

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
Permit Number: 060735
JUN 9 2006
CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

This is to certify that TITHERINGTON TARI & LEVEL SHAW JTS/Peter W. Johnson
has permission to Add dormer to 3rd floor, 3rd floor stairs, 3rd floor decks to side, 2 kneewalls on 3rd floor
AT 92 SALEM ST 058 A008001

provided that the person or persons in charge of the work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

A certificate of inspection must be procured and when permission proceeds before this building or part thereof is occupied or services closed-in. **YOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director, Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
06-0735	PERMIT ISSUED JUN - 9 2006	058 A008001

Location of Construction: 92 SALEM ST	Owner Name: TITHERINGTON TARI & OLIVE	Owner Address: 92 SALEM ST	Phone:
Business Name:	Contractor Name: Peter W Hudson <i>247-4706</i>	Contractor Address: P O box 340 E Waterboro	Phone: 207 2474706
Lessee/Buyer's Name	Phone:	Permit Type: CITY OF PORTLAND Alterations - Commercial	Zone: RL

Past Use: Residential 3 unit (condo)	Proposed Use: Residential 3 unit (condo) add dormer to 3rd floor, 3rd floor stairs to code, rear decks to code, 2 kneewalls to 3rd floor <i>legal use: 3 residential condos (H06-0720)</i>	Permit Fee: \$174.00	Cost of Work: \$17,000.00	CEO District: 2
Proposed Project Description: Add dormer to 3rd floor, 3rd floor stairs to code, rear decks to code, 2 kneewalls to 3rd floor		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied TO NFPA 101		INSPECTION: Use Group: <i>R2</i> Type: <i>5B</i> <i>6/8/06</i> Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: dmartin	Date Applied For: 05/12/2006	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>OK per section M-435 (b) 10/26/06 to use.</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK - 1 cond ition</i> Date: <i>5/31/06</i> <i>AM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>AM</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0725	Date Applied For: 05/12/2006	CBL: 058 A008001
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Location of Construction: 92 SALEM ST	Owner Name: TITHERINGTON TARI & OLIVE	Owner Address: 92 SALEM ST	Phone:
Business Name:	Contractor Name: Peter W Hudson	Contractor Address: P O box 340 E Waterboro	Phone (207) 247-4706
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Residential 3 unit (condo) add dormer to 3rd floor, 3rd floor stairs to code, rear decks to code, 2 kneewalls to 3rd floor	Proposed Project Description: Add dormer to 3rd floor, 3rd floor stairs to code, rear decks to code, 2 kneewalls to 3rd floor
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/31/2006

Note: Section 14-433(b) allows for an 80% increase of first floor footprint. 80% is 1303.75 s.f. Dormer is 63 s.f. **Ok to Issue:**

- 1) This property shall remain as three residential condominiums. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 06/08/2006

Note: **Ok to Issue:**

- 1) Framing details for the stair floor opening must be submitted and approved, prior to framing. Guard details must be submitted and approved prior to construction.
- 2) All repaired or new wall or floor ceiling assemblies must have a 1 hour fire resistance rating and a sound transmission classification of 50. These details must be submitted and approved prior to close in.
- 3) New stairway must have 80 inches of headroom.
- 4) The communicating stairway from the second to the third floor unit is "within" the dwelling unit and thus is entitled to have a 7 3/4 inch riser and 10 " tread.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 05/31/2006

Note: **Ok to Issue:**

- 1) All construction shall comply with NFPA 101

Comments:

5/30/2006-amachado: Spoke to owner. She will bring in a plot plan. Spoke to contractor. He will bring in measurements for dormer etc.

6/6/2006-mjn: Need framing details and guard details also fire separation assembly questions, spoke with applicant and left message w/ contractor.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>92 SALEM ST PORTLAND 04102</u>		
Total Square Footage of Proposed Structure <u>3298 SF</u>		Square Footage of Lot <u>3120 SF</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>058 A B</u>	Owner: <u>TARI TITHERINGTON</u>	Telephone: <u>207-838-8084</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Tari Titherington 92 Salem St #3 Portland, ME 04102 207-838-8084</u>	Cost Of Work: \$ <u>17,000</u> Fee: \$ <u>174</u> C of O Fee: \$ <u>N/A</u>
Current Specific use: <u>3 family residential</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>3 Condominiums - residential</u>		
Project description: <u>1. Add dormer to 3rd floor - 15'8" long : 9' deep 2. Bring 3rd Fl front stairs to code, change layout 3. Bring decks - floors 1,2,3 - to code w/ 42" railings & new floorboards pressure treated 4. Add 2 kneewalls 2nd floor</u>		
Contractor's name, address & telephone: <u>Peter W. Hudson</u> <u>PB Box 340</u> <u>E Waterboro ME</u> <u>04730</u> <u>207-477-0677</u> <u>04102</u>		
Who should we contact when the permit is ready: <u>Owner - above</u>		
Mailing address: <u>92 Salem St #3</u> Phone: <u>838-8084</u> <u>Portland, ME</u> <u>04102</u>		

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

MAY 12 2006

RECEIVED

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 877-870-8700

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>5/12/06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

144 234

Applicant: Tari Thengler

Date: 5/31/06

Address: 92 Salem St.

C-B-L: 058-A-08
permit # 06-0725

CHECK-LIST AGAINST ZONING ORDINANCE

Date - built 1890

Zone Location - R6

Interior or corner lot -

Proposed Use/Work - add third floor dormer, interior work, replace deck railings & boards

Sewage Disposal -

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

not meet setbacks - Section 14-436(b) - expand 80% of 1st floor.

80% of 1303.75 = 1043 ft

dormer adding 62 sq ft of living space

Projections -

Width of Lot -

Height -

Lot Area -

3120

OK

Lot Coverage/ Impervious Surface -

Area per Family - 1000 ft²

- 3 families

3,000 ft²

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

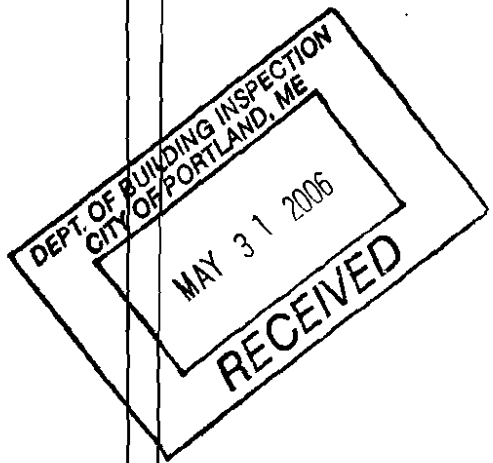
92 SALEM ST
PLOT PLAN

* NOT TO
SCALE

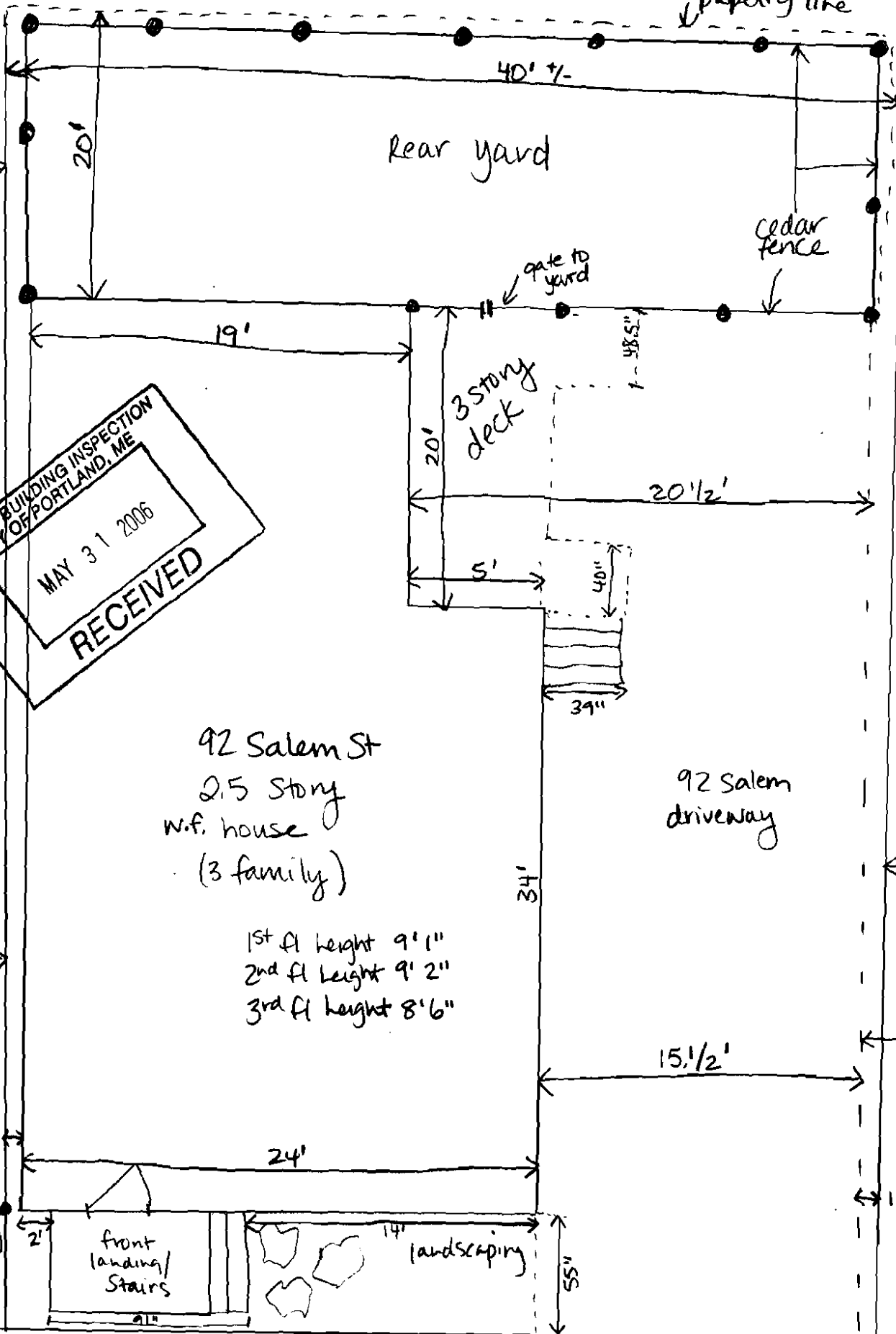
90 salem yard

property line

prop line



838-8084 Tari



Rear yard

cedar fence

gate to yard

3 story deck

92 Salem St
2.5 story
w.f. house
(3 family)

92 Salem
driveway

neigh-
bor's
house

1st fl height 9' 1"
2nd fl height 9' 2"
3rd fl height 8' 6"

neighbor's
driveway

prop-
erty
line

property
line

front
landing/
stairs

landscaping

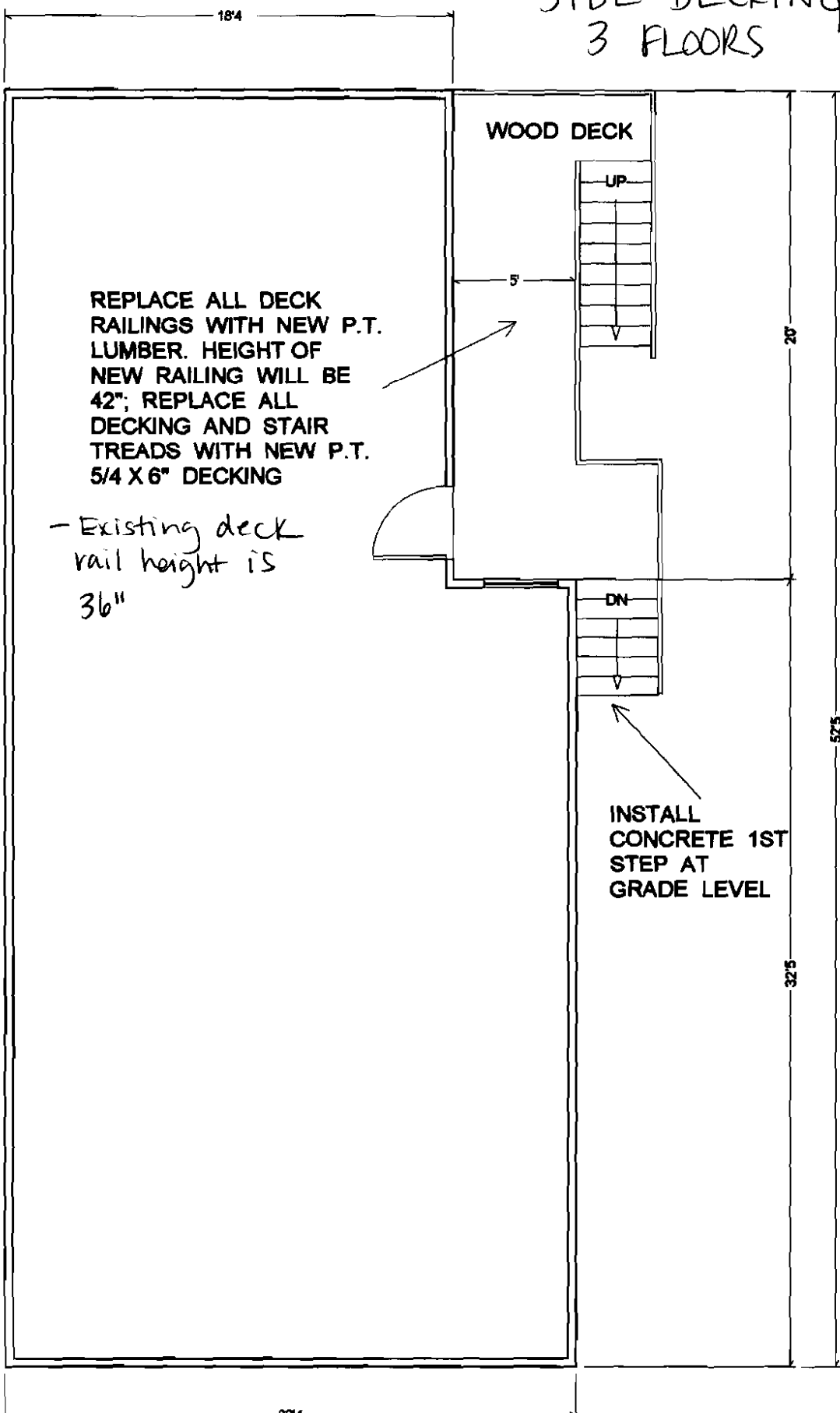
public brick sidewalk

FIRST FLOOR PLAN "AS PROPOSED"

SIDE DECKING
3 FLOORS

first floor footprint
 $32.5 \times 25.5 = 743.75$
 $18.5 \times 20 = 370$
 $20 \times 8.5 = 170$

 1303.75

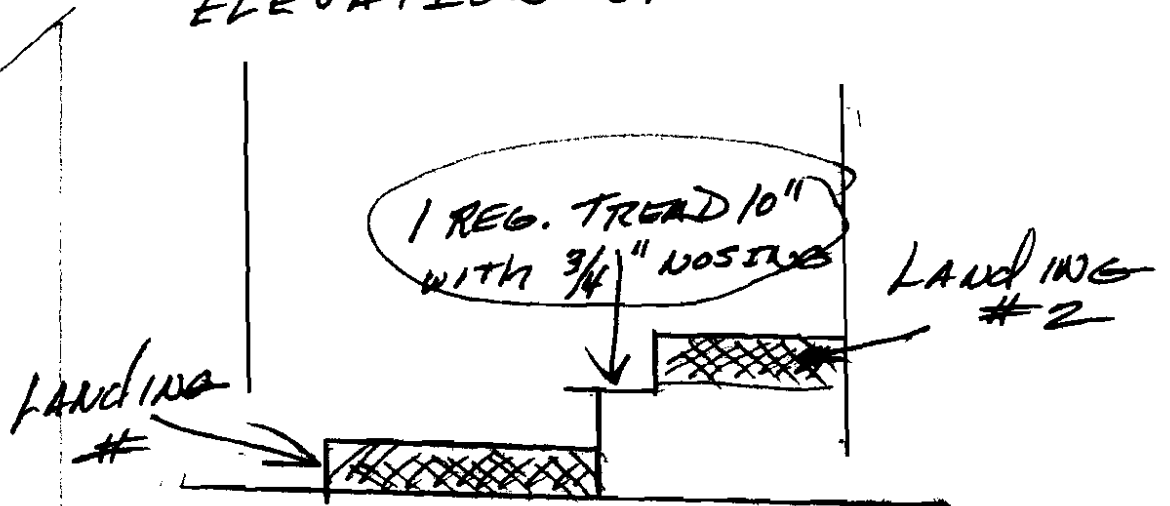


REPLACE ALL DECK RAILINGS WITH NEW P.T. LUMBER. HEIGHT OF NEW RAILING WILL BE 42"; REPLACE ALL DECKING AND STAIR TREADS WITH NEW P.T. 5/4 X 6" DECKING

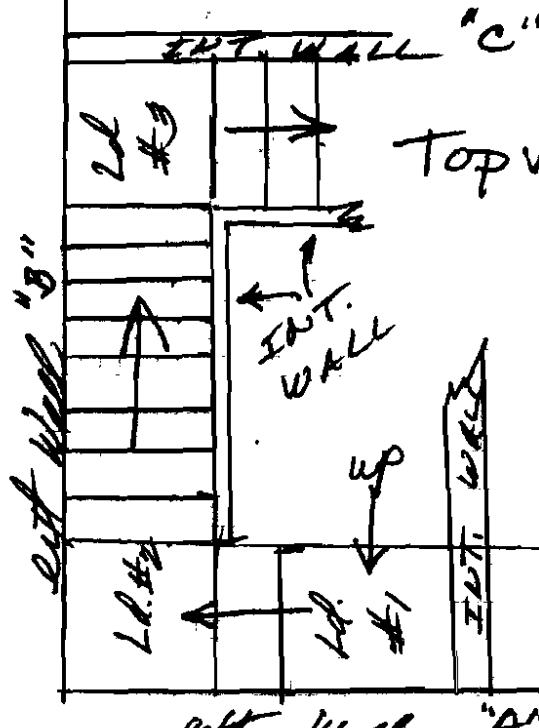
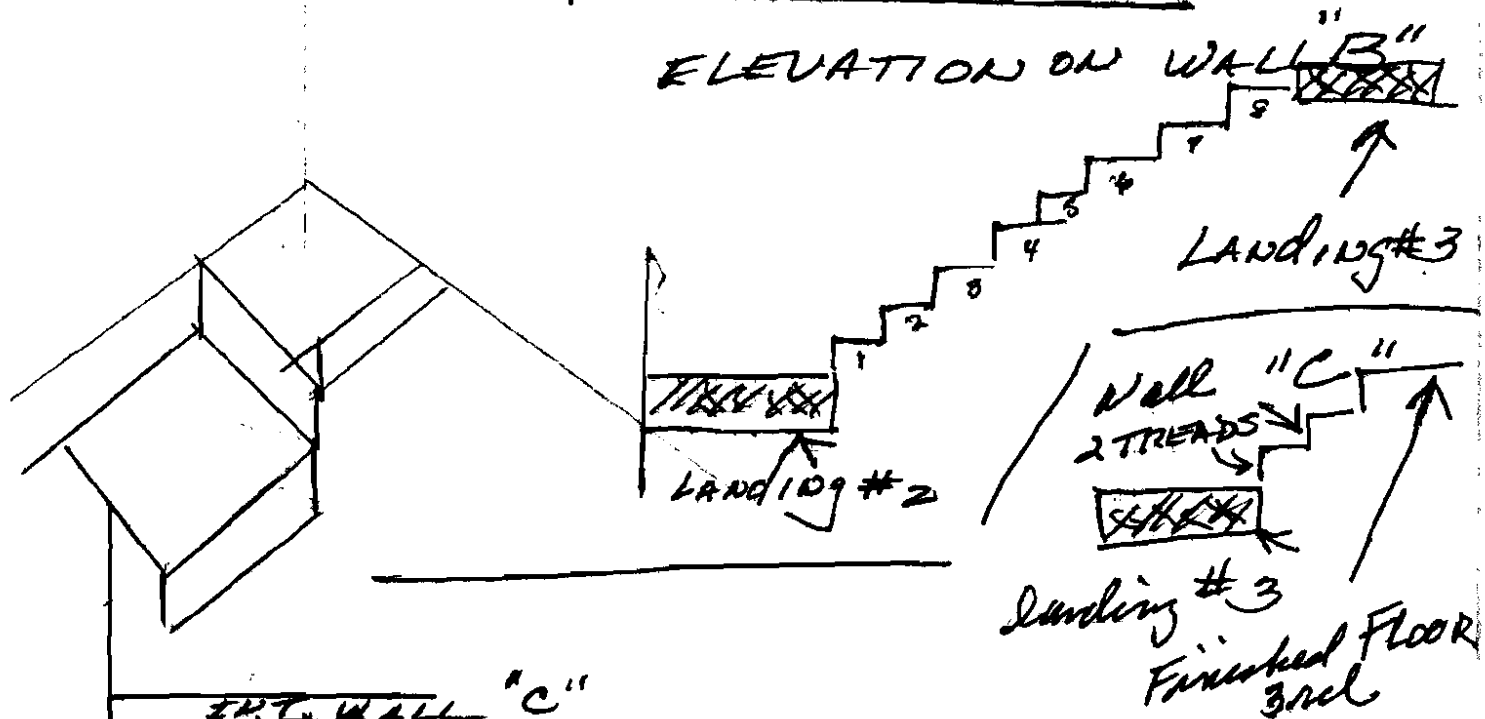
- Existing deck rail height is 36"

INSTALL CONCRETE 1ST STEP AT GRADE LEVEL

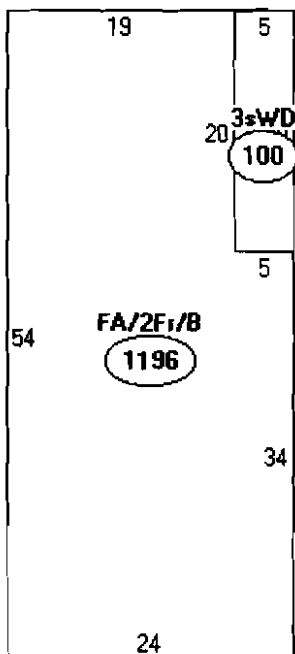
ELEVATION ON WALL "A"



ELEVATION ON WALL "B"



- TOP VIEW
1. LANDING #1 39" x 37"
 2. LANDING #2 37" x 37"
 3. LANDING #3 37" x 37"
 4. ALL 15 RISERS ARE 7.5"
 5. ALL TREADS ARE 10" WITH ADDITIONAL 3/4" NOSING
 6. THERE ARE 11 TREADS



Descriptor/Area

A: FA/2Fr/B
1196 sqft

B: 3sWD
100 sqft

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 058 A008001
Location 92 SALEM ST
Land Use THREE FAMILY

Owner Address TITHERINGTON TARI & OLIVE L SHAW JTS
 92 SALEM ST
 PORTLAND ME 04102

Book/Page 22859/265
Legal 58-A-8
 SALEM ST 92-94
 3120 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$72,310	\$167,370	\$239,680

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$112,900	\$212,100	\$325,000

* Value subject to change based upon review of property status as of 4/1/06.
 The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1890	Style Old Style	Story Height 2	Sq. Ft. 3050	Total Acres 0.072	
Bedrooms 6	Full Baths 3	Half Baths	Total Rooms 11	Attic Full Fin./wh	Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
07/08/2005	LAND + BLDING	\$390,000	22859-265
09/01/2003	LAND + BLDING	\$340,000	20096-258
02/01/1999	LAND + BLDING	\$169,000	14543-211

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0725	Date Applied For: 05/12/2006	CBL: 058 A008001
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Business Name:	Contractor Name: Peter W Hudson	Contractor Address: P O box 340 E Waterboro	Phone (207) 247-4706
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

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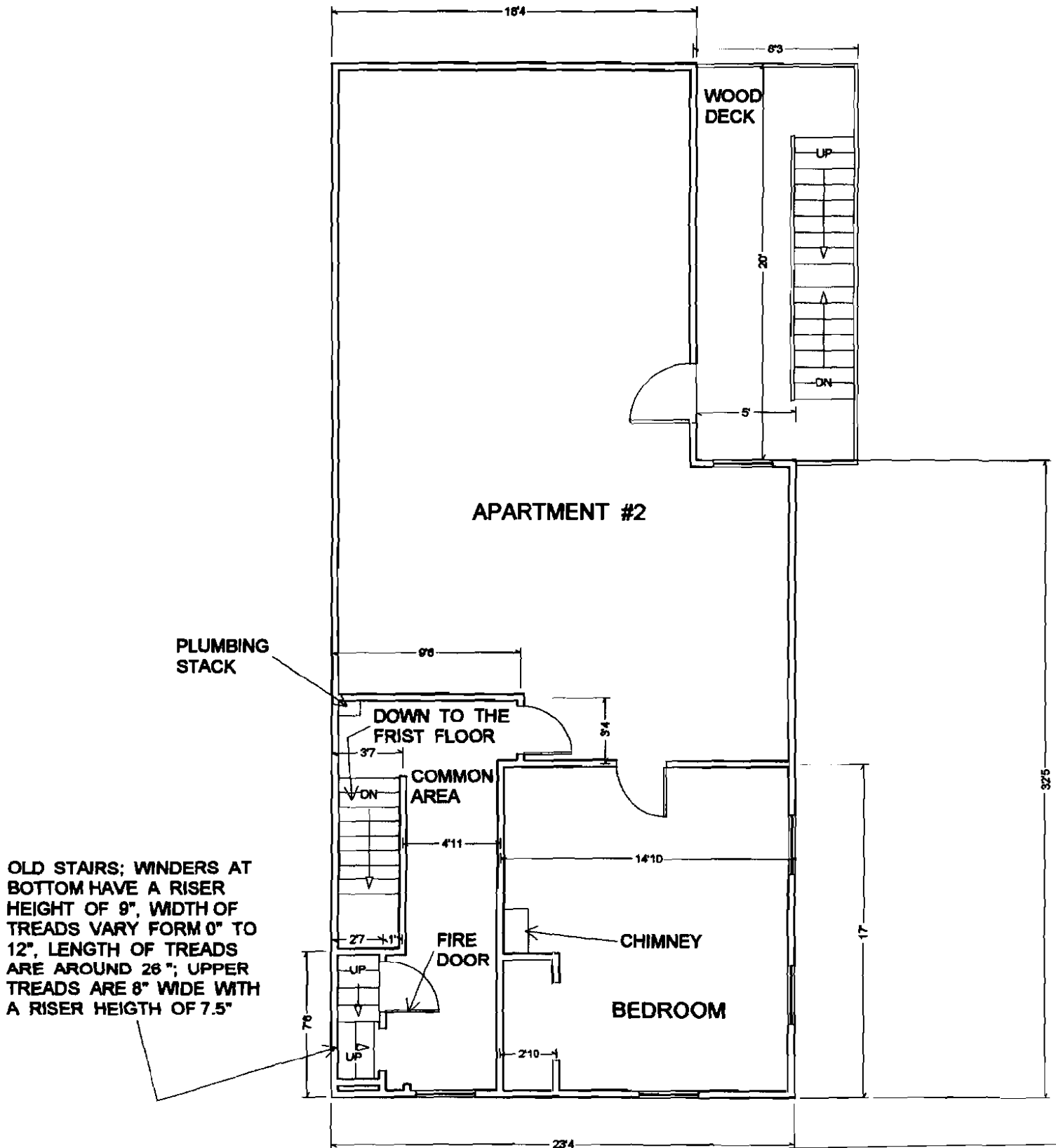
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 05/31/2006
Note: Section 14-433(b) allows for an 80% increase of first floor footprint. 80% is 1303.75 s.f. Dormer is 63 s.f. Ok to Issue: <input checked="" type="checkbox"/>			
Increase or 6% of allowable increase			
1) This property shall remain as three residential condominiums. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			

Dept: Building	Status: Pending	Reviewer:	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>

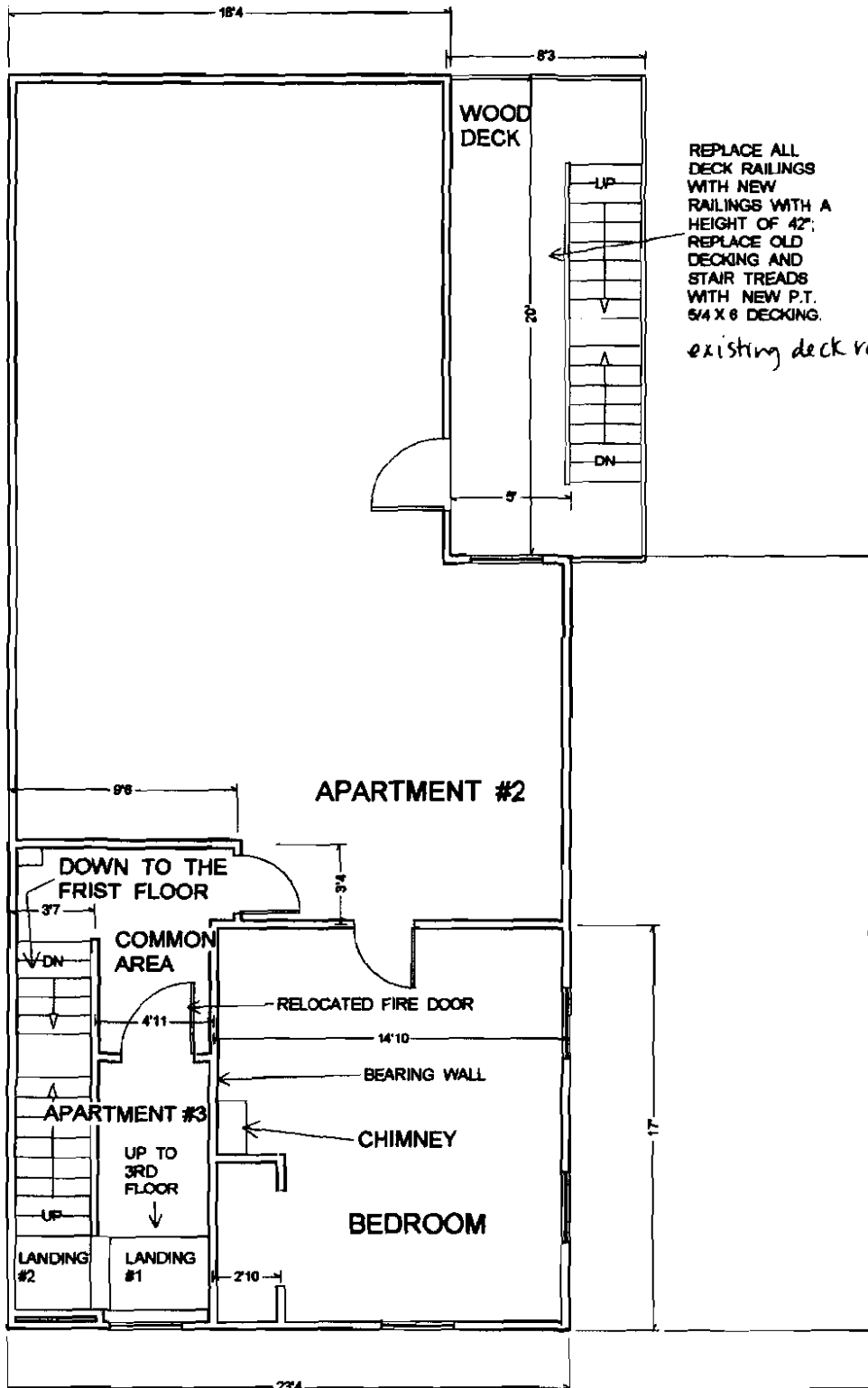
Dept: Fire	Status: Approved with Conditions	Reviewer: Cptn Greg Cass	Approval Date: 05/31/2006
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) All construction shall comply with NFPA 101			

Comments:
5/30/2006-amachado: Spoke to owner. She will bring in a plot plan. Spoke to contractor. He will bring in measurements for dormer etc.
6/6/2006-mjn: Need framing details and gurd details also fire separation assembly questions, spoke with applicant and left message w/ contractor.

SECOND FLOOR PLAN "AS IS"

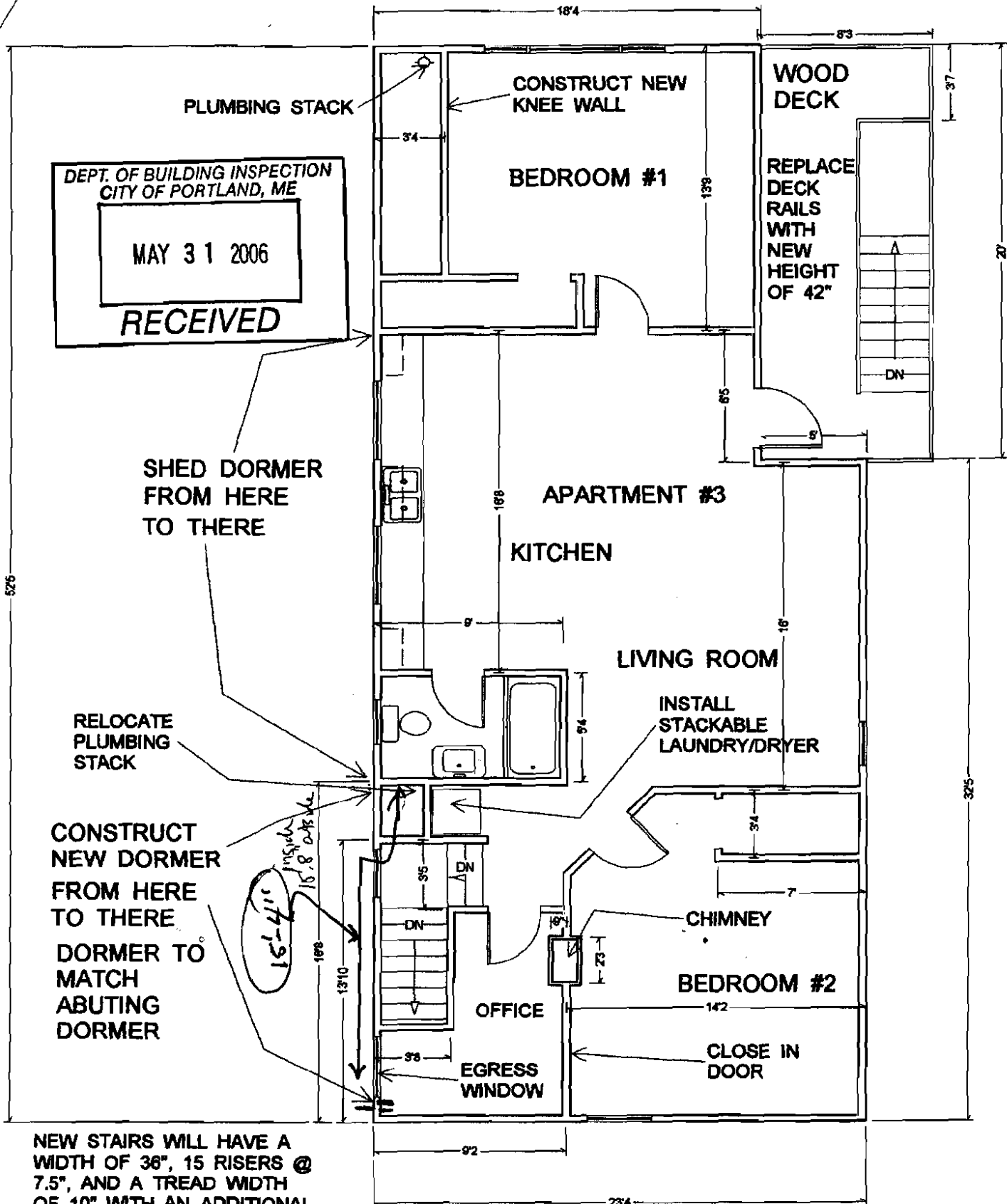


SECOND FLOOR PLAN "AS PROPOSED"



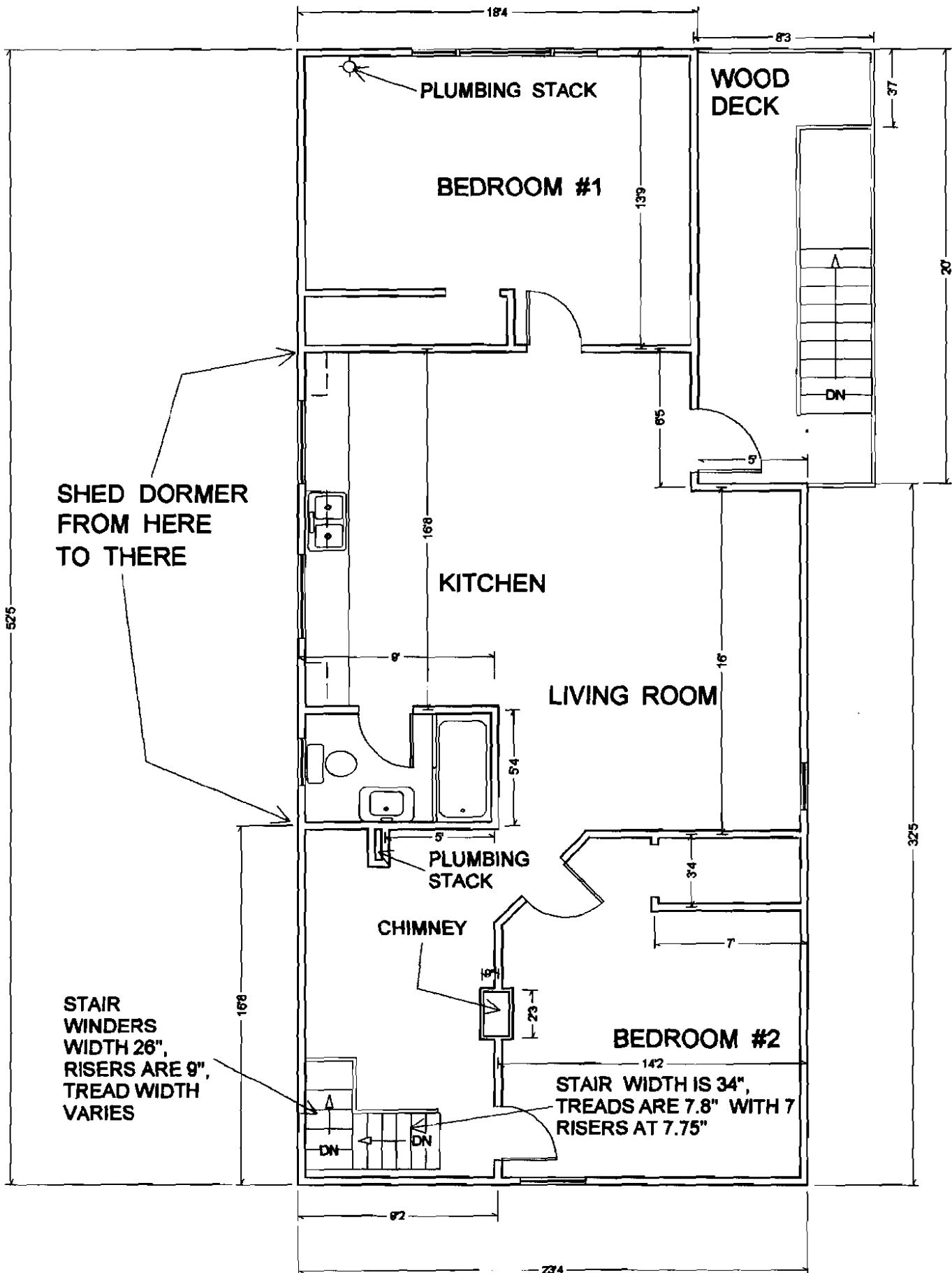
DEMO OLD STAIRS TO 3RD FLOOR; INSTALL NEW STAIRS TO 3RD FLOOR; THERE WILL BE A TOTAL OF 15 RISERS OF 7.5"; THE WIDTH OF THE STAIRS AND LANDINGS WILL BE A MINIMUM OF 36". (SHEETROCK TO NORMAL TREADS HAVE A WIDTH OF 10" WITH AN ADDITIONAL OF NOSING OF 3/4". LANDING #1 IS 36" X 36"; LANDING #2 & LANDING #3 IS 36" X 36".

THIRD FLOOR PLAN "AS PROPOSED"



NEW STAIRS WILL HAVE A WIDTH OF 36", 15 RISERS @ 7.5", AND A TREAD WIDTH OF 10" WITH AN ADDITIONAL 3/4" NOSING

THIRD FLOOR PLAN "AS IS"



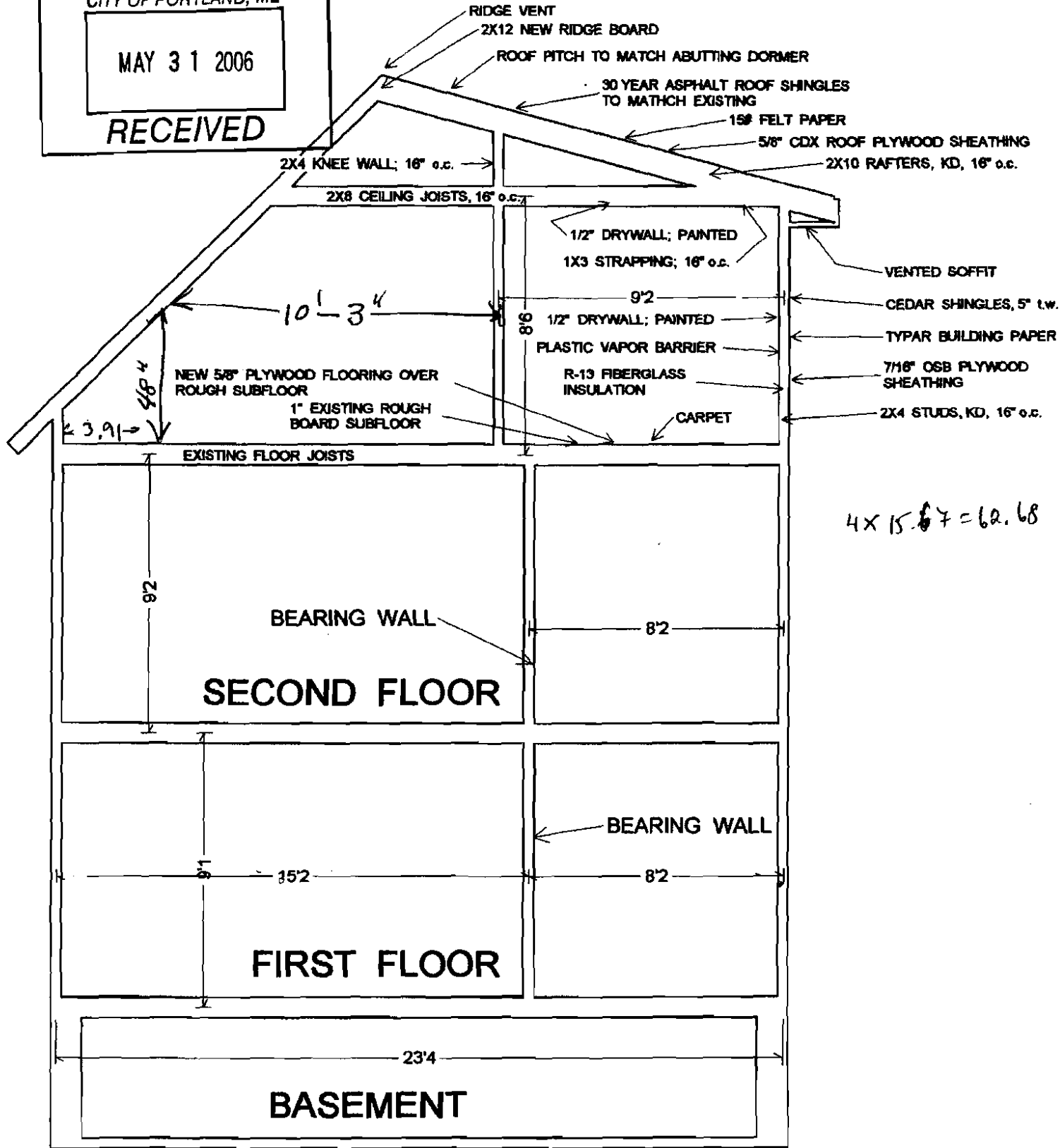
Salem St.

CROSS SECTION OF PROPOSED NEW DORMER

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

MAY 31 2006

RECEIVED



$4 \times 15.67 = 62.68$

TYPICAL 2X10 FLOOR SYSTEM:
 3/4" ADVANTEG TAG SUBFLOOR
 2X10 FLOOR JOISTS @ 16" o.c. w/
 1X3 CROSS BRIDGING

2X6 STUD

2X6 BOX SILL

2X6 P.T. SILL

1/2" ANCHOR BOLTS 12" IN FROM
 EVERY CORNER THEN SPACED 6' MIN

SLOPE GRADE AWAY FROM BLDG. GRADE

1/2" REBAR

BITUMINOUS DAMPROOFING ON

8" CONCRETE WALL

FORM TIES TO BE PLUGGED W/ CEMENT.

7-10"

PORTLAND CEMENT 3000 PSI CONCRETE FLOOR 4" THICK
 4 MIL POLY MIN 4" OVERLAP AT JOINTS
 3/4" CRUSHED ROCK UNDER CONCRETE FLOOR

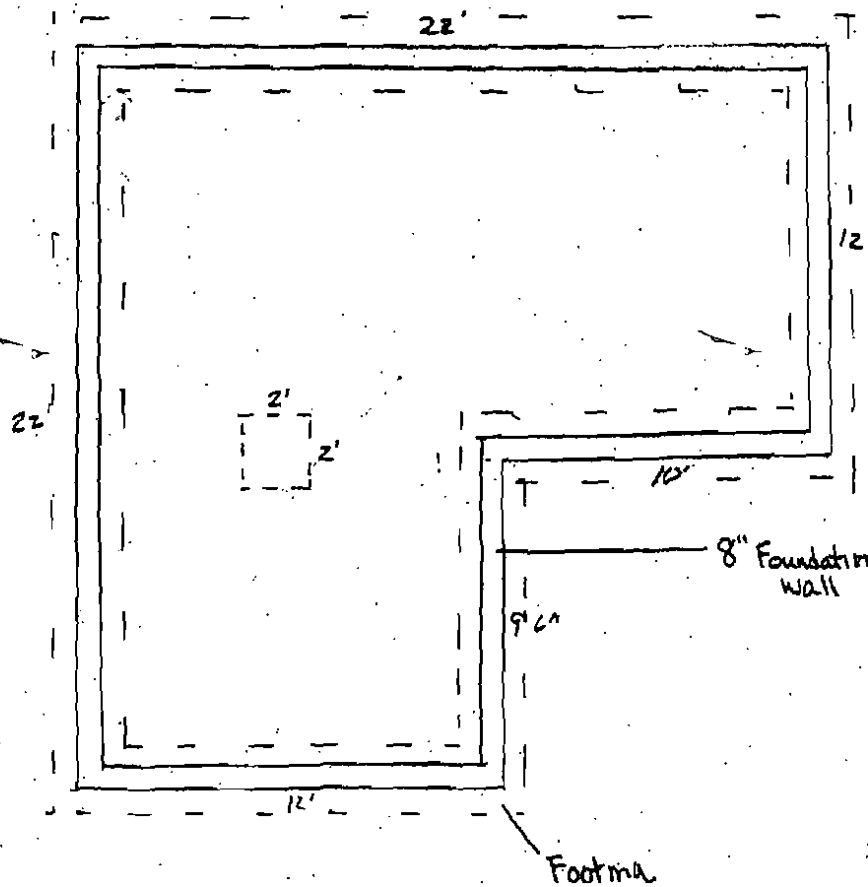
20"X10" MINIMUM CONC. FTG.
 FOOTING TO BEAR ON
 UNDISTURBED SOIL

4" DIAMETER PREFORATED PIPE

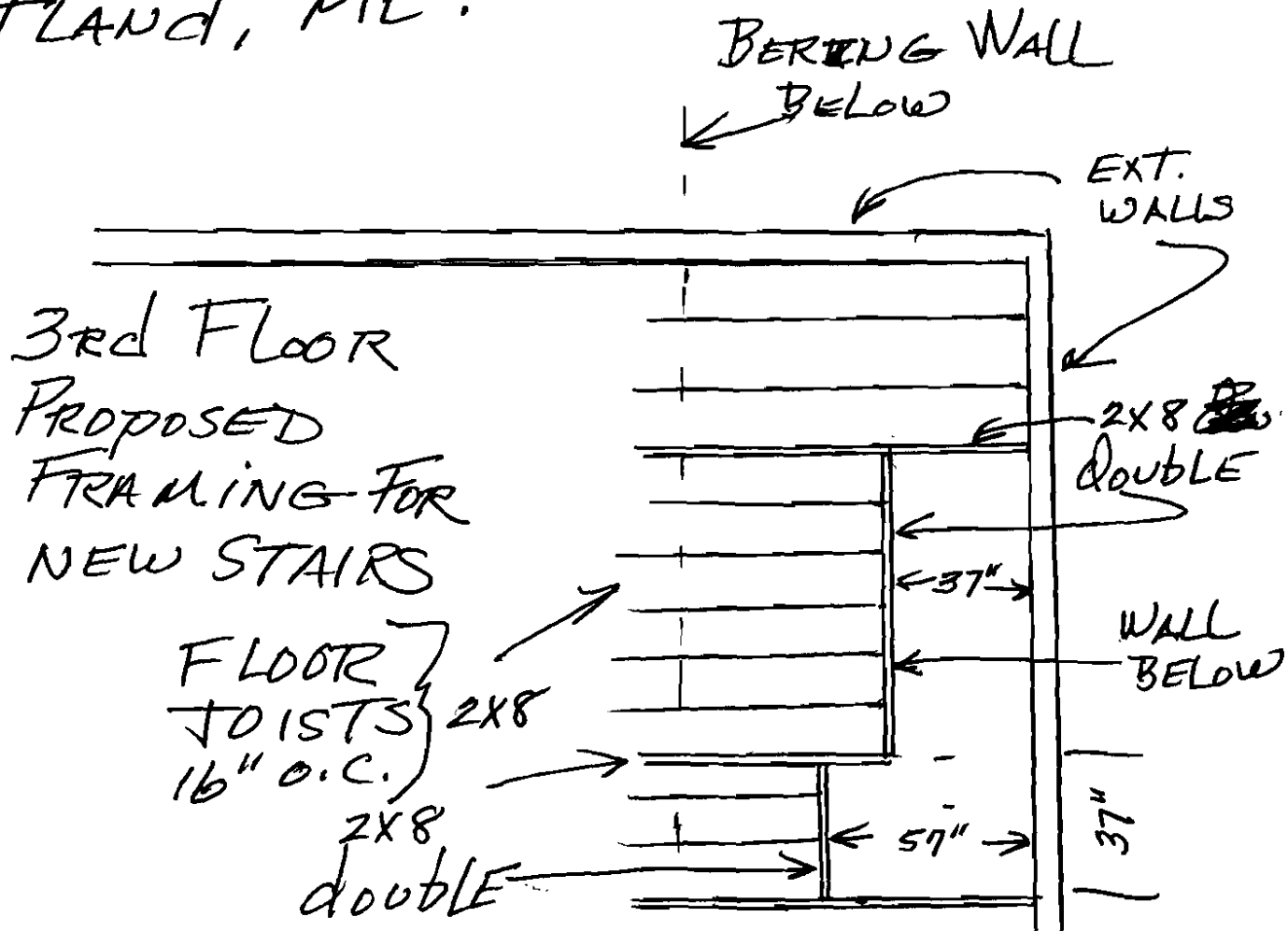
6" CRUSHED STONE COVER AND FILTER FAB
 DRAINS TO BE INSIDE AND OUT

TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE

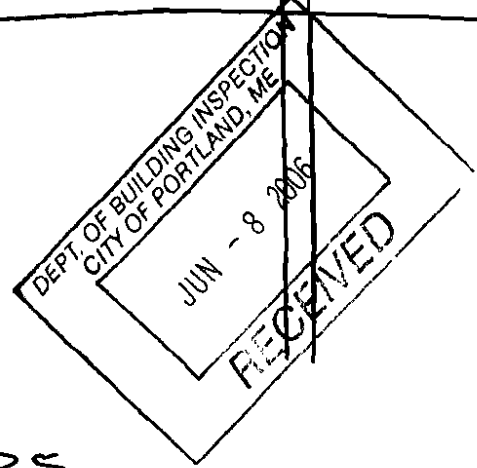
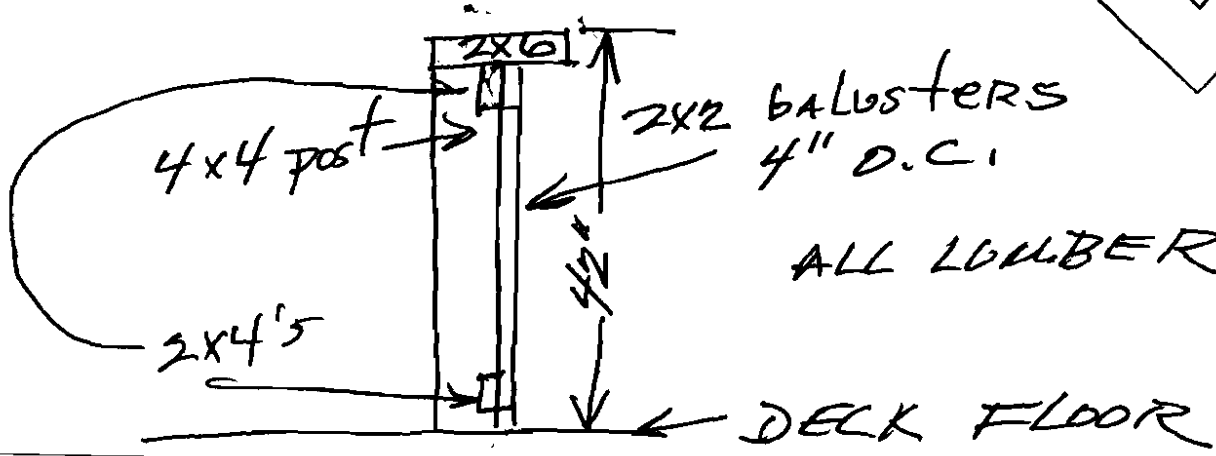
Foundation Plan



92 SALEM STREET
 PORTLAND, ME.



TYPICAL NEW RAIL CROSS SECTION



92 SALEM STREET
PORTLAND, ME

— 2nd FLOOR COMMON HALL —

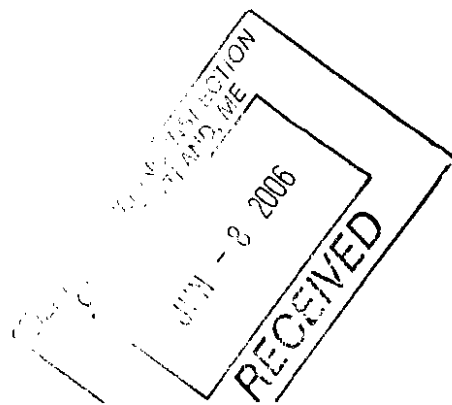
NEW PARTITION SEPARATING 3rd FLOOR
UNIT WILL BE 2X4'S 16" O.C.

COVERED WITH 5/8" FIRE CODED
DOOR TO BE INSTALLED TO BE 45"
FIRE PROTECTED, (FRAME ALSO).

Peter W. Hudson

Builder 247-4706

207-
6/7/2006



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- NA Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- NA Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- COO Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

6/9/06
Date

[Signature]
Signature of Inspections Official

6/9/06
Date

CBL 0584008

Building Permit #: 060720

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

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A Pre-construction Meeting will take place upon receipt of your building permit.

- N/A* Footing/Building Location Inspection: Prior to pouring concrete
- N/A* Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A* Foundation Inspection: Prior to placing ANY backfill
- Call* Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Call* Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

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 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]

Signature of Applicant/Designee

6/9/06

Date

[Signature]

Signature of Inspections Official

6/9/06

Date

CBL: *058 A008*

Building Permit #: *060725*