

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND**

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080247

PERMIT ISSUED

MAR 28 2008

This is to certify that COYNE PETER M TRUST

has permission to Change of use from 2 unit residential to 4 unit condominium

AT 11 SALEM ST

L 057 K017001

provided that the person or persons whom or whomsoever accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas W. Marley 3/28/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0247	Issue Date:	CBL: 057 K017001
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Location of Construction: 11 SALEM ST	Owner Name: COYNE PETER M TRUSTEE	Owner Address: 11 SALEM ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Ownership - Condo Conversion	Zone: R-6

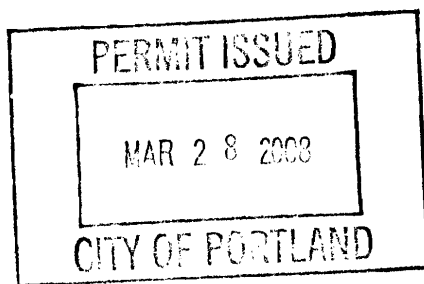
Past Use: 2 unit residential	Proposed Use: 2 unit condominium - Change of use from 2 unit residential to 2 unit condominium	Permit Fee: \$450.00	Cost of Work: \$450.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	

Proposed Project Description: Change of use from 2 unit residential to 2 unit condominium	Signature:	Signature: <i>pm 3/23/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: ldobson	Date Applied For: 03/18/2008	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Min <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>9/3/20/18</i>	Date:	Date:


CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0247	Date Applied For: 03/18/2008	CBL: 057 K017001
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Location of Construction: 11 SALEM ST	Owner Name: COYNE PETER M TRUSTEE	Owner Address: 11 SALEM ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Ownership - Condo Conversion	

Proposed Use: 2 unit condominium - Change of use from 2 unit residential to 2 unit condominium	Proposed Project Description: Change of use from 2 unit residential to 2 unit condominium
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 03/20/2008

Note:**Ok to Issue:**

- 1) PLEASE NOTE: Under the City's Condominium conversion regulations, A) BEFORE a developer offers to convey a converted unit, a conversion permit shall be obtained. B) Rent may not be altered during the official noticing period unless expressly provided in a preexisting written lease. C) For a sixty (60) day period following the notice of intent to convert, the tenant has an exclusive and irrevocable option to purchase during which time the developer may not convey or offer to convey the unit to any other person. D) The developer shall post a copy of the permit in a conspicuous place in each unit, and shall make copies available to prospective purchasers upon request. E) If a tenant is eligible for tenant relocation payments, they SHALL be paid a CASH PAYMENT BEFORE the tenant is required to vacate.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a two (2) family residential condominium dwelling with the issuance of this permit and subsequent issuance of a certificate(s) of occupancy. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 03/28/2008

Note:**Ok to Issue:**

- 1) This is a Change of Use ONLY permit. It does NOT authorize any construction activities.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>11 Selem St</u>		
Total Square Footage of Proposed Structure <u>2305 (existing building)</u>	Square Footage of Lot <u>3600</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>57</u> <u>K</u> <u>17</u>	Owner: <u>Peter M. Coyne, Trustee</u> <u>Commerce Realty Trust</u>	Telephone: <u>939-6126</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Peter Coyne</u> <u>11 Selem St</u> <u>Portland, ME 04102</u> <u>939-6126</u>	Cost Of Work: \$ _____ Fee: \$ _____ C of O Fee \$ _____ Total Fees: \$ _____
Current use: <u>2-Unit</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>2 Condominiums</u>		
Project description: <u>Condo-Conversion of 2-Unit Apartment Bldg.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Peter Coyne</u>		
Mailing address: <u>11 Selem St</u> <u>Portland, ME 04102</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Peter M Coyne</u>	Date: <u>3/18/08</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the

Submit with Condominium Conversion Permit Application

Project Data:

Address: 11 Selan St

C-B-L: 57-K-17

Number of Units in Building: 2

* Tenant Name	Tenant Tel#	Occup. Length	Date of Notice	Eligible for \$?
Unit 1 Peter Coyne (owner)	939-6126	owner	N/A	N/A
Unit 2 Peter Coyne (owner)	939-6126	owner	N/A	N/A
Unit 3				
Unit 4	3/20/08	father briefly lived in apt, but couldn't do stairs & went in to Assoc. started living several yrs ago - per the 'owner, this unit has not been rented out since		
Unit 5				
Unit 6				
Unit 7				
Unit 8				

If more units, submit same information on all units

Length of time building owned by applicant _____

Are any building improvements, renovations, or modifications being made associated with this conversion that requires a building, plumbing, electrical, or heating permit?

YES _____ NO (check one)

Type and cost of building improvements associated with this conversion that do not require permits:

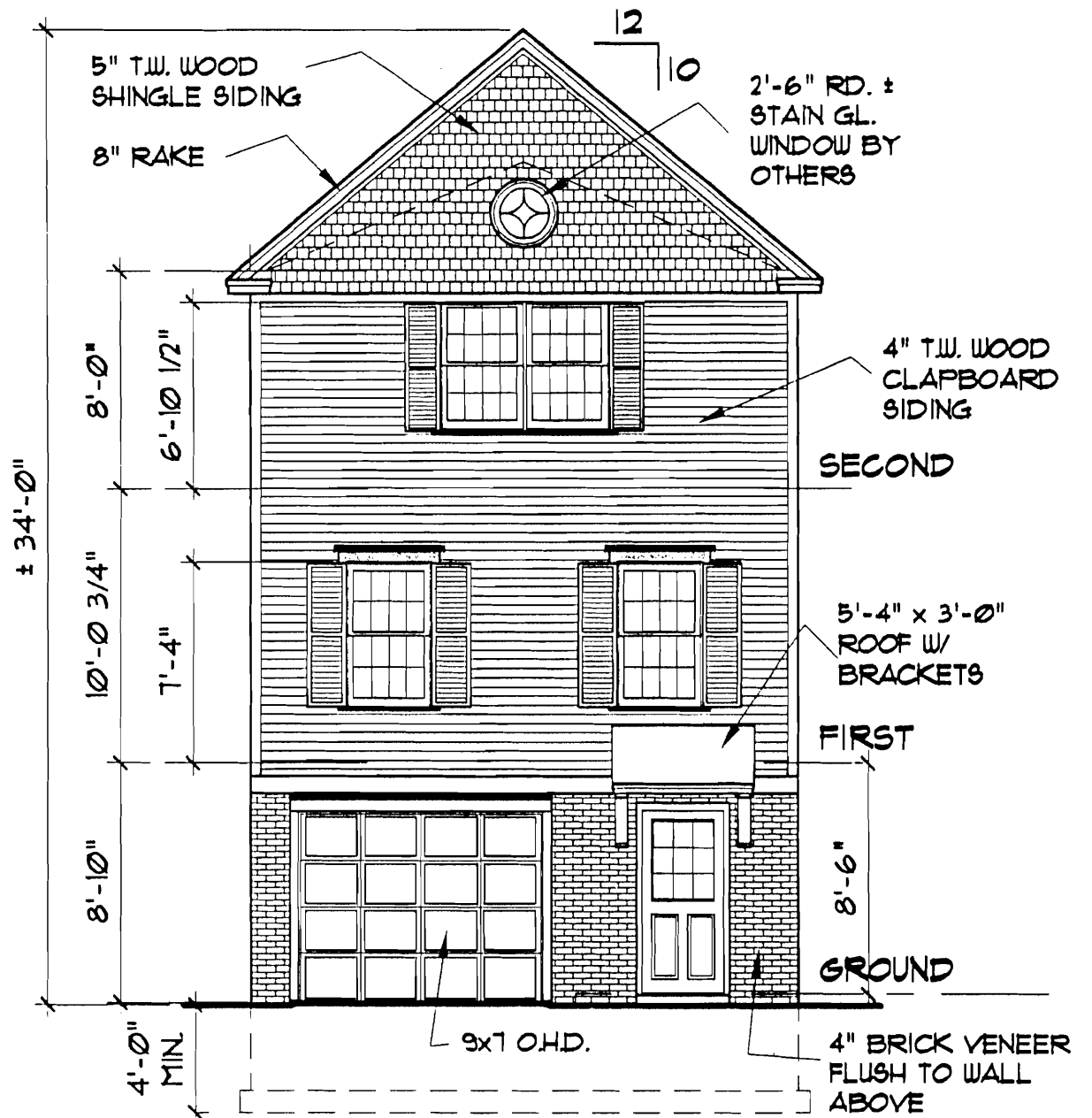
\$ 0 Exterior walls, windows, doors, roof

\$ 0 Insulation

\$ 0 Interior cosmetics (walls/floors/hallways/refinishing, etc.)

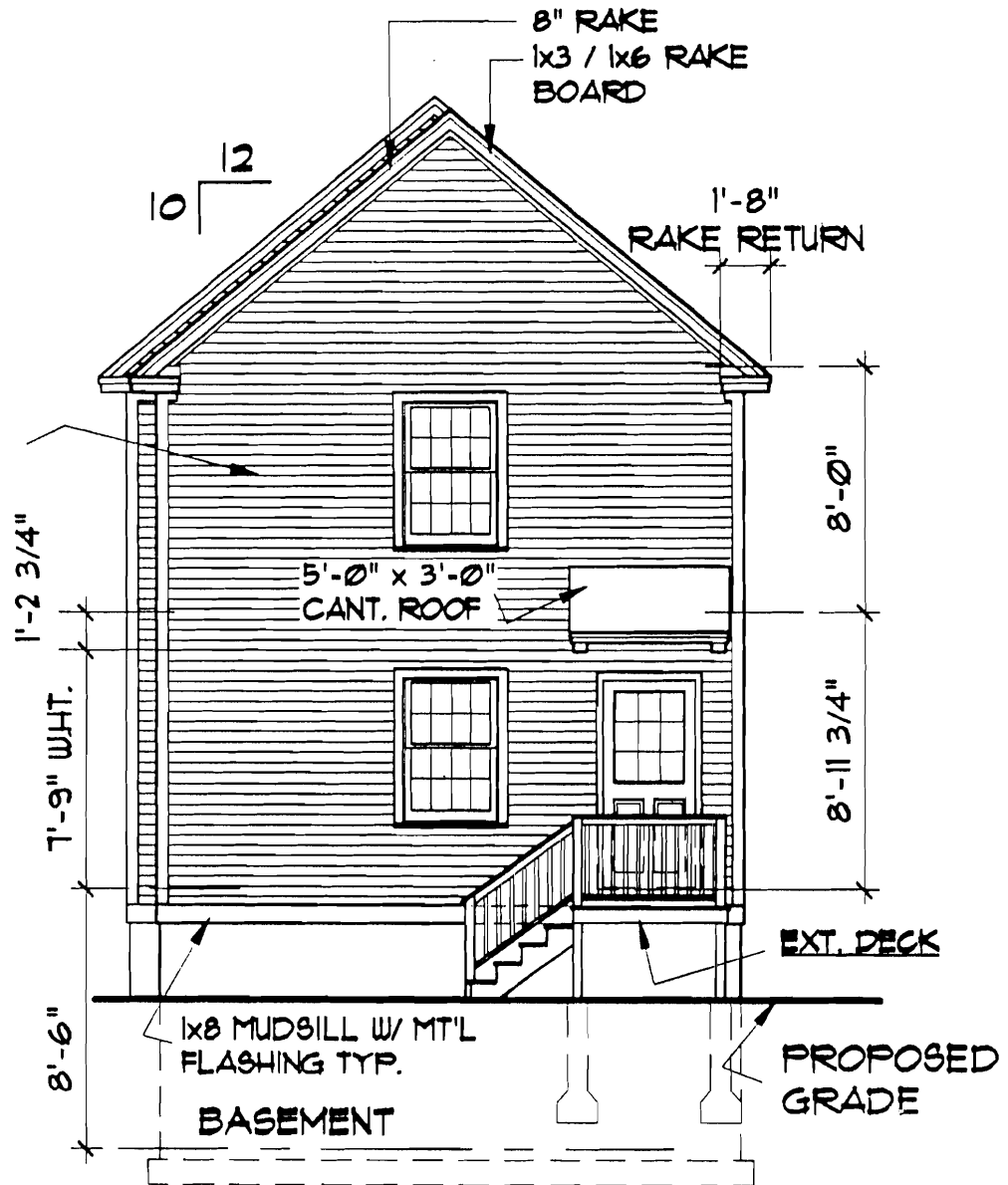
\$ 0 Other (specify)

* Neither unit ever rented - Fully owner-occupied since constructed in 2005.



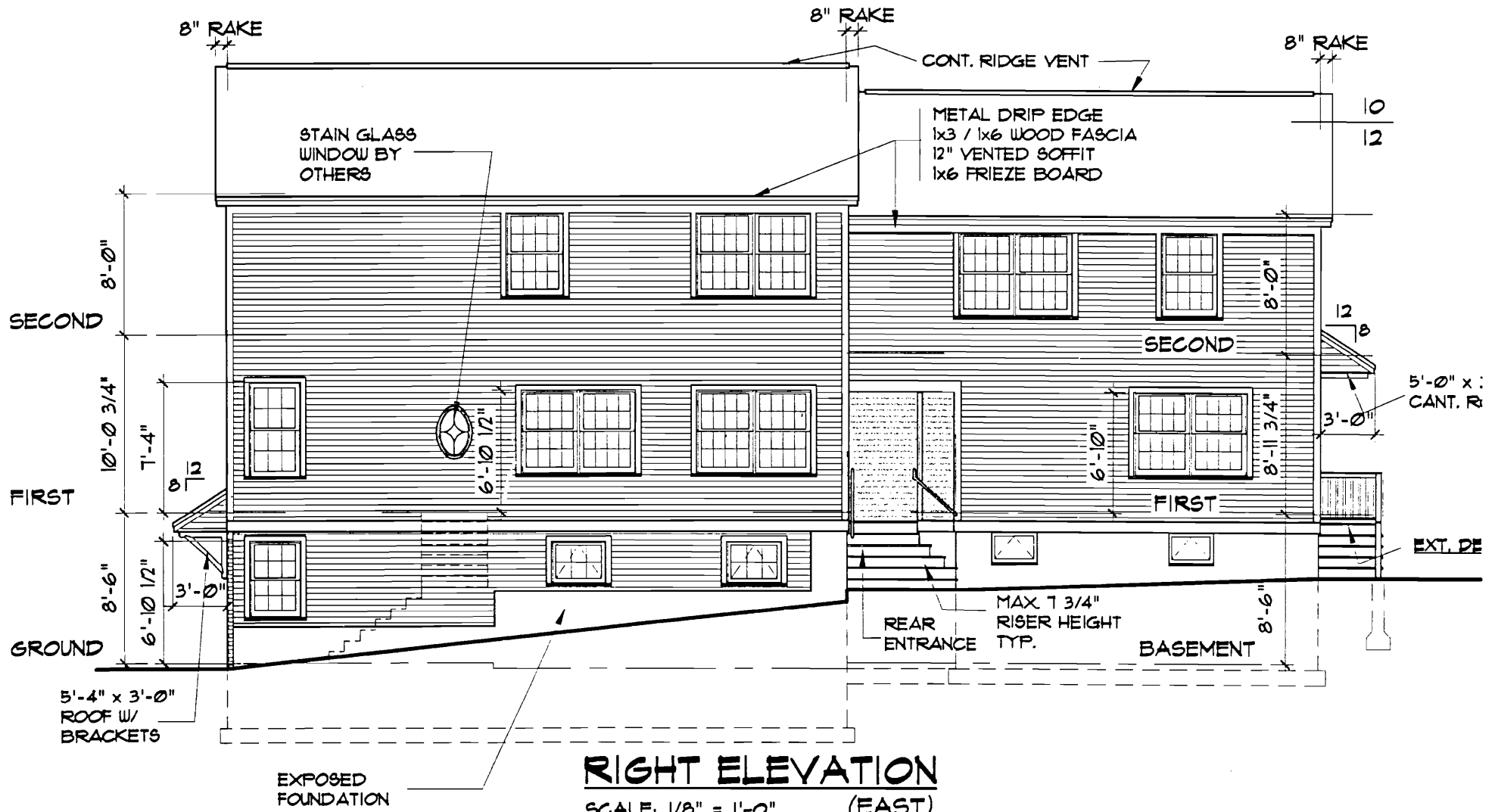
STREET ELEVATION

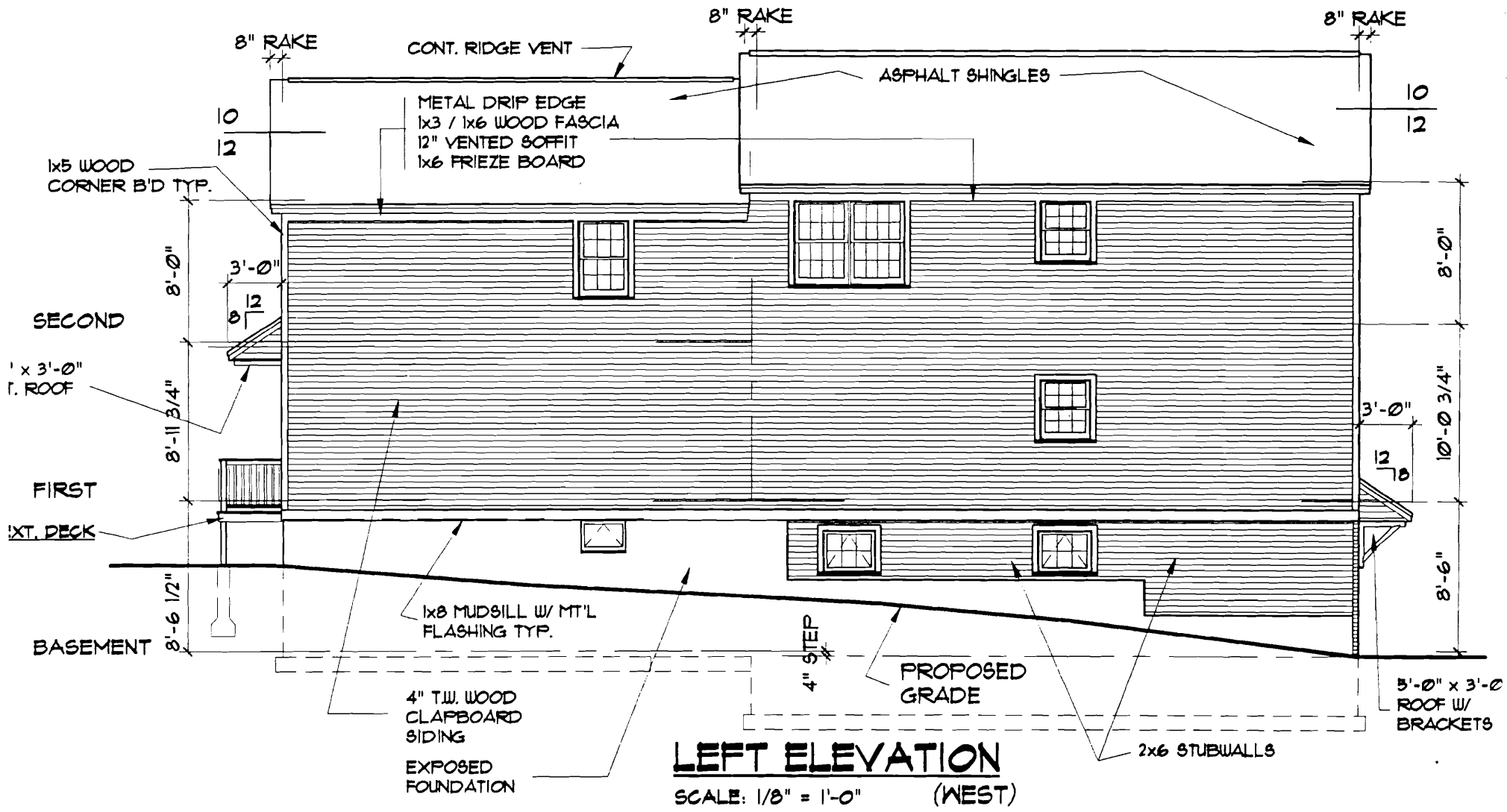
SCALE: 1/8" = 1'-0" (SOUTH)



REAR ELEVATION

SCALE: 1/8" = 1'-0" (NORTH)





LEFT ELEVATION
 SCALE: 1/8" = 1'-0" (WEST)

ROOF SPECS:

ASPHALT SHINGLES
15' FELT PAPER / MIN. 12" W.
UNDERLAYMENT • EAVES TYP.
1/2" CDX PLYWOOD ROOF SHEATHING
W/ MET'L CLIPS
PROPERVENT AIR BAFFLE
2X4 MANUF. TRUSSES • 24" O.C.

PROPERVENT
AIR BAFFLE
TYP.

2X4 MANUF. SCISSOR
TRUSSES • 24" O.C.
(WEB CONFIG. BY TRUSS MANUF.)

12" R-38 KRAFT
F'GLASS INS.

METAL HURRICANE CLIP
• TRUSSES TYPICAL -
REFER TO MANUF.
RECOMMENDATIONS

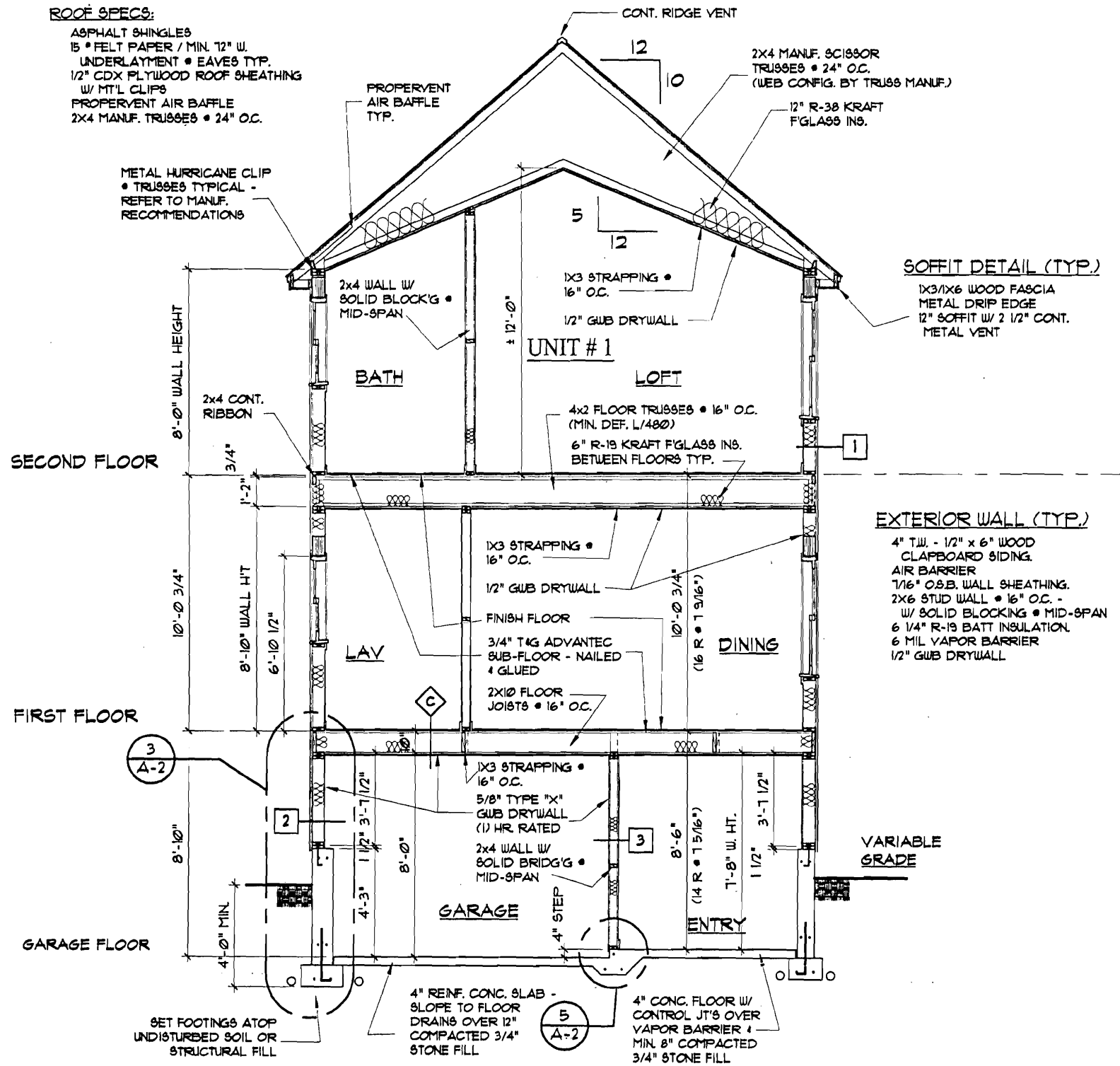
2X4 WALL W/
SOLID BLOCK'G •
MID-SPAN

1X3 STRAPPING •
16" O.C.

1/2" GUB DRYWALL

SOFFIT DETAIL (TYP.)

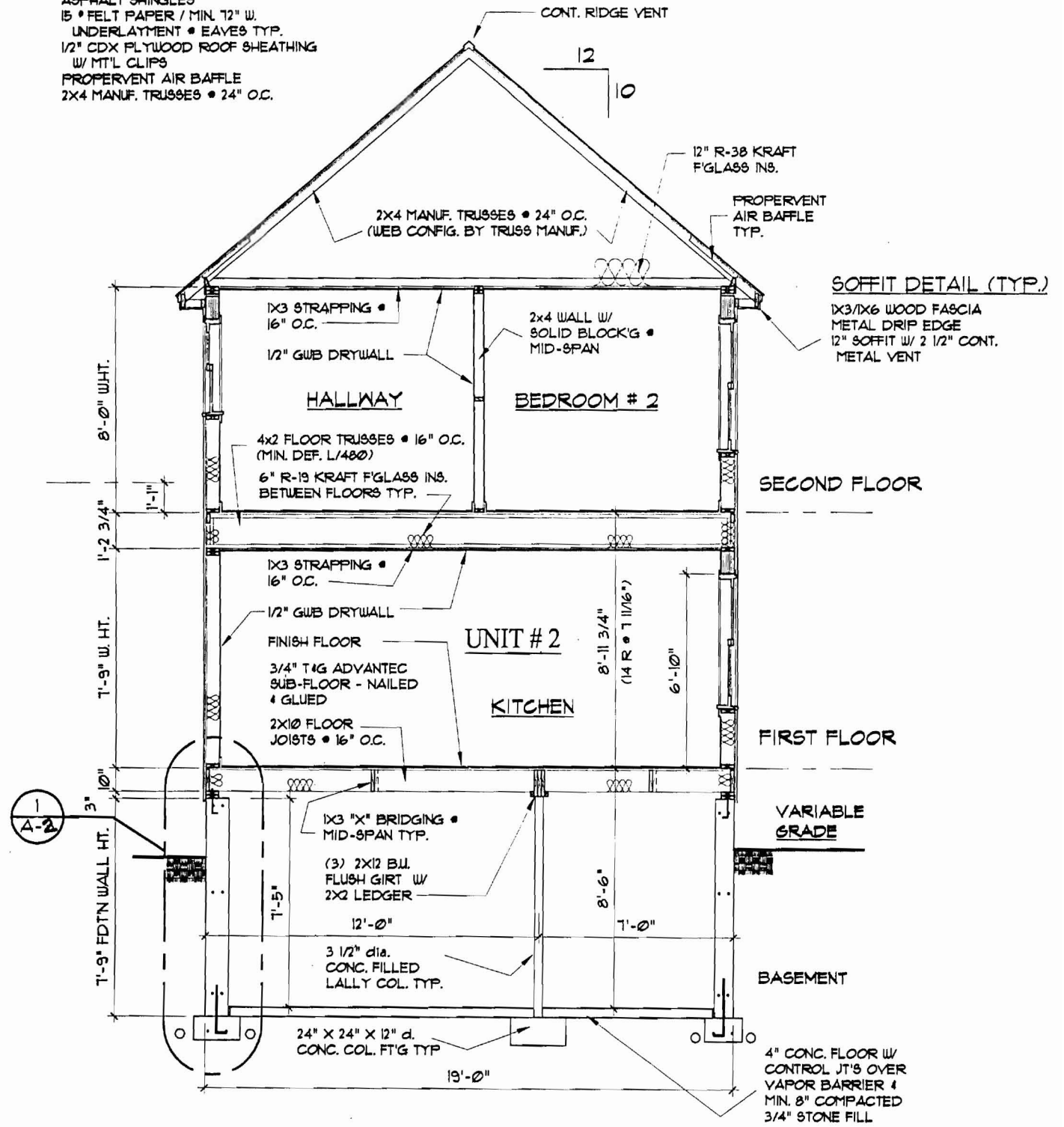
1X3/1X6 WOOD FASCIA
METAL DRIP EDGE
12" SOFFIT W/ 2 1/2" CONT.
METAL VENT



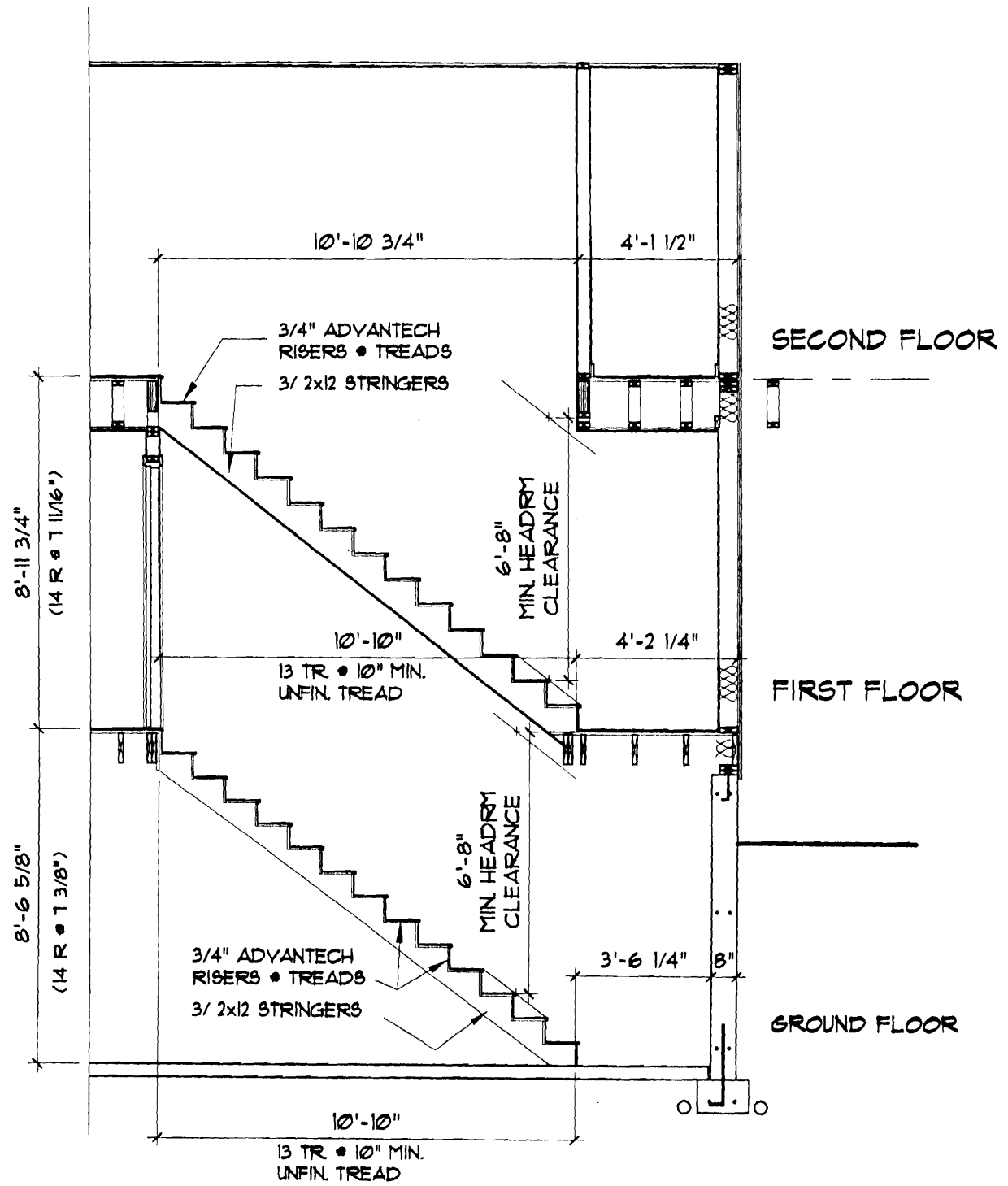
A BUILDING SECTION - UNIT # 1
A-3 SCALE: 1/4" = 1'-0"

ROOF SPECS:

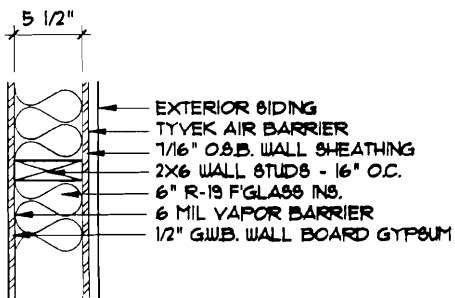
ASPHALT SHINGLES
 15' FELT PAPER / MIN. 12" W.
 UNDERLAYMENT • EAVES TYP.
 1/2" CDX PLYWOOD ROOF SHEATHING
 W/ MT'L CLIPS
 PROPERVENT AIR BAFFLE
 2X4 MANUF. TRUSSES • 24" O.C.



B BUILDING SECTION - UNIT # 2
 A-3 SCALE: 1/4" = 1'-0"



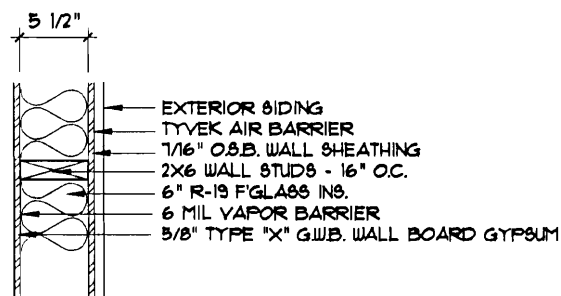
C STAIR SECTION - UNIT # 2
 A-3 SCALE: 1/4" = 1'-0"



EXTERIOR WALL
(PLAN)

SCALE: 1" = 1'-0"

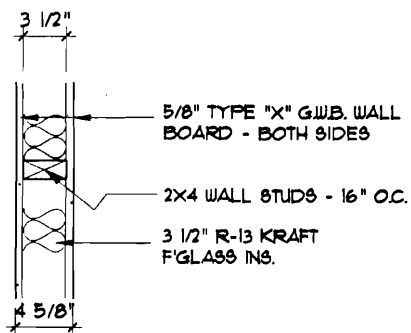
1



EXTERIOR GAR.
WALL (PLAN)

SCALE: 1" = 1'-0"

2



INTERIOR GAR. WALL
PLAN - (1) HR. RATED

SCALE: 1" = 1'-0"

3

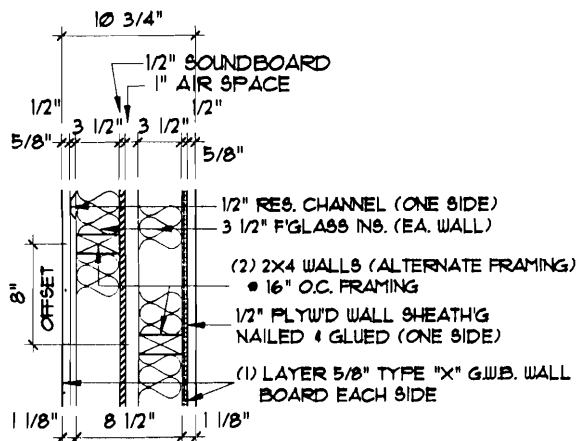
REVISIONS

NO.

DIDONATO ARCHITECTS, INC.

134 GUINEA ROAD, KENNEBUNKPORT, ME.
phone: (207) 286-2900 fax: (207) 283-4895

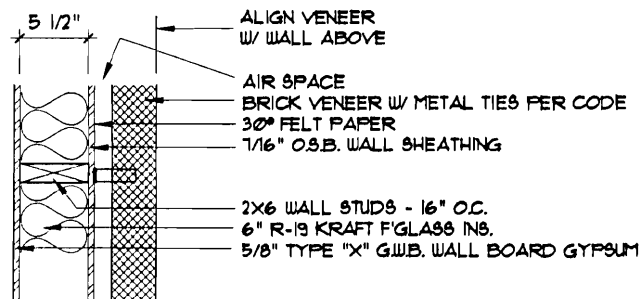
"E" MAIL ADDRESS: jfdidonato@adelphia.net



INTERIOR PARTY WALL
PLAN - (1) HR. RATED

SCALE: 1" = 1'-0"

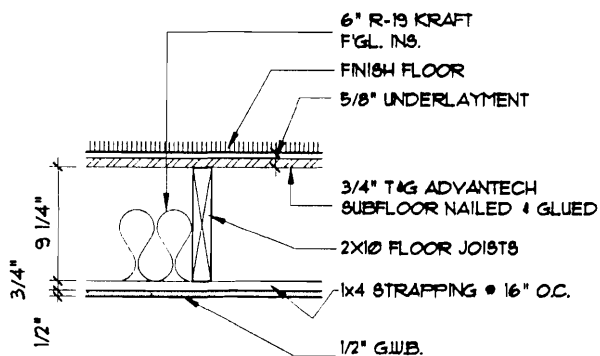
4



EXTERIOR WALL
VENEER (PLAN)

SCALE: 1" = 1'-0"

5



FL'R / CEIL'G ASSEMBLY

SCALE: 1" = 1'-0"

C

PROJECT: **RESIDENCE / DUPLEX FOR:**

11 SALEM STREET PORTLAND, ME.

OWNER:

MR. PETER COYNE

10 MEADOW WAY SOUTH PORTLAND, ME.

DRAWINGS THIS SHEET

**1/4" FLOOR PLANS
 FLOOR / CEILING DETAILS
 PARTITION DETAILS**

DATE 06/19/03

CHK'D BY

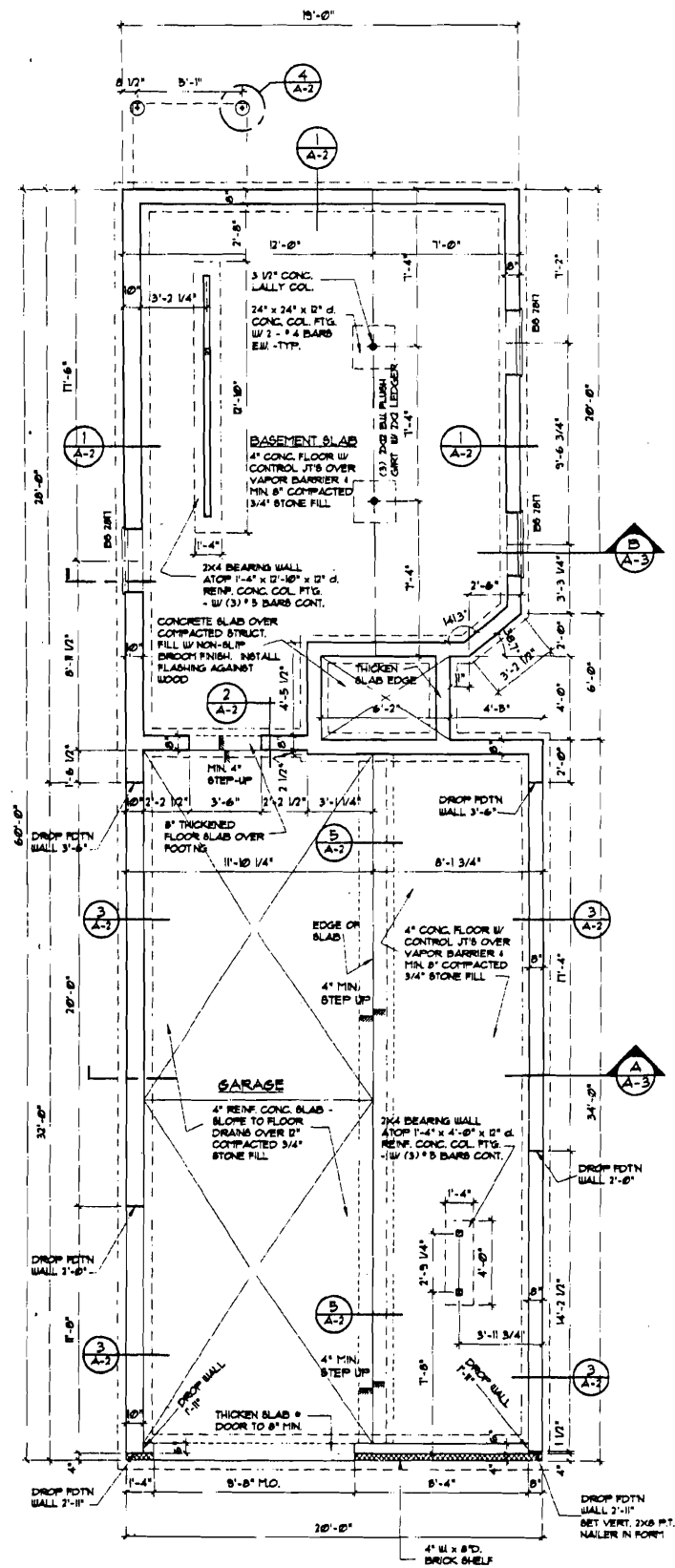
DRAWN BY JFD

SHEET:

A-1

2 of 4

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 DOCUMENT WITHOUT WRITTEN
 PERMISSION OF DICONATO
 ARCHITECTS IS PROHIBITED



4 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

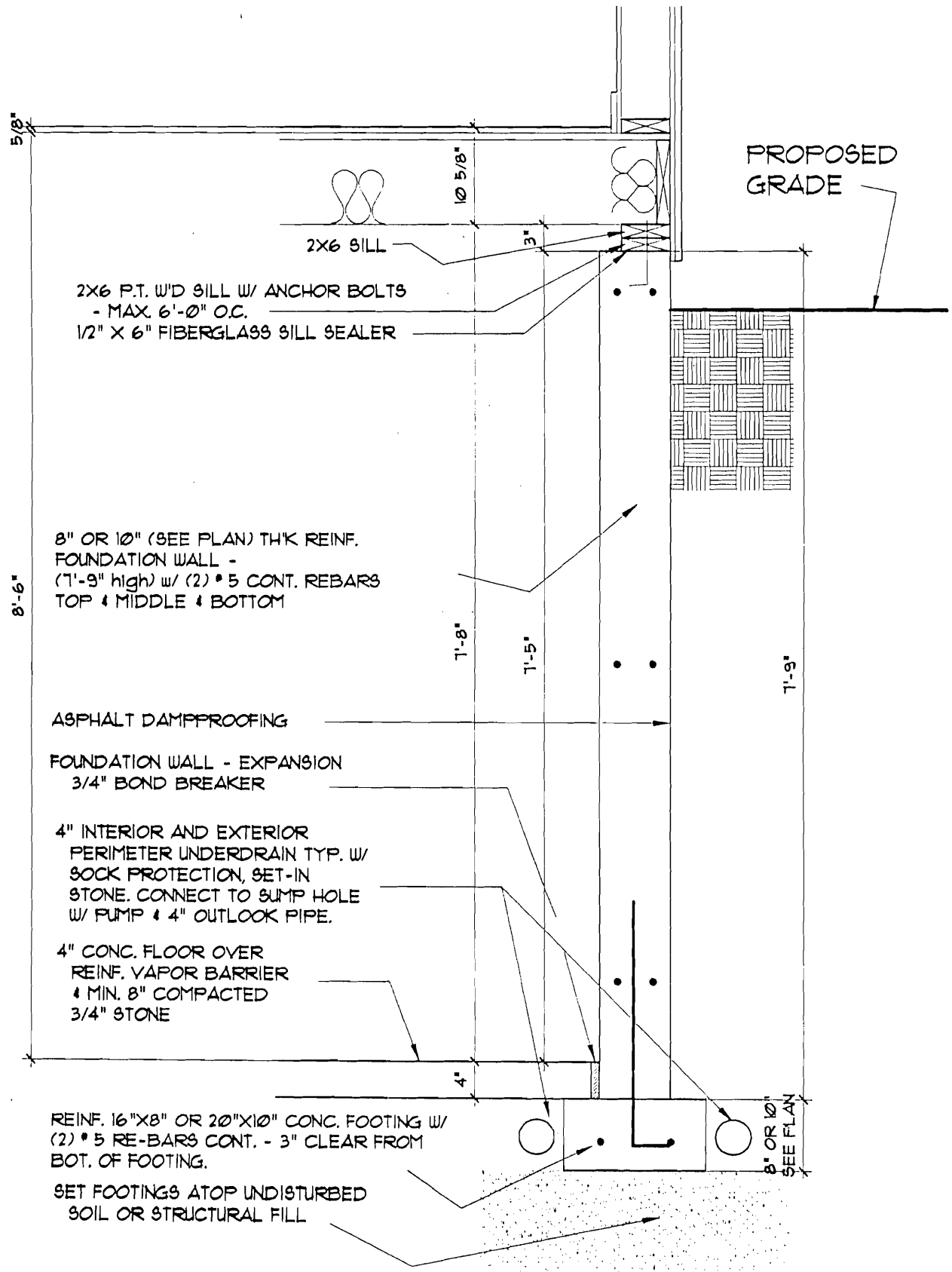
NOTE:

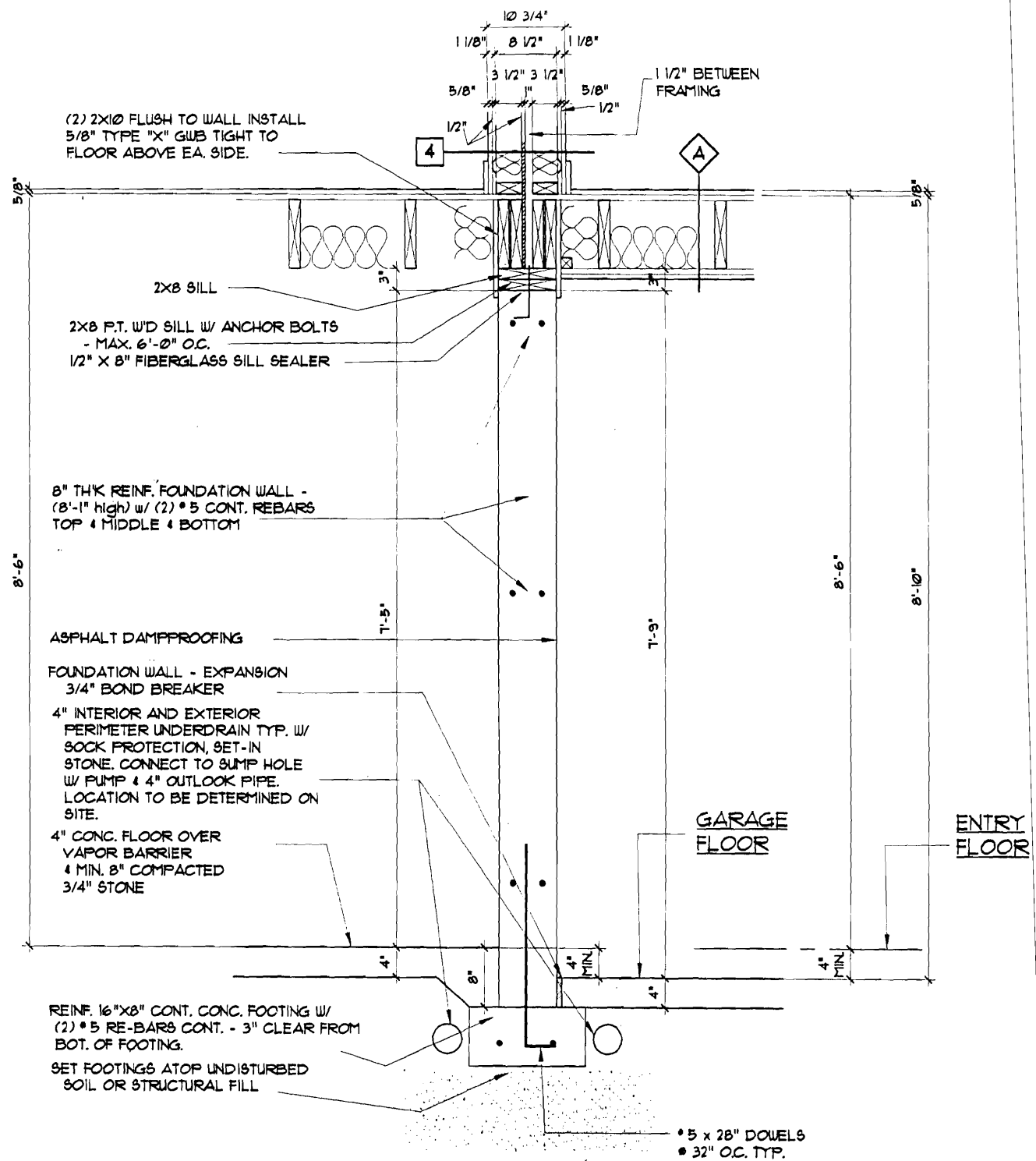
1. SITE CONTRACTOR TO DETERMINE FINISH FLOOR ELEVATION AND FINAL GRADE.
2. SITE CONTRACTOR TO CO-ORDINATE FINAL FOUNDATION DROPS AND LOCATION WITH FOUNDATION CONTRACTOR.

1
A-2

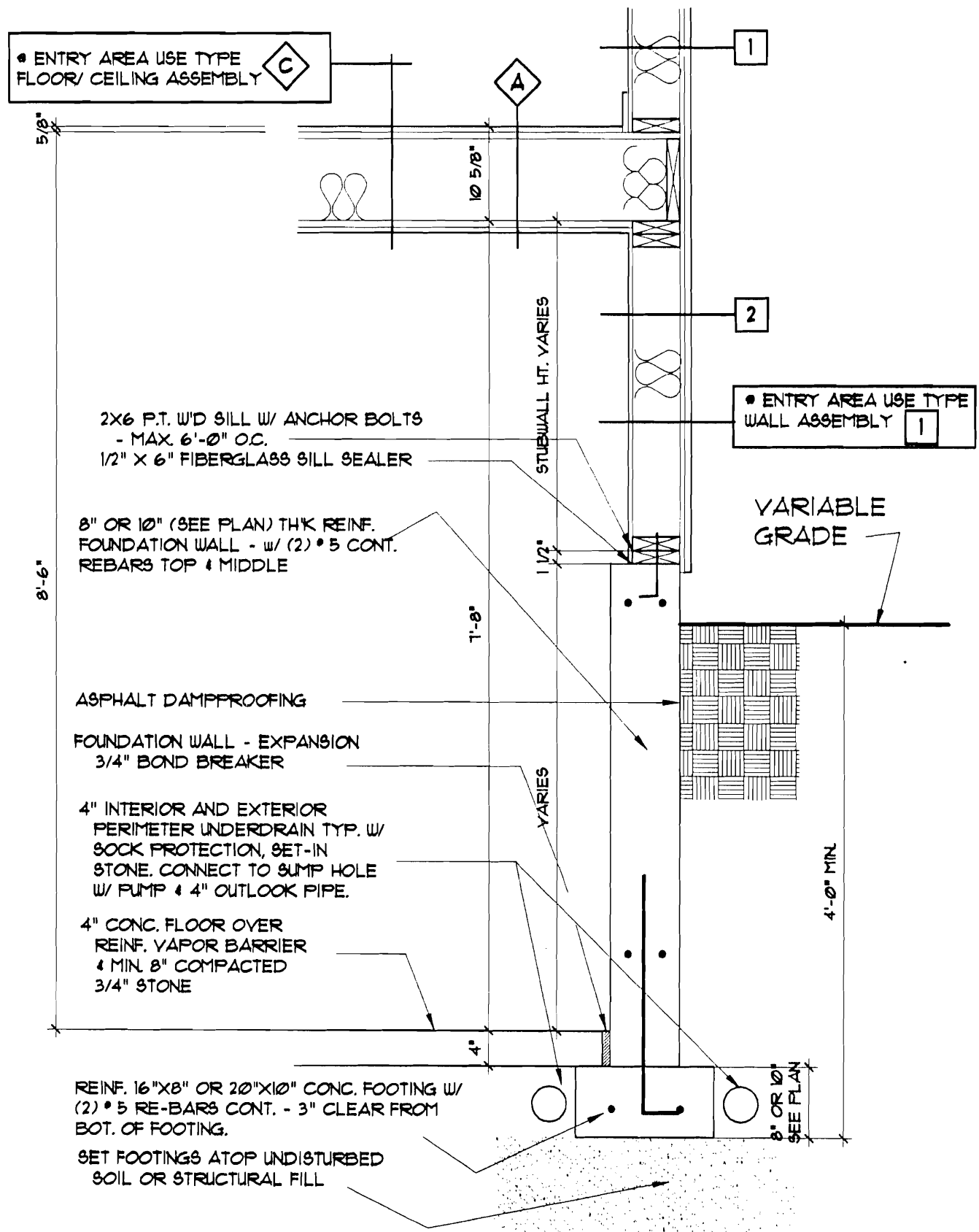
BASEM'T FOUNDATION WALL

SCALE: 3/4" = 1'-0"





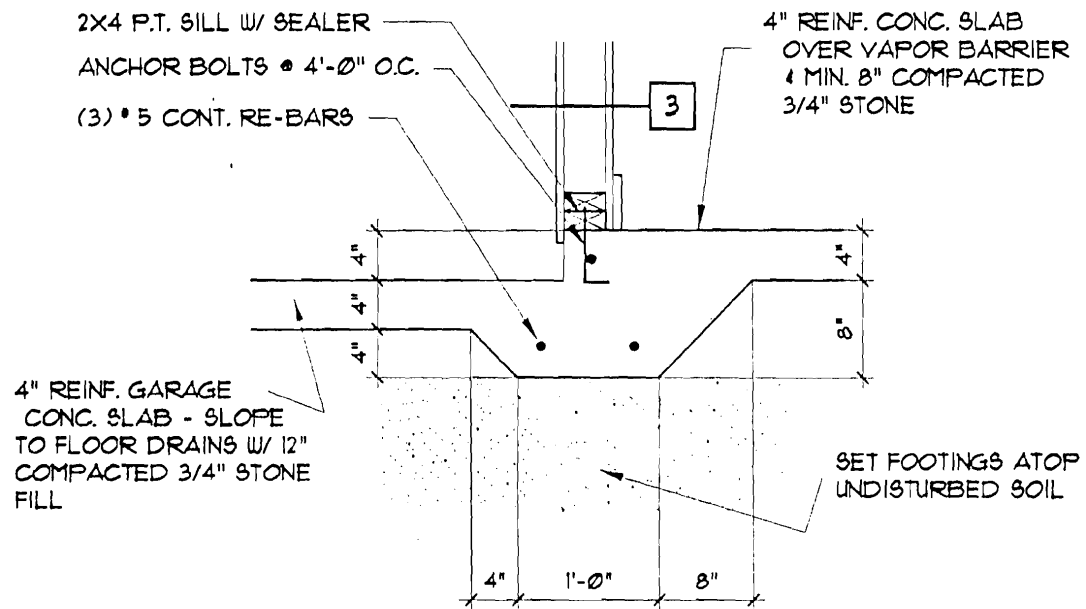
2 BASEM'T FDT'N @ COMMON WALL
A-2 SCALE: 3/4" = 1'-0"



3
A-2

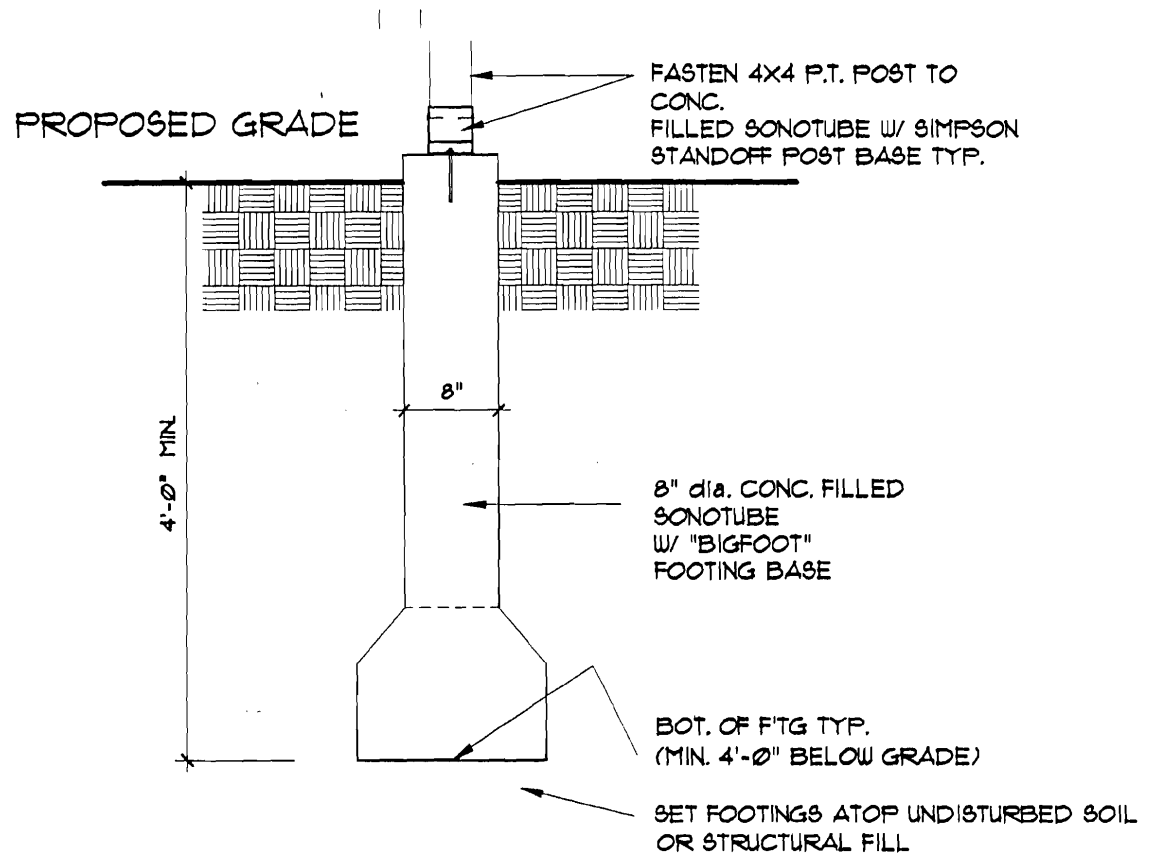
BASEM'T FOUNDATION WALL

SCALE: 3/4" = 1'-0"



5 THICKEN SLAB @
A-2 BEARING WALL

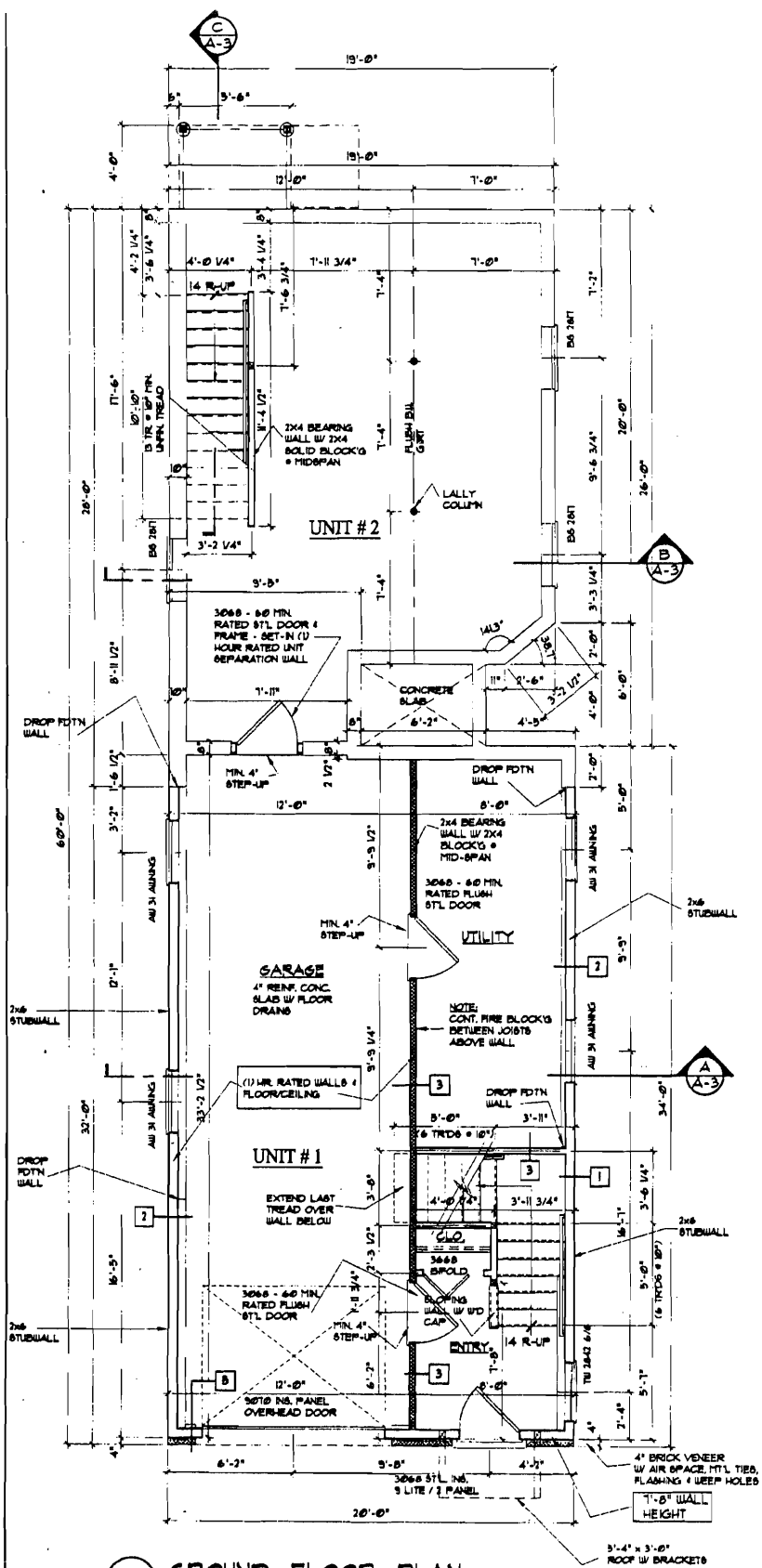
SCALE: 3/4" = 1'-0"



4
A-2

CONCRETE FILLED SONOTUBE

SCALE: 3/4" = 1'-0"

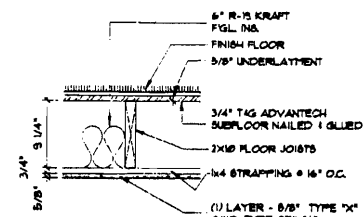


1 GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"

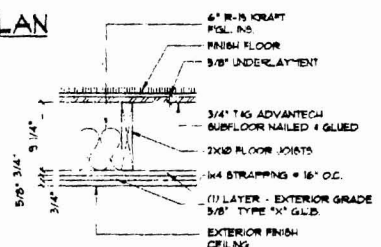
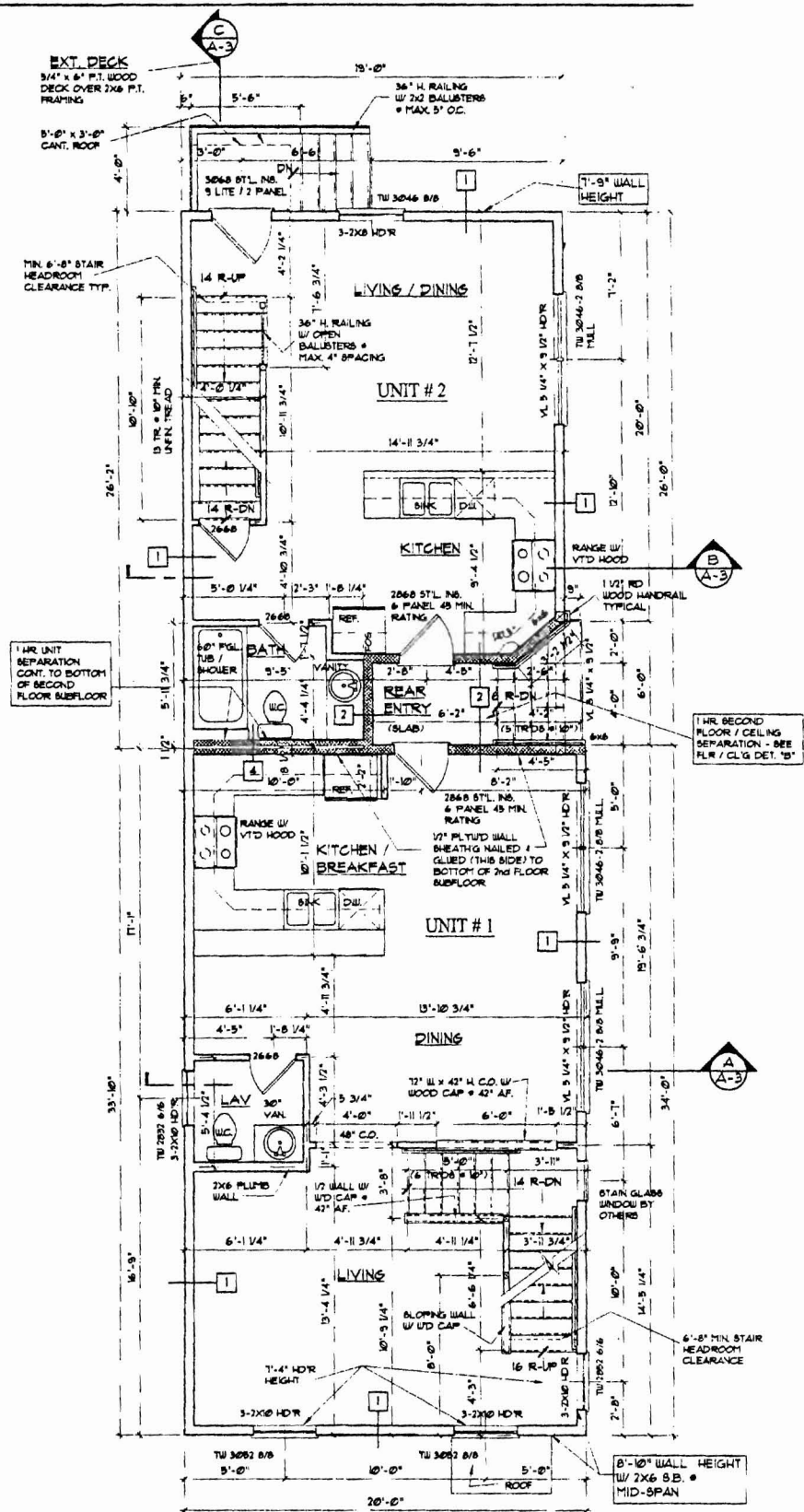
GENERAL NOTES:

- 1) EXTERIOR DIMENSIONS ARE FOUNDATION DIMENSIONS AND DO NOT INCLUDE WALL SHEATHING AND EXTERIOR SIDING.
- 2) VERIFY SOFFIT, SHEATHING, SIDING, ROOF & PORCH PROJECTIONS OVER SETBACKS - BEFORE CONSTRUCTION.
- 3) ELECTRICAL CONTRACTOR: INSTALL SMOKE DETECTORS PER CODE.
- 4) INSTALL RADON MITIGATION SYSTEM; LOCATE 4" DIA. PIPE, EXHAUST FAN, AND SENSOR PER SITE CONDITIONS.

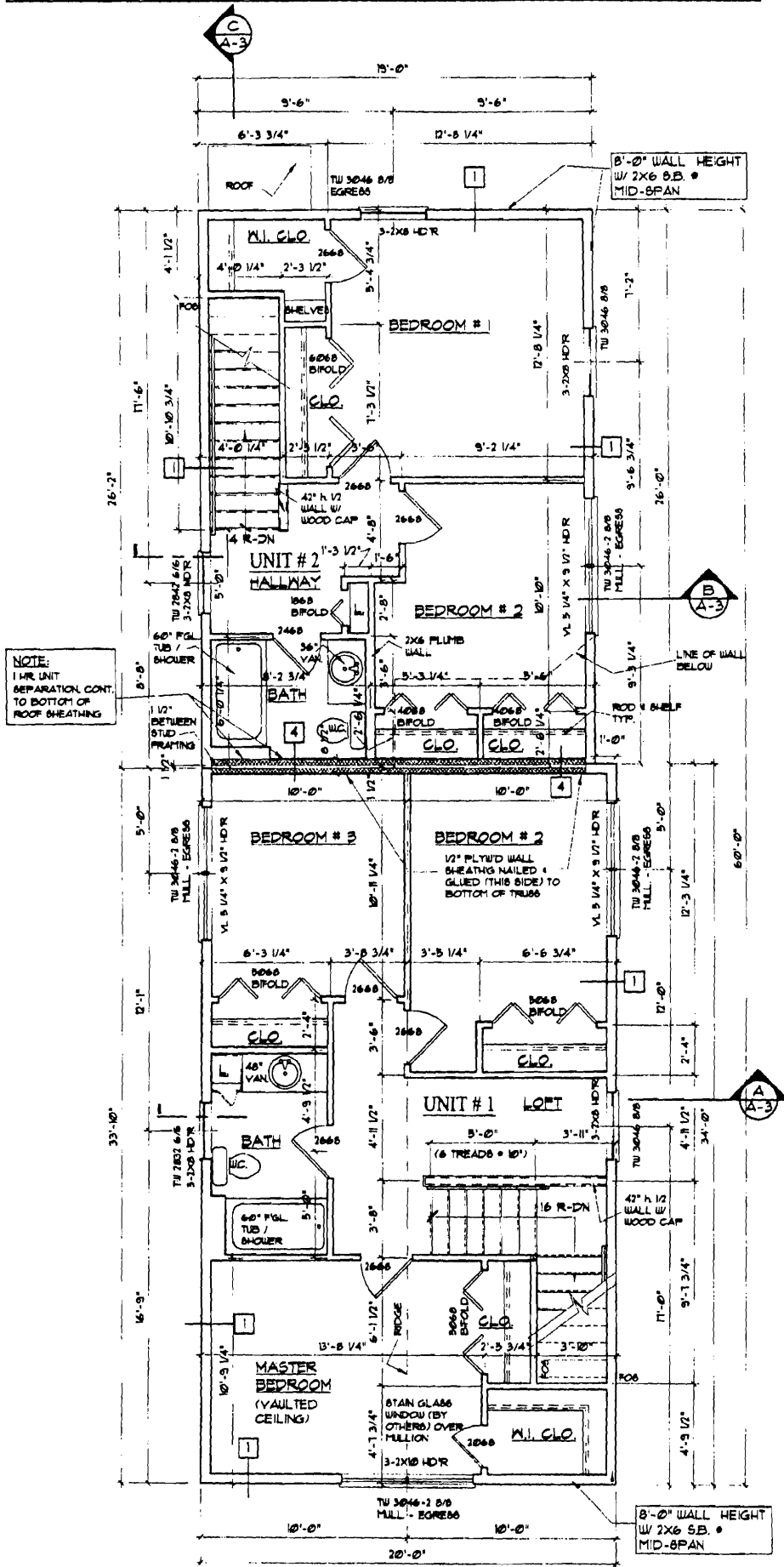


FL'R / CEIL'G RATED ASSEMBLY

SCALE: 1" = 1'-0" UL DESIGN - L 501 (1 HR RATED)



FLR / CEILING RATED ASSEMBLY
SCALE: 1" = 1'-0" UL DESIGN - L 501 (1 HR. RATED)



SYMBOL LEGEND

103

ROOM NUMBER

114

DOOR NUMBER

A

WINDOW TYPE

A
A-1

BUILDING SECTION

C
A-1

WALL SECTION

2
A-1

DETAIL SECTION

▲

CASEWORK ELEVATION

☁ ▲

REVISIONS

◊

INTERIOR ELEVATION

⊕

VERTICAL ELEVATION

2

PARTITION TYPE

A

ROOF/CLG. TAG

⊙

COLUMN CENTER LINE

GENERAL NOTES

GENERAL NOTES:

1. GENERAL CONTRACTOR TO LAYOUT ALL NEW CONSTRUCTION AND CONFIRM SETBACKS INCLUDING ROOF / RAKE OVERHANGS BEFORE CONSTRUCTION BEGINS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
2. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
3. DO NOT SCALE DRAWINGS.
4. SECTIONS AND DETAILS SHOWN ON DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.
5. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION.
6. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
7. INSTALL U.L. FIRE-STOPPING SEALANT / SYSTEM EQUAL TO THE FIRE RATED FLOOR / CEILING, AND WALL ASSEMBLY.
8. INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS ETC. WHEN MOUNTED ON STUD WALLS.
9. INSTALL MOISTURE RESISTANT GYPSUM BOARD IN LAUNDRY, TOILET ROOMS, AND ALL HIGH HUMIDITY AREAS.
10. FIRESTOP ALL SPACES BETWEEN CHIMNEY AND FLOORS AND CEILINGS WITH GALVANIZED STEEL MIN. 26 GA. THICK CHIMNEY AIR SPACE : MIN. 2" AIR SPACE.
11. INSTALL 1/4" LAUN PLYWOOD UNDERLAYMENT BENEATH ALL SHEET VINYL FLOORING AT WOOD FLOOR ASSEMBLIES.
12. TILE FLOOR AREAS: INSTALL MIN. 1 1/2" THK PLYWOOD. ALTERNATE PLYW'D GRAINS AND SCREW AND GLUE FLOOR.
13. INSTALL PLUMBING VENT BOOT COVER OVER ALL ROOF PVC PIPE PENETRATIONS.
14. RADON VENT PIPE - CONTINUE VENT PIPE FROM BELOW SLAB TO ABOVE CEILING INSULATION. LOCATION TO BE DETERMINED ON-SITE. CAP PIPE AND PROVIDE POWER FOR FUTURE EXHAUST FAN AND SENSOR.

FOUNDATION NOTES:

1. INTERIOR SPREAD FOOTINGS AND EXTERIOR STRIP FOOTINGS SHALL BE FOUNDED ON UNDISTURBED SOIL WITH MINIMUM 2500 PSF BEARING CAPACITY OR STRUCTURAL FILL AND MINIMUM 4'-0" BELOW GRADE.
2. SLAB ON GRADE SHALL BEAR ON A MINIMUM OF 8" DEEP 3/4" COMPACTED STONE. IF LOOSE OR UNDESIRABLE FILLS ARE ENCOUNTERED AT THE SLAB SUB-GRADE LEVEL, THEY SHALL BE OVER EXCAVATED TO THE SURFACE OF THE NATURAL SOIL AND REPLACED WITH STRUCTURAL FILL.
3. INTERIOR CONCRETE SLAB: INSTALL REINFORCED VAPOR BARRIER BELOW SLAB. TAPE ALL SEAMS AND PENETRATIONS SECURELY.
*** DO NOT DAMAGE VAPOR BARRIER AND REPAIR DAMAGED AREA AS NECESSARY.
4. COMPACTED STRUCTURAL FILL SHALL CONSIST OF CLEAN GRANULAR MATERIAL FREE OF ORGANICS, LOAM, TRASH, SNOW, ICE, FRZEN SOIL, OR ANY OTHER OBJECTIONABLE MATERIAL.
5. STRUCTURAL FILL BELOW SLABS SHALL BE PLACED IN LAYERS NOT EXCEEDING 8" IN LOOSE MEASURE AND COMPACTED BY SELF PROPELLED COMPACTION EQUIPMENT AT APPROXIMATE OPTIMUM MOISTURE CONTENT TO A DRY DENSITY OF AT LEAST 95% OF THE MAXIMUM IN PLACE DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557).
6. PERIMETER UNDERDRAINS SHALL BE INSTALLED TO POSITIVELY DRAIN TO A SUITABLE DISCHARGE POINT AWAY FROM THE STRUCTURE.
7. OPEN EXCAVATION SHALL BE ADEQUATELY BRACED.
8. BACKFILL BOTH SIDES OF FOUNDATION WALLS AND GRADE WALLS SIMULTANEOUSLY.
9. DO NOT BACKFILL FOUNDATION WALLS UNTIL THE FLOOR SLAB-ON-GRADE (AND HAS ATTAINED DESIGN STRENGTH) AND THE FIRST FLOOR DECK HAS BEEN INSTALLED.

CONCRETE NOTES:

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318- LATEST EDITION.
2. CONCRETE STRENGTH AT 28 DAYS SHALL BE:
 - A. 3000 PSI FOR FOOTINGS, WALLS, AND PIERS.
 - B. 3000 PSI SLABS-ON-GRADE.
3. ALL CONCRETE SHALL BE AIR ENTRAINED 4% TO 6%.
4. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
5. PROVIDE PVC SLEEVES WHERE PIPES PASS THROUGH CONCRETE WALLS OR SLABS.
6. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS, AND SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH ACI 315 - LATEST ADDITION.
7. WELDED WIRE FABRIC SHALL BE PROVIDED IN FLAT SHEETS.
8. FIBER REINFORCED CONCRETE SHALL CONFORM TO ASTM C-1116.
9. SPLICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI 318. SPLICES OF WLF SHALL BE 6" MINIMUM.
10. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 UNLESS NOTED OTHERWISE.

STRUCTURAL STEEL NOTES:

1. STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL" - NINTH EDITION.
2. STRUCTURAL STEEL: ASTM A36

CONVENTIONAL WOOD FRAMING NOTES:

1. CONVENTIONAL FRAMING MEMBERS SHALL BE VISUALLY GRADED, MINIMUM GRADE # 2 SPRUCE-PINE-FIR (SPF), KILN DRIED TO 19 % MAXIMUM MOISTURE CONTENT.
2. PRESSURE TREATED LUMBER SHALL BE USED WHERE WOOD IS IN CONTACT WITH GROUND, CONCRETE, OR MASONRY. TIMBER SHALL BE SOUTHERN YELLOW PINE TREATED WITH CCA TO 0.4 %/CF IN ACCORDANCE WITH AWPA C-18.
3. PROVIDE SIMPSON H3 HURRICANE ANCHORS (WHETHER INDICATED ON THE DRAWINGS OR NOT) WHERE CONVENTIONAL RAFTER FRAMING AND / OR MANUFACTURED TRUSSES BEAR ON LOAD BEARING WALLS.
4. NAILING SCHEDULE (UNO) SHALL CONFORM TO BOCA 1999 OR IBC 2000 CODES.
5. CO-ORDINATE AND FLASH ALL ROOF / WALL PENETRATIONS WITH THE SUB-TRADES.
6. INSTALL WATERPROOF MEMBRANE UNDERLAYMENT AT ALL VALLEYS, ROOF / WALL JUNCTURE, AND EAVES.
7. INSTALL WATERPROOF MEMBRANE UNDERLAYMENT FROM EAVE UP ROOF MINIMUM 6'-0".
8. ROOF SLOPE 5 / 12 OR LESS (TYPICAL WHETHER INDICATED OR NOT) - INSTALL WATERPROOF MEMBRANE UNDERLAYMENT ENTIRE ROOF AREA.

9. FRAMING NOTES:

- A. EXTEND ALL STRUCTURAL LOADS DOWN TO FOOTINGS OR FOUNDATION WALLS.
- B. FRAME ALL OPENINGS IN FLOORS OR ROOFS - WITH DOUBLE MEMBERS.
- C. DOUBLE FLOOR FRAMING BELOW PARALLEL WALLS ABOVE (WHETHER INDICATED OR NOT).
- D. WALL OPENINGS GREATER THAN 6'-0" WIDE SHALL HAVE MIN. (2) JACK STUDS BENEATH EACH END OF EACH HEADER.
- E. CONVENTIONAL BUILT- UP HEADERS TO HAVE 1/2" P.W. FILLERS TO MATCH FRAMING DIMENSION.
- F. ALL FLOORS SHALL BE LEVELED TO A TOLERANCE OF 1/8" IN 10'-0" WHEN CHECKED AT ANY AREA WITH A 10'-0" STRAIGHT EDGE.
- G. INSTALL SOLID BLOCKING @ MID-SPAN ALL WALLS GREATER THAN 8'-0" HIGH (UNO).
- H. INSTALL SOLID BLOCKING FOR SURFACE APPLIED FIXTURES, CABINET, COUNTER TOPS, AND GRAB BARS , ETC.

10. EXTERIOR WOOD TRIM NOTES:

- A. WOOD TRIM - BACK PRIME NEW EXPOSED EXTERIOR TRIM BOARDS.
- B. CORNER BOARDS, FASCIA TRIM, WATER TABLE AND WINDOW TRIM, ETC. TO BE 1 X-- MATERIAL (UNO).
- C. INSTALL 5/4" x --- WOOD SIDING BLOCKS AT ALL EXTERIOR WALL PENETRATIONS. (IE: LIGHT FIXTURES AND HOSE BIBBS)
- D. ALL EXTERIOR CAULKING AROUND WINDOWS, DOORS, AND ALL WALL PENETRATIONS SHALL BE NON-HARDING TYPE SEALANT.

11. LALLY COLUMN CAPS: SIMILAR TO SIMPSON STRONGTIE CONNECTOR LLC.

ENGINEERED WOOD PRODUCTS / FASTENERS:

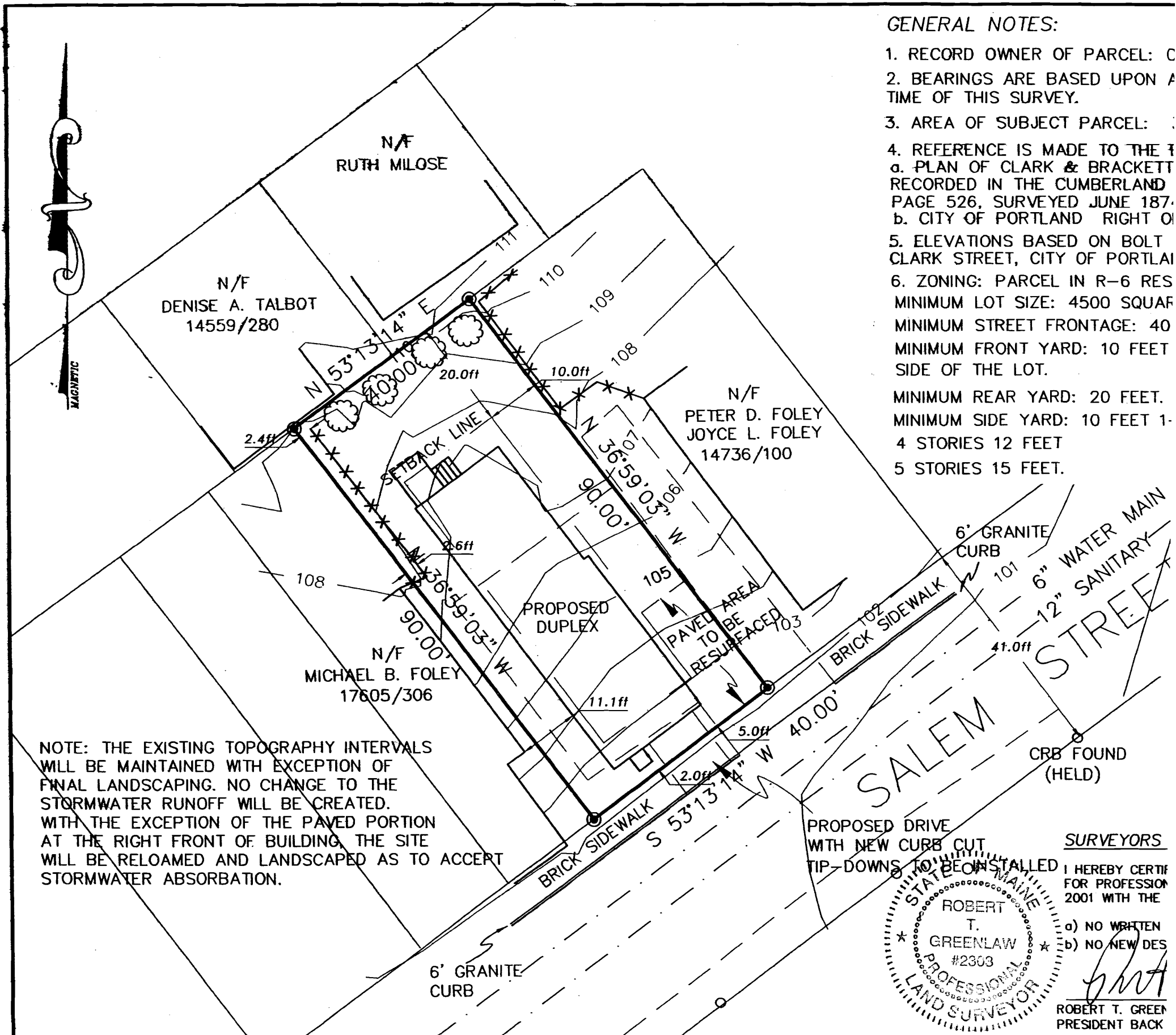
1. ENGINEERED WOOD PRODUCTS: SHALL BE SIMILAR OR EQUAL TO THE FOLLOWING MANUFACTURER'S:
 - A. 1" JOISTS - BCI JOISTS AS MANUFACTURED BY BOISE CASCADE CORPOATION.
 - B. BEAMS & HEADERS - "LVL" VERSA-LAM - AS MANUFACTURED BY BOISE CASCADE CORPOATION.
2. WOOD CONSTRUCTION CONNECTORS: SHALL BE SIMILAR OR EQUAL TO SIMPSON STRONGTIE CONNECTORS
3. REFER TO MANUFACTURERS PRODUCT LITERATURE FOR RECOMMENDED HANGERS AND NAILING / FASTENERS.

ABBREVIATIONS

AB	ANCHOR BOLT	MTL	METAL
AFF	ABOVE FINISH FLOOR	N/A	NOT APPLICABLE
BIT. CONC.	BITUMINOUS CONCRETE	NIC	NOT IN CONTACT
BOT	BOTTOM	NO	NUMBER
BRG	BEARING	NTS	NOT TO SCALE
CPT	CARPET	OA	OVERALL
CAB	CABINET	OC	ON CENTER
CL	CENTER LINE	OD	OUTSIDE DIAMETER
CLG	CEILING	OPNG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONT	CONTINUOUS	PTD	PAINTED
DBL	DOUBLE	PL	PLATE
DIA	DIAMETER	PW	PLYWOOD
DIM	DIMENSION	PT	PRESSURE TREATED
DTL	DETAIL	RE	REFER
DWG	DRAWING	REF	REFRIGERATOR
EA	EACH	REINF	REINFORCED
ELV	ELEVATION	REQD	REQUIRED
EQ	EQUAL	RM	ROOM
EW	EACH WAY	RO	ROUGH OPENING
EXT	EXTERIOR	ACT	SUSPENDED ACOUSTICAL TILE CEILING
FDTN	FOUNDATION	SCHED	SCHEDULE
FX	FIRE EXTINGUISHER	SECT	SECTION
FFE	FINISH FLOOR ELEVATION	SHT	SHEET
FIN	FINISH	SIM	SIMILAR
FF	FINISH FLOOR	SQ	SQUARE
FOS	FACE OF STUD OR FRAMING	STD	STANDARD
FLR	FLOOR	STL	STEEL
FR	FIRE RATING	STRUCT	STRUCTURAL
FT	FEET (FOOT)	THK	THICKNESS
FV	FIELD VERIFY	TOW	TOP OF WALL
GB	GRAB BARS	TYP	TYPICAL
GC	GENERAL CONTRACTOR	U.N.O.	UNLESS NOTED OTHERWISE
GWB	GYPSPUM WALL BOARD	VB	VAPOR BARRIER
HC	HANDICAP	VCT	VINYL COMPOSITION TILE
HM	HOLLOW METAL	VERT	VERTICAL
HORZ	HORIZONTAL	W/	WITH
HT	HEIGHT	WC	WATER CLOSET
IN	INCHES	WD	WOOD
INSUL	INSULATION		
INT	INTERIOR		
JT	JOINT		
LOC	LOCATION		
MAX	MAXIMUM		
MFGR	MANUFACTURER		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MRGWB	MOISTURE RESISTANT GYPSPUM BOARD		

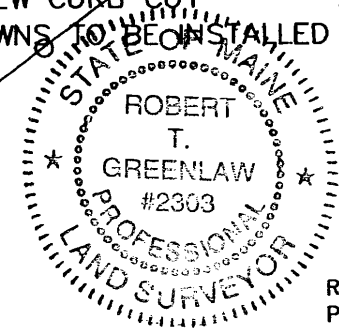
GENERAL NOTES:

1. RECORD OWNER OF PARCEL: C
2. BEARINGS ARE BASED UPON A TIME OF THIS SURVEY.
3. AREA OF SUBJECT PARCEL:
4. REFERENCE IS MADE TO THE F
 - a. PLAN OF CLARK & BRACKETT RECORDED IN THE CUMBERLAND PAGE 526, SURVEYED JUNE 187.
 - b. CITY OF PORTLAND RIGHT OF
5. ELEVATIONS BASED ON BOLT CLARK STREET, CITY OF PORTLA
6. ZONING: PARCEL IN R-6 RES
 - MINIMUM LOT SIZE: 4500 SQUAR
 - MINIMUM STREET FRONTAGE: 40
 - MINIMUM FRONT YARD: 10 FEET
 - MINIMUM SIDE YARD: 10 FEET 1-
 - 4 STORIES 12 FEET
 - 5 STORIES 15 FEET.



NOTE: THE EXISTING TOPOGRAPHY INTERVALS WILL BE MAINTAINED WITH EXCEPTION OF FINAL LANDSCAPING. NO CHANGE TO THE STORMWATER RUNOFF WILL BE CREATED. WITH THE EXCEPTION OF THE PAVED PORTION AT THE RIGHT FRONT OF BUILDING THE SITE WILL BE RELOAMED AND LANDSCAPED AS TO ACCERT STORMWATER ABSORPTION.

PROPOSED DRIVE WITH NEW CURB CUT TIP-DOWNS TO BE INSTALLED



SURVEYORS

I HEREBY CERTIFY FOR PROFESSION 2001 WITH THE

- a) NO WRITTEN
- b) NO NEW DES

gnt
ROBERT T. GREEN
PRESIDENT BACK