

21/23 SALEM STREET
PORCH REBUILD - 3-UNIT BUILDING

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No.	Description	Date
1	CE [B5] revisions	10/18/17

PLANS

Project number 17-12_21 SALEM
Date 09/22/17
Drawn by T.J.R.
Checked by T.J.R.

A-1.1

Scale 1/4" = 1'-0"

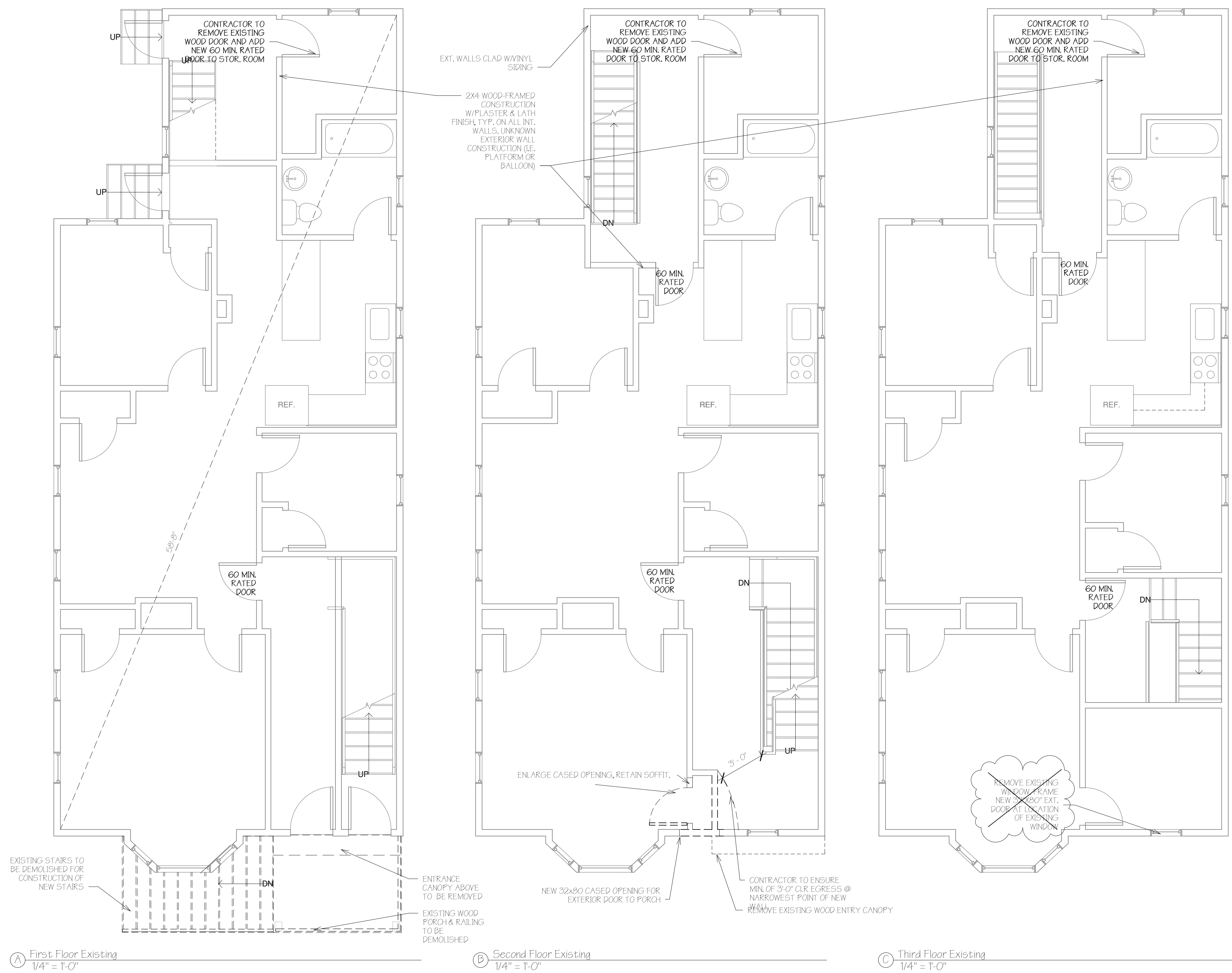
Sheet List

#	Name
A-1.1	PLANS
A-4.1	ELEVATIONS
S-1.1	SECTION, STRUCT & SITE PLAN

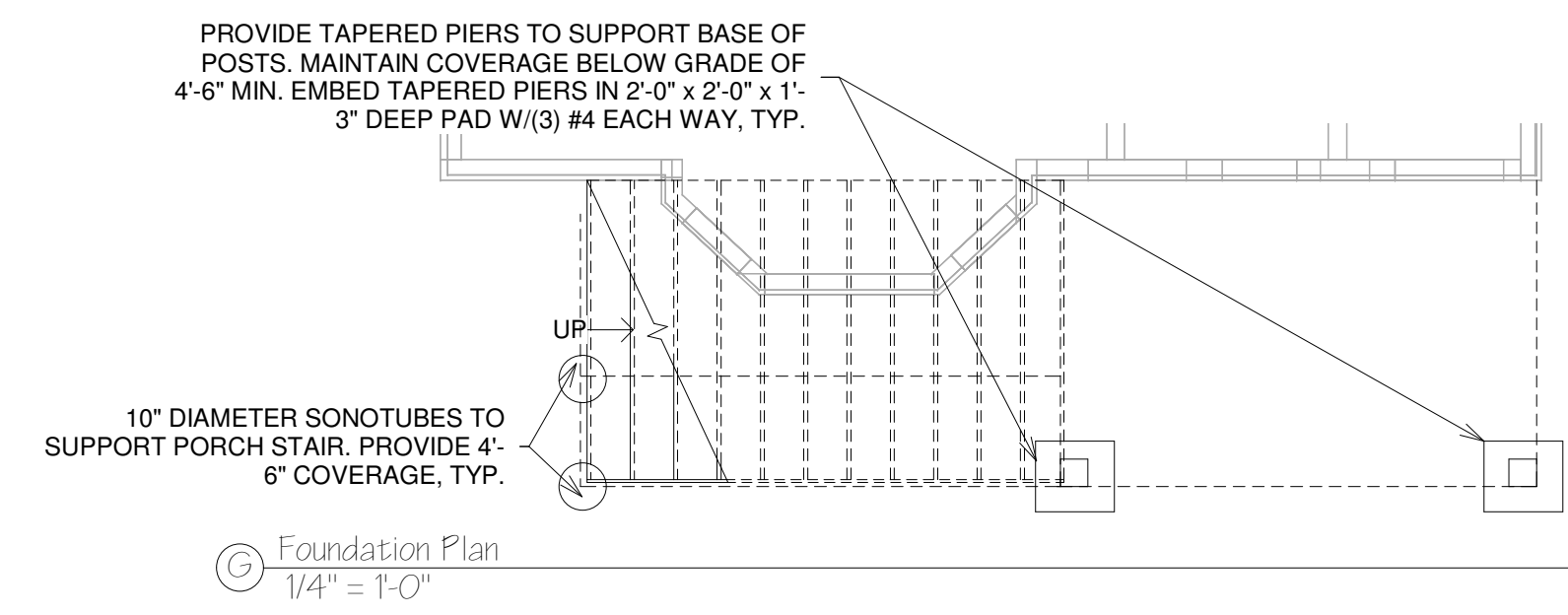
NEPA 101
CHAPTER 31: EXISTING APARTMENT BUILDINGS
- OPENNESS: LONG SIDE OF A BALCONY SHALL BE AT LEAST 50% OPEN (7.5.3.2)
- EXISTING WALLS IN GOOD CONDITION WITH AND PLASTER, GNB OR MASONRY UNITS CAN PROVIDE SATISFACTORY PROTECTION FOR 1-HOUR FIRE RESISTANCE (A-7.13.2.1)(2)

DESCRIPTION: EXISTING, THREE-STORY, THREE-FAMILY APARTMENT WITH TWO MEANS OF EGRESS.
EXISTING FRONT STEPS (WOOD) & PORCH TO BE REBUILT WITH NEW BALCONY ON SECOND & THIRD FLOOR. (ONE) NEW EXTERIOR DOOR ON SECOND FLOOR TO PROVIDE ACCESS WITHIN UNITS. NO OTHER INTERIOR ALTERATIONS. BUILDING IS OUTSIDE THE HISTORIC PRESERVATION DISTRICT.
ADDRESS: 21/23 SALEM STREET
CBL: C67 K024001
USE: THREE-FAMILY (R-2)
NO SPRINKLERS
LOT SIZE: 3,150 SF
YEAR BUILT: 1875
ZONING: ZONE: R-6
MIN LOT PER DWELLING: 725 SF
STREET FRONTAGE: 20'-0"
MIN WIDTH: 20'-0"
FRONT SETBACK: AVERAGE DEPTH OR FRONT YARD OR 5'-0"
REAR YARD: 10'-0"
SIDE SETBACK: 10'-0" CUMULATIVE
MAX LOT COVERAGE: 60%
MAX HEIGHT: 45'-0"
LANDSCAPED OPEN SPACE: 20%
NOT TO INCLUDE PARKING AREAS OR OTHER IMPERVIOUS SURF.

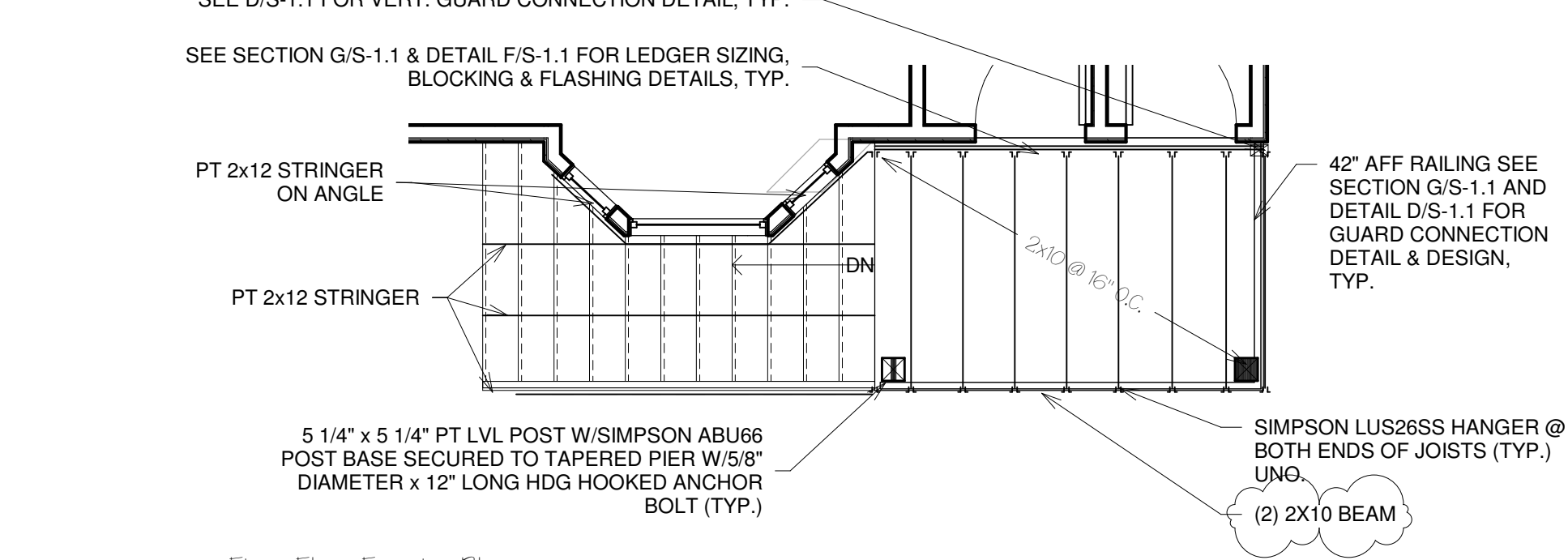
IBC: R-2
- CONSTRUCTION TYPE: VB (STICK FRAME)
- MIN CLEAR DOOR OPENING WIDTH W/DOOR OPEN AT 90 DEGREES: 32" (IBC 1008.1.1)
- DOOR OPERATION: DOOR MUST BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT (IBC 1008.1.9)
- STAIR RISER AND TREAD DEPTH: NO GREATER THAN 7" RISE AND TREAD DEPTH OF 11" (1009.4.2)
- ENCLOSURES UNDER STAIRS: NO USABLE SPACE UNDER EXTERIOR EXIT STAIRWAYS IS PERMITTED (1009.6.3)
- HANDRAIL HEIGHT: BETWEEN 34"-38" AFF (1012.2) AND (1013.2)
- HANDRAIL SHAPE: HANDRAIL SHALL MEET IBC 1012.3 TYPE 1 (1012.3.1)
- CONTINUITY OF HANDRAIL: HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTIONS (1012.4)
- HANDRAIL CLEARANCE: CLEAR SPACE BTW HANDRAIL AND WALL SHOULD BE MIN OF 15" (1012.7)
- GUARD: GUARD AT LANDING OR BALCONY, MIN 42" AFF.
- OPENINGS IN GUARDS: NO OPENINGS GREATER THAN 4" DIA SPHERE CAN PASS, NO TRIANGULAR OPENING GREATER THAN CAN PASS A SPHERE OF 6" AT TREAD/RISER (1013.3)
- EGRESS THROUGH INTERVENING SPACES: EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOM, CLOSETS OR LEAD THROUGH OTHER SLEEPING AREAS, TOILETS OR BATHROOMS (1013.2)
- EXIT TRAVEL DISTANCE: 200'-0" (IBC-1016.1)
- PROVIDE THRU-PENETRATION FIRE-STOPPING AT ALL PENETRATIONS TESTED TO MEET ASTM E 814 OR UL 1479 PER IBC 713.2.2.2. NOTE THAT FIRE RESISTANCE RATING SHALL NOT BE LESS THAN THE RATING OF THE WALL(S) PENETRATED



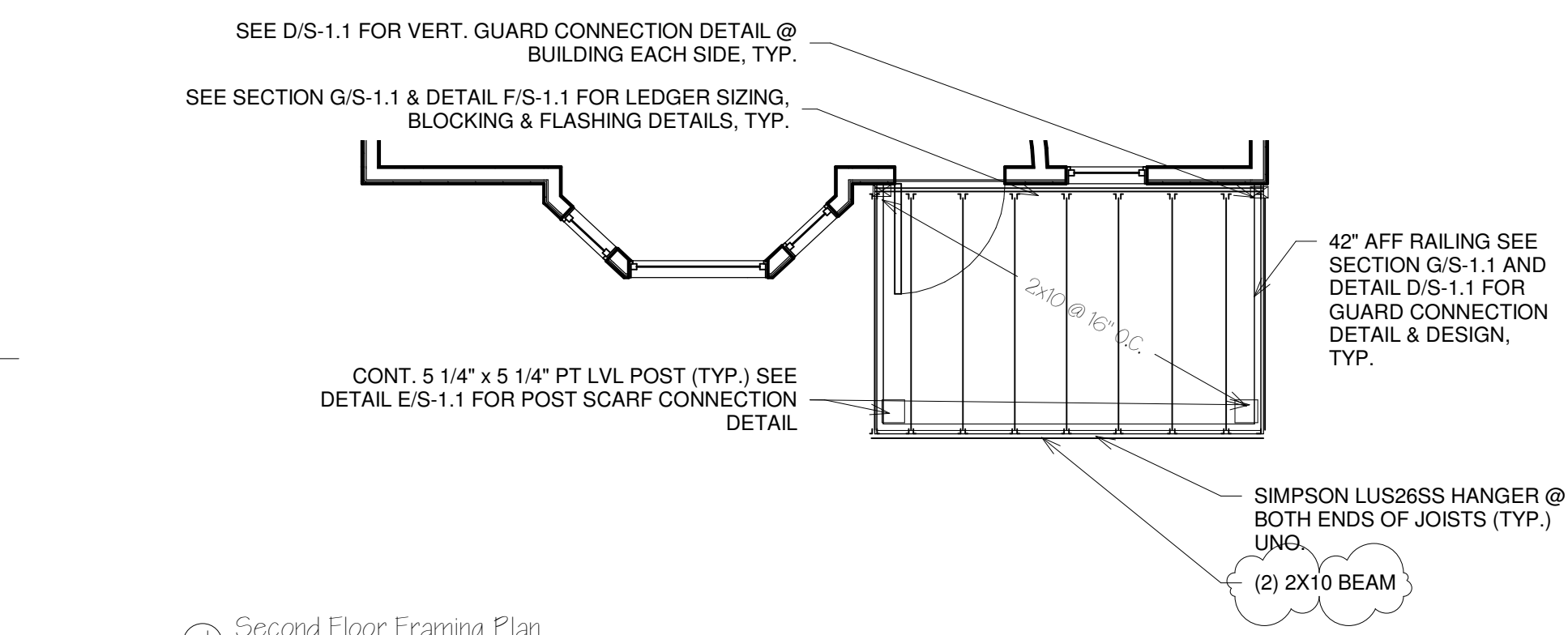
A First Floor Existing 1/4" = 1'-0"
B Second Floor Existing 1/4" = 1'-0"
C Third Floor Existing 1/4" = 1'-0"



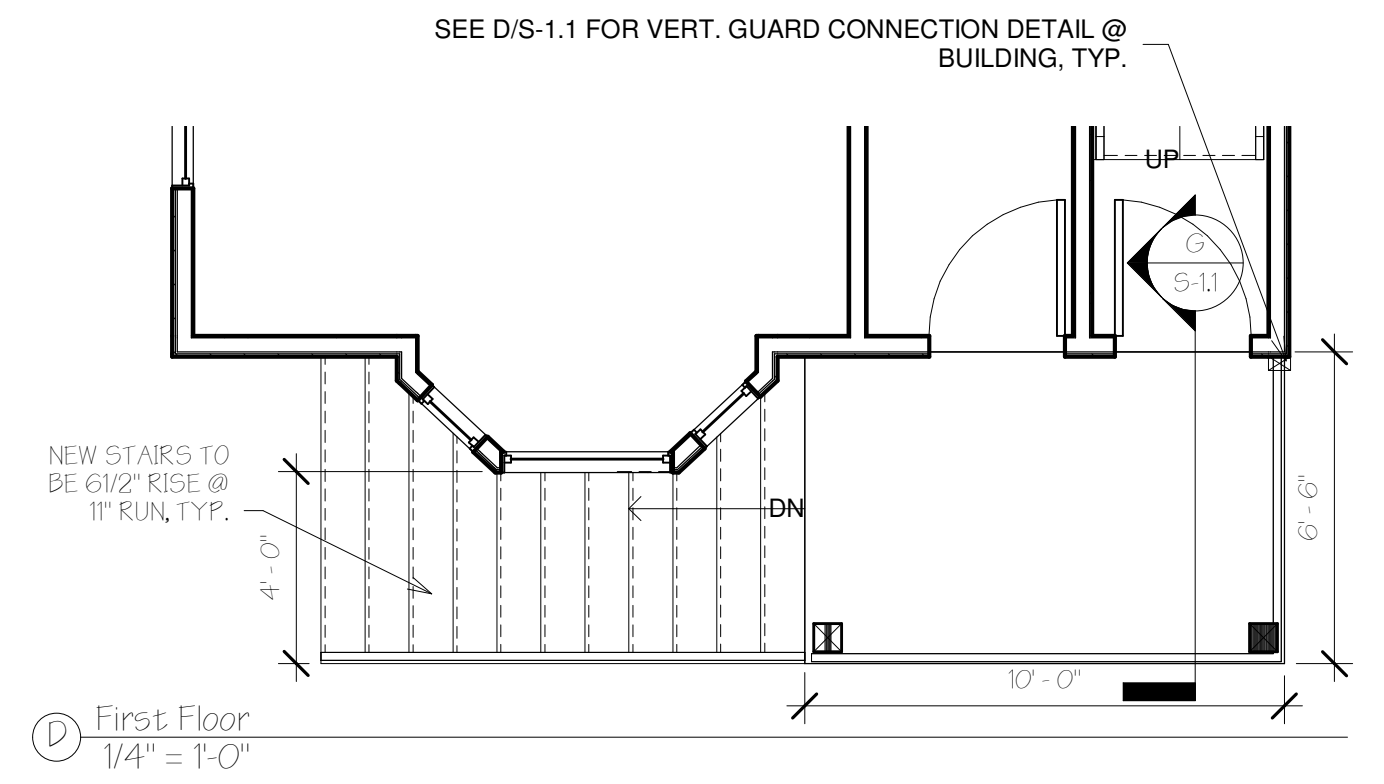
Foundation Plan 1/4" = 1'-0"



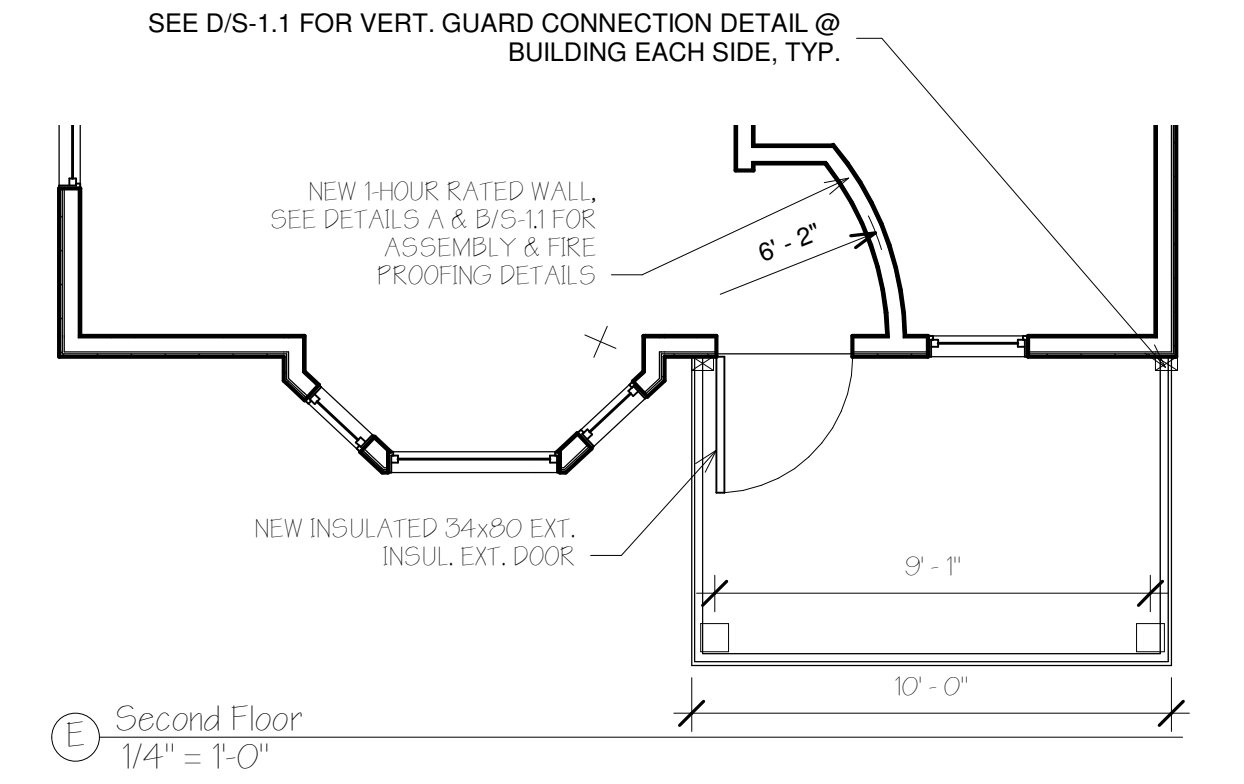
H First Floor Framing Plan 1/4" = 1'-0"



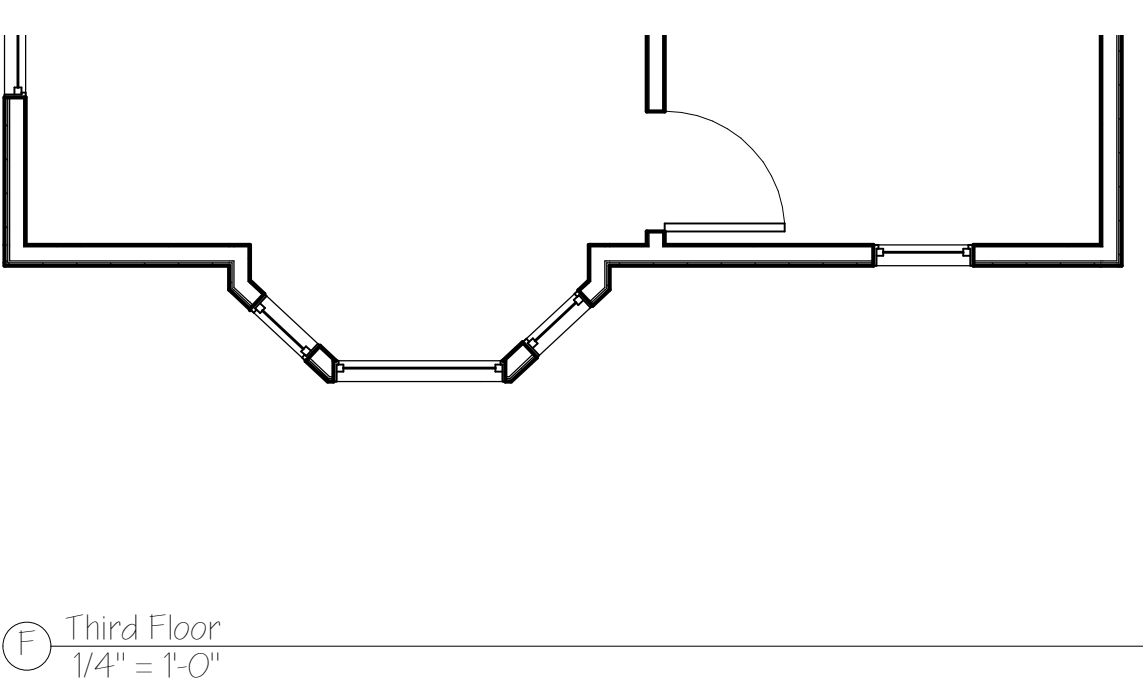
J Second Floor Framing Plan 1/4" = 1'-0"



D First Floor 1/4" = 1'-0"



E Second Floor 1/4" = 1'-0"



F Third Floor 1/4" = 1'-0"

