

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

## PERMIT

Permit Number: 070492

Please Read Application And Notes, If Any, Attached

This is to certify that DAVIS KEVIN H & MARK MICHAEL / Kevin Davis

has permission to Change of use from 3 unit residential to 4 unit C.O. w/ Interior and exterior renovations

AT 57 CLARK ST 057 K01300

provided that the person or persons performing or supervising this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

PERMIT ISSUED

AUG 17 2007

CITY OF PORTLAND

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is leased or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. Craig Quast  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

7/31/07  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0492	Issue Date: <i>7/31/07</i>	CBL: 057 K013001
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Location of Construction: 57 CLARK ST	Owner Name: DAVIS KEVIN H & MARK C MIC	Owner Address: 81 LEGRAND DR	Phone:
Business Name:	Contractor Name: Kevin Davis	Contractor Address: 81 Legrand Drive Camden	Phone: 2075429141
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Condo Conversion	Zone: <i>RL</i>

Past Use: 3 Unit Residential	Proposed Use: 3 Unit Condominium - Change of use from 3 unit residential to 3 unit Condo w/ Interior and exterior renovations <i>legal use - 3 dv. per m. code</i>	Permit Fee: \$1,175.00	Cost of Work: \$47,500.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>To NFPA 101</i>	INSPECTION: Use Group: <i>R-2</i> Type: <i>OB</i> <i>IBC-2003</i>	

Proposed Project Description: Change of use from 3 unit residential to 3 unit Condo w/ Interior and exterior renovations	Signature: <i>Craig Chase</i>	Signature: <i>7/3/07 CLK</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

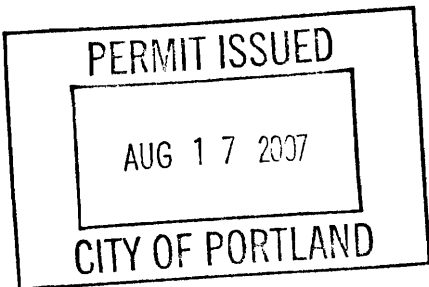
Permit Taken By: Idobson	Date Applied For: 05/04/2007	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b>
<input type="checkbox"/> Shoreland
<input type="checkbox"/> Wetland
<input type="checkbox"/> Flood Zone
<input type="checkbox"/> Subdivision
<input type="checkbox"/> Site Plan
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>
<i>OK w/ conditions</i>
Date:

<b>Zoning Appeal</b>
<input type="checkbox"/> Variance
<input type="checkbox"/> Miscellaneous
<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Interpretation
<input type="checkbox"/> Approved
<input type="checkbox"/> Denied
Date:

<b>Historic Preservation</b>
<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Requires Review
<input type="checkbox"/> Approved
<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Denied
<i>ABM</i>
Date:



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

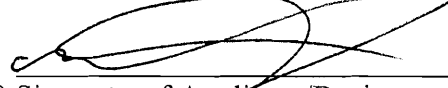
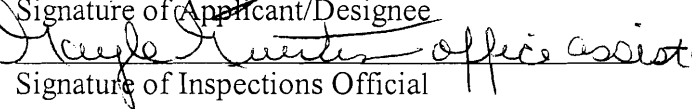
A Pre-construction Meeting will take place upon receipt of your building permit.

- N/A Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- Call Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Call Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

       If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

       ~~CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

	8-17-07
Signature of Applicant/Designee	Date
	8/17/07
Signature of Inspections Official	Date

CBL: 057 K013 Building Permit #: 070492

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-0492	<b>Date Applied For:</b> 05/04/2007	<b>CBL:</b> 057 K013001
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<b>Location of Construction:</b> 57 CLARK ST	<b>Owner Name:</b> DAVIS KEVIN H & MARK C MIC	<b>Owner Address:</b> 81 LEGRAND DR	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Kevin Davis	<b>Contractor Address:</b> 81 Legrand Drive Camden	<b>Phone:</b> (207) 542-9141
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Ownership - Condo Conversion	

<b>Proposed Use:</b> 3 Unit Condominium - Change of use from 3 unit residential to 3 unit Condo w/ Interior and exterior renovations	<b>Proposed Project Description:</b> Change of use from 3 unit residential to 3 unit Condo w/ Interior and exterior renovations
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 06/12/2007**Note:**      **Ok to Issue:** 

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) With the issuance of this permit and the certificate of occupancy, this property shall be three residential condominiums. Any change of use shall require a separate permit application for review and approval.
- 3) PLEASE NOTE: Under the City's Condominium conversion regulations, A) BEFORE a developer offers to convey a converted unit, a conversion permit shall be obtained. B) Rent may not be altered during the official noticing period unless expressly provided in a preexisting written lease. C) For a sixty (60) day period following the notice of intent to convert, the tenant has an exclusive and irrevocable option to purchase during which time the developer may not convey or offer to convey the unit to any other person. D) The developer shall post a copy of the permit in a conspicuous place in each unit, and shall make copies available to prospective purchasers upon request. E) If a tenant is eligible for tenant relocation payments, they SHALL be paid a CASH PAYMENT BEFORE the tenant is required to vacate.
- 4) This permit is being approved on the basis of revised plans submitted June 6, 2007. Any deviations shall require a separate approval before starting that work.
- 5) PLEASE NOTE: Under the City's Condominium Conversion regulations, if a tenant makes a decision not to purchase their unit and also decides not to remain in the building after their notification, that tenant has the right to move without penalty. If that protected tenant is under the 80% low/moderated income limit guidelines, there is still a requirement on the owner/developer to pay that tenant relocation payments as stated in the ordinance prior to vacating the unit. That tenant has not lost any rights under this ordinance by making a choice to move and vacate their unit after notification.
- 6) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Chris Hanson      **Approval Date:** 07/31/2007**Note:** Approved w/ new set of plans dated 7/16/07 2nd means of egress from third story      **Ok to Issue:** 

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 4) Fastener schedule per the IRC 2003
- 5) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 07/19/2007**Note:**      **Ok to Issue:** 

- 1) All construction shall comply with NFPA 101

<b>Location of Construction:</b> 57 CLARK ST	<b>Owner Name:</b> DAVIS KEVIN H & MARK C MIC	<b>Owner Address:</b> 81 LEGRAND DR	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Kevin Davis	<b>Contractor Address:</b> 81 Legrand Drive Camden	<b>Phone</b> (207) 542-9141
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Ownership - Condo Conversion	

**Comments:**

5/11/2007-dmartin: Kevin Davis called to say that the asbestos report will be in on Wed 5/16/07 /dm

5/21/2007-amachado: Left message for Kevin Davis. Outside open stairs and fire escapes are not allowed in the R6 above the first floor. Proposed spiral stairs don't meet rear setbacks or lot coverage either. Is there a second means of egress inside the building at this point?

6/19/2007-csh: called w/ 2nd request for updated plans showing 2nd means of egress to 3rd floor and cross-sections of framing and stair details

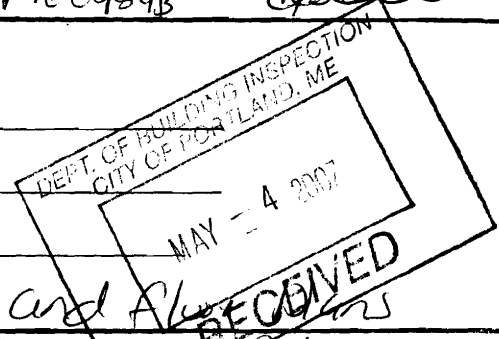
6/5/2007-csh: Kevin will submit new int. Stairs

7/14/2007-jmb: New plans submitted for review

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>57 Clark Street Portland, ME</u>		
Total Square Footage of Proposed Structure <u>N/A</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>57</u> Block# <u>K</u> Lot# <u>13</u>	Owner: <u>Kevin DAVIS</u>	Telephone: <u>542-9141</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Kevin DAVIS</u> <u>81 LeGrand Drive</u> <u>542-9141 Camden, ME 04843</u>	Cost Of Work: \$ <u>47,500</u> Fee: \$ <u>1950.00</u>
Current use: <u>3 Unit Apartment Building</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>3 Condominium Units</u>		
Project description: <u>See Attached description and Approved Plans</u>		
Contractor's name, address & telephone: <u>Kevin DAVIS, 81 LeGrand Drive</u> <u>542-9141 Camden, ME 04843</u>		
Who should we contact when the permit is ready: <u>Kevin DAVIS</u>		
Mailing address: <u>81 LeGrand Drive</u> <u>Camden, ME 04843</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE:</b> <u>542-9141</u>		



**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>[Signature]</u>	Date: <u>8/4/2006</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the  
Planning Department on the 4<sup>th</sup> floor of City Hall**

Submit with Condominium Conversion Permit Application

**Project Data:**

Address: 57 Clark Street, Portland, ME

C-B-L: 57-K-13

Number of Units in Building: 3

Tenant Name	Tenant Tel#	Occup. Length	Date of Notice	Eligible for \$?
Unit 1	See Attached	Currently Vacant		
Unit 2	See Attached	Currently Vacant		
Unit 3	See Attached	Currently Vacant		
Unit 4				
Unit 5				
Unit 6				
Unit 7				
Unit 8				

If more units, submit same information on all units

Length of time building owned by applicant purchased 10/24/05

Are any building improvements, renovations, or modifications being made associated with this conversion that requires a building, plumbing, electrical, or heating permit?

YES  NO  (check one)

Type and cost of building improvements associated with this conversion that do not require permits: See permit application for total renovation cost.

\$ \_\_\_\_\_ Exterior walls, windows, doors, roof

\$ \_\_\_\_\_ Insulation

\$ \_\_\_\_\_ Interior cosmetics (walls/floors/hallways/refinishing, etc.)

\$ \_\_\_\_\_ Other (specify)

## **ADDENDUM TO CONDOMINIUM APPLICATION**

Unit #1 Vacant: Previous tenant was Steve Sanders. Occupancy period September 1, 2003 through October 1, 2005. A copy of tenant's lease is attached hereto.

Unit #2 Vacant when the current owner purchased the building. The previous owner said they moved when they bought a house, but no forwarding address information was provided to the current owner.

Unit #3 Vacant. Previous tenant was Denise Owens. Length of tenancy is 5 years and 3 months. Tenancy began July 1, 2001. Tenant's lease expired and she is currently a month-to-month tenant. Tenant letter was served on August 14, 2006 by the owner. A copy of which is attached hereto. Tenant vacated October of 2006.



**Lease Agreement**

Lease agreement effective Sept 1, 2003.

**LESSOR/LANDLORD:** Matthew Dana  
57 Clark St.  
Portland, ME 04102

**LESSEE(S)/TENANT (S):** *Steve Sanders*  
57 Clark St. #1  
Portland, ME 04102

VACANT 10/1/05

1. **DESCRIPTION OF PROPERTY:** 57 Clark St. #1, Portland, ME 04102  
"Premises" or "Leased Property". The Premises does not include the basement or yard of the real estate in which the Premises are located, without consent of the Landlord. The Landlord understands the Tenant will be using the side yard. The Landlord understands the Tenant will be storing items in the basement.
2. **RENT:** \$1300 per month, payable in advance, and without demand on the first (1<sup>st</sup>) day of the month. If the rent is not received in full by the seventh (7<sup>th</sup>) of the month, it will be a breach of this agreement. A \$10.00 late fee will be charged if the rent is not received by the fifteenth (15<sup>th</sup>) day of the month. A \$15.00 fee will be charged for any returned checks. Lessor will notify Tenant(s) thirty days in advance of any rent increase.
3. **MONTH-TO-MONTH LEASE:** This Lease is a month-to-month lease and may be terminated by either party by giving the other party at least thirty (30) days written notice before rent is next due. Upon termination of the Lease the Tenant(s) shall leave the apartment in good and broom clean condition.
4. **SECURITY DEPOSIT:** The Tenant has paid the Landlord a security deposit of \$1300. The Landlord shall hold the security deposit to protect against damages to the Premises, for the actual cost of unpaid rent or other charges owed to the Landlord as provided in this Lease, or for the cost of storing and disposing of unclaimed property. At the time the Tenant(s) vacate the Premises, the Landlord shall return the security deposit, without interest, to the Tenant(s) within Thirty (30) days unless:
  - a. There are damages to the Premises, which are the responsibility of the Tenant(s). The Landlord shall have the right to retain so much of the deposit as is reasonable to repair the Premises. If the damage exceeds the security deposit, then the Tenant(s) shall be responsible for any balance over and above the amount of the security deposit. The Tenant(s) shall not be responsible for normal wear and tear on the Premises, or,
  - b. The Landlord has to start legal action to evict the Tenant(s), or,
  - c. The Tenant(s) does not provide Thirty (30) day written notice prior to cancellation of this agreement, or,
  - d. The Tenant(s) owes rent or utility or other charges agreed to in this Lease which tenant(s) was required to pay directly to the Landlord, or,

e. The Tenant(s) caused the Landlord expenses for storage or disposal of unclaimed property.

- 5. **OCCUPANT:** The undersigned Tenant(s) shall exclusively occupy the Premises, with the exception of occasional overnight guests. Additional occupants, being those staying at the Premises more than two (2) weeks consecutively, must be approved in writing in advance by the Landlord. Tenant shall have no pets on the Premises without the prior written consent of the Landlord. Tenant agrees to indemnify and hold Landlord harmless from any property damage or personal injury caused by any pets.
- 6. **INSURANCE:** The Landlord shall maintain fire, theft and vandalism insurance with regard to the building and fixtures. The Tenant(s) shall be responsible for any loss to his personal belongings in case of fire, theft, vandalism or any other event, which may result in any damage or loss to said personal belongings. The Tenant(s) shall look to his own insurance coverage, if any, for recovery against such damages or losses. Furthermore, the Tenant(s) agrees to save harmless and indemnify the Landlord from and against all loss, liability and expense that may be incurred by reason of any accident arising from damage, neglect or misadventure arising from any use, misuse or abuse of the leased property, grounds or common areas.
- 7. **REPAIRS:** The Landlord shall be responsible for repairs to fixtures provided that damage is the result of ordinary wear and tear, or fire or other casualty not resulting from abuse or neglect by the Tenant(s). The Tenant(s) shall have the right to have emergency repairs done in a reasonable manner and at a reasonable cost at the expense of the Landlord. No alteration, addition or improvement to the Premises shall be made or authorized by the Tenant(s) without the prior written consent of the Landlord. Tenant(s) shall be responsible at this sole expense to keep and maintain the Premises in neat and clean and in good and sanitary condition and repair during the term of this Lease.
- 8. **INSPECTIONS:** Tenant stipulates he has examined the Premises and all improvements, and that they are, at the time of this Lease, in good order, repair, and a safe, clean, and tenantable condition. Except for emergencies, the Landlord may enter the apartment only during reasonable hours and after giving the Tenant(s) a 24 hour notice. The Tenant(s) may not unreasonably withhold consent to the Landlord to enter the apartment. Tenant acknowledges that he/she has received, read, and signed the attached lead disclosure form.

9. **UTILITIES AND SERVICES** shall be paid for or provided as follows:

<b>T=</b> Tenant(s) (Lessee(s))		<b>L=</b> Landlord (Lessor)	
Heat T	Electricity T	Water & Sewerage L	Hot Water L
Snow Removal (Paths & Porches) L	Sanding (Paths) L	All Other T	

Tenant agrees to indemnify and hold the Landlord harmless from any liability (including reasonable attorneys fees and costs) arising from or related to the snowy, slippery or icy condition of the driveway or walkways, including steps and landings.

**10. TENANT(S) RESPONSIBILITIES:**

- A. The apartment shall only be used as a residence. No commercial purposes are permitted. Tenant shall comply with all sanitary

- laws and regulations of any governmental authority affecting the cleanliness, occupancy, and preservation of the Premises.
- B. The Tenant(s) agrees not to damage the building, the Premises, grounds or common areas. Any damages (other than normal usage) caused by the Tenant(s), invitees or guests shall be repaired at the Tenant(s)'s expense to the point previous of said damages. This is to include, but not be limited to broken windows, screens and stopped drains.
  - C. The Tenant(s) shall not, nor allow any invitees or guests to interfere with the rights or other tenant(s), invitees or guests of other tenant(s), to live in peace and quiet nor anything as to disturb other tenant(s). The Landlord shall determine at his sole discretion, if asked, whether this is a breach of this agreement.
  - D. Any waste or garbage shall be disposed of in a proper manner and shall not be allowed to accumulate. Either must not be stored in an unsightly manner and must be removed and properly disposed of at the earliest possible opportunity.
  - E. The Tenant(s) shall not nor permit to be cut any trees or branches on the property at which the Premises are located.
  - F. No signs or antennas are to be installed.
  - G. The Tenant(s) shall not do anything that will violate the law or increase the insurance rates to the Landlord(s).
  - H. The Tenant(s) shall be responsible for keeping fresh batteries in the smoke detectors, and will notify the Landlord of dead batteries in smoke detectors in hallways and common areas, or any defective or damaged fire protection equipment immediately upon knowledge of such. Tenant shall keep no items of dangerous, inflammable, or explosive character that might unreasonably increase the risk of fire or that might be considered hazardous or extra hazardous by any responsible insurance company. There shall be no burning of anything flammable.
  - I. When the tenancy ends, the keys to the Premises will be returned or the Tenant(s) may be considered a "hold over" tenant and shall be obligated to pay monthly rent.
  - J. Tenant shall have no right to change the locks to the Leased Property.
  - K. At the expiration of this Lease term, Tenant shall quit and surrender the Premises in as good a state and condition as they were at the commencement of this Lease, reasonable wear and tear and damages by the tenants excepted.
  - L. Tenant shall not have any pets without the consent of the Landlord.

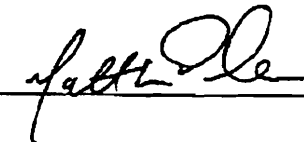

**11. QUIET ENJOYEMENT:** Landlord covenants that on paying rent and performing the covenants contained herein, Tenant(s) shall peacefully and quietly have, hold and enjoy the Premises for the agreed term.

**12. BREACH OF AGREEMENT:** If any default is made in the payment of rent, or any part thereof, at the times specified above, or if any default is made in the performance of or compliance with any other term or condition hereof if Tenant abandons the Premises, or if any statement made on Tenant's rental application proves not to have been true when made, this Lease, at the option of the Landlord, shall terminate and be forfeited, and Landlord may re-enter the Premises and remove all persons therefrom. Excepting default in payment of rent, tenant shall be given ten (10) days notice of any default or breach, and termination and forfeiture of this Lease shall not result if, within ten (10) days of receipt of such notice, Tenant has corrected the default or breach or has taken action reasonably likely to effect such correction within a reasonable time. In addition, Landlord shall have all remedies available to him at law and in equity, including, but not limited to, the right to enter the Premises and remove the Tenant and any other occupant pursuant to a writ of possession. Landlord's re-entry and repossession of the Premises under the conditions of this paragraph shall not be deemed to waive any rights which Landlord may have against Tenant for unpaid utility bills or other economic loss suffered by Landlord.

In addition to the Landlord's rights stated in the preceding paragraph, Landlord has the right to immediately terminate this Lease, without prior warning, if the Tenant's actions pose an immediate threat to the health or safety of other residents or the Landlord or his agents, or to the physical structure of the Premises or the building in which it is located.

**13. ATTORNEY'S FEES:** The prevailing party shall be entitled to attorney's fees after a contested hearing to enforce the terms of this Lease in cases of wanton disregard of the terms of this Lease.

**14. ENTIRE AGREEMENT, BINDING EFFECT:** This instrument contains the entire and only agreement between the parties and can only be amended in writing signed by the parties, or as permitted by this agreement. No oral statements or representations or prior written matter not contained in this instrument shall have any force and/or effect. This agreement binds the parties and their respective heirs, personal representatives, successors, and assigns.

LANDLORD:  TENANT: 

DATE: 8/27/03 DATE: 8/27/03

TENANT: \_\_\_\_\_

DATE: \_\_\_\_\_

**Kevin Davis**  
81 Legrand Drive  
Camden, ME 04843

August 4, 2006

**HAND DELIVERED**

Denise Owens  
57 Clark Street, Apt. #3  
Portland, ME 04102

**RE: 57 Clark Street, Apt. #3, Portland, ME 04102**  
**Notice of Intent to Convert under Title 33 M.R.S.A Sec. 1604-111 et. sec.**  
**60 day Option to Purchase/150 Day Notice to Quit**

Dear Ms. Owens and all other occupants:

The property you now occupy as a tenant at will located at 57 Clark Street, Portland Maine, Apt. #3, is being converted to a condominium under the Maine Condominium Act (the "Act") by the owner, Kevin Davis (hereinafter the "Developer").

Under the Act, you have an exclusive and irrevocable option to purchase the unit you now occupy and rent for a purchase price of \$300,000, excluding closing costs. This option expires sixty (60) days from the date of delivery of this notice and is not assignable. You may exercise the option by purchasing or entering into a contract to purchase the unit at the offered price during the option period.

If you chose not to purchase your unit, the unit may not be offered for sale to any other person at a price or on terms more favorable than the purchase price offered herein for a period of one hundred and eighty (180) days from the expiration of your option. This offer is made pursuant to Title 33 MRSA Sec. 1604-111.

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law, or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, Maine 04101 (telephone: 874-8703).

If you do not purchase the unit, the developer shall, before you are required to vacate, make a cash payment to you in an amount equal to the amount of rent paid by you for the immediately preceding two (2) months; provided that this requirement shall not apply to you if your gross income exceeds eighty (80) percent of the median income of the Portland SMSA,

adjusted for family size, as determined by the U.S. Department of Housing and Urban Development at the time of this notice. Additionally, the developer shall, upon demand, provide assistance to you in the form of referrals to other reasonable accommodations and in determining your eligibility for relocation payments as provided in Section 14-569 et sec of the City of Portland Code of Ordinances.

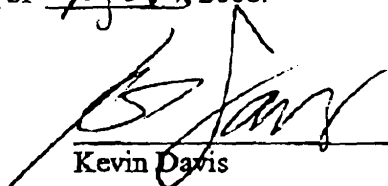
**If you chose not to exercise your option to purchase set forth herein, you are hereby notified and required to quit and deliver unto me, my successor(s) and/or assign(s), at the expiration of one hundred and fifty days (150) days from the date of service of this notice, the possession of 57 Clark Street, Portland, Maine, now occupied by you. This Notice is being issued to you for the purpose of terminating your tenancy therein.**

Should you have any questions regarding this notice, please feel free to contact me.

Sincerely,

Kevin Davis

Served in hand by Kevin Davis this day 14<sup>th</sup> of August, 2006.

  
Kevin Davis

4/23/2007

Application for Building and Condo conversion permits  
57 Clark Street, Portland  
Owner: Kevin Davis

Specifications:

1. All Units – Trinity Ti150 Combi Natural gas boiler for heat and domestic hot water  
-Specifications attached
2. All Units (not including fire-rated fenestration) Dura Classic solid vinyl windows  
-Specifications attached
3. All Units (not including Glass Block) – Fire rated windows and doors – Hope’s Jamestown 175 Series  
-Specifications attached – for windows within 10’ of egress opening
4. All Units – Fire Guard glass block where noted on plans  
-Specifications attached – for bathroom windows and/or for windows w/in 10’ of egress opening
5. All Units – 2<sup>nd</sup> means of egress Mylen Spiral Stairs, All Steel  
-Specifications attached – treads 26” wide or greater, meets all applicable building codes: IBC, UBC, BOCA, etc.

# HOPE'S®

## JAMESTOWN-175 SERIES 3/4 HOUR FIRE RATED STEEL WINDOWS

### PART 1 - GENERAL

#### 1.1 DESCRIPTION

**A. Work included:**

1. Furnish all labor and materials to complete the fabrication of windows as shown on architect's drawings and as specified herein. All windows covered by this specification shall be fabricated by Hope's Windows, Inc., Jamestown, New York, whose name and products are used to establish the standard of workmanship and quality construction required for this project. Other bidders must be approved by the architect at least ten days prior to the bid date, through submission of samples and evidence showing that the bidder has been fabricating window products of this type and quality for at least five years. All windows must be domestically manufactured in the U.S.A. All work shall include, but not be limited to, the following:
2. Steel fire rated windows with double weatherstripped, project-out, top hung-out, project-in, side hung-out or side hung-in ventilators or fixed windows.
3. All window anchors, mullions, covers and trim.
4. Stainless steel insect screens for all operating ventilators. (optional).
5. Factory applied Hope's finish.

**B. Related work specified elsewhere:**

1. Glass, glazing and glazing materials, Section 08810.
2. Perimeter caulking, Section 07915.
3. Miscellaneous structural items, Section 05100.

#### 1.2 QUALITY ASSURANCE

- A. Manufacturer shall have not less than (5) years experience in the fabrication of heavy custom steel windows and be a member of The Steel Window Institute (SWI).**
- B. Installation of windows shall be done by experienced window installers.**
- C. Allowable tolerances: Size dimensions + 1/16 inch.**
- D. Source quality control:**
1. Air infiltration test:
    - a. Meets or exceeds ASTM E283.
    - b. Maximum air infiltration 0.37 CFM/Ft. of crack length with differential pressure across window unit of 6.24 PSF (50 m.p.h.).
  2. Water penetration test:
    - a. Meets or exceeds ASTM E331.
    - b. No water penetration for 15 minutes when window is subjected to a rate of flow of 5 gal./hr./sq. ft. with differential pressure across window unit of 6.24 PSF (50 m.p.h.).
  3. Structural test:
    - a. Meets or exceeds ASTM E330.
    - b. No damage at 60 psf.
  4. Labeled Fire Rating:
    - a. Positive Pressure Tested to NFPA 252(1995), UBC 7-2-1997, UL 10c, ASTM E 2010-99, and CAN4 S104.
    - b. Maximum size opening 149 square feet, maximum height 131 1/2", and maximum width 163 1/2".
    - c. Maximum size window 55 sq. ft., maximum height 131" and maximum width 99-1/4".
    - d. Glass Size in window: Maximum area is 4,164 square inches, maximum height is 95 3/16" and maximum width is 58 5/8". Note - These glass sizes are based on Hope's maximum sizes. Other listed glass products can be used and the maximum size limitations will be determined by the lesser of the two components: Hope's (shown above) or the glass (see glass manufacturer).
  5. Quality of e-coat/ top-coat combination shall meet or exceed the following ASTM designations: ASTM D714- Paint Blistering Test, ASTM D4585 - Humidity Test, ASTM B117 - Salt Spray (Fog) Test, ASTM D1654 -



# HOPE'S®

## JAMESTOWN-175 SERIES 3/4 HOUR FIRE RATED STEEL WINDOWS

Painted Products in Corrosive Environments, ASTM G85 – Cyclic Fog/Dry Test (Prohesion), ASTM D5894 – Salt Fog/UV Painted Metal, ASTM D4541 – Pull Off Strength of Coating Test.

6. Upon request, the window manufacturer shall provide a test report from a qualified independent U.S. testing laboratory regularly engaged in testing windows to verify that his products conform to these test requirements.

### 1.3 SUBMITTALS

**A. Samples (as requested by architect):**

1. Typical window corner with glazing beads.
2. Sample of specified muntin, showing welded intersections and glazing beads.
3. Color sample of finish.
4. Hardware.

**B. Shop drawings and manufacturer's literature:**

1. Submit for approval shop drawings showing window and installation details, including anchorage, fastening and recommended sealing methods.
2. Dimensioned elevations showing window opening and window sizes.
3. The manufacturer shall not commence any work until shop drawings have been approved.
4. Color charts for finishes.

### 1.4 PRODUCT, STORAGE AND HANDLING

- A. The General Contractor shall be responsible for the protection and storage of the windows after delivery to the site.
- B. Store in designated areas in an upright position on wood slats or on a dry floor in a manner that will prevent damage. Ventilate canvas or plastic coverings to prevent humidity buildup.

### 1.5 WARRANTY

- A. Provide Hope's standard (10) year Limited Warranty.

## PART 2 - PRODUCT AND FABRICATION

### 2.1 MATERIALS

**A. Heavy custom double weatherstripped windows shall be manufactured from solid hot rolled steel shapes.**

1. Sections made from new billet steel with flanges rolled integrally at the mill.
2. Perimeter frames and ventilator sections shall have glazing rebates providing an unobstructed glazing surface of at least 3/4".
3. Glazing rebate surfaces must be perpendicular to the web or stem of the section. Applied glazing rebate extensions and rebate surfaces that are tapered will not be acceptable.
4. Combined weight of frame and ventilator sections shall be a minimum of 4.20 pounds per lineal foot. Frame section alone shall not weigh less than 1.80 pounds per lineal foot.
5. The frame and ventilator sections shall have integral grooves located in the exterior and interior bedding contacts for the reception of double weatherstripping.

**B. Muntins:**

1. Steel tee muntins shall be solid hot rolled sections from new billet steel with flanges rolled integral at the mill.
2. Glazing rebate surfaces must be perpendicular to the stem of this section. Rebate surfaces that are tapered will not be acceptable.
3. The 175M muntin shall weigh 2.20 pounds per lineal foot, the 1-3/4" tee shall weigh 1.62 pounds per lineal foot and the 1-3/8" tee shall weigh 1.44 pounds per lineal foot.

- C. Glazing beads shall be cold formed from a minimum of 14 gauge galvanized steel.

# HOPE'S®

## JAMESTOWN-175 SERIES 3/4 HOUR FIRE RATED STEEL WINDOWS

- D. Weatherstripping shall be fire resistant extruded vinyl.
- E. Operable Hardware (Select from the following):
  - 1. Project-Out Ventilators:
    - a. Ventilators shall be hung on steel side arm assemblies with brass friction shoes.
    - b. Provide a self-latching bronze cam fastener.
    - c. Provide three sets of steel expansion lugs.
  - 2. Project-In Ventilators:
    - a. Ventilators shall be hung on steel side arm assemblies with brass friction shoes.
    - b. Provide a self-latching bronze spring catch.
    - c. Provide three sets of steel expansion lugs.
  - 3. Top Hinged Ventilators:
    - a. Ventilators shall be hung on steel pintle hinges.
    - b. Provide a self-latching bronze cam fastener.
    - c. Provide two stainless steel friction adjusters with fusible links.
    - d. Provide two sets of steel expansion lugs.
  - 4. Side Hinged Ventilators:
    - a. Side Hinged Ventilators shall be hung on fire rated half surface steel spring hinges.
    - b. Provide a self-latching bronze cam fastener.
    - c. Provide a stainless steel friction adjuster with fusible link.
    - d. Provide three sets of steel expansion lugs.
- F. Mullions:
  - 1. Openings may be divided by approved mullions anchored at both ends. Mullions can be plate, tube, and flat type per certified details. Right angle and other corner mullions are also available. Mullions shall be selected to comply with stated widow loading criteria per specifications.
- G. All screws that are furnished by Hope's, for hardware, trim, covers, anchoring, weatherbars, water dams, screens, etc. shall be non-ferrous brass or stainless steel. Glazing bead screws are plated steel.
- H. Stainless Steel Insect Screens (Optional):
  - 1. Frames shall be roll-formed 20 gauge stainless steel.
  - 2. Stainless steel screens shall be .011 diameter wire, woven to 14 x 18 mesh count. Mesh is available in several types of material; see screen section for type of mesh (specify) and further screen specifications.
- I. Paint:
  - 1. Pre-treatment.
  - 2. Primer - E-Coat (Electrodeposited epoxy primer).
  - 3. Finish coat – Factory applied polyurethane.

### 2.2 FABRICATION

- A. Fabricate steel windows in accordance with approved shop drawings.
- B. Prior to fabrication, all hot rolled steel sections shall be cleaned by shot blasting.
- C. Corners of frame and ventilator shall be mitered or coped then solidly welded. Exposed and contact surfaces shall be finished smooth flush with the adjacent surfaces. All interior and exterior rail bar and muntin joints shall be face welded and ground smooth.
- D. Steel tee muntins shall be tenoned and welded to the perimeter frame. Muntin intersections shall be slotted, cross notched and welded. All interior and exterior muntin joints shall be face welded and ground smooth.

# HOPE'S®

## JAMESTOWN-175 SERIES 3/4 HOUR FIRE RATED STEEL WINDOWS

### E. Glazing:

1. All windows shall be designed for inside (or outside) glazing.
2. Provide replaceable continuous screw on glazing beads to suit the fire rated glass specified.
3. Glazing beads shall be cut and shop fitted to each glass lite prior to shipment.
4. Glazing beads are available to accommodate a variety of fire rated glazing materials 3/16" through 1-5/16" (certain materials have size limits that need to be considered).
5. Glazing accessories to be per manufacturer of tested glazing materials. Exterior applications should have cap bead of an approved silicone for weather resistance.

### F. Weatherstrip:

1. Continuous vinyl weatherstripping shall be applied to the integral weatherstrip grooves in the interior and exterior contact surfaces of the frame and ventilator sections. Weatherstripping that is surface applied or requires an additional retainer or requires screws for application shall not be acceptable.

### G. Operable Hardware (Select from the following):

1. Project-Out ventilators:
  - a. Ventilators shall be hung on side arm assemblies with fusible links on each jamb.
  - b. Provide self-latching cam fastener at centerline of sill.
  - c. Fasteners shall be shipped loose for field installation.
  - d. Provide two sets of expansion lugs at the sill and one set at the head.
2. Top Hung-Out ventilators:
  - a. Ventilators shall be hung on steel pintle hinges welded to the frame and ventilator at the head.
  - b. Provide self-latching cam fastener at centerline of sill.
  - c. Fasteners shall be shipped loose for field installation.
  - d. Provide friction adjusters at both jambs. This friction adjuster shall be equipped with a fusible link release, which will release the friction and permit the ventilator to close in the event of fire.
  - e. Provide one set of expansion lugs at lower corner of each jamb.
3. Project-In ventilators:
  - a. Ventilators shall be hung on side arm assemblies with fusible links on each jamb.
  - b. Provide self-latching spring catch at centerline of head.
  - c. Fasteners shall be shipped loose for field installation.
  - d. Provide two sets of expansion lugs at the head and one set at the sill.
4. Side Hinged ventilators:
  - a. Side hinged ventilators shall be hung on two fire rated steel half surface spring hinges on the hinge jamb.
  - b. Provide self-latching cam fastener at centerline of the fastener jamb.
  - c. Provide a friction adjuster at the head of the ventilator. This friction adjuster shall be equipped with a fusible link release, which will release the friction and permit the ventilator to close in the event of fire. The opening of each vent shall be limited to 70 degrees maximum.
  - d. Provide two sets of expansion lugs at the fastener jamb and one set at the hinge jamb.
  - e. Fasteners shall be shipped loose for field installation.

### H. Labeling:

1. Each fire rated window shall be furnished with a Warnock Hersey certification label, self adhesive Mylar. The label shall be located at the inside sill of the window.

### I. Stainless Steel Insect Screens (Optional):

1. Stainless steel screen frames shall be finished to match the windows.
2. Stainless steel screens shall be rewireable to allow for mesh replacement.
3. Stainless steel screen fastenings shall permit easy attachment and removal from the interior. See screen section for further specifications.

### J. Factory Finishing:

1. Shot Blasting:
  - a. Before any machining or welding is performed, all hot-rolled steel sections shall be cleaned by shot blasting to remove any loose scale.

# HOPE'S®

## JAMESTOWN-175 SERIES 3/4 HOUR FIRE RATED STEEL WINDOWS

2. Bonderizing:
  - a. After fabrication, windows, mullions, covers, and trim shall be subjected to a 10 stage bonderizing pre-treatment process that produces a non-metallic phosphate coating on the surface of the steel in preparation for e-coat priming system.
3. E-Coat Prime Painting:
  - a. Following the pretreatment, windows and accessories are e-coated with a cathodic epoxy primer of PPG Powercron® 8000 or equivalent to insure all surfaces are evenly covered. Spray or dip primers shall not be acceptable.
  - b. Immersed in a rinse of ultra-filtered RO water for 3 min to remove all the excess paint and removing any runs.
  - c. A spray of ultra-filtered RO water repeats the above process to further improve surface conditions.
  - d. The primer is oven baked to 335 degrees F for 15 minutes to a dry film thickness of 0.7 - 1.0 mil.
  - e. The material is then cooled in preparation for the finish coat.
4. Ultrathane Finish Painting:
  - a. Following the prime coat, all windows and accessories are given a spray coat of acrylic polyurethane and oven baked at 225 degrees F for 15 minutes to dry film thickness of 1.5 to 2.0 mils.
  - b. The combined overall dry film thickness of the prime coat and finish coat shall be 2.2 - 3.0 mils.
  - c. The architect shall choose from an unlimited color selection. Color matching is available upon request, along with clear coats. Some colors may require clear coats for added protection. Consult your Hope's Representative for selection assistance.
5. E-Coat/top coat combination shall provide full documented compliance with all ASTM designations as outlined in Quality Assurance portion of the specifications.

### PART 3 - EXECUTION

#### 3.1 INSPECTION

- A. Window openings shall conform with details, dimensions and tolerances shown on the window manufacturer's approved shop drawings.
- B. Conditions which may adversely affect the window installation must be corrected before installation commences.
- C. The wash down of the adjacent masonry must be completed before erection commences to prevent damage to the finish by the cleaning materials.

#### 3.2 INSTALLATION

- A. Windows specified under this section shall be installed by experienced personnel.
- B. Install windows in openings in strict accordance with approved shop drawings.
  1. Set units plumb, level and true to line, without warp or rack of frames.
  2. Anchor units securely to surrounding construction with approved fasteners.
  3. The exterior joints between the windows, trim and mullions shall be properly sealed watertight with an approved sealant and neatly pointed.
- C. Attach ventilator hardware, as required, and adjust ventilators to operate smoothly free from twist and to be weathertight when closed.
- D. Repair any abraded areas of the factory finish.

#### 3.3 CLEANING

- A. Window installer shall leave window surfaces clean after installation and ready to receive glass and glazing. The window installer will not be responsible for final cleaning.



# Accessibility Building Code Certificate

Designer: LARRY WICHROSKI, P.E.

Address of Project: 57 CLARK STREET, PORTLAND, ME.

Nature of Project: CONVERT EXISTING APARTMENT  
BUILDING INTO 3 UNIT  
CONDO. BUILDING

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

*NOT APPLICABLE!*

**(SEAL)**

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design

Date: APRIL 24, 2007

From: ENGINEERING DESIGN PROFESSIONALS  
LARRY A. WICHROSKI, P.E.

These plans and / or specifications covering construction work on:

57 CLARK STREET, PORTLAND, MAINE  
CONDOMINIUM CONVERSION

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature: [Handwritten Signature]

Title: STRUCTURAL ENGINEER

Firm: ENGINEERING DESIGN PROF.

Address: P.O. BOX 575

FREEPORT, ME. 04032

Phone: 865-9505

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design Application

From Designer: LARRY A. WICHKOSKI, P.E.  
 Date: APRIL 24, 2007  
 Job Name: CONDOMINIUM CONVERSION  
 Address of Construction: 57 CLARK ST., PORTLAND, ME.

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) R-3

Type of Construction IV B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO.

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_

Supervisory alarm System? NO Geotechnical/Soils report required? (See Section 1802.2) N/A

### Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>PRIVATE ROOMS</u>	<u>40.0 PSF</u>
<u>CORRIDORS</u>	<u>100.0 PSF</u>

NO! Live load reduction  
45.0 PSF Roof live loads (1603.1.2, 1607.11)  
45.0 PSF Roof snow loads (1603.7.3, 1608)  
60.0 PSF Ground snow load,  $P_g$  (1608.2)  
45.0 If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
0.9 If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
1.0 Roof thermal factor,  $C_t$  (1608.4)  
45.0 Sloped roof snowload,  $P_s$  (1608.4)  
N/A Seismic design category (1616.3)  
" Basic seismic force resisting system (1617.6.2)  
" Response modification coefficient,  $R$ , and deflection amplification factor  $C_d$  (1617.6.2)

### Wind loads (1603.1.4, 1609)

SIMPLIFIED Design option utilized (1609.1.1, 1609.6)  
100.0 MPH Basic wind speed (1809.3)  
1.0 Building category and wind importance Factor,  $I_w$  table 1604.5, 1609.5)  
C Wind exposure category (1609.4)  
1.0 Internal pressure coefficient (ASCE 7)  
2.0 Component and cladding pressures (1609.1.1, 1609.6.2.2)  
22.0 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

SIMPLIFIED Analysis procedure (1616.6, 1617.5)  
30.0 K Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)  
N/A Elevation of structure

### Earth design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)  
N/A Seismic use group ("Category")  
 Spectral response coefficients,  $S_D$ s &  $S_1$  (1615.1)  
 Site class (1615.1.5)

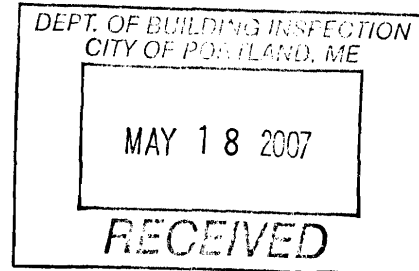
### Other loads

N/A Concentrated loads (1607.4)  
N/A Partition loads (1607.5)  
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

May 17, 2007

Mr. Kevin Davis  
81 Legrande Drive  
Camden, ME 04843

RE: *Asbestos Materials Inspection*  
Vacant Residential Structure  
57 Clark Street; Portland, Maine  
NTC Job #10600-2007



Dear Mr. Davis:

*Northeast Test Consultants* has completed an Asbestos Materials Assessment at the former residential structure located at 57 Clark Street in Portland, Maine.

### **PURPOSE**

The purpose of this assessment was to characterize environmental conditions for the presence of any asbestos containing building materials (ACBM's) at the property for renovation/demolition considerations.

The Asbestos Materials Assessment consisted of visual evaluation and physical collection of suspect asbestos materials as encountered at the subject property.

Any conclusions contained herein are limited by the scope of work performed; no warranty, expressed or implied, is indicated as to any subsurface conditions not specifically noted within this report.

### **PROCEDURES**

On May 10, 2007, representatives of *Northeast Test Consultants* was on-site at the subject property to perform survey and inspection work.

The collection of suspect asbestos containing building materials was performed in accordance with the *State of Maine Department of Environmental Protection's Asbestos Management Regulations*, Chapter 425, Section 6, Inspection Requirements. Analysis was performed in accordance with the *US Environmental Protection Agency's Method, EPA 600/R93 - 116, Asbestos in Bulk Samples*.



Page 2  
Mr. Davis  
NTC Job #10600-2007

Paul Ouellette, Industrial Hygienist & ME DEP Asbestos Inspector - License# AI-0307, performed the site inspection for asbestos.

### **ASBESTOS INSPECTION & SAMPLING**

The subject property consisted of a former multi-story residential structure consisting of a basement, 1<sup>st</sup> Floor, 2<sup>nd</sup> Floor, and attic space.

The shell of the building is intact and consists of wood siding a new roof system consisting of ice & water shield with 3-tab asphalt shingles. It was indicated that the old roof system had previously been removed. Roof sampling was not part of this inspection process as no impact of materials is to occur.

The interior areas of the structure consisted of partition wood framing with no finished wall systems and plywood floors with no finished flooring materials.

The piping systems and boiler did not contain any have suspect asbestos containing materials that required bulk sampling for analysis.

The old wooded double hung windows were found to have glazed window panes that is a suspect asbestos containing building material and samples were collected for analysis.

A total of three (3) samples were collected from this structure with all 3 samples requiring analysis due to negative results by sample group. Sample groups of similar materials are only analyzed until positive, if applicable.

*Asbestos* **was not** detected in the suspect material sampled.

#### ***Explanation of Analysis Methods***

The collected samples were analyzed utilizing Polarized Light Microscopy (PLM) methods.

PLM methods are compiled from standard techniques used in mineralogy and standard laboratory procedures used for asbestos bulk sample analysis for years. These techniques have been successfully applied to the analysis of US EPA Bulk Sample Analysis Quality Assurance Program since 1982.

This analytical method readily identifies asbestos content quantitatively in the type of matrixes present for the samples collected for this inspection. However, it sometimes fails in

samples where asbestos fibers are very fine or obscured by a tightly bound matrix system.

Page 3  
Mr. Davis  
NTC Job #10600-2007

### **RECOMMENDATIONS**

It is recommended that personnel impacting non-asbestos materials during renovations and demolition activities still be adequately protected from airborne dusts if levels are expected to exceed the OSHA Dust Exposure Limits for both Nuisance & Respiratory Dust levels.

Any Demolition/Renovation Project that may cause significant amounts of airborne dusts is a concern. Therefore, safety measures are essential in order to protect human health and the environment. Any scraping, sanding, cutting, grinding, or demolition of any material or surface in which airborne dust can be generated should not be performed under dry conditions.

Please review the attached analytical results for the collected bulk samples and photograph log.

This report also contains a "BDNF" ME DEP form partially completed for the property based on these findings.

Should you have any questions please feel free to give me a call.

Sincerely,

John M. Boilard, IH  
Operations Manager

Attachments

# **ASBESTOS MATERIALS INSPECTION**

at

**57 CLARK STREET  
PORTLAND, MAINE**

NTC JOB #10600-2007

Prepared by:

**NORTHEAST TEST CONSULTANTS  
587 SPRING STREET  
WESTBROOK, ME 04092**

Prepared for:

*Mr. Kevin Davis  
81 Legrande Drive  
Camden, ME 04843*

**May 17, 2007**

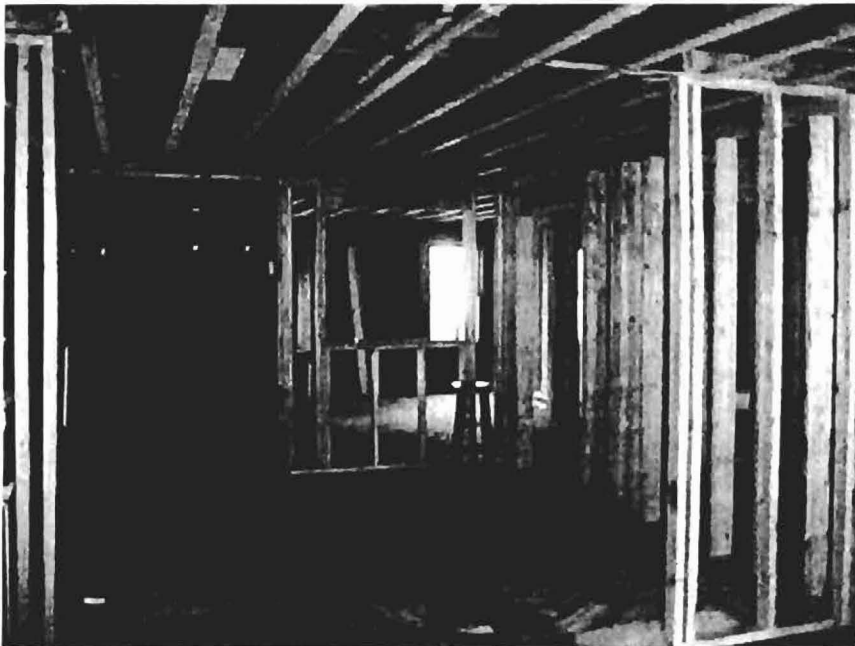
NTC Job #10600-2007

**PHOTOGRAPH LOG**

57 CLARK STREET  
PORTLAND, MAINE



View of front of structure assessed during this event.

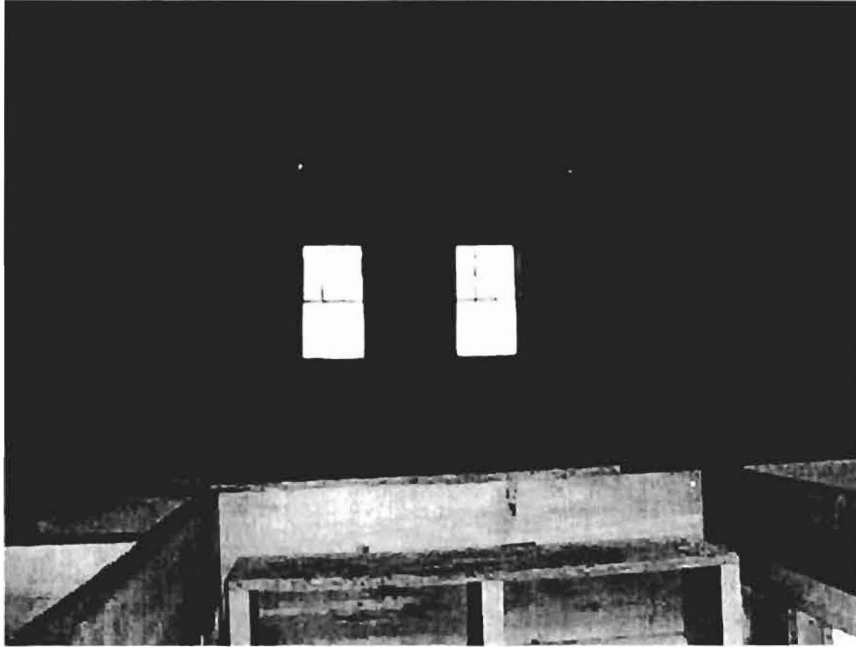


View of interior walls and floors during this assessment,  
no suspect asbestos materials present.

NTC Job #10600-2007

**PHOTOGRAPH LOG**

57 CLARK STREET  
PORTLAND, MAINE



View of attic space with wood components and fiberglass insulation, no suspect asbestos materials present.

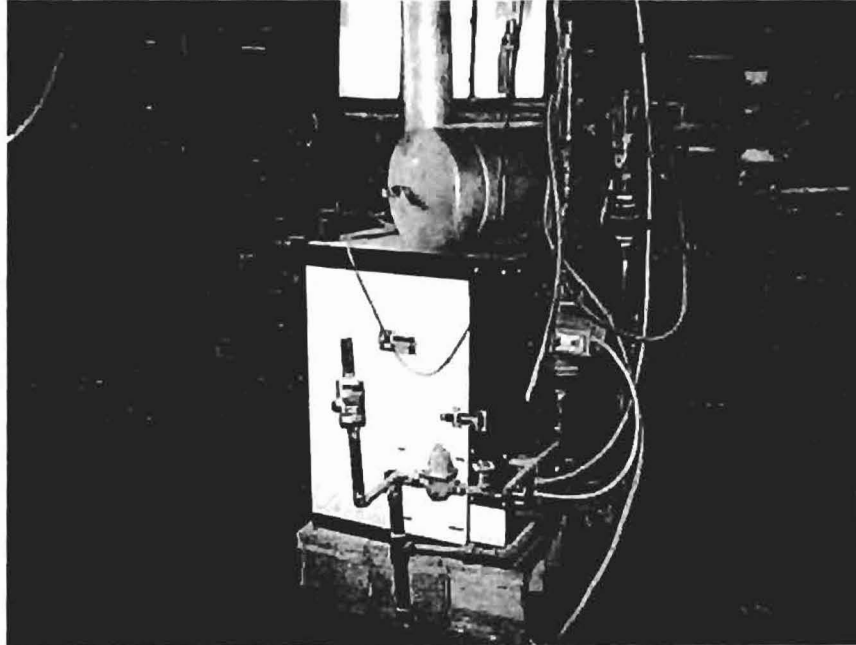


View of basement space, no suspect asbestos materials present.

NTC Job #10600-2007

**PHOTOGRAPH LOG**

57 CLARK STREET  
PORTLAND, MAINE



View of boiler in basement, no suspect asbestos materials present.



**Maine Department of Environmental Protection**  
**Lead & Asbestos Hazard Prevention Program**  
 17 State House Station, Augusta, Me 04333-0017  
 Tel: (207) 287-2651 Fax: (207) 287-7826



### Building Demolition Notification Form (BDNF)

***Important Notice: Maine law requires the filing of this "Building Demolition Notification Form" prior to demolition of any building except a single-family home***

1) **Building owners are required to provide this notification of the demolition of a building to the DEP at least 5 working days prior to the demolition.** This notification is **not** required before the demolition of a single-family residence or related structure (e.g., garage, shed, barn). It is also **not** required if previous notification of the demolition has been provided to the DEP as part of an asbestos abatement project notification. **Demolition** means the tearing down or intentional burning of a building or part of a building.

2) **Prior to demolition, building owners must determine if there is any asbestos-containing material(s) (ACM) in the building.** An "asbestos inspection" by a DEP-licensed Asbestos Consultant is required for all buildings except single-family homes and residential buildings with 2-4 units built after 1980. In lieu of an asbestos inspection, pre-1981 residential buildings with 2-4 units can be surveyed to identify possible ACM by someone knowledgeable about ACM, such as a code enforcement officer or building inspector. If materials that may contain asbestos are found, then you can either assume they are ACM or hire a DEP-licensed Asbestos Consultant to test the materials.

3) **Whenever more than 3 square feet or 3 linear feet of ACM is identified, the ACM must be abated in accordance with the Maine Asbestos Management Regulations by a DEP-licensed Asbestos Abatement Contractor.** This includes materials presumed to be ACM. Check [www.state.me.us/dep/rwm/asbestos/index.htm](http://www.state.me.us/dep/rwm/asbestos/index.htm) for a listing of asbestos contractors.

Prior to issuing a local demolition permit, the DEP requests that **municipalities** have applicants for municipal demolition permits complete this form and fax it to the DEP at 207-287-7826. Municipalities should not issue local demolition permits if the required asbestos inspection or survey has not been performed and identified ACM removed.

Were asbestos-containing materials found?  **yes**  **no**  **no inspection or survey required (post-1980 2-4 unit)**

<i>property address:</i> Multi-Story Residential Structure 57 Clark Street Portland, ME 04101	<i>building description:</i> <input type="checkbox"/> <i>pre-1981 residential with 2-4 units</i> <input type="checkbox"/> <i>post-1980 residential with 2-4 units</i> <i>other:</i> <u>Residential Structure</u>
<i>asbestos survey performed by: (name &amp; address)</i> Paul Ouellette/ Northeast Test Consultants 587 Spring Street Westbrook, Me 04096 <i>telephone: (207) 854 - 3939</i>	<i>asbestos inspection performed by: (name of licensed Asbestos Consultant)</i> Northeast Test Consultants ME DEP SF-0004 <i>telephone: (207) 854 - 3939</i>
<i>property owner: (name &amp; address)</i>	<i>demolition contractor: (name &amp; address)</i>
<i>telephone:</i>	<i>telephone:</i>
<i>demolition start date:</i>	<i>demolition end date:</i>

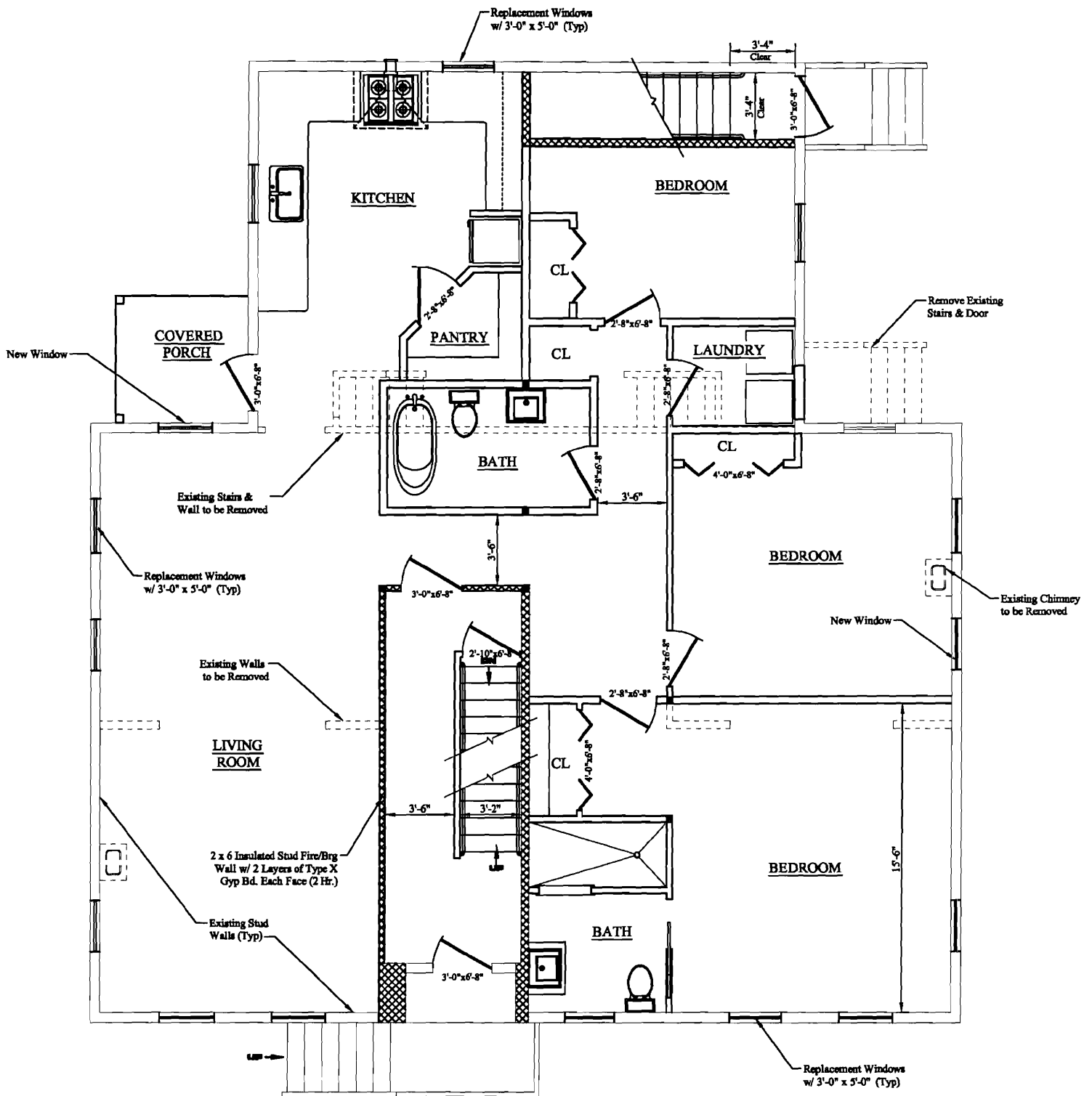
Notification Submitted by: (please print)

Date Submitted



**Help save Maine fisheries – Remove and recycle mercury thermostats and fluorescent lamps from your building prior to demolition!**

*Revised July 2004*

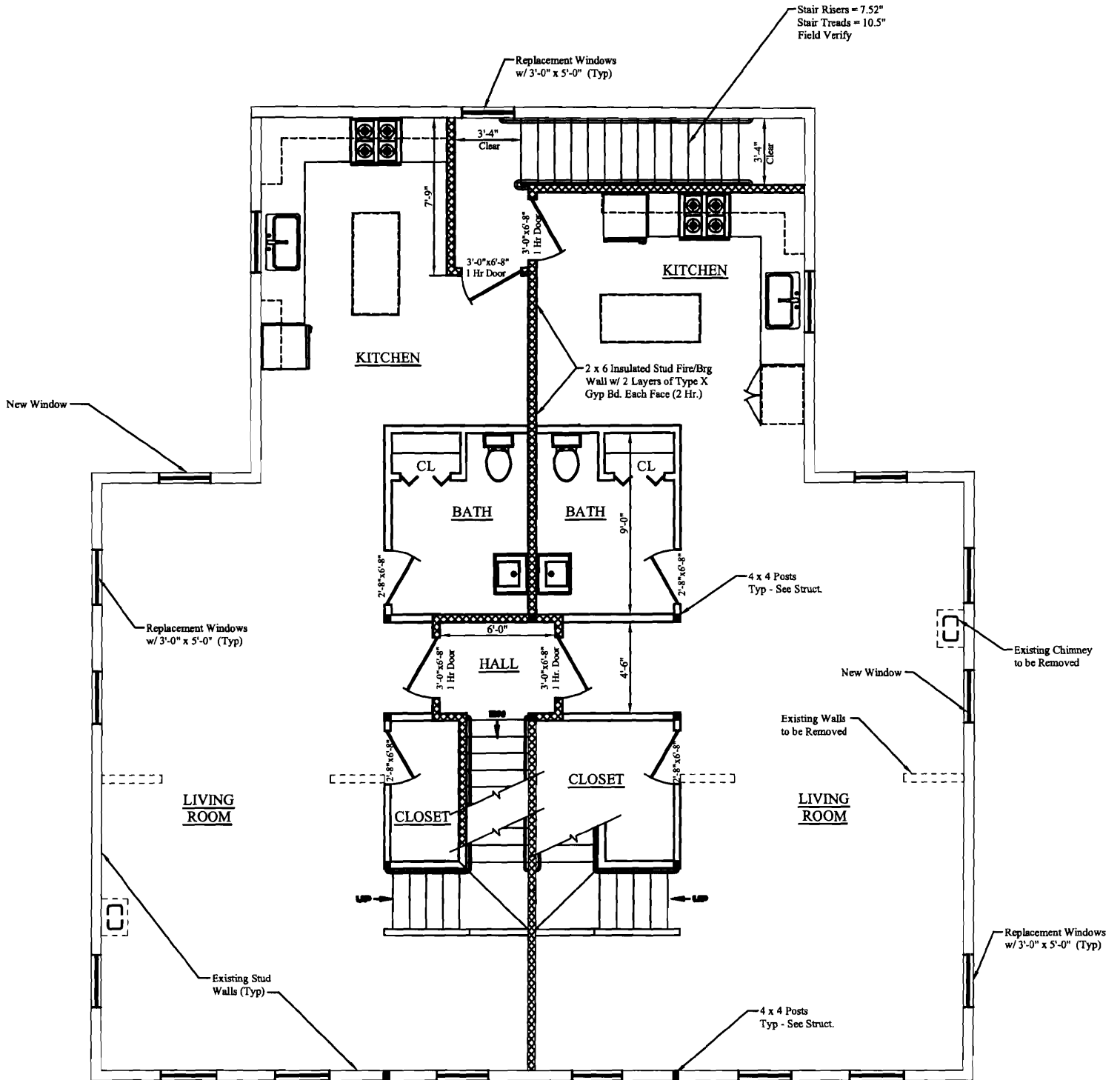


# FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

## NOTES:

1. Field verify all existing conditions and dimensions. Notify engineer of any discrepancies or errors.
2. Stair design and construction shall conform to all local building code requirements. Minimum standards include: Riser = 7", Treads = 10", Railing Ht = 36" & 1 1/2" Outside Dia.
3. Each bedroom shall have one egress size window.
4. First floor ceiling shall be one hour fire rated construction at all locations.
5. All finishes shall be determined by owner.



**NOTES:**

1. Field verify all existing conditions and dimensions. Notify engineer of any discrepancies or errors.
2. Stair design and construction shall conform to all local building code requirements. Minimum standards include: Riser = 7", Treads = 10", Railing Ht = 36" & 1 1/2" Outside Dia.
3. Each bedroom shall have one egress size window.
4. All finishes shall be determined by owner.

**SECOND FLOOR PLAN**

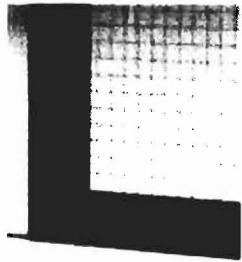
SCALE: 1/4"=1'-0"

- Products By Brand
- Jamestown 175 Series
  - University Series
  - Landmark 175 Series
  - 5000 Series
  - Empire Bronze Series
  - Fire Rated Series
  - Impact Approved Series
  - Blast Resistant Series
  - Detention Series

## Fire Rated Series Steel Windows and Doors

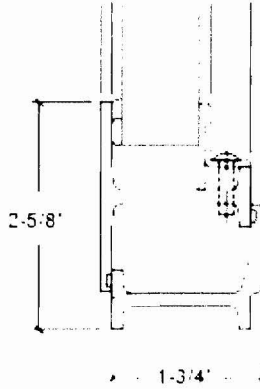
Hope's Jamestown175 steel windows and doors have a 3/4 hour fire rated certification.

- [Review Full-Size Details in PDF Format](#)



### Support Materials for this Series

- [Download Drawings](#)
- [Download Specifications](#)
- [Size Capabilities](#)
- [Test Standards and Performance Data](#)
- [Finishes](#)
- [Budget & Project Pricing Services](#)
- [Request Catalogs](#)
- [Contact Us](#)



### Quick Reference

- Fire tested for 3/4 hour with hose stream for positive pressure
- Tested according to the following standards: UBC 7-2 (1997), UL10C and NFPA 252
- Labeled by the Warnock Hersey certification mark
- Solidly fusion welded corners for superior strength and water tightness
- Accepts "listed" glass up to 1-5/16" thick
- Double dovetail groove weatherstripping
- Screw-on interior and exterior steel glazing beads
- Solid bronze, self-closing and latching hardware
- Hope's E-coat finishing system. Partnering with PPG Industries to provide the most advanced finishing system.

### Download DWG and DXF Drawing Files

#### Fixed, Projected, and Casement Windows

- Interior glazed with 3/4" glass
- Glazing beads
- Insect screens

#### Swinging Doors

- Interior glazed with 3/4" glass
- Glazing beads

#### Shared Details and Support

- True Muntins
- Glazing Details
- Installation application

[download all series files](#)

[return to top](#)

### Download Specifications

#### Fixed, Projected, and Casement Windows

- Microsoft Word DOC format conforming to CSI MasterFormat specification system

#### Swinging Doors

- Microsoft Word DOC format conforming to CSI MasterFormat specification system

[download all series specs](#)

[return to top](#)

### Size Capabilities

[return to top](#)

#### Jamestown-175 Series 3/4 Hour Fire Rated Steel Windows

##### OPENING SIZE:

- Maximum Opening Area: 149 sq. ft.
- Maximum Dimension (HT): 10.96 ft. (131-1/2")
- Maximum Dimension (WD): 13.63 ft. (163-1/2")

**SASH SIZE:**

- ⊗ Maximum Sash Area: 55 sq. ft.
- ⊗ Maximum Dimension (HT): 10.92 ft. (131-148;)
- ⊗ Maximum Dimension (WD): 8.27 ft. (99-1/4-148;)

**VENTILATOR SIZE:**

- ⊗ Maximum Side Hung Casement: 38-1/8" (WD) x 72-3/8" (HT)

**GLASS SIZE:**

The following maximum dimensions are Hope's window limitations for glass, based on actual fire testing. The final glass size must be determined between the glass manufacturer's size limitations and Hope's window limitations. The lesser of the two must be followed.

- ⊗ Maximum Glass Area: 4,164 sq. in.
- ⊗ Maximum Dimension (HT): 95-3/16"
- ⊗ Maximum Dimension (WD): 58-5/8"

No combinations of width and height dimensions can exceed 4,164 sq. in.

**Examples:**

- ⊗ If height is 95-3/16", then maximum width can be no greater than 43-3/4" to equal 4,164 sq. in.
- ⊗ If width is 58-5/8", then maximum height can be no greater than 71" to equal 4,164 sq. in.

Consult Hope's for assistance in determining between the glass manufacturer's size limitations and Hope's window limitations.

**Jamestown-175 Series 3/4 Hour Fire Rated Steel Doors****OPENING SIZE:**

- ⊗ Maximum Opening Area: 149 sq. ft.
- ⊗ Maximum Dimension (HT): 10.96 ft. (131-1/2")
- ⊗ Maximum Dimension (WD): 13.63 ft. (163-1/2")

**DOOR FRAME SIZE:**

- ⊗ Maximum Door Frame Area: 55.79 sq. ft. (double) / 29 sq. ft. (single)
- ⊗ Maximum Dimension (HT): 8.00 ft. (96")
- ⊗ Maximum Dimension (WD): 7.00 ft. (84" - double) / 3.69 ft. (44-5/16" - single)
- Combined door frame with overhead fixed transom
- ⊗ Maximum Dimension (WD): 84"
- ⊗ Maximum Dimension (HT): 131"

**DOOR SIZE:**

- ⊗ Maximum Dimension (WD): 7.00 ft. (84" - double) / 3.69 ft. (44-5/16" - single)
- ⊗ Maximum Dimension (HT): 8.00 ft. (96")

**GLASS SIZE:**

The following maximum dimensions are Hope's glass size limitations, based on actual fire testing. The final glass size must be determined between the glass manufacturer's size limitations and Hope's window limitations. The lesser of the two must be followed.

- ⊗ Maximum Glass Area: 1,755 sq. in.
- ⊗ Maximum Dimension (HT): 47-11/16"
- ⊗ Maximum Dimension (WD): 36-13/16"

No combinations of width and height dimensions can exceed 1,755 sq. in.

Consult Hope's for assistance in determining the glass manufacturer's size limitations and Hope's window limitations.

**5000 Series 3/4 Hour Fire Rated Steel Doors****OPENING SIZE:**

- » Maximum Opening Area: 149 sq. ft.
- » Maximum Dimension (HT): 10.96 ft. (131-1/2")
- » Maximum Dimension (WD): 13.63 ft. (163-1/2")

**SASH SIZE:**

- » Maximum Door Area: 64 sq. ft. (double) / 32 sq. ft. (single)
- » Maximum Dimension (HT): 8.01 ft. (96-1/8")
- » Maximum Dimension (WD): 8.00 ft. (96"-double) / 4.00 ft. (48" – single)

**GLASS SIZE:**

The following maximum dimensions are Hope's window limitations for glass, based on actual fire testing. The final glass size must be determined between the glass manufacturer's size limitations and Hope's window limitations. The lesser of the two must be followed.

- » Maximum Glass Area: 3,736 sq. in.
- » Maximum Dimension (HT): 89-3/4"
- » Maximum Dimension (WD): 41-11/16"

No combinations of width and height dimensions can exceed 3,736 sq. in.

Consult Hope's for assistance in determining the glass manufacturer's size limitations and Hope's window limitations.

**Test Standards and Performance Data**

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- » All approved products bear a Warnock Hersey label as certified by Intertek Testing Services
- » Applies to Jamestown175 Series Windows and Jamestown175 Series and 5000 Series Door and Frame Assemblies
- » Test Standard: UBC 7-4-97UL, 10C-98NFPA, 252-99ASTM, E2010-99CAN4, S104
- » 45 Minute Fire Test for both positive and neutral pressure hose stream



# HOPE'S®

## JAMESTOWN-175 SERIES 3/4 HOUR FIRE RATED SWINGING STEEL DOORS

### PART 1 - GENERAL

#### 1.1 DESCRIPTION

##### A. Work included:

1. Furnish all labor and materials to complete the fabrication of doors as shown on architect's drawings and as specified herein. All doors covered by this specification shall be fabricated by Hope's Windows, Inc., Jamestown, New York, whose name and products are used to establish the standard of workmanship and quality construction required for this project. Other bidders must be approved by the architect at least ten days prior to the bid date, through submission of samples and evidence showing that the bidder has been fabricating door products of this type and quality for at least five years. All doors must be domestically manufactured in the U.S.A. All work shall include, but not be limited to, the following:
2. Steel fire rated doors with double weatherstripped doors in single or double, swing-out configurations.
3. All door anchors, mullions, covers and trim.
4. Factory applied Hope's finish.

##### B. Related work specified elsewhere:

1. Glass, glazing and glazing materials, Section 08810.
2. Perimeter caulking, Section 07915.
3. Miscellaneous structural items, Section 05100.

#### 1.2 QUALITY ASSURANCE

- A. Manufacturer shall have not less than (5) years experience in the fabrication of heavy custom steel doors and be a member of The Steel Window Institute (SWI).
- B. Installation of doors shall be done by experienced door installers.
- C. Allowable tolerances: Size dimensions + 1/16 inch.
- D. Source quality control:
  1. Labeled Fire Rating:
    - a. Positive Pressure Tested to NFPA 252(1995), UBC 7-2-1997, UL 10c, ASTM E 2010-99, and CAN4 S104.
    - b. Maximum size opening 146.46 square feet, maximum height 129", and maximum width 163 ½".
    - c. Maximum size doors:  
Single 3'6" x 8'0"  
Pair 7' 0" x 8' 0"
    - d. Combined Door Frame with Integral Glazed Transom – maximum size 84" wide x 131" high.
    - e. Glass Size in Door: Maximum area is 1,755 square inches, maximum height is 47-11/16", and maximum width is 36-13/16". Note – These glass sizes are based on Hope's maximum sizes. Other listed glass products can be used and the maximum size limitations will be determined by the lesser of the two components: Hope's framing above or the glass (see manufacturer).
    - f. Each fire rated door & frame assembly shall be furnished with a Warnock Hersey certification label, self adhesive mylar. The label shall be located at the hinge jamb of the frame, visible when door is open.
  2. Quality of e-coat/ top-coat combination shall meet or exceed the following ASTM designations: ASTM D714- Paint Blistering Test, ASTM D4585 – Humidity Test, ASTM B117 – Salt Spray (Fog) Test, ASTM D1654 – Painted Products in Corrosive Environments, ASTM G85 – Cyclic Fog/Dry Test (Prohesion), ASTM D5894 – Salt Fog/UV Painted Metal, ASTM D4541 – Pull Off Strength of Coating Test.
  3. Upon request, the door manufacturer shall provide a test report from a qualified independent U.S. testing laboratory regularly engaged in testing doors to verify that his products conform to these test requirements.

#### 1.3 SUBMITTALS

- A. Samples (as requested by architect):

# HOPE'S®

## JAMESTOWN-175 SERIES 3/4 HOUR FIRE RATED SWINGING STEEL DOORS

1. Typical door corner with glazing beads.
2. Sample of specified muntin, showing welded intersections and glazing beads.
3. Color sample of finish.
4. Hardware.

**B. Shop drawings and manufacturer's literature:**

1. Submit for approval shop drawings showing door and installation details, including anchorage, fastening and recommended sealing methods.
2. Dimensioned elevations showing door opening and door sizes.
3. The manufacturer shall not commence any work until shop drawings have been approved.
4. Color charts for finishes.

### 1.4 PRODUCT, STORAGE AND HANDLING

- A.** The General Contractor shall be responsible for the protection and storage of the doors after delivery to the site.
- B.** Store in designated areas in an upright position on wood slats or on a dry floor in a manner that will prevent damage. Ventilate canvas or plastic coverings to prevent humidity buildup.

### 1.5 WARRANTY

- A.** Provide Hope's standard (10) year Limited Warranty.

## PART 2 - PRODUCT AND FABRICATION

### 2.1 MATERIALS

- A.** Heavy custom double weatherstripped doors shall be manufactured from solid hot rolled steel shapes.
1. Sections made from new billet steel with flanges rolled integrally at the mill.
  2. Perimeter frames and ventilator sections shall have glazing rebates providing an unobstructed glazing surface of at least 3/4".
  3. Glazing rebate surfaces must be perpendicular to the web or stem of the section. Applied glazing rebate extensions and rebate surfaces that are tapered will not be acceptable.
  4. Combined weight of frame and ventilator sections shall be a minimum of 4.20 pounds per lineal foot. Frame section alone shall not weigh less than 1.80 pounds per lineal foot.
  5. The frame and ventilator sections shall have integral grooves located in the exterior and interior bedding contacts for the reception of double weatherstripping.
- B. Muntins:**
1. Steel tee muntins shall be solid hot rolled sections from new billet steel with flanges rolled integral at the mill.
  2. Glazing rebate surfaces must be perpendicular to the stem of this section. Rebate surfaces that are tapered will not be acceptable.
  3. The 175M muntin shall weigh 2.20 pounds per lineal foot, the 1-3/4" tee shall weigh 1.62 pounds per lineal foot and the 1-3/8" tee shall weigh 1.44 pounds per lineal foot.
- C.** Glazing beads shall be cold formed from a minimum of 14 gauge galvanized steel.
- D.** Weatherstripping shall be fire resistant extruded vinyl.
- E. Mullions:**
1. Openings may be divided by approved mullions anchored at both ends. Mullions can be plate, tube, and flat type per certified details. Right angle and other corner mullions are also available. Mullions shall be selected to comply with stated widow loading criteria per specifications.



# HOPE'S®

## JAMESTOWN-175 SERIES 3/4 HOUR FIRE RATED SWINGING STEEL DOORS

- F. All screws that are furnished by Hope's, for hardware, trim, covers, anchoring, weatherbars, water dams, screens, etc. shall be non-ferrous brass or stainless steel. Glazing bead screws are plated steel.
- G. Paint:
  - 1. Pre-treatment.
  - 2. Primer - E-Coat (Electrodeposited epoxy primer).
  - 3. Finish coat – Factory applied polyurethane.

### 2.2 FABRICATION

- A. Fabricate steel doors in accordance with approved shop drawings.
- B. Prior to fabrication, all hot rolled steel sections shall be cleaned by shot blasting.
- C. Corners of frame and ventilator shall be mitered or coped then solidly welded. Exposed and contact surfaces shall be finished smooth flush with the adjacent surfaces. All interior and exterior rail bar and muntin joints shall be face welded and ground smooth.
- D. Steel tee muntins shall be tenoned and welded to the perimeter frame. Muntin intersections shall be slotted, cross notched and welded. All interior and exterior muntin joints shall be face welded and ground smooth.
- E. Glazing:
  - 1. All doors shall be designed for inside (or outside) glazing.
  - 2. Provide replaceable continuous screw on glazing beads to suit the fire rated glass specified.
  - 3. Glazing beads shall be cut and shop fitted to each glass lite prior to shipment.
  - 4. Glazing beads are available to accommodate a variety of fire rated glazing materials 3/16" through 1-5/16" (certain materials have size limits that need to be considered).
  - 5. Glazing accessories to be per manufacturer of tested glazing materials. Exterior applications should have cap bead of an approved silicone for weather resistance.
- F. Weatherstrip:
  - 1. Continuous vinyl weatherstripping shall be applied to the integral weatherstrip grooves in the interior and exterior contact surfaces of the frame and ventilator sections. Weatherstripping that is surface applied or requires an additional retainer or requires screws for application shall not be acceptable.
- G. Labeling:
  - 1. Each fire rated door shall be furnished with a Warnock Hersey certification label, self adhesive Mylar. The label shall be located at the inside sill of the door.
- H. Factory Finishing:
  - 1. Shot Blasting:
    - a. Before any machining or welding is performed, all hot-rolled steel sections shall be cleaned by shot blasting to remove any loose scale.
  - 2. Bonderizing:
    - a. After fabrication, doors, mullions, covers, and trim shall be subjected to a 10 stage bonderizing pre-treatment process that produces a non-metallic phosphate coating on the surface of the steel in preparation for e-coat priming system.
  - 3. E-Coat Prime Painting:
    - a. Following the pretreatment, doors and accessories are e-coated with a cathodic epoxy primer of PPG Powercron® 8000 or equivalent to insure all surfaces are evenly covered. Spray or dip primers shall not be acceptable.
    - b. Immersed in a rinse of ultra-filtered RO water for 3 min to remove all the excess paint and removing any runs.
    - c. A spray of ultra-filtered RO water repeats the above process to further improve surface conditions.
    - d. The primer is oven baked to 335 degrees F for 15 minutes to a dry film thickness of 0.7 - 1.0 mil.

# HOPE'S®

## JAMESTOWN-175 SERIES 3/4 HOUR FIRE RATED SWINGING STEEL DOORS

- e. The material is then cooled in preparation for the finish coat.
4. Ultrathane Finish Painting:
  - a. Following the prime coat, all doors and accessories are given a spray coat of acrylic polyurethane and oven baked at 225 degrees F for 15 minutes to dry film thickness of 1.5 to 2.0 mils.
  - b. The combined overall dry film thickness of the prime coat and finish coat shall be 2.2 - 3.0 mils.
  - c. The architect shall choose from an unlimited color selection. Color matching is available upon request, along with clear coats. Some colors may require clear coats for added protection. Consult your Hope's Representative for selection assistance.
5. E-Coat/top coat combination shall provide full documented compliance with all ASTM designations as outlined in Quality Assurance portion of the specifications.

### 2.3 OPERABLE HARDWARE

#### A. Single Door or Active Leaf of Pair.

1. Doors shall be hung on (3) 4" x 2-5/16" x .130" steel ball bearing hinges at the jamb.
2. Provide fire rated mortise lock with 2-3/4" backset and latch bolt with minimum of 3/4" throw. Lock trim as specified by architect.
3. Provide two concealed expansion lugs at both hinge and latch jambs.
4. Provide surface mounted fire rated closer. Hold open feature is not permitted.
5. Hardware shall be shipped loose for field application, however doors shall be hung and hardware shall be fitted prior to shipment.

#### B. Inactive Leaf of Pair:

1. Doors shall be hung on (3) 4" x 2 5/16" x .130" steel ball bearing hinges at the hinge jamb.
2. Provide fire rated surface bolts at head & sill rails.
3. Closers are not required on inactive leaf.
4. Provide two expansion lugs on concealed at hinge jamb.
5. Hardware shall be shipped loose for field application, however doors shall be hung and hardware fitted prior to shipment.

## PART 3 - EXECUTION

### 3.1 INSPECTION

- A. Door openings shall conform with details, dimensions and tolerances shown on the door manufacturer's approved shop drawings.
- B. Conditions which may adversely affect the door installation must be corrected before installation commences.
- C. The wash down of the adjacent masonry must be completed before erection commences to prevent damage to the finish by the cleaning materials.

### 3.2 INSTALLATION

- A. Doors specified under this section shall be installed by experienced personnel.
- B. Install doors in openings in strict accordance with approved shop drawings.
  1. Set units plumb, level and true to line, without warp or rack of frames.
  2. Anchor units securely to surrounding construction with approved fasteners.
  3. The exterior joints between the doors, trim and mullions shall be properly sealed watertight with an approved sealant and neatly pointed.
- C. Attach door hardware, as required, and adjust doors to operate smoothly free from twist and to be weathertight when closed.

# HOPE'S<sup>®</sup>

## JAMESTOWN-175 SERIES 3/4 HOUR FIRE RATED SWINGING STEEL DOORS

D. Repair any abraded areas of the factory finish.

### 3.3 CLEANING

A. Door installer shall leave door surfaces clean after installation and ready to receive glass and glazing. The door installer will not be responsible for final cleaning.



Please note that these units are designed for use in applications where safety is a primary concern. These units are designed to be fastened into your project with safety in mind. Check out these features:

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[Products / Patterns](#)

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**Fire Guard windows** are an assembly of glass block, mortar, ladder web reinforcing, panel anchors, ceramic fiber wool expansion joints and fire stop sealant.

**Fire Guard window assemblies** are fully manufactured and ready for deliver. **Once on site, they simply fasten into place. UL requires the entire Fire Guard wood frame to be covered with 5/8" drywall to insulate and protect the wood from fire.** This is to be done after the units are fastened into their openings. Due to the weight factor the Fire Guard windows are limited to 12 sq. ft. Larger applications can be manufactured in sections and joined together at the job site. On-site assembly can be done for larger applications up to 120 sq. ft. including radius walls.

All sizes of Premiere & ThinLine series Pittsburgh Corning Glass Block® products in panels up to 120 sq. ft. in masonry walls or 94 sq. ft. in non-masonry walls are classified by Underwriters Laboratories® for use as 45-

minuted-rated window assemblies. These panels are usually acceptable as window assemblies for use in fire separation walls requiring one hour or less.

Thickset® & Vistabrik® glass blocks are listed for use as 45- 60- or 90- minute fire rated window assemblies in panels up to 100 square feet.

Refer to the latest issue of UL® Building Materials Directory as well as your local building codes.

Underwriters Laboratory Classification: R2556  
Underwriters Laboratories of Canada File: CR 1715  
 In accordance with NFPA 80, Chapter 14

Ratings (minutes)	Products Rated	On-site Assembly		Fire Guard
		masonry wall construction - max. area per panel (FT <sup>2</sup> )	non- masonry walls max. area per panel (FT <sup>2</sup> )	
45	All Patterns (except Delphi) All Sizes (except 12x12x4)	120	94	12 (Multiple panels can be seamed together at job site)
60	All Thickset series and Vista Brick products only	100	94	8 (except Vista)
90	All Tickset series and Vista Brick products only	100	not approved	not approved

### **Fire Rated Glass Block Window Assemblies:**

Pittsburgh Corning Glass Block® products listed above

have been tested and classified by Underwriters Laboratories® (UL®) for use as fire rated window assemblies to panel sizes and dimension limitations listed below.

Where permitted by Building Codes, glass block fire rated window assemblies having a fire resistance rating of not less than 45 minutes, may be used as "opening protectives" and to not exceed 25% of the wall areas separating a tenancy from a corridor or a corridor from an enclosed vertical opening or one fire-rated area from another fire-rated area.

Exception: Although glass block masonry units have been tested as window assemblies (not wall assemblies), they may be used as a one hour fire partition as required for corridors in the enclosure of atriums only when sprinkler protection is provided on occupied sides.

#### **45 & 60-Minuted Rated Construction:**

All 45 & 60-minuted rated PC Glass Block products may be used in both masonry and non-masonry (steel or wood stud gypsum board) walls. These rated glass block windows are framed and anchored with either PC® Panel Anchor construction or channel-type restraints. The use of a fire retardant type sealant for head and jamb locations is required. Specification and construction details of such panels are per Pittsburgh Corning Corporation recommendations.

Non-masonry, fire-rated steel stud/gypsum board walls must conform to UL® listed wall assembly #U465. Framing and support of the rated glass block window assembly shall be provided with double-studding with height of supporting wall limited to no more than 3 feet.

#### **90-Minute Rated Construction:**

Where permitted by building codes, all 90-minute rated PC Glass Block® products may be used in masonry walls only, framed and anchored with 1/4 in. thick steel (not aluminum) channel-type restraints or masonry chases. The use of panel anchor construction is not permitted. Specifications and construction details of such panels are as per Pittsburgh Corning Corporation recommendations.

## **Exceptions**

In 90-minute rated glass block window assemblies twice the thickness (3/4 in. total) of expansion material is required at head and jamb locations as well as the use of a fire retardant type sealant.

### **45-Minute Rated Curved Construction:**

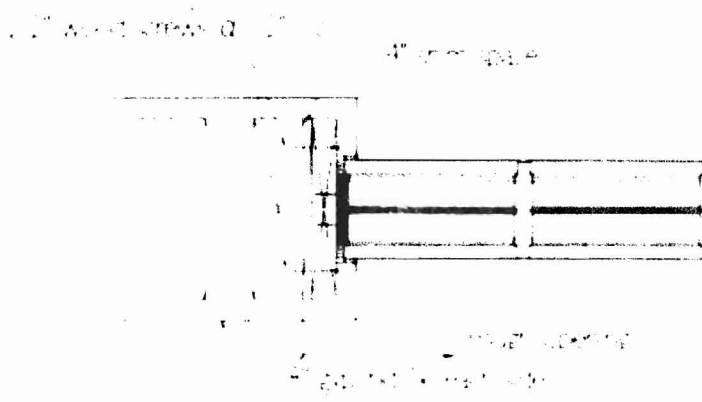
The glass blocks noted under 90-minute "rating" and those 8" x 8" x 3-7/8" sized glass block noted under 45-minute "rating" are classified for use in masonry walls as curved window assemblies provided that the maximum allowable curvature does not exceed a ratio of 2:1 with respect to length of radius to length of assembly width.

### **PC GlassBlock Products Not Fire Rated**

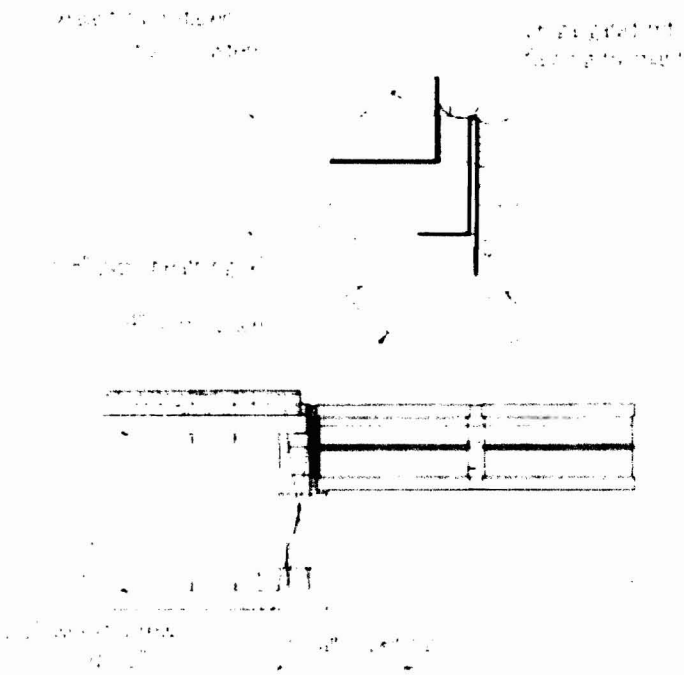
- All 12" x 12" sizes
- All Delphi Patterns
- All corners, endblocks and finishing units
- All Paver block units
- Frosted blocks

Refer to the latest issue of UL® Building Materials Directory as well as your local building codes and officials.

### **Interior Installation**



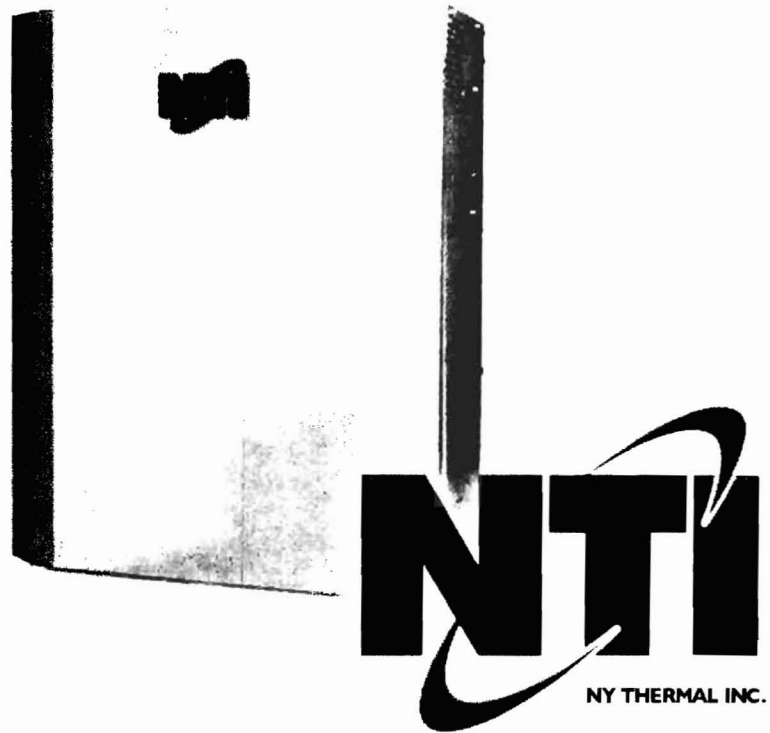
## Exterior Installation





# TRINITY *Ti*

*Ultra Efficient  
Boiler and  
Water Heater*



IN THE NTI TRADITION OF QUALITY...

# Introducing the all-new, ultra-compact, high-efficiency TRINITY

When you choose the **TRINITY** Boiler, you choose the ultimate in top-quality, high-efficiency boilers. Count on years of trouble-free, safe and comfortable heat, from North America's hot water heating leader: NTI.

**Great Savings...** The superb efficiencies and state-of-the-art combustion systems of the **TRINITY** mean little heat is wasted, less natural gas or propane is used, and homeowners save money.

**Lots of Hot Water...** The **TRINITY'S** high-capacity heat exchanger coil provides ample hot water for every household need, at very low cost.

**Years of Dependability...** NTI customers know... our boilers are built to last a lifetime! With an advanced ignition system, and a top-quality heat exchanger, the Trinity represents the highest standard in top-quality boilers.

**Environmental...** The **TRINITY** meets or exceeds North American energy and emissions regulations. We're doing our part to protect the environment for the future.

## The all-new NTI combustion system

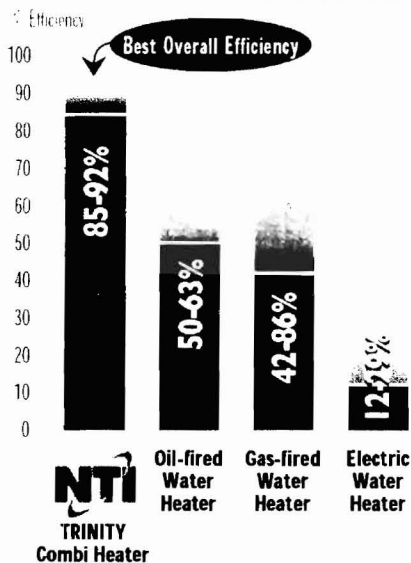
NTI's new state-of-the-art combustion system allows the **TRINITY** to modulate the burner to the exact size required to meet the conditions of the system. The **TRINITY** incorporates an electronic state-of-the-art combustion system to reduce the amount of gas that is injected into the burner, to ensure proper combustion throughout the full range of modulation. This system also compensates for extended venting; therefore, adjustments are not required between short and long vent runs. The **TRINITY** is a totally sealed combustion system: all combustion air is drawn from outside, used for combustion and then expelled. This eliminates any need for fresh air intake into the room, thereby decreasing heating costs.

## Exclusive NTI heat exchanger

NTI has developed a sophisticated heat exchanger that provides virtually endless hot water, at unheard-of efficiencies. The condenser does not use aluminum but is constructed totally from stainless steel, which is a proven material for condensing appliances.

The **TRINITY** utilizes its modulation combustion system to electronically increase or decrease the flame size, depending upon the required flow and water temperature. As the water is instantaneously heated and regulated, a storage tank is not required, and energy is not lost due to typical tank standby losses. The **TRINITY** can deliver up to 5.5 US gallons of water per minute at a constant temperature of 110°F. The **TRINITY** system automatically gives priority to the domestic hot water system to ensure that all your family's hot water needs are met.

## Domestic Hot Water Efficiencies



# Gas Boiler

## All-New Sentry 2100

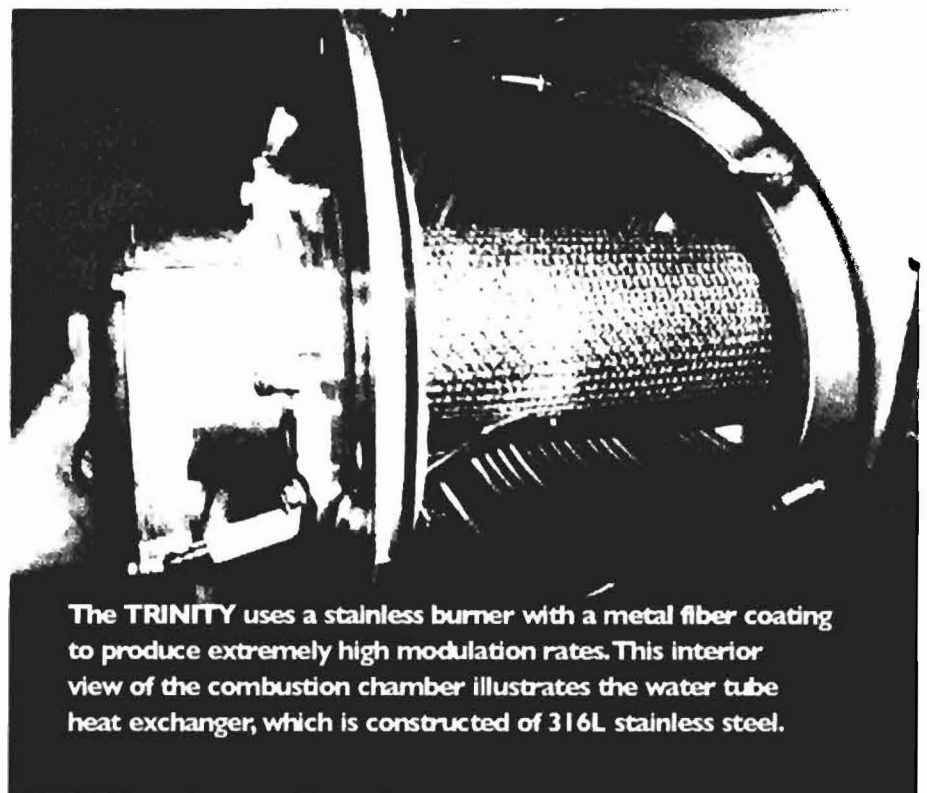


- Control is fully enclosed in impact-resistant enclosure
- Multifunctional LED display system
- Digital set point for unmatched accuracy
- Provides all safety and operational functions
- Operates burner, heating pump, and auxiliary indirect pump or valve
- Provided with outdoor sensor for automatic boiler temperature reset
- Pump exerciser routine activates pump for five seconds every 72 hours to prevent seizing
- Internal diagnostic system continuously monitors for errors
- Designed to withstand power dips and spikes

*The Sentry 2100 is like having a Heating Technician in the basement 24 hours a day.*

## The NTI Commitment to Service

- Established in 1966 in Sussex, NB, today's NTI remains a privately owned family business with the same original mandate to manufacture top-quality central heating equipment.
- We design our products with easy installation and servicing in mind. The TRINITY is pre-assembled and wired, with easy access to key components.
- At our 6,000 square-foot research, development and training laboratory in New Brunswick, engineers constantly strive to improve efficiency and serviceability on all our new and existing products.
- NTI maintains a strong commitment to providing installer leadership and ongoing support through our training programs and technical assistance available to contractors.



**The TRINITY uses a stainless burner with a metal fiber coating to produce extremely high modulation rates. This interior view of the combustion chamber illustrates the water tube heat exchanger, which is constructed of 316L stainless steel.**

# TOP TEN LIST

The Advantages of the

# TRINITY

1. Available in both Natural Gas and Propane versions with a modulation system that eliminates additional models.
2. State-of-the-art sealed modulation combustion system with hot surface ignition.
3. Patented 316L stainless condensing heat exchanger provides ultimate efficiencies.
4. All connections are conveniently located for ease of installation.
5. Wall mount configuration saves valuable floor space.
6. Vents easily with conventional ABS, PVC or CPVC plastic piping.
7. The TRINITY has industry-leading modulation rates, which significantly increases comfort while reducing cycling and fuel consumption.
8. The distinctive casing design reduces costly standby losses, while virtually eliminating combustion noises.
9. High-capacity plate heat exchanger on combination models provides ample domestic hot water.
10. The TRINITY is certified, designed and rated to strict CSA, AGA, ASME and CSAus codes.



**NYTHERMAL INC.**  
**31 Industrial Drive**  
**Sussex, New Brunswick**  
**E4E 2R7 Canada**  
**Tel: 506-432-1130**  
**Fax: 506-432-1135**

[www.nythermal.com](http://www.nythermal.com)

## GENERAL SPECIFICATIONS

	Ti150	Ti200	Ti400
<b>Size (D x W x H)</b>	14" x 15.5" x 22"	17" x 15.5" x 22"	22" x 30" x 46"
<b>Weight</b>	80 lbs.	110 lbs.	230 lbs.
<b>Max. Pressure</b>	30 PSI	30 PSI	30 PSI
<b>Gas Type</b>	Natural, Propane	Natural, Propane	Natural, Propane
<b>Max. Vent</b>	105' equivalent	105' equivalent	80'-4", 100'-6"
<b>Gas Line Size</b>	1/2" NPT	1/2" NPT	1" NPT
<b>Max. Supply Water</b>	200°F	200°F	200°F
<b>Min. Return Water</b>	30°F	30°F	30°F
<b>Operating Pressure</b>	Required	Required	Required
<b>Certification</b>	CSA, AGA, CSAus	CSA, AGA, CSAus, ASME	CSA, AGA, CSAus, ASME

## HEATING SPECIFICATIONS

	Ti150	Ti200	Ti400
<b>BTU Input @ 100</b>	34 - 150	25 - 200	25 - 399
<b>BTU Output @ 100</b>	31.2 - 138	22.7 - 187	22.7 - 363
<b>SE Efficiency</b>	98%	97%	96%
<b>AFUE</b>	92%	91%	91%
<b>PI Drop @ GPM</b>	12' @ 8	13' @ 10	13' @ 20
<b>Supply - Return</b>	3/4" NPT	1" on H, 3/4" on C Models	1" NPT**
<b>Water Modulation Ratio</b>	4.4:1	8:1	16:1
<b>Flue &amp; Load Switch</b>	Optional	Optional	Installed

## DOMESTIC HOT WATER

(Combi Version)

	Ti150	Ti200
<b>Supply - Return</b>	3/4" NPT Outlet 1/2" Inlet	
<b>Max. Pressure Drop</b>	1 PSI	
<b>PI Drop @ GPM (H)</b>	15' @ 8	18' @ 10
<b>Temperature Modulation</b>	Electronic Modulation	
<b>20°C Domestic Hot Water</b>	4.0 @ 110°F	5.5 @ 110°F
<b>40°C Domestic Hot Water</b>	3.5 @ 120°F	4.8 @ 120°F
<b>60°C Domestic Hot Water</b>	3.1 @ 130°F	4.5 @ 130°F

**\*\* Note: Ti400 comes standard with built-in primary loop. Connection indicated is for secondary loop connection.**



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*Lee Urban - Director of Planning and Development  
Jeanie Bourke - Inspections Division Director*

April 4, 2007

DAVIS KEVIN H & - 207-236-6297  
81 LEGRAND DR  
CAMDEN, ME 04843

✓ MARK MICHAEL - ~~207-596-7981~~  
Rockln

**CBL: 057 K013001**  
**Located at 57 CLARK ST**

**Certified Mail 7003 3110 0002 6064 0704**

Dear DAVIS KEVIN H & ,

### STOP WORK ORDER

An evaluation of the above-referenced property on 04/04/2007 revealed that building construction was being conducted without benefit of a valid building permit as required by Section 105.1 of the 2003 International Building Code and the 2003 International Residential Code of the City of Portland.

Appropriate permitting has not been issued for the property listed above, therefore all construction activity at that property must STOP immediately. This is a STOP WORK ORDER pursuant to Section 114. of 2003 International Building Code and the 2003 International Residential Code of the City of Portland.

You may resume construction activity only after issuance of the appropriate building permit and the subsequent lifting of this order. Building Permit Applications are available in this office, Room 315 at Portland City Hall, from 8:00 a.m. to 4:00 p.m. weekdays except holidays.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A of M.R.S.A. Section 4452. This constitutes an appealable decision pursuant to Section 112 of the City of Portland Building Code.

If you wish to discuss this matter, or you have any questions, please feel free to contact me.

Sincerely,

Suzanne Hunt @ (207) 874-8707  
Building Inspector



*Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov*

April 4, 2007

DAVIS KEVIN H &  
81 LEGRAND DR  
CAMDEN, ME 04843

**Certified Mail 7003 3110 0002 6064 0704**

**CBL: 057 K013001**  
**Located at 57 CLARK ST**

Dear DAVIS KEVIN H & ,

An evaluation of the above-referenced property 04/04/2007 shows that the structure fails to comply with Chapter 6.Article V. of the Code of Ordinances of the City of Portland, The Housing Code. Attached is a list of the violations.

This is a notice of violation pursuant to Section 6-118 of the Code. **Violation #4** shall be corrected within 10 days of the date of this notice. A re-inspection of the premises will occur on April 12, 2007 at which time compliance will be required. Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code.

This constitutes an appealable decision pursuant to Section 6-127 of the Code.

Please feel free to contact me if you wish to discuss the matter or have any questions.

Please be advised that the Portland City Council has amended the Building regulations to include a \$75.00 re-inspection fee. This violation will automatically cause a re-inspection at no charge. If there are any subsequent inspections, however, the \$75.00 fee will be assessed for each inspection.

Sincerely,

Suzanne Hunt @ (207) 874-8707  
Building Inspector

**CITY OF PORTLAND**  
**DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street  
Portland, Maine 04101

**Inspection Violations**

<b>Owner/Manager</b> DAVIS KEVIN H &		<b>Inspector</b> Suzanne Hunt	<b>Inspection Date</b> 4/4/2007
<b>Locatation</b> 57 CLARK ST	<b>CBL</b> 057 K013001	<b>Status</b>	<b>Inspection Type</b> Complaint-Inspection

<b>Code</b>	<b>Int/Ext</b>	<b>Floor</b>	<b>Unit No.</b>	<b>Area</b>	<b>Compliance Date</b>
1) 105.1	Interior	1 and 2			
<b>Violation:</b> Building w/o Permit					
<b>Notes:</b> two floor of building hae complete new framing					
2) 105.1	Interior				
<b>Violation:</b> Building w/o Permit					
<b>Notes:</b> two floors of building have new framing without benefit of permit					
3) 105.1	Exterior				
<b>Violation:</b> Building w/o Permit					
<b>Notes:</b> back entrance built without permit.					
4) 6-108.4	Exterior				
<b>Violation:</b> Stairways, stairwells, stairs, porches.					
<b>Notes:</b> fence in front of building is broken and blocking sidewalk egress					
5) 6-108.1	Exterior				
<b>Violation:</b> Foundations cellars, exterior walls, roofs					
<b>Notes:</b> front porch railing system is not structurally sound					

**Comments:** work done with out pwrmit. Two floors completely framed. Fence is broken and protruding into sidewalk

**CITY OF PORTLAND**  
**DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street  
 Portland, Maine 04101

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