to all other fees. The Zoning Board fees shall be paid by the applicant/owner of the submitted legalization request.

Neither the Zoning Administrator nor the ZBA shall apply the dimensional or parking requirements while making a final decision on such an application.

When and if a permit is approved and issued for legalization of dwelling unit(s), the final step of approval is the issuance of a Certificated of Occupancy. This is a separate fee of \$75 per requested unit to be legalized. Before a Certificate of Occupancy is issued, all Housing and Fire Code, and/or Zoning Board requirements shall be met in full.



FILL IN COMPLETELY AND SIGN WITH INK

Permit No. _____

UNLIMITED BUSINESS ZONE

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, May 14, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 88 Salem Street Use of Building Bakery No. Stories 2 ~~New Building~~ Existing

Name and address of owner of appliance Viola Lesnaski, 88 Salem St.

Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone 2-8321

General Description of Work

To install gas fired bake oven

REGULATION BEFORE LAID
OR CLOSING-IN IS WAIVED
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 1st Kind of Fuel gas

Material of supports of appliance (concrete floor or what kind) wood - 8" above floor - protected

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 4'

from top of smoke pipe 2' from front of appliance 6' from sides or back of appliance 2'

Size of chimney flue 10x12 Other connections to same flue none insulated oven

IF OIL BURNER

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____

Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____

Location oil storage _____ No. and capacity of tanks _____

Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building) Portland Gas Light Co.

Signature of Installer _____

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$170.00 Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Vicdie Dyleski Phone # 774-2707

Address: 88 Sales St., Portland, ME 04102

Contractor: LARRY PALLOZZI SA. # ME 04021

Address: 33 Hercker Lane, Cumberland, Maine # R29-3654

Est. Construction Cost: \$30,000.00 Proposed Use: 2-Fam. 3-Fam.

Est. Construction Cost: \$30,000.00 Proposed Use: 2-Fam.

of Existing Bas. Walls: _____ # of New Bas. Walls: _____

Building Dimensions L: _____ Total Sq. Ft. _____

Stories: _____ # Basements: _____

Foundation: _____

Permit: 1855 Also change of use from 2 to 3-fam.

Spacing: 1600

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

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Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

Spacing: _____

For Official Use Only

Date: April 10, 1981

Building Permit: _____

Plan Check: _____

Final Check: _____

Permit Fee: \$170.00

Barlow Bechtel: _____

Zoning Board Approval: Yes No Date: _____

Planning Board Approval: Yes No Date: _____

Conditional Use: Variance No Site Plan Subdivision

Specialized Zoning: Yes No Floodplain: Yes No

Special Recapture: _____

Other: Historic Preservation

Callings: _____

1. Outing Joints Size: _____ Spacing: _____

2. Outing Strapping Size: _____ Spacing: _____

3. Type Callings: _____

4. Installation Type: _____

5. Outing Height: _____

Roof: _____

1. Spacing: _____

2. Spacing: _____

3. Spacing: _____

4. Spacing: _____

5. Spacing: _____

Chimneys: _____

1. Spacing: _____

2. Spacing: _____

3. Spacing: _____

4. Spacing: _____

5. Spacing: _____

Parapets: _____

1. Approval of soil test if required: _____

2. No. of Tubes or Screens: _____

3. No. of Probes: _____

4. No. of Laminations: _____

5. No. of Older Probes: _____

6. No. of Older Probes: _____

Permit Received By: TONCE M. RIFORD Date: _____

Signature of Applicant: _____ Date: _____

Signature of CEO: _____ Date: _____

Inspection Dates: _____

Copyright GPCOG 1988

012557

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$170.00 Zone _____ Map # _____ Lot# _____
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Vickie Dylewski Phone # 774-3207
 Address: 88 Salem St., Portland, ME 04102
 LOCATION OF CONSTRUCTION 88 Salem Street
 Contractor: Larry Pallozzi Sub: _____
 Address: 33 Meadow Lane, Cumberland, ME 04021 Phone # 829-3654
 Est. Construction Cost: \$30,000.00 Proposed Use: XXXXX 3-fam.
 Past Use: XXXXXX 2-fam.
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion To construct full dormer on left side of house

and 8'x25'. (Also change of use from 2 to 3-fam.
Foundation: open porch. 2 sheets of plans.

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other: _____

- Floors:
1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

- Exterior Walls:
1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

- Interior Walls:
1. _____
 2. _____
 3. Wall Covering Type _____
 4. Fire Wall Measure _____
 5. Other _____

For Official Use Only

Date: April 10, 1991 Subdivision: _____
 Inside Fire Limits: _____
 Bldg Code: _____
 Time Limit: _____
 Estimated Cost: \$30,000.00 Ownership: _____

ISSUED
CITY OF PORTLAND

Zoning: Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain: Yes _____ No _____
 Special Exception _____
 Other: _____ (Explain) _____

- Ceiling:
1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceiling: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

- Roof:
1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____

Chimneys: Type: _____ Number of Fire Places _____

Heating: Type of Heat: _____

Electrical: Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

- Plumbing:
1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

- Swimming Pools:
1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Joyce M. Rinaldi

Signature of Applicant Larry Pallozzi for owner Date 4/10/91

Signature of CEO _____ Date _____

Inspection Dates: _____

012557

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$170.00 Zone _____ Map # _____ Lot # _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Vickie Dylewski Phone # 774-3207
 Address: 88 Salem St., Portland, ME 04102
 LOCATION OF CONSTRUCTION: 88 Salem Street
 Contractor: Larry Pallozzi Sub. ME 04021
 Address: 33 Meadow Lane, Cumberland, Phone # 829-3654
 Est. Construction Cost: \$30,000.00 Proposed Use: XXXXM 3-fam.
 Past Use: XXXXXX 2-fam.
 # of Existing Res. Units: _____ # of New Res. Units: _____
 Building Dimensions: L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms: _____ Lot Size: _____
 Is Proposed Use: Residential Condominium _____ Conversion _____
 Explain Conversion: to construct full dormer on left side of house

For Official Use Only
 Date: April 10, 1991
 Inside Fire Lines: _____
 Flag Code: _____
 Time Used: _____
 Estimated Cost: \$30,000.00
 ISSUED
 CITY OF PORTLAND

Zoning: Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning: Yes _____ No _____ Floodplain: Yes _____ No _____
 Special Exception: _____
 Other: _____ (Explain) _____

and 18-25 (Also change of use from 2 to 3-fam)
 Foundation: Open porch 2 sheets of plans
 1. Type of Soil: _____
 2. Set Backs: Front _____ Rear _____ Side(s) _____
 3. Footing Size: _____
 4. Foundation: _____
 Other: _____
 Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girders Size: _____
 3. Lally Column Spacing: _____ Size _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size _____
 6. Floor Sheathing Type: _____ Size _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Spant(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if require _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size _____ Spacing _____
 2. Ceiling Strapping Size _____
 3. Type Ceiling _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height _____
 Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 Chimneys:
 Type: _____ Number of Fire Places _____
 Heating:
 Type of Heat: _____
 Electrical:
 Service Entrance Size: _____ Smoke Detector Required: Yes _____ No _____
 Plumbing:
 1. Approval of soil test if required: Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By: Joyce M. Rinaldi
 Signature of Applicant: [Signature] Date: 4/10/91
 Signature of CEO: _____ Date: _____
 Inspection Dates: _____

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 058 A009001
Location 88 SALEM ST
Land Use THREE FAMILY

Owner Address DYLEWSKI STEPHANIE R & VICTORIA A DYLEWSKI JTS
 88 SALEM ST
 PORTLAND ME 04102

Book/Page /
Legal 58-A-9
 SALEM ST 88-90
 4000 SF

Valuation Information

Land	Building	Total
\$33,080	\$95,020	\$128,100

Property Information

Year Built 1885	Style old style	Story Height 2.5	Sq. Ft. 2576	Total Acres 0.092		
Bedrooms 2	Full Baths 3	Half Baths	Total Rooms 12	Attic None	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date 04/27/1990	Type LAND + BLDING	Price	Book/Page 09161-323
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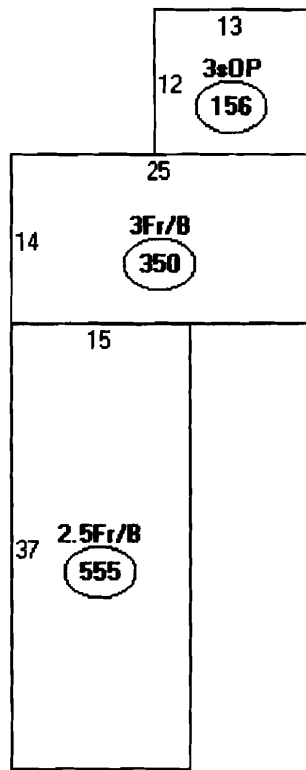
Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).





Descriptor/Area

A: 2.5Fr/B
555 sqft

B: 3Fr/B
350 sqft

C: 3sOP
156 sqft



Family Owned and Operated - Since 1936

www.richardpwaltz.com

705 Roosevelt Trail, Windham ME 04092 893-1911



1174 LEV 01

Bill To Information: Name: <u>Victoria Dylewski</u> Address: <u>98 Salem St</u> City: <u>Portland</u> State: _____ Zip: _____ Home #: <u>773-4077</u> Work #: <u>877-754-3086</u> Cell #: <u>650-5198</u> Pager #: <u>X226</u>		Work At Information: Name: <u>Same</u> Address: _____ City: _____ State: _____ Zip: _____ Home #: _____ Work #: _____ Cell #: _____ Pager #: _____		Scheduled Time Frame: <u>afternoon</u> Day of Week: <u>Friday</u> Day of Month: <u>15</u> Month & Year: <u>10/04</u>
--	--	--	--	--

<input checked="" type="checkbox"/> Collect	<input type="checkbox"/> Send Bill	Ordered By: <u>Victoria</u>	PO#: _____	Order Date: <u>10/15/04</u> Time: <u>8:45</u> ^{AM} / _{PM} Initials: <u>DS</u>
---	------------------------------------	-----------------------------	------------	---

Special Instructions / Directions
1/2 lead time call work

Workman: <u>ROGER</u>	Start Time: _____	End Time: _____	Total Time: _____	Start/End Lunch: _____
-----------------------	-------------------	-----------------	-------------------	------------------------

Service Requested:
Remove old gas pipes in basement
see next page - Gas pipes were never in attic

Recommendations:
 Recommendations are declined at this time, voiding any labor or material warranty. Customer Signature: _____

Code Violations
 Code violations have been fully explained and I understand the recommendations. Customer Signature: _____

All rates carry a one hour minimum, plus travel time both ways, loading/unloading, and cleaning equipment. Warranty: Repairs—30 days; New Fixtures—1 year.

Category	Plumbing	Plumbing/Oil O/T	Natural and LP Gas	Natural and LP Gas O/T	Carpenter	Carpenter O/T
Licensed Technician	\$80.00 / hr	\$120.00 / hr	\$ 95.00 / hr	\$142.50 / hr	\$65.00 / hour	\$97.50 / hr
Licensed Helper	60.00 / hr	90.00 / hr	70.00 / hr	105.00 / hr	55.00 / hour	82.50 / hr

Charges are on a time & material basis. Estimated costs/time frames are a best guess and may be exceeded. Payment is due at the time of service. If prior arrangements were made, terms are net due upon receipt. If terms are not honored, late fees of 1.5% per month (18% per annum) are added to the balance due, plus all costs of collection: including attorney fees, administrative fees, filing fees, and fees charged by collections agencies -typically 20-50% of the balance placed with collections).

Victoria Dylewski
 I understand the rates & charges and authorize work to commence.

Victoria Dylewski
 I acknowledge that all work is accepted, complete & satisfactory.

Received Payment of:
 \$ 189.33

Customer's Name: Victoria Dylewski

11/2/21

Description Of Work Performed: _____

Remove 3 discontinued gas meter
yokes and associated piping
Gas Been shut-off for years Put a
plug in top of main valve
anyway. Take out old
piping and debris

Materials Used: _____

1- 1" Blk plug

Serial Numbers of Fixtures Replaced—OR — Serviced:

Equipment Used: _____

Equipment damaged or in need of repair:

Materials: 933

Equipment: ↓

MSM & ST: ↓

Labor: 18000

TOTAL: 18933

City Of Portland
ATTN: Marge Schmuchal, Zoning Administrator
389 Congress Street Rm 315
Portland, ME 04101

SUBJECT: Application for Legalization of Nonconforming Dwelling Units

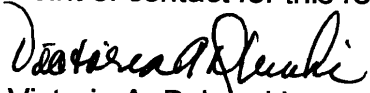
1. Ref: Memorandum, City of Portland, Sub: Application for Legalization of Nonconforming Swelling Units, Section 14-391 – Inf Effect March 24, 2004
2. Enclosed is my applicant to legalize a unit in my dwelling at 88 Salem Street.
3. I am in the process of updating and upgrading my house. The unit which I would like to legalize is the bottom unit. I remember as a child, my parents were renting it to tenants. This time period was the early 1950s. When the tenants died, the unit went out of use and became a storage area.


I have searched the records in city hall, the Cumberland County of Deeds and the documents left to me by my deceased parents on the subject unit. I can not find any written records, except those enclosed on subject unit. The City of Portland does not have plans on record, nor were any left to me by my parents. I was told by my parents that this area was built in the 1900s.

I am the third generation member to live in this house. My grandmother brought the house from her sister in 1930. Both sisters were immigrants from Poland and were not literate in the English language.

The subject unit, a three (3) room apartment, presently has finished hardwood floors, ceilings, a half bathroom and kitchen area. The doors and windows have finish woodwork. Various layers of old wallpaper, along with the original wainscotting finish, are presently still there. The walls are finished in plaster. It is obvious, upon physically viewing, that the unit predates 1995. It appears to have been built in the early 1900s.

4. If the application is approved, I would like to make this unit, once again, into a three room apartment. I understand and will
→ comply, as the laws requires, all codes to meet a certificate of occupancy.
5. Point of contact for this request is the undersigned.


Victoria A. Dylewski
88 Salem Street
Portland, ME 040102-3916
(207) 773-4077


(Stefanie R. Dylewski, co-owner)
45 Clay Pits Road
Scarborough, ME 04074
(207) 885-0706

City Of Portland
ATTN: Marge Schmuchal, Zoning Administrator
389 Congress Street Rm 315
Portland, ME 04101

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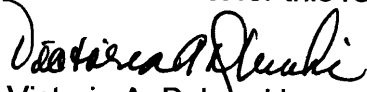
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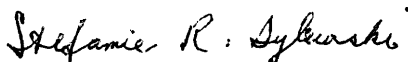
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22 December 2004

City Of Portland
ATTN: Marge Schmuchal, Zoning Administrator
389 Congress Street Rm 315
Portland, ME 04101

SUBJECT: Application for Legalization of Nonconforming Dwelling Units

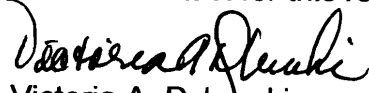
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REAL ESTATE ASSESSMENT RECORD - CITY OF PORTLAND, MAINE

CURR. DESC.	LAND NOS.	STREET	BLDG. NO.	CARD NO.	DEVELOPMENT NO.	AREA	DIST.	ZONE	CHART	BLOCK	LOT	CURR. DESC.
	88-90	Salem		OF			/		58	A	9	

TAXPAYER ADDRESS AND DESCRIPTION

DELEWSKI KAZIMIERA
88 SALEM ST.
CITY

LAND & BLDG. SALEM ST. #88-90
ASSESSORS PLAN 58-A-9 AREA 4000
SQ. FT.

RECORD OF TAXPAYER			YEAR	BOOK	PAGE
Dzienski, Kazimiera Dev.					

PROPERTY FACTORS			
TOPOGRAPHY		IMPROVEMENTS	
LEVEL	<input type="checkbox"/>	WATER	<input type="checkbox"/>
HIGH	<input type="checkbox"/>	SEWER	<input type="checkbox"/>
LOW	<input type="checkbox"/>	GAS	<input type="checkbox"/>
ROLLING	<input type="checkbox"/>	ELECTRICITY	<input type="checkbox"/>
SWAMPY	<input type="checkbox"/>	ALL UTILITIES	<input type="checkbox"/>
STREET		TREND OF DISTRICT	
PAVED	<input checked="" type="checkbox"/>	IMPROVING	<input type="checkbox"/>
SEMI-IMPROVED	<input type="checkbox"/>	STATIC	<input checked="" type="checkbox"/>
DIRT	<input type="checkbox"/>	DECLINING	<input type="checkbox"/>
SIDEWALK	<input checked="" type="checkbox"/>		
TILLABLE	<input type="checkbox"/>	PASTURE	<input type="checkbox"/>
	<input type="checkbox"/>	WOODED	<input type="checkbox"/>
	<input type="checkbox"/>	WASTE	<input type="checkbox"/>

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	YEAR 1951	
40	100	15 ⁰⁰	100	15 ⁰⁰	600	1956
<i>Topo -10%</i>						
TOTAL VALUE LAND					540	540
TOTAL VALUE BUILDINGS					2490	2510
TOTAL VALUE LAND AND BUILDINGS					3030	

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						

ASSESSMENT RECORD			INCREASE	DECREASE
1950	LAND	175		
	BLDG'S.	1350		
	TOTAL	1525		
1951	LAND	325		
	BLDG'S.	1500		
	TOTAL	1825		
1956	LAND	325		
	BLDG'S.	1500		
	TOTAL	1825		

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						

YEAR	OPIG. COST	RENTAL
YEAR	SALE PRICE	EXPENSE
YEAR	U. S. R. S.	NET

RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

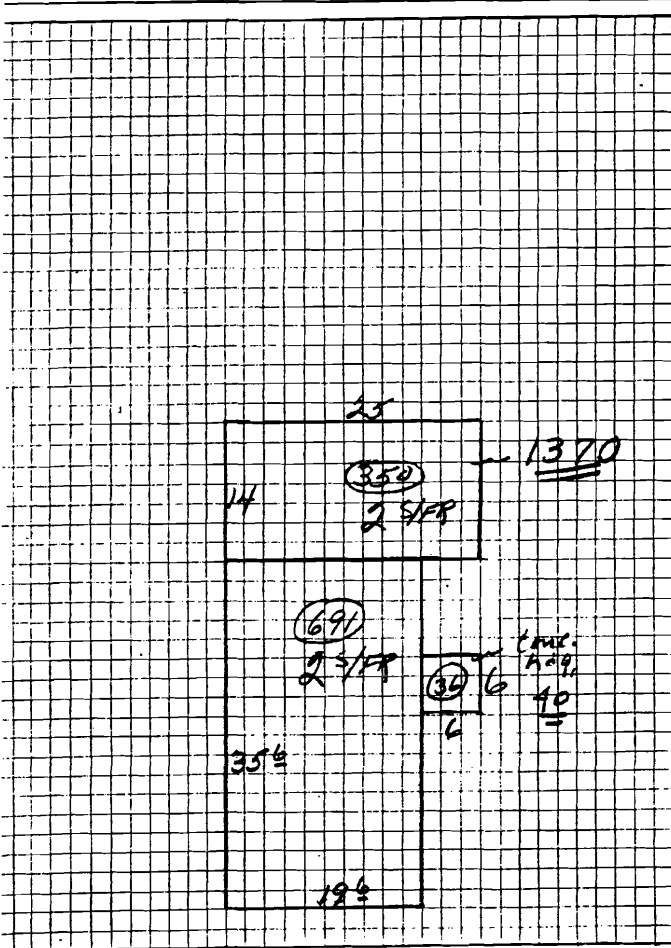
YEAR 19

YEAR 19

15 240 9/155-1125-1112-110
 2nd 240 E.S. owner
 TOTAL 480

CONSTRUCTION		
FOUNDATION	FLOOR CONST.	PLUMBING
CONCRETE	WOOD JOIST	BATHROOM
CONCRETE BLOCK	STEEL JOIST	TOILET ROOM
BRICK OR STONE	MILL TYPE	WATER CLOSET
PIERS	REIN. CONCRETE	LAVATORY
CELLAR AREA FU'L	FLOOR FINISH	KITCHEN SINK
1/4 1/2 3/4	B 1 2 3	STD. WAT. HEAT
NO. CELLAR	CEMENT	AUTO. WAT. HEAT
EXTERIOR WALLS	EARTH	ELECT. WAT. SYST.
CLAPBOARDS	PINE	LAUNDRY TUBS
WIDE SIDING	HARDWOOD	NO PLUMBING
DROP SIDING	TERRAZZO	TILING
NO SHEATHING	TILE	BATH FL. & WCOT.
WOOD SHINGLES		TOILET FL. & WCOT.
ASBES. SHINGLES		LIGHTING
STUCCO ON FRAME	ATTIC FLR. & STAIRS	ELECTRIC
STUCCO ON TILE	INTERIOR FINISH	NO LIGHTING
BRICK VENEER	B 1 2 3	NO. OF ROOMS
BRICK ON TILE	PINE	BSMT. 3 2ND 5
SOLID BRICK	HARDWOOD	1ST 5 3RD 2
STONE VENEER	PLASTER	OCCUPANCY
CONC. OR CIND. BL.	UNFINISHED	SINGLE FAMILY
Comp	METAL CLG.	TWO FAMILY
TERRA COTTA		APARTMENT 2
VITROLITE	RECREAT. ROOM	STORE
PLATE GLASS	FINISHED ATTIC Full	THEATRE
INSULATION	FIREPLACE	HOTEL
WEATHERSTRIP	HEATING	OFFICES
ROOFING	PIPELESS FURNACE	WAREHOUSE
ASPH. SHINGLES	HOT AIR FURNACE	COMM. GARAGE
WOOD SHINGLES	FORCED AIR FURN.	GAS STATION
ASBES. SHINGLES	STEAM	ECONOMIC CLASS
SLATE TILE	HOT WAT. OR VAPOR	OVER BUILT
METAL	NO HEATING	UNDER BUILT
COMPOSITION		DT. 6/29/50 AR. 15
ROLL ROOFING	GAS BURNER	LD. 5 PD.
INSULATION	OIL BURNER	MS. CK. 3
	STOKER	

COMPUTATIONS			
UNIT	1951	1956	
691 S.F.	4270	4270	
S.F.			
ADDITIONS	+1410	+1410	
BASEMENT WALLS ROOF	+300	+300	
FLOORS			
ATTIC Full	+280	+280	
FINISH			
FIREPLACE			
HEATING	-440	-440	
PLUMBING	+110	+110	
TILING			
MF+10k	+430	+430	
TOTAL	6360	6410	
FACT. -5	-210	-210	
REP. VAL.	6150	6200	



SUMMARY OF BUILDINGS										
OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	SOUND VAL.	TAX VAL.
Dwg	2 SFR	C	76		F-P	6150	55%	2770	10/6	2490
						6200	55%	2790	10/6	2510
YEAR	1951	1956								
TAX VAL.						13956				19
OLD VAL.	1500									19
CHANGE										19
1951 TOTAL BLDGS.									2490	11200

**IMPORTANT NOTICE FROM CITY OF PORTLAND
ZONING DIVISION**

**TO RESIDENTS AND PROPERTY OWNERS
IN THE VICINITY OF 88 Salem Street**

Issues: Stephanie R. & Victoria Dylewski, owners of the property located at 88 Salem St Street, have submitted an application to legalize existing non-conforming dwelling unit for a total of dwelling units within this building. The legalization maybe permitted if the applicant can meet the requirements allowed under Section 14-391 of the Zoning Ordinance.

Feedback: If you have any objection to the above permit application, you must submit your opposition in writing within ten (10) days of this notice to: City of Portland Zoning Administration City Hall - Room 315-389 Congress Street Portland, Maine 04101

FOR MORE INFORMATION

For more information you may contact Marge Schmuckal, Zoning Administrator, at (207) 874-8695. The office hours are 8:00am to 4:00pm weekdays.



CITY OF PORTLAND

**CITY OF PORTLAND HOUSING CODE
DWELLING UNIT COMPLIANCE**

Section 14-391 of the Land Use Ordinance allows illegal nonconforming dwelling units to become legalized thru a given process. Part of this process is that the dwelling unit(s) that are requested to be legalized must comply or be able to comply with the City of Portland's Housing Code PRIOR to issuing the requested permit.

Please return this form to the Zoning Administrator (Marge Schmuckal) as to compliance or the ability to comply with these codes.

Location: _____

Owner: _____

Address of Owner: _____ **Telephone:** _____

Applicant information if different than above: _____

Current number of legal units: _____

Number of units to be legalized: _____

Comments of approval or disapproval (list any and all conditions): _____

Signature: _____ **Date:** _____



CITY OF PORTLAND

NFPA LIFE SAFETY CODE – FIRE PREVENTION CODE DWELLING UNIT COMPLIANCE

Section 14-391 of the Land Use Ordinance allows illegal nonconforming dwelling units to become legalized thru a given process. Part of this process is that the dwelling unit(s) that are requested to be legalized must comply or be able to comply with the NFPA Life Safety Code – Fire Prevention Code **PRIOR** to issuing the requested permit.

Please return this form to the Zoning Administrator (Marge Schmuckal) as to compliance or the ability to comply with these codes.

Location: _____

Owner: _____

Address of Owner: _____

Telephone: _____

Applicant information if different than above: _____

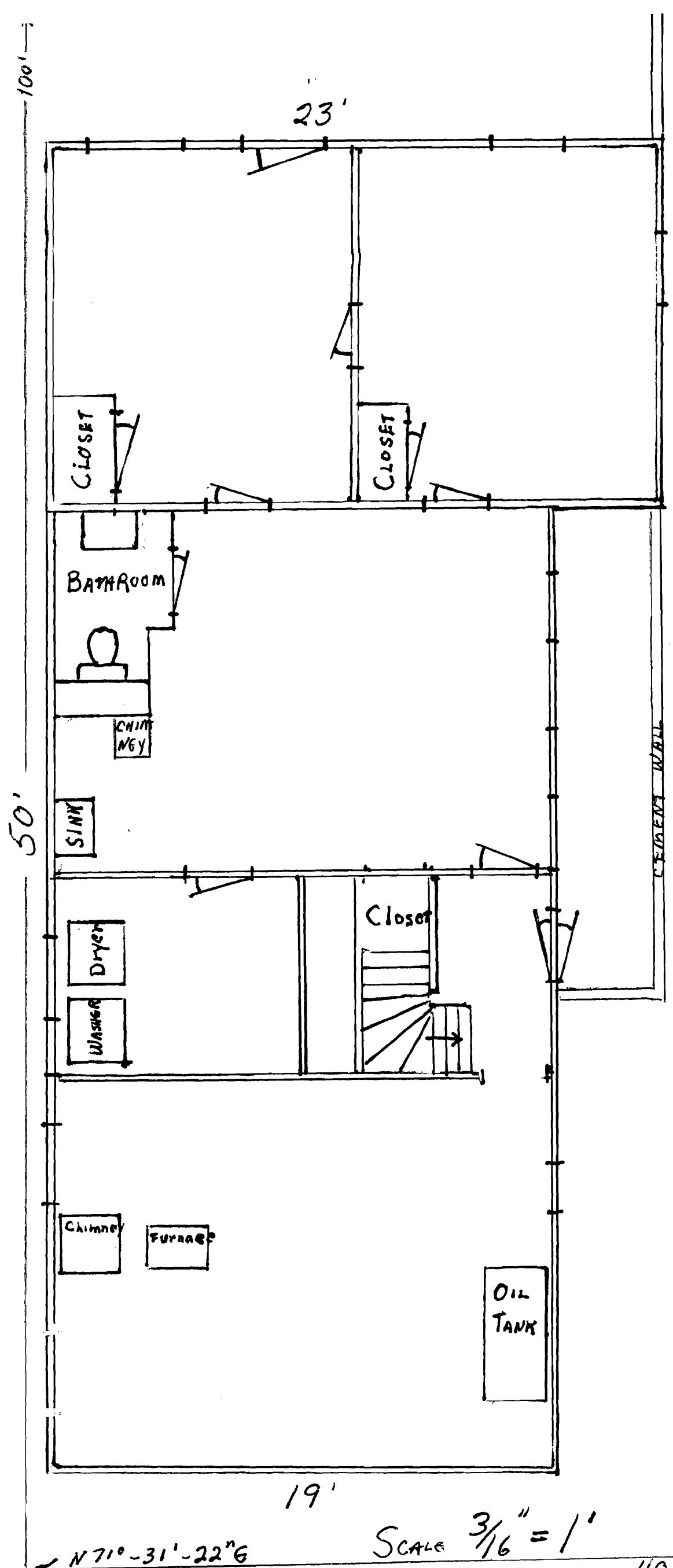
Current number of legal units: _____

Number of units to be legalized: _____

Comments of approval or disapproval (list any and all conditions):

Signature: _____

Date: _____



13' 6"

EASEMENT AND PASSAGEWAY Bk. 9101 Pg. 135

DRIVEWAY

GROUND FLOOR
 88 SALEM STREET
 VICTORIA DYLEWSKI

100'

50'

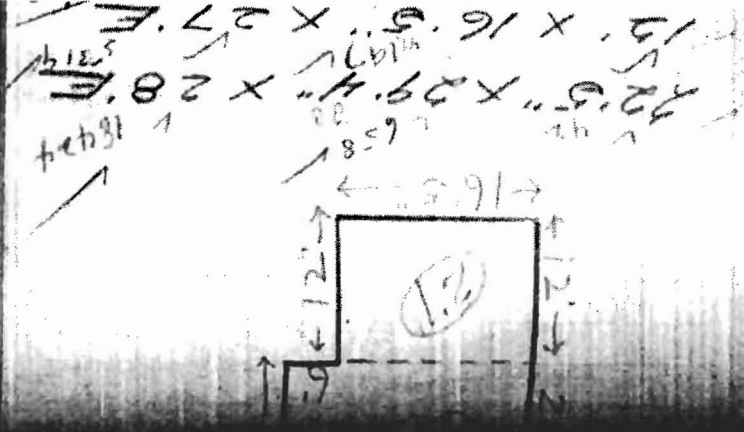
23'

19'

N 71°-31'-22" E

SCALE 3/16" = 1'

100.26'



Tenants and Rooms 2-4/3-6
 Rentals 38 9/16/1-15/
 Age 50
 Condition of Repair Good

- | | | |
|---------------------|-----------------|-----------------------|
| Class | Exterior | Plumbing |
| Bungalow | Clapboards | Common |
| Single House | Siding | Individual |
| Two family | Shingles | Open |
| Three family | Stucco | Set tubs |
| Apartment | Paper | Finish |
| Store Building | Tapestry Brick | Plain |
| Office | Com. Brick | Hardwood |
| Factory | Galv. Iron | Halls |
| Storage | Stone | Wood |
| Stables | Terra Cotta | Terrazzo |
| Garage, private | Concrete | Marble |
| Garage, public | | Roof - Roofing |
| Theatre | Heating | Shingle |
| Club House | Stove | Slate |
| Cottage | Furnace | Gravel |
| | Hot Water | Prepared |
| | Steam | Asbestos |
| Foundation | Light | Flat |
| Brick | Oil | Hip |
| Stone | Gas 1/2 | Gable |
| Concrete | Electric | Dormers |
| Pile | | Windows |
| Basement | Floor | Plain Glass |
| Full | Common | Wire Glass |
| Cement Floor, 1/2 | Hardwood | Shutters |
| Waterproof | Re-Concrete | Miscellaneous |
| Construction | Concrete Slab | Elevator |
| Frame | Waterproof | Sprinkler |
| Brick | Ceiling | Fire Escape |
| Tile | Plaster | Refrigerator |
| Blocks | Metal | Vacuum Cleaner |
| Stucco | Panelled | Safes and Vaults |
| Re-Concrete | Rough | Telephone Equip. |
| Mill | | |
| Steel Frame | | |

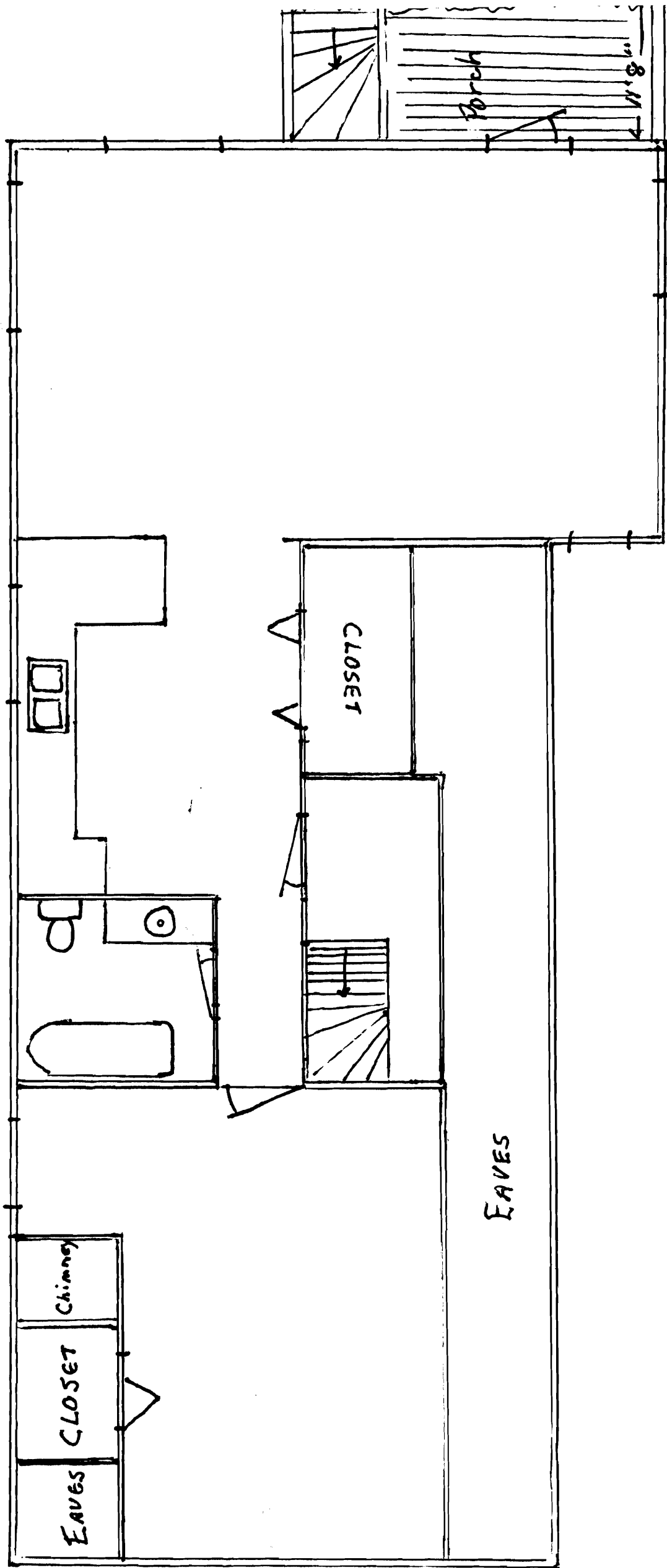
Ground Area 1041 Height 28'
 Cubic Feet 29148 Unit 182125
 Utility Dep. 31
 Dep. 60 Per cent.
Sound Value, \$ 2098

Land 3900 Corner Interior Alley
 Front Depth = ft.
 COMPUTATION

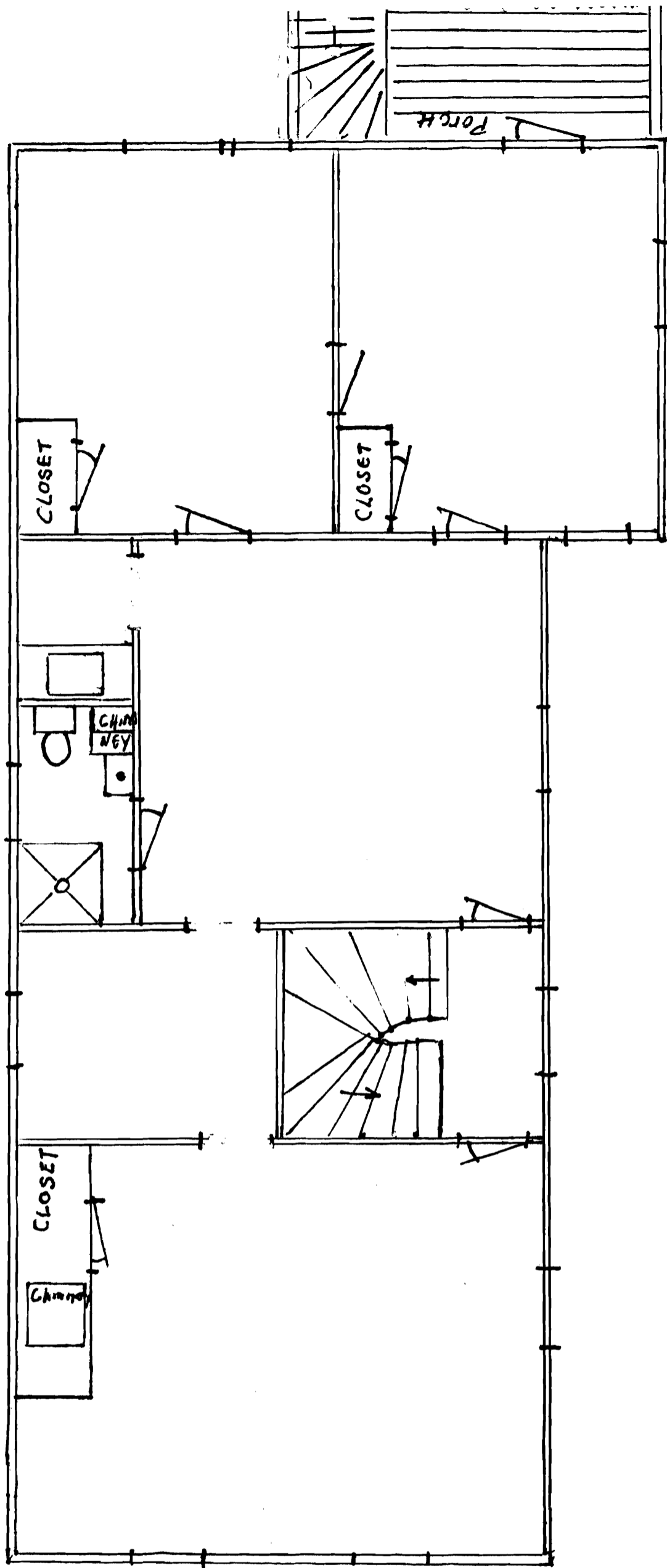
Area	Multiplier	Coefficient	
3900	100	3900	
Year	Unit	Coefficient	Land Value
19	3900	5344	



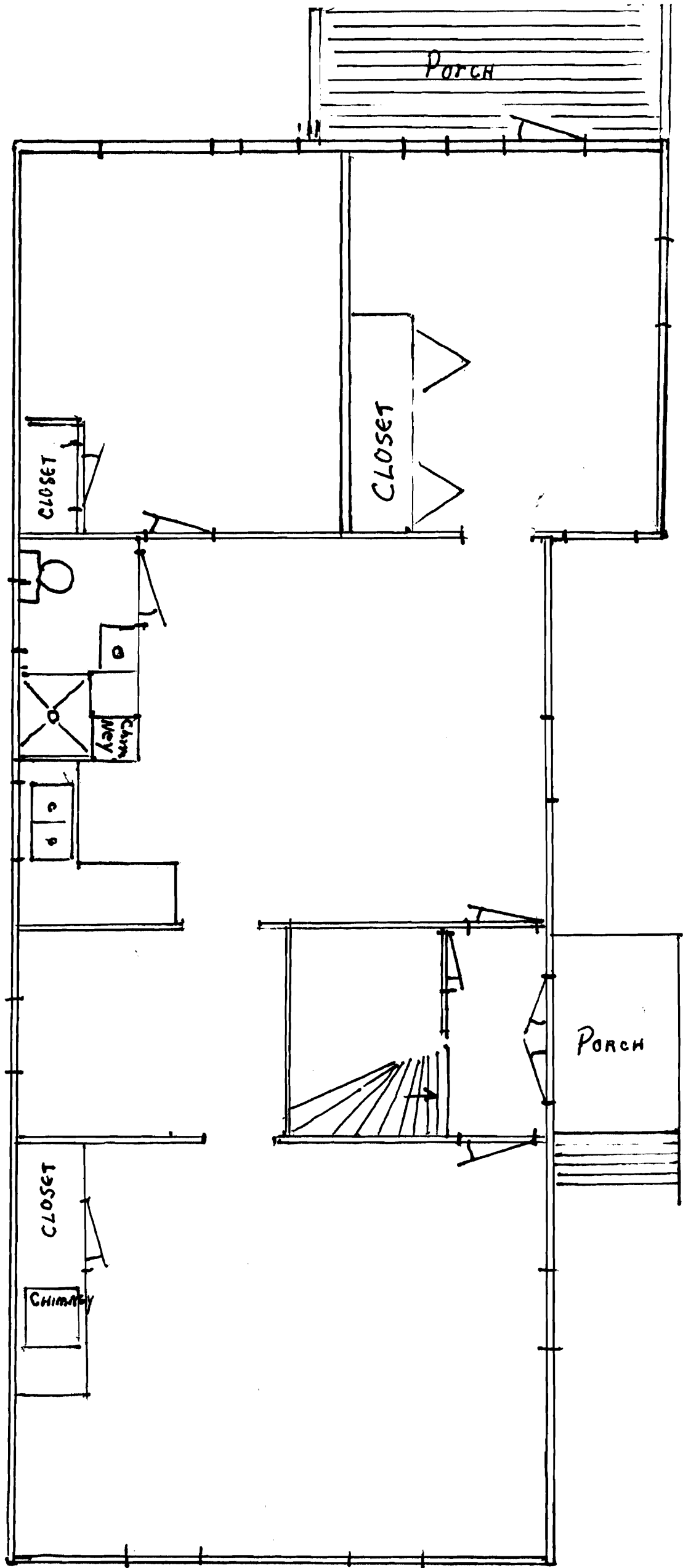
Surveyed by A. C. MacCune
 (Remarks on other Side)



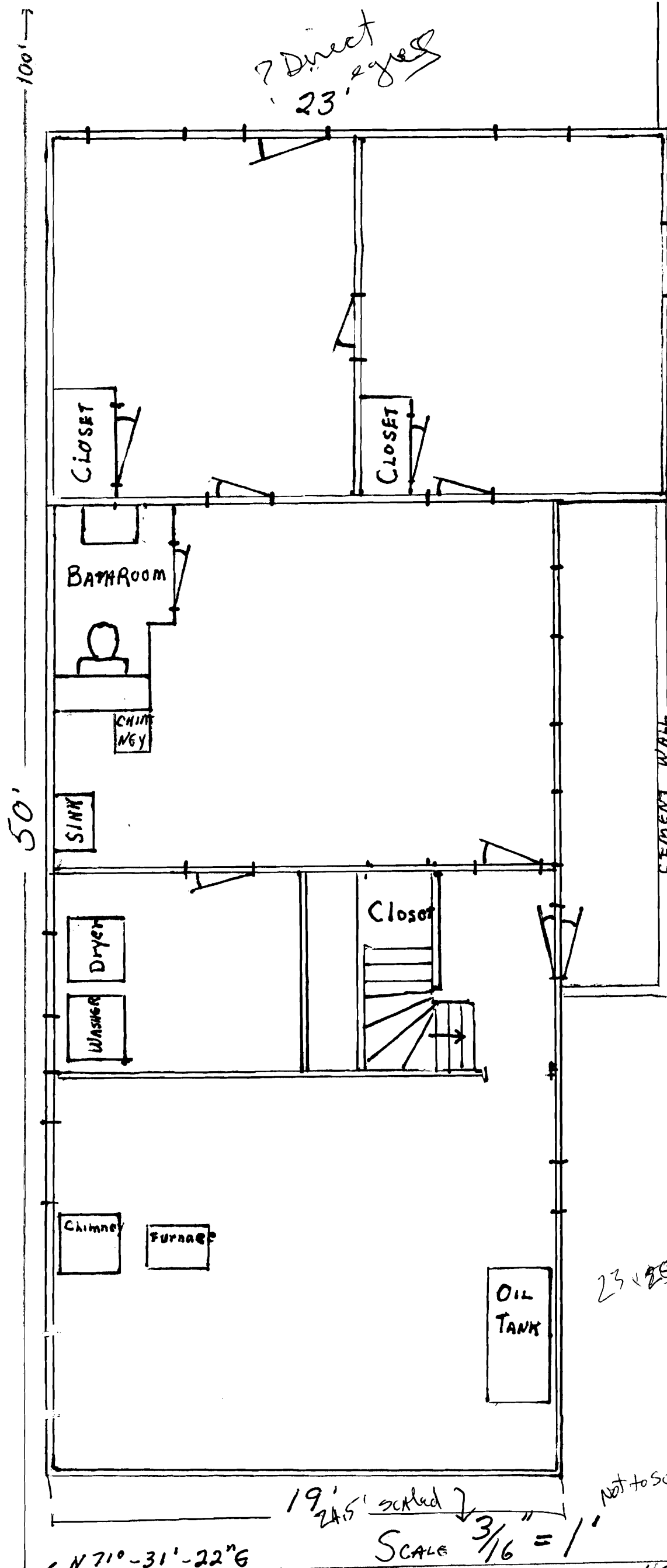
THIRD FLOOR
88 SALEM STREET
VICTORIA DYLEWSKI



SECOND FLOOR
88 SALEM STREET
VICTORIA DYLEWSKI



FIRST FLOOR
88 SALEM STREET
VICTORIA DYLEWSKI



100'

50'

7 Direct
23' egress

13'6"

EASEMENT AND PASSAGEWAY Bk. 9101 Pg. 135

DRIVEWAY

23' x 25' = 575^{sq ft} - 14-136 requires 600^{sq ft} min

GROUND FLOOR
88 SALEM STREET
VICTORIA DYLEWSKI

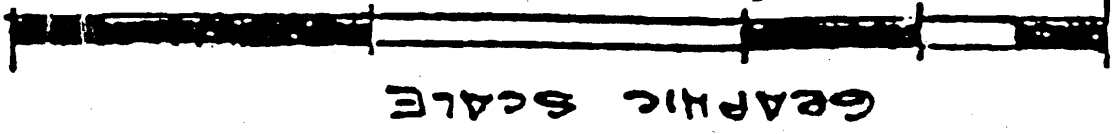
SCALE 3/16" = 1'
Not to scale

N 71° - 31' - 22" E

19' 2 1/2' scaled

100.26'

Handwritten signature



#2)

PERSON

STREET (SHIM)

N 71° 31' 22" E

CHAIN LINK FENCE W/ GATE

29'

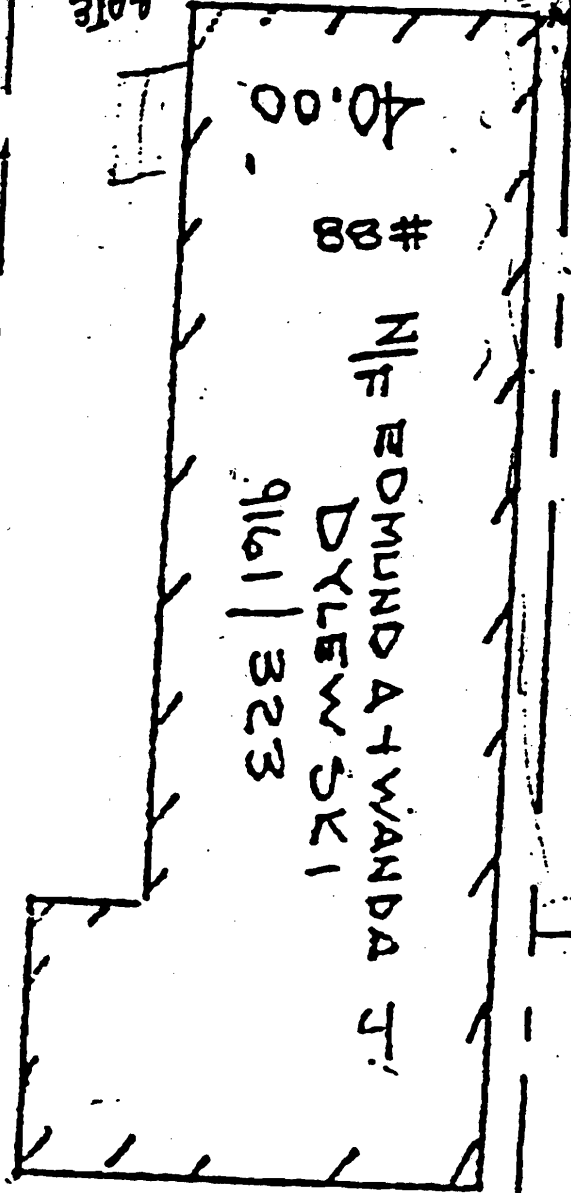
58'

PEARSON AND

ONLY

(80.7' RUN #2 + R/R RUN)

80.83 MEAS.



EASEMENT AND PASSAGE WAY BK. 9101 PG. 135

S 15° 47' 38" E - 100.22' IRON ROD W/ CAP

78.00'

N/E

NEAL C. VIEIRA

5066/302

formerly

ELIZABETH

492/208

92

SEE PLAN REF # 2

40.00'

40.00' CONC. RETAINING WALL

S 71° 31' 22" W

(dot DEED REF # 2)
(dot DEED REF # 1)

40.00'

135.2'