

**GENERAL NOTES:**

1. RECORD OWNER OF PARCEL: CONNEMARA DEVELOPMENT LLC
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. AREA OF SUBJECT PARCEL: 3600.0 SQ. FT. 0.08 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
  - a. PLAN OF CLARK & BRACKETT STREETS SHOWING POSITION OF MONUMENTS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 526 PAGE 526, SURVEYED JUNE 1874
  - b. CITY OF PORTLAND RIGHT OF WAY PLAN #22 SALEM STREET
5. ELEVATIONS BASED ON BOLT IN MONUMENT CORNER OF DANFORTH AND CLARK STREET, CITY OF PORTLAND DATUM NGVD1929 ELEVATION = (121.36)
6. ZONING: PARCEL IN R-6 RESIDENTIAL ZONE.  
 MINIMUM LOT SIZE: 4500 SQUARE FEET, EXCEPT AS PROVIDED FOR LOTS OF RECORD.  
 MINIMUM STREET FRONTAGE: 40 FEET.  
 MINIMUM FRONT YARD: 10 FEET OR THE AVERAGE OF THE FRONT YARD ON EITHER SIDE OF THE LOT.  
 MINIMUM REAR YARD: 20 FEET.  
 MINIMUM SIDE YARD: 10 FEET 1-3 STORIES.  
 4 STORIES 12 FEET  
 5 STORIES 15 FEET.

**LEGEND**

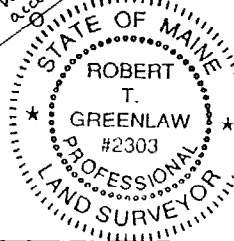
- Cupped 5/8" Rebar Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- 100 - Contour Line
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F New Or Formerly
- A.G. Above Grade
- Edge of traveled way



**SURVEYORS STATEMENT:**

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION



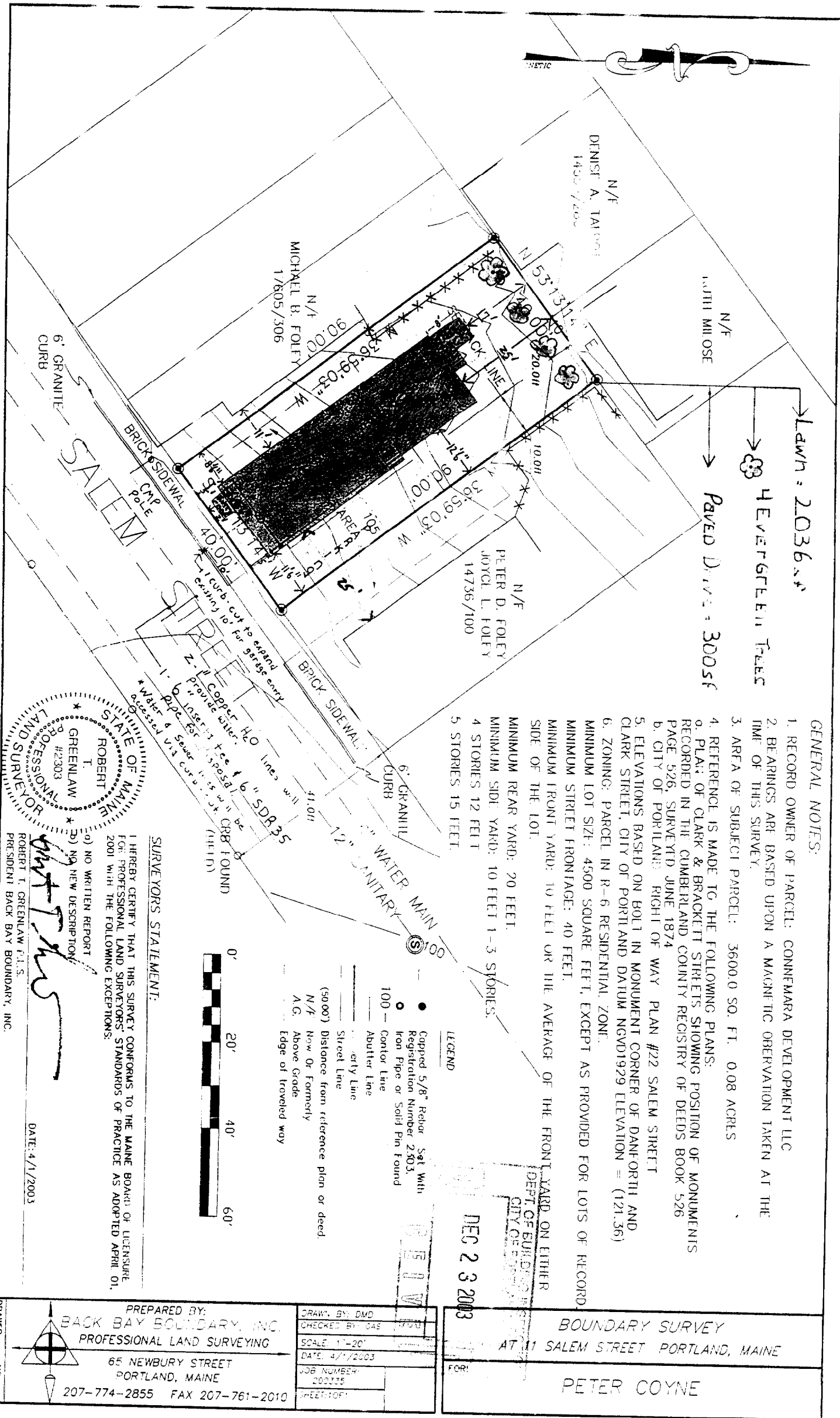
*Robert T. Greenlaw*  
 ROBERT T. GREENLAW P.L.S.  
 PRESIDENT BACK BAY BOUNDARY, INC.

DATE: 4/1/2003

BOUNDARY SURVEY  
 AT 11 SALEM STREET PORTLAND, MAINE  
 FOR: PETER COYNE

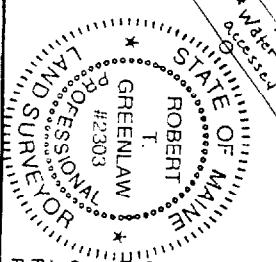
DRAWN BY: CMD	CHECKED BY: JMS
SCALE: 1"=20'	DATE: 4/1/2003
JOB NUMBER: 200305	SHEET: 001

PREPARED BY:  
 BACK BAY BOUNDARY, INC.  
 PROFESSIONAL LAND SURVEYING  
 65 NEWBURY STREET  
 PORTLAND, MAINE  
 207-774-2855 FAX 207-761-2010  
 DRAWER: NO:



Ldwn = 2,036.4'   
 Evergreen Trees   
 Paved Drive = 3005.6'

- GENERAL NOTES:**
1. RECORD OWNER OF PARCEL: CONNEMARA DEVELOPMENT LLC
  2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
  3. AREA OF SUBJECT PARCEL: 3600.0 SQ. FT. 0.08 ACRES
  4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
    - a. PLAN OF CLARK & BRACKETT STREETS SHOWING POSITION OF MONUMENTS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 526 PAGE 526, SURVEYED JUNE 1874
    - b. CITY OF PORTLAND RIGHT OF WAY PLAN #22 SALEM STREET
  5. ELEVATIONS BASED ON BOLL IN MONUMENT CORNER OF DANFORTH AND CLARK STREET, CITY OF PORTLAND DATUM NGVD1929 ELEVATION = (121.36)
  6. ZONING: PARCEL IN R-6 RESIDENTIAL ZONE.
- MINIMUM LOT SIZE: 4500 SQUARE FEET, EXCEPT AS PROVIDED FOR LOTS OF RECORD  
 MINIMUM STREET FRONTAGE: 40 FEET.  
 MINIMUM FRONT YARD: 10 FEET OR THE AVERAGE OF THE FRONT YARD ON EITHER SIDE OF THE LOT.  
 MINIMUM REAR YARD: 20 FEET.  
 MINIMUM SIDE YARD: 10 FEET 1-3 STORES.  
 4 STORES 12 FEET  
 5 STORES 15 FEET.



**SURVEYORS STATEMENT:**

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

(a) NO WRITTEN REPORT  
 (b) NO NEW DESCRIPTION

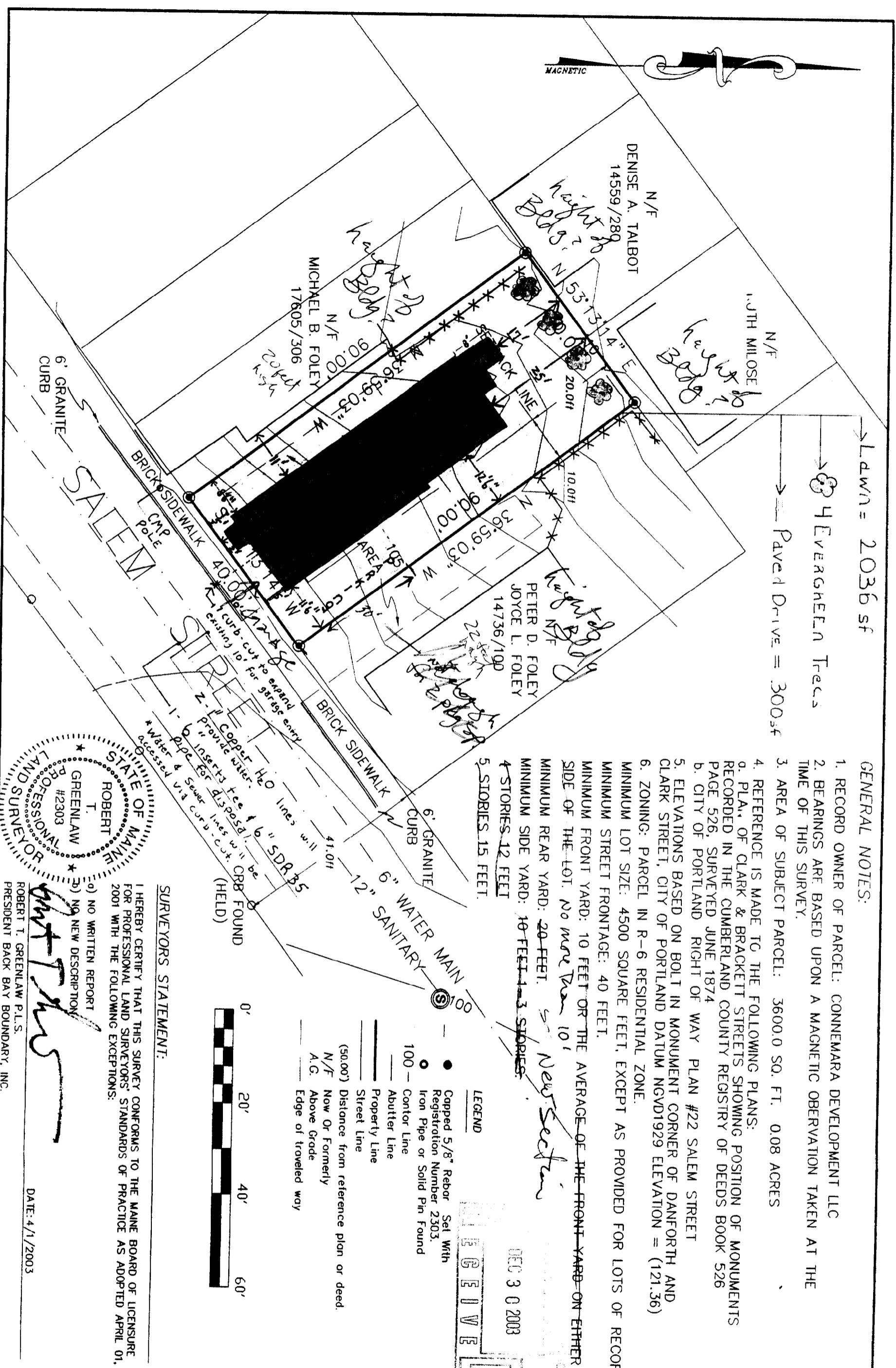
ROBERT T. GREENLAW P.L.S.  
 PRESIDENT BACK BAY BOUNDARY, INC.  
 DATE: 4/1/2003



- LEGEND**
- Capped 5/8" Rebar Set With Registration Number 2503.
  - Iron Pipe or Solid Pin Found
  - Contour Line
  - Abutter Line
  - Street Line
  - (5000') Distance from reference plan or deed
  - N/F New Or Formerly
  - A.G. Above Grade
  - Edge of traveled way

DEPT. OF EMBROIDERY  
 CITY OF PORTLAND  
 DEC 23 2003

PREPARED BY: <b>BACK BAY BOUNDARY, INC.</b> PROFESSIONAL LAND SURVEYING 65 NEWBURY STREET PORTLAND, MAINE 207-774-2855 FAX 207-761-2010	DRAWN BY: DMD CHECKED BY: GAE	<b>BOUNDARY SURVEY</b> AT 11 SALEM STREET PORTLAND, MAINE FOR: PETER COYNE
	SCALE: 1"=20' DATE: 4/1/2003 JOB NUMBER: 200335 SHEET 1 OF 1	



LAWN = 2036 sf

Evergreen Trees

Paved Drive = 300 sf

GENERAL NOTES:

1. RECORD OWNER OF PARCEL: CONNEMARA DEVELOPMENT LLC
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. AREA OF SUBJECT PARCEL: 3600.0 SQ. FT. 0.08 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
5. ELEVATIONS BASED ON BOLT IN MONUMENT CORNER OF DANFORTH AND CLARK STREET, CITY OF PORTLAND DATUM NGVD1929 ELEVATION = (121.36)
6. ZONING: PARCEL IN R-6 RESIDENTIAL ZONE.
7. MINIMUM LOT SIZE: 4500 SQUARE FEET, EXCEPT AS PROVIDED FOR LOTS OF RECORD.
8. MINIMUM STREET FRONTAGE: 40 FEET.
9. MINIMUM FRONT YARD: 10 FEET OR THE AVERAGE OF THE FRONT YARD ON EITHER SIDE OF THE LOT. No more than 10'
10. MINIMUM REAR YARD: 20 FEET.
11. MINIMUM SIDE YARD: 10 FEET.
12. MINIMUM STORIES: 12 FEET
13. MINIMUM STORIES: 15 FEET.

LEGEND

- Capped 5/8" Rebar Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- Contour Line
- Abutment Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- Edge of traveled way

DEC 3 0 2003



SURVEYORS STATEMENT:

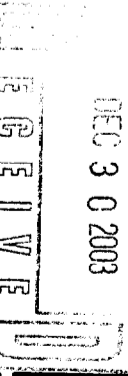
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- (a) NO WRITTEN REPORT
- (b) NO NEW DESCRIPTION



ROBERT T. GREENLAW P.L.S.  
PRESIDENT BACK BAY BOUNDARY, INC.

DATE: 4/1/2003



BOUNDARY SURVEY  
AT 11 SALEM STREET PORTLAND, MAINE

FOR:  
PETER COYNE

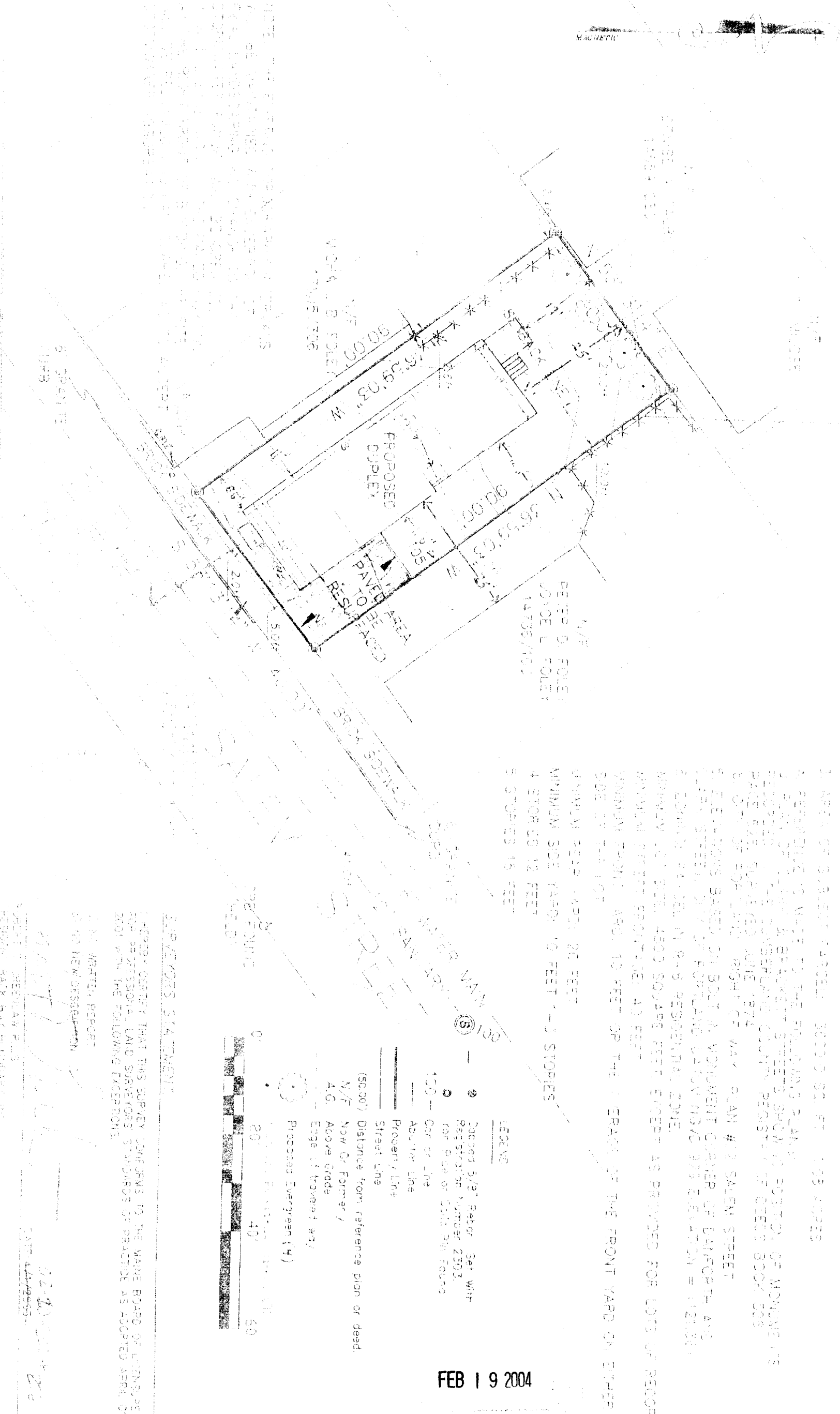
DRAWN BY: DMD	CHECKED BY: GAS
SCALE: 1"=20'	DATE: 4/1/2003
JOB NUMBER: 200335	SHEET: 10F1

PREPARED BY:  
BACK BAY BOUNDARY, INC.  
PROFESSIONAL LAND SURVEYING

65 NEWBURY STREET  
PORTLAND, MAINE  
207-774-2855 FAX 207-761-2010

DRAWER: NO:

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 Date of Approval: 2/9/04



- NOTES:**
1. AREA OF SUBJECT PARCEL: 38200 SQ. FT. (0.88 ACRES)
  2. REFERENCE TO MAPS: CONSIDERED DEVELOPMENT
  3. SETBACKS ARE SHOWN FROM A VARIOUS REFERENCE POINTS AT THE CORNER OF THE BLOCK.
  4. REQUIREMENTS MUST TO THE FOLLOWING PLAN:
    - a. FRONT SETBACK: 20 FEET
    - b. SIDE SETBACK: 10 FEET
    - c. REAR SETBACK: 10 FEET
    - d. MINIMUM SIDE YARD: 10 FEET (1-2) STORIES
    - e. MINIMUM SIDE YARD: 12 FEET
    - f. MINIMUM SIDE YARD: 16 FEET
  5. ELEVATIONS BASED ON BOSTON MONUMENT CORNER OF CAMFORTH AND LEXINGTON STREETS, CITY OF PORTLAND COUNTY RECORDS BOOK 509 PAGE 815. SURVEYED JUNE 1874
  6. DISTANCE FROM CORNER OF WALKER PLAN #12 SALEM STREET TO CORNER OF BOSTON MONUMENT CORNER OF CAMFORTH AND LEXINGTON STREETS, CITY OF PORTLAND COUNTY RECORDS BOOK 509 PAGE 815 = 121.561
  7. MINIMUM FRONT YARD: 10 FEET ON THE GRADE OF THE FRONT YARD ON EITHER SIDE OF THE LOT
  8. MINIMUM SIDE YARD: 20 FEET
  9. MINIMUM SIDE YARD: 10 FEET (1-2) STORIES
  10. MINIMUM SIDE YARD: 12 FEET
  11. MINIMUM SIDE YARD: 16 FEET

**LEGEND**

- ⊙ Correct 5/8" Iron Set with Registration Number 2503, for Edge or 5/16" Pin Found
- ⊙ Corner of Line
- Adj. Line
- Property Line
- Street Line
- (50.00) Distance from reference plan or deed
- N/F New Of Former /
- A/G Above Grade
- Edge of Proposed W/S
- Proposed Evergreen (Y)

**SCALE**

0 20 40 60 Feet

**SURVEYOR'S STATEMENT**

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAIN BOARD OF LICENSED PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 2001 WITH THE FOLLOWING EXCEPTIONS:

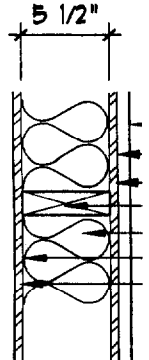
I, THE WRITER, REPORT TO THE NEW SUBDIVISION

*[Handwritten signature and date]*

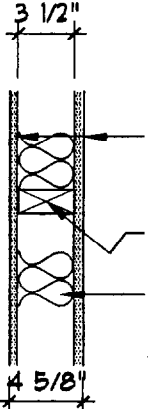
FEB 19 2004

PREPARED BY: <b>PETER HAY &amp; COMPANY, INC.</b> PROFESSIONAL LAND SURVEYING 65 NEWBURY STREET PORTLAND, MAINE TEL: 207-761-2855 FAX: 207-761-2010	NORTH BY LAND THICK RED IRON PIN	<b>BOUNDARY SURVEY</b> AT 11 SALEM STREET PORTLAND, MAINE PETER COYNE
	AREA: 38200 SQ. FT. DATE: 2/9/04 NAME OF MAP: 11 SALEM ST. SHEET NO: 1	

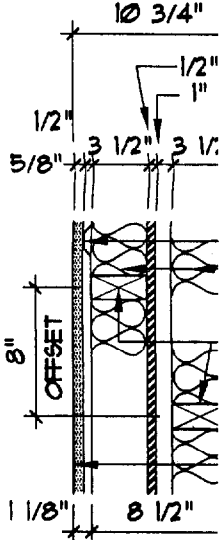
(PLAN)



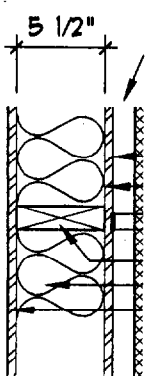
EXTERIOR WALL (1)



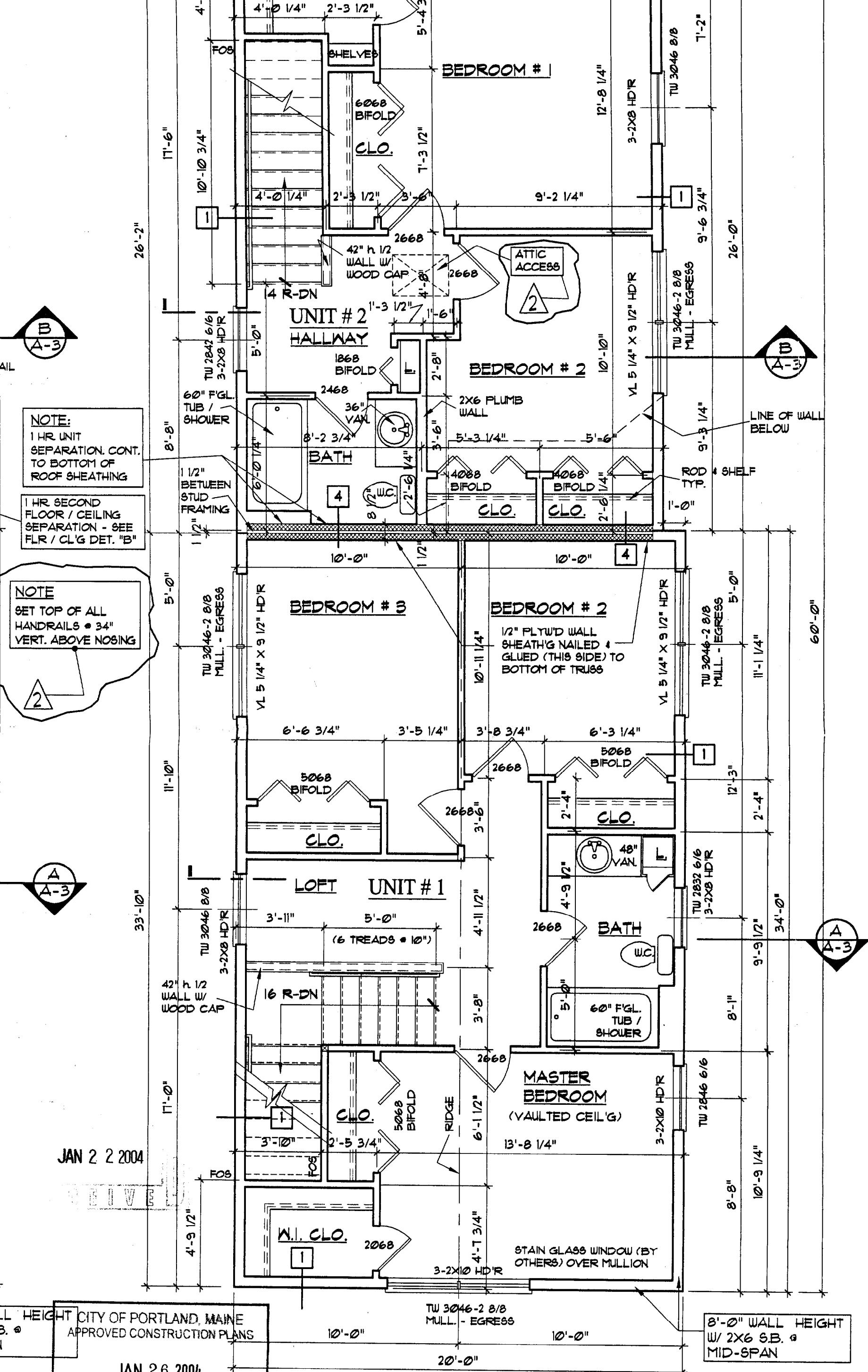
INTERIOR PLAN - SCALE: 1" = 1'-0"



INTERIOR PLAN - SCALE: 1" = 1'-0"



EXTERIOR VENEER



NOTE:  
1 HR UNIT SEPARATION. CONT. TO BOTTOM OF ROOF SHEATHING

NOTE:  
1 HR SECOND FLOOR / CEILING SEPARATION - SEE FLR / CL'G DET. "B"

NOTE:  
SET TOP OF ALL HANDRAILS @ 34" VERT. ABOVE NOSING

JAN 22 2004

JAN 26 2004

CITY OF PORTLAND, MAINE APPROVED CONSTRUCTION PLANS

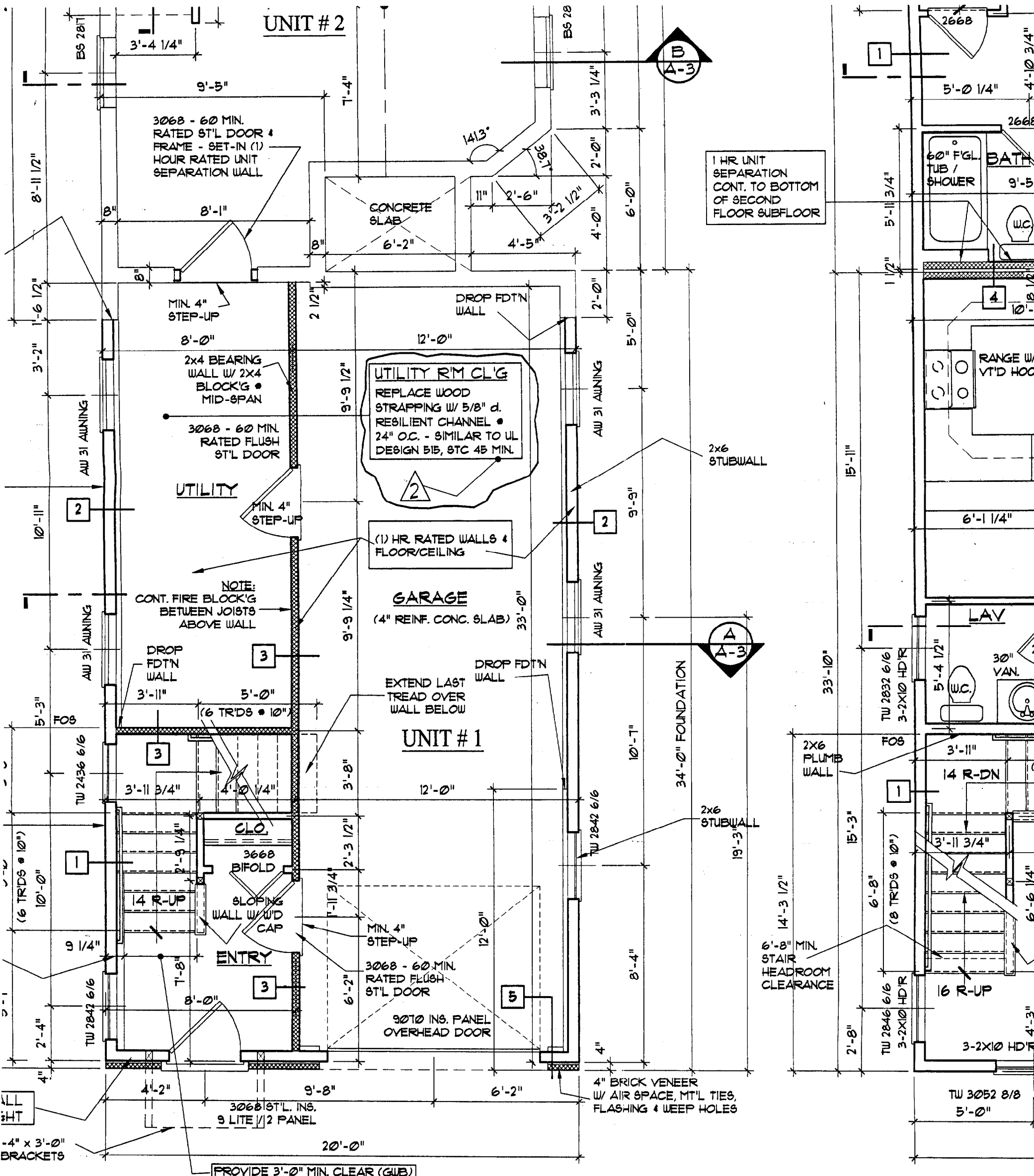
6" R-19 KRAFT FGL. INS. FINISH FLOOR 5/8" UNDERLAYMENT

# 3 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

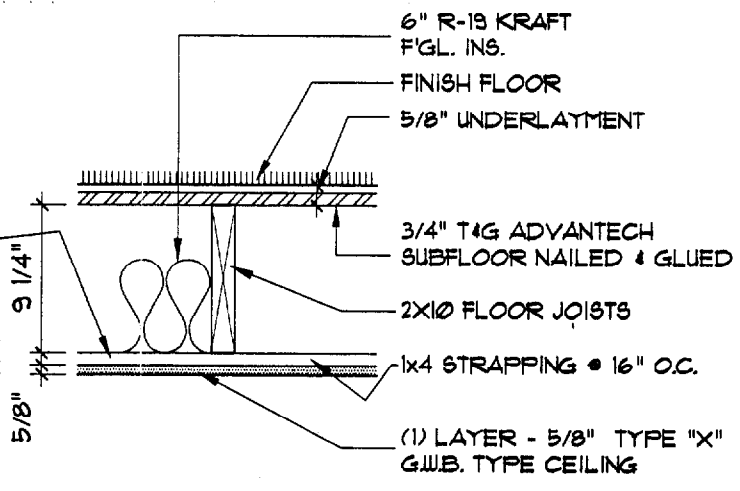
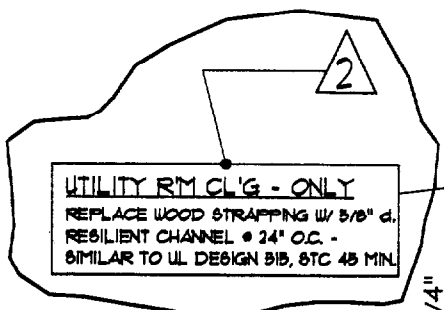
6" R-19 KRAFT FGL. INS. FINISH FLOOR 5/8" UNDERLAYMENT

1) 2) 3)



**1 GROUND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**2**



**FL'R / CEIL'G RATED ASSEMBLY**  
SCALE: 1" = 1'-0" UL DESIGN - L 501 (1 HR RATED)

JAN 22 2004

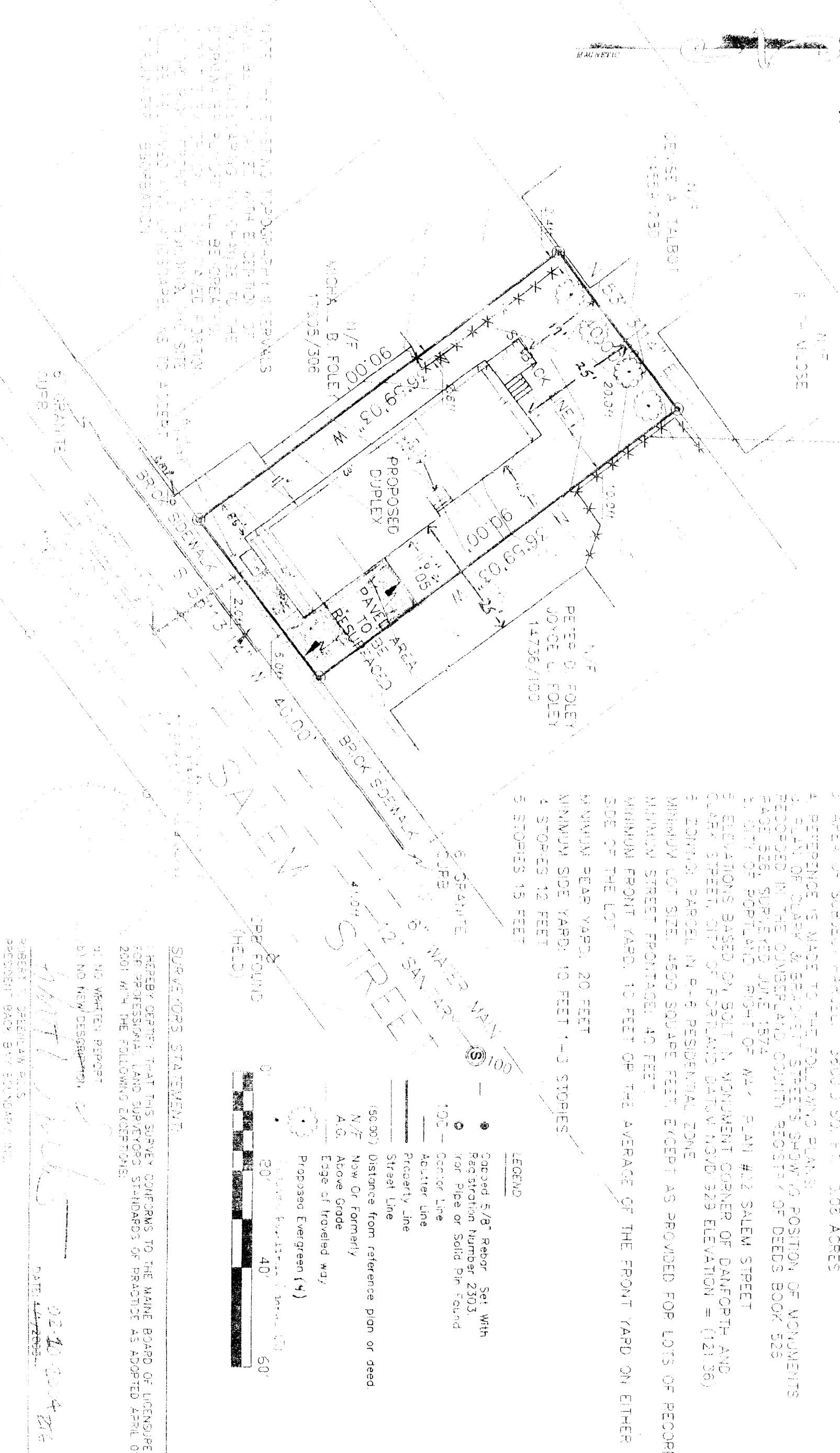
CITY OF PORTLAND MAINE  
APPROVED CONSTRUCTION PLANS  
JAN 26 2004  
SUPERSEDES ALL  
PRIOR DATED PLANS

**A**

*Joseph J. Green*

**CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 02/10/2014**

PLAN SCALE = 1" = 20.00'  
FIELD SCALE = 300'

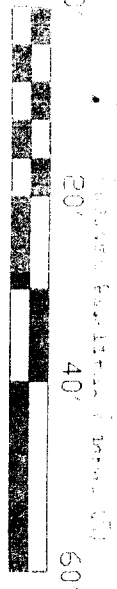


**GENERAL NOTES:**

1. RECORD OWNER OF PARCEL: DOMINER DEVELOPMENT LLC
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. AREA OF SUBJECT PARCEL: 3600.0 SQ. FT. 0.08 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:  
PLAN OF CLARK & BASKETT STREETS SHOWING POSITION OF MONUMENTS RECORDED IN THE OUNERLAND COUNTY REGISTER OF DEEDS BOOK 526 PAGE 526, SURVEYED JUNE 1874  
CITY OF PORTLAND RIGHT OF WAY PLAN #12 SALEM STREET  
ELEVATIONS BASED ON BOLT IN MONUMENT CORNER OF DANFORTH AND CLARK STREET, CITY OF PORTLAND DATUM NSVD 929 ELEVATION = (121.36)
5. ZONING: PARCEL IN R-6 RESIDENTIAL ZONE
6. MINIMUM LOT SIZE: 4500 SQUARE FEET EXCEPT AS PROVIDED FOR LOTS OF RECORD.
7. MINIMUM STREET FRONTAGE: 40 FEET
8. MINIMUM FRONT YARD: 10 FEET ON THE AVERAGE OF THE FRONT YARD ON EITHER SIDE OF THE LOT
9. MINIMUM REAR YARD: 20 FEET
10. MINIMUM SIDE YARD: 10 FEET 1-3 STORIES
11. 4 STORIES 12 FEET
12. 5 STORIES 15 FEET

**LEGEND**

- Capped 5/8" Rebar Set with Registration Number 2303.
- Iron Pipe or Solid Pin Found
- 100' Center Line
- Alter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed
- N/F Now Or Formerly
- A.G. Above Grade
- Edge of traveled way
- Proposed Evergreen (4)



**SURVEYORS STATEMENT:**

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSED PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESIGNATION

*AMT*  
DATE: 02/10/2014

ROBERT S. GREENGLASS  
PROFESSIONAL LAND SURVEYOR, INC.

	PREPARED BY: <b>PAUL RAY BOUNDARY, INC.</b> PROFESSIONAL LAND SURVEYING 65 NEWBURY STREET PORTLAND, MAINE TEL: 207-761-1010	DRAWN BY: <i>DAW</i> CHECKED BY: <i>DAW</i> SCALE: 1"=20' DATE: 4/11/2013 JOB NUMBER: 201355	BOUNDARY SURVEY AT 11 SALEM STREET PORTLAND, MAINE FOR: <b>PETER COYNE</b>
	DATE: 02/10/2014	SHEET: 2013 1	