

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that PETER B HAWKES

Located At 192 DANFORTH ST

Job ID: 2012-11-5421-ALTR

CBL: 057- K-007-001

has permission to Replace Deck railing to existing deck (after-the-fact).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer



Code Enforcement Officer / Plan Reviewer

12/26/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close In Elec/Plmb/Frame prior to insulate or gyp
 2. Final Inspection (See Notice of Violation)

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-11-5421-ALTR

Located At: 192 DANFORTH ST

CBL: 057- K-007-001

Conditions of Approval:

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
3. R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter.
4. Note: See attached notice of violation dated January 11, 2012.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-11-5421-ALTR	Date Applied: 11/16/2012	CBL: 057- K-007-001	
Location of Construction: 192 DANFORTH ST	Owner Name: PETER HAWKES	Owner Address: 192 DANFORTH ST PORTLAND, 04102 MAINE - ME	Phone: 773-1643 (H) 553-7310 (O)
Business Name:	Contractor Name: Jeff Decareau	Contractor Address: 104 Berkshire Road Portland, 04103	Phone: 332-6084 632-2345 (c)
Lessee/Buyer's Name:	Phone:	Permit Type: Building	Zone: R-6
Past Use: Two family dwelling	Proposed Use: Same: Two Family Dwelling - to replace the deck railing on rear deck- the rest of the deck remains as-is	Cost of Work: \$3,000.00 Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A Signature:	CEO District: Inspection: Use Group: Type: ISC 2009 <i>(MUGER)</i> Signature: <i>[Signature]</i>
Proposed Project Description: Replace Deck railing to existing deck		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Lannie	Zoning Approval		
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building Permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan __ Maj __ Min __ MM Date: <i>11/20/12</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <i>wif</i> <input type="checkbox"/> Not in Dist or Landmark <input checked="" type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>12/17/12</i> <i>J. Andrew B</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

No Envelope 2012-11-5421

Rf



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

NOT in Historic

Location/Address of Construction: <u>192 DANFORTH ST.</u>		
Total Square Footage of Proposed Structure/Area <u>EXISTING 100 SF DECK, NO CHANGE</u>	Square Footage of Lot <u>2420 SF</u>	Number of Stories <u>4</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>57-K-7</u>	Applicant: (must be owner, lessee or buyer) Name <u>PETER HAWKES</u> Address <u>192 DANFORTH ST</u> City, State & Zip <u>PORTLAND, ME 04102</u>	Telephone: <u>773-1643 (H)</u> <u>553-7310 (B)</u>
Lessee/DBA <u>N/A</u>	Owner: (if different from applicant) Name <u>N/A</u> Address City, State & Zip	Cost of Work: <u>\$3,000.-</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>OWNER OCCUPIED</u> Number of Residential Units <u>2</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>RESIDENTIAL (CURRENT USAGE) NO CHANGE</u> Is property part of a subdivision? <u>NO</u> If yes, please name <u>N/A</u> Project description: <u>REPLACING THE DECK RAILING WHICH WAS ORIGINALLY INSTALLED BETWEEN 1986 AND 1989. ORIGINAL DECK SIZE AND DECK JOISTS ARE UNCHANGED.</u>		
Contractor's name: <u>JEFF DECLAREAU</u> Email: _____ Address: <u>104 BERKSHIRE RD</u> City, State & Zip <u>PORTLAND, ME 04103</u> Telephone: <u>332-6084</u> Who should we contact when the permit is ready: <u>PETER HAWKES</u> Telephone: <u>632-2345 (CELL)</u> Mailing address: <u>PO BOX 222, PORTLAND, ME 04112</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 300, City Hall or call 874-8703.

RECEIVED
NOV 16 2012
Dept. of Building Inspections
City of Portland, Maine

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized me to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Peter Hawkes Date: 11/15/12

This is not a permit; you may not commence ANY work until the permit is issued



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams *N/A*
- Detail any new walls or permanent partitions *N/A*
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing *N/A*
- Window and door schedules *N/A*
- Foundation plans w/required drainage and damp proofing (if applicable) *N/A*
- Detail egress requirements and fire separation/sound transmission ratings (if applicable) *N/A*
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009 *N/A*
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions *EXISTING STRUCTURE SEE PHOTO*
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records *N/A*

Separate permits are required for internal & external plumbing, HVAC, and electrical installations. *N/A*

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include: *N/A*
(NO CHANGES TO FOOTPRINT OR VOLUME.)

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Peter Hawkes

From: Deb Andrews [DGA@portlandmaine.gov]
Sent: Thursday, November 15, 2012 10:04 AM
To: Peter Hawkes
Subject: Re: 192 Danforth St_Rear Deck Railing

Peter: I got your e-mail. I'm not sure whether there was a delay in delivery or whether you changed the way you sent it. Anyway, I've looked at the drawings and have figured out which unit you are in the row. I'm comfortable signing off on the change with no further review.

Deb Andrews

>>> "Peter Hawkes" <hawkes@maineproperties.com> 11/14/2012 5:40 PM >>>
Deb,

First, please acknowledge receipt as lately it seems I've been having occasional problems with emails going out, but not being received.

Secondly, we're changing a deck railing on the rear deck at our residence at 192 Danforth St. This pertains to a deck that has existed along with the dormer since the late '80's. Further, the structural joists and floor plan / size remains the same. Originally, the deck railing was 5 posts with vertical balusters and top rail. We're keeping the same post configuration, but changing to a horizontal cable rail system with top rail.

Please find plans attached. One drawing shows what the railing looked like. A second drawing shows the proposed deck railing. And a 3rd plan shows a closer look at the railing elevation along with the "bird's eye view".

Where this is in the rear of the building, I don't suspect you have any concerns.

-- If that is correct, please confirm.

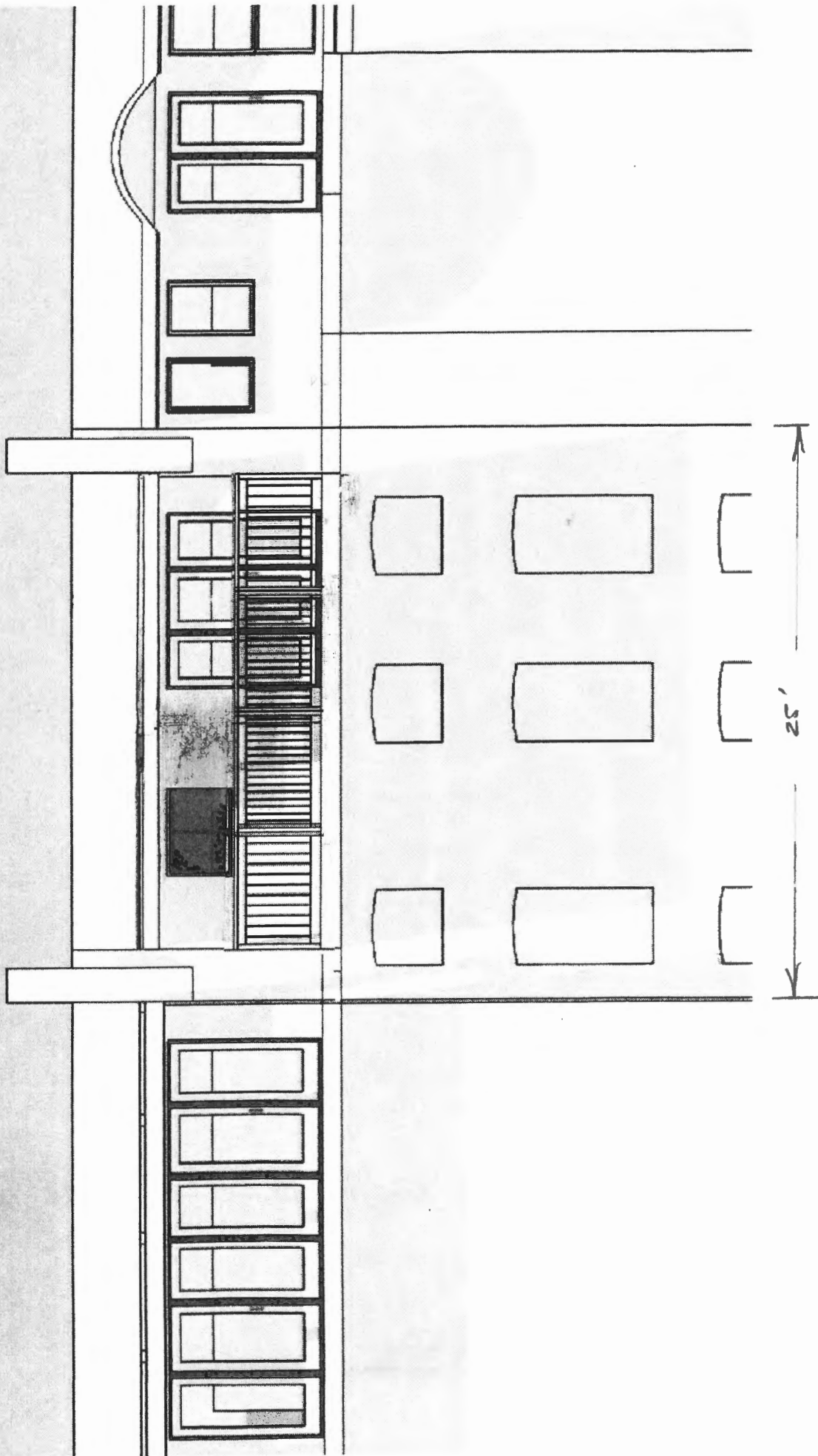
-- Further, if you agree that this does not require Historic Review, please make note as well.

Thanks in advance for your time.

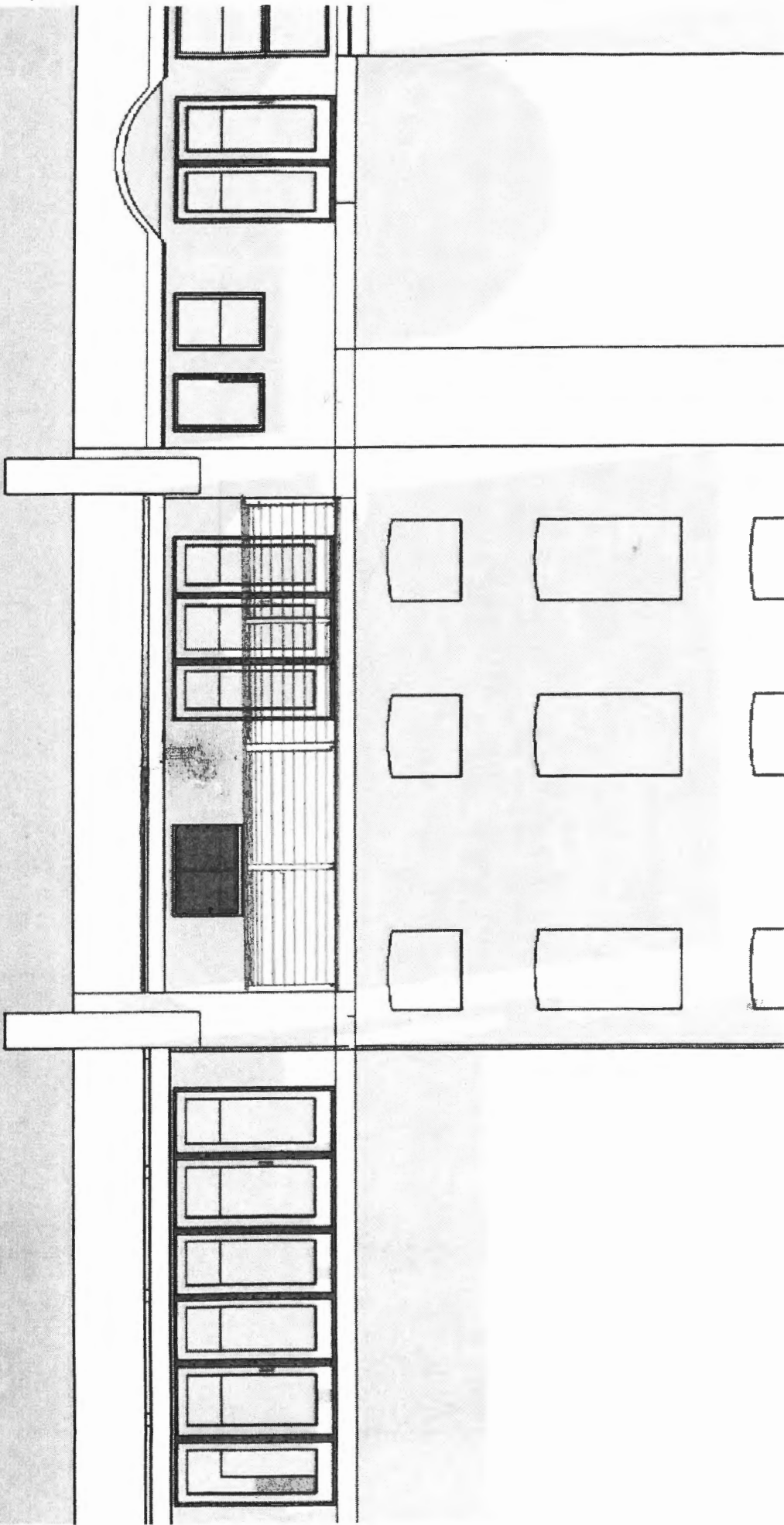
P e t e r H a w k e s
RE/MAX By The Bay
The Common at 88 Middle St.
Portland, ME 04101
207 553-7310 Office
207 632-2345 Cell
www.MaineProperties.com

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.

11/15/2012

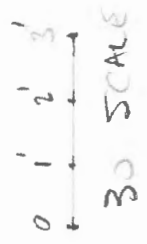
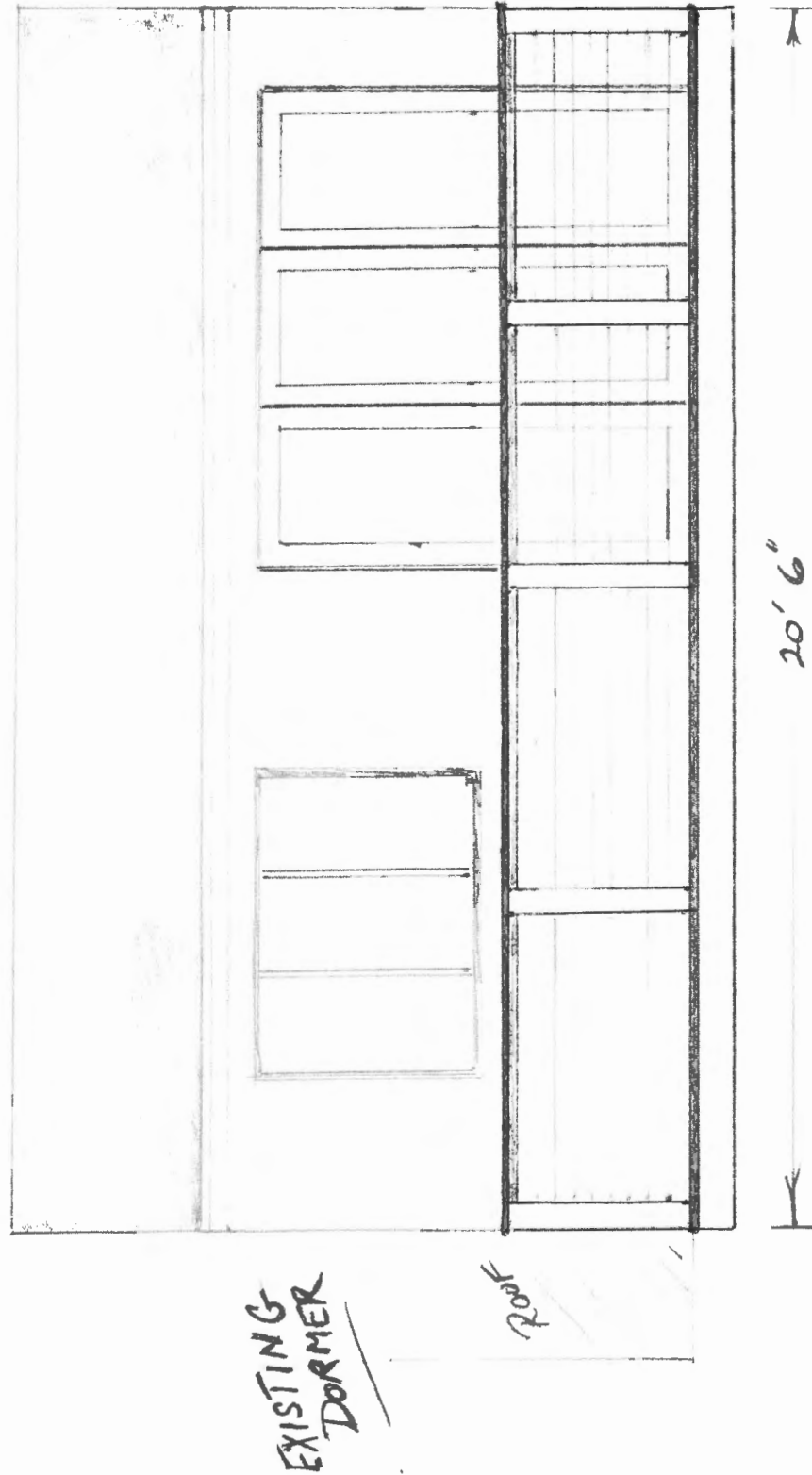
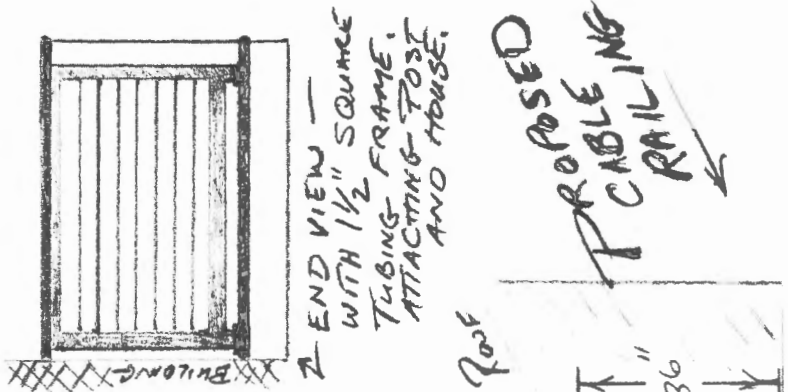
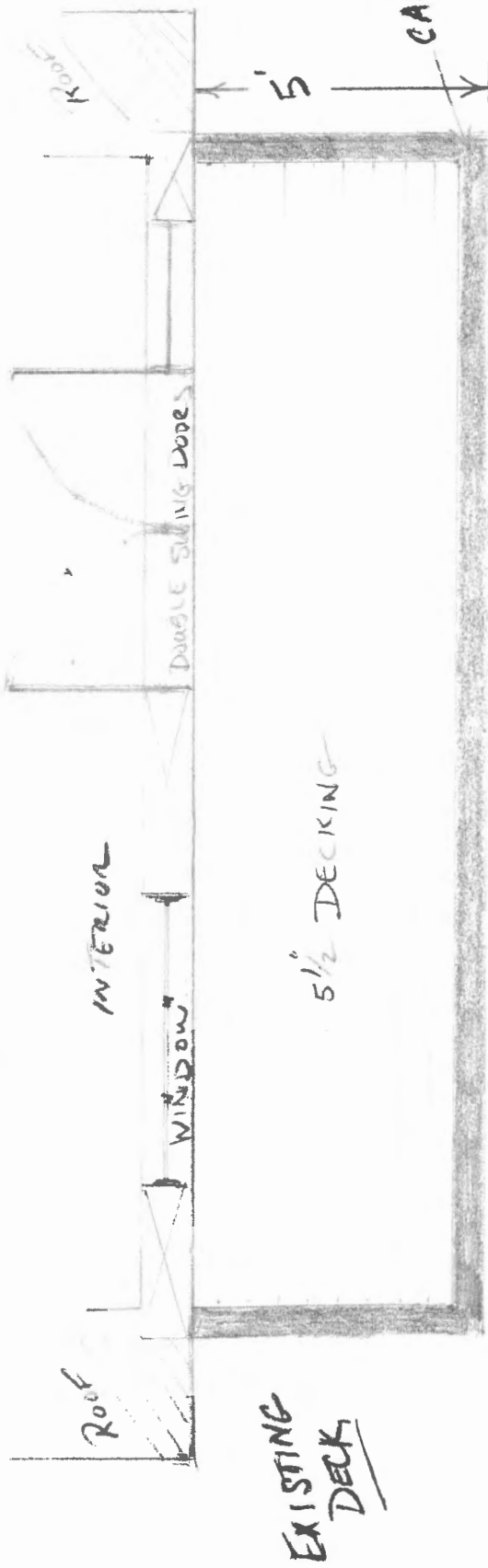


192 DANFORTH ST.
ORIGINAL DORMER / RAILING LOOK.



25'
192 DANFORTH ST
PROPOSED REPLACEMENT
OF RAILING WITH CABLE RAILING.

192 DANFORTH ST. - RAILING REPLACEMENT



Easy-to-install, prefabricated cable assemblies are an attractive, budget-friendly, and low-maintenance alternative to commonly used metal and wood picket infill. Assemblies use 1/8" diameter high-strength, weather-tough type 316 stainless steel cable and come in a wide range of standard lengths that can be quickly trimmed to size in the field. Each assembly includes special, easy-to-use Threaded Terminal and Quick-Connect®SS end fittings that remain concealed in your end posts. The result: an extremely durable, virtually invisible railing infill that leaves the view open and unimpaired.

Flat Washer
End Cap

Our special end fittings make cable installations quicker & easier than ever.

Flat Washer
End Cap

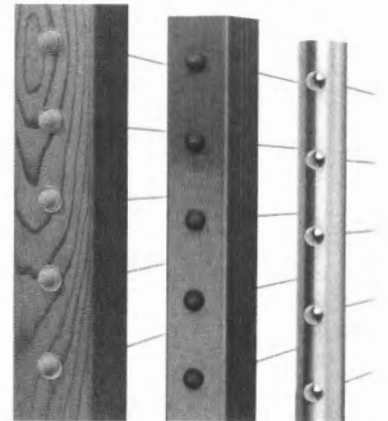
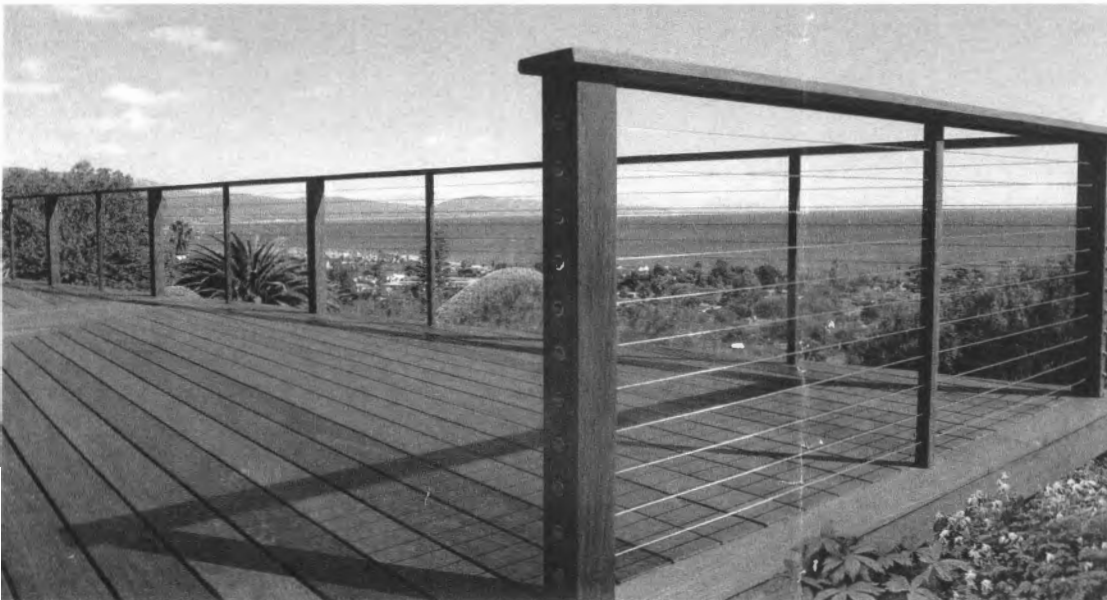


The stainless Quick-Connect®SS fitting is attached to the cable in the field without special tools. One-way jaws allow the cable to easily slide through the fitting in one direction but automatically grab and lock-on when the cable is released. Just slip it on, pull the cable tight, cut off the excess, and finish with an End Cap.
Size: 3/8" O.D. x 1-1/4" Length

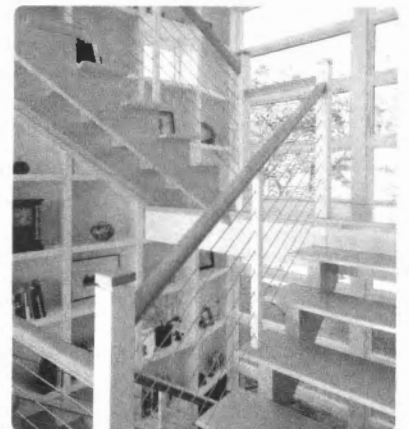
The Cable is 1/8" diameter, 1x19 construction, type 316 stainless steel for strength, durability, and weather protection. Cables come in standard assembly lengths from 5 feet to 50 feet.

Snug-Grip® Washer-Nut and Flat Washers are all included. Colored and Stainless End Caps are also available to cover, protect, and finish both ends (caps sold separately).

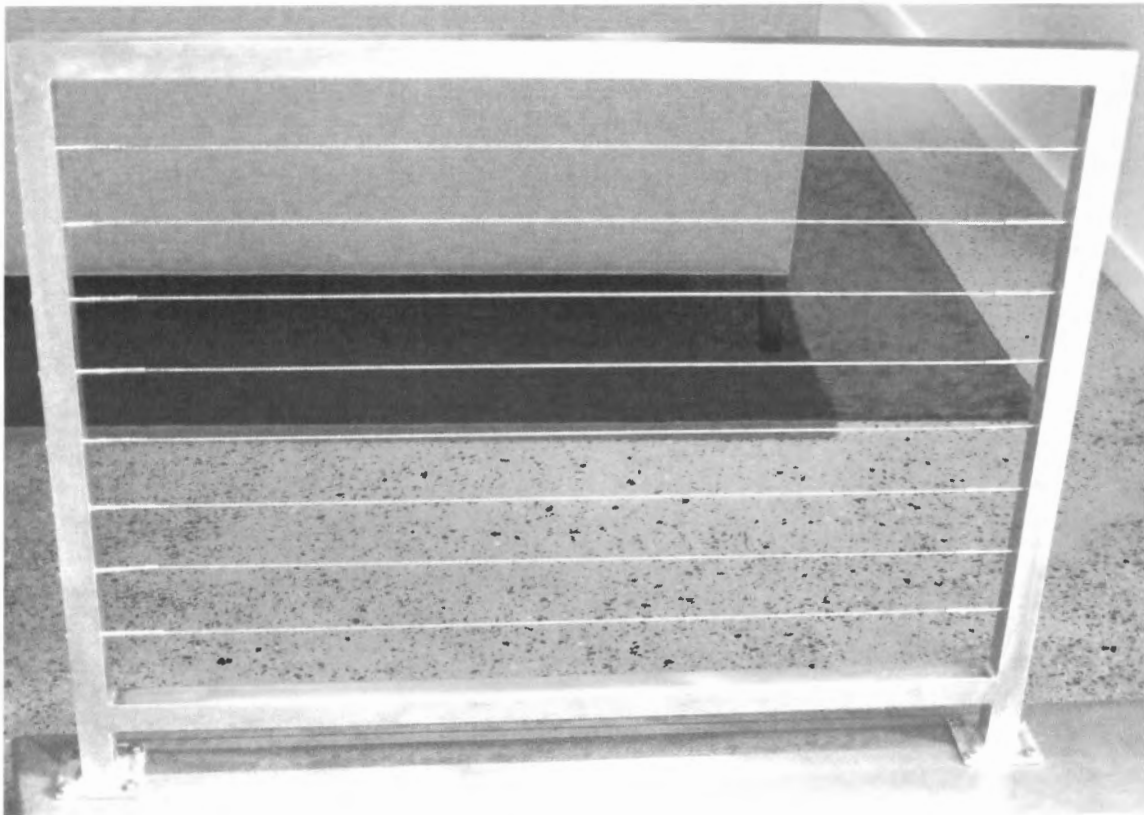
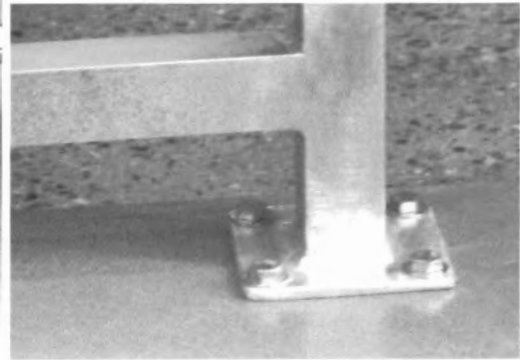
The stainless Threaded Terminal fitting is fastened (swaged) to one end of the cable at the factory. Attach it to an end post using a special Snug-Grip® Washer-Nut and spin the nut to adjust final tension in the line. Finish with an End Cap.
Size: 1/4" O.D. x 7-1/2" Length



CableRail Assemblies are designed to be used on your own wood or metal frames in either interior or exterior settings.



**192 DANFORTH ST.
1 ½" ALUMINUM SQUARE TUBE FRAME WITH CABLE RAIL
AT ENDS CONNECTING HOUSE AND CORNER POST.**



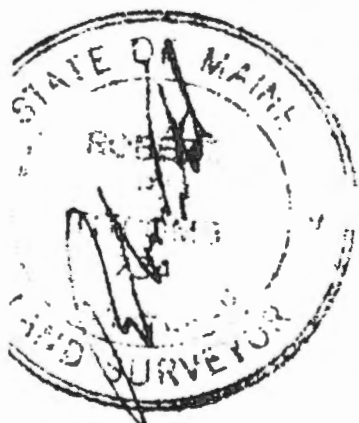
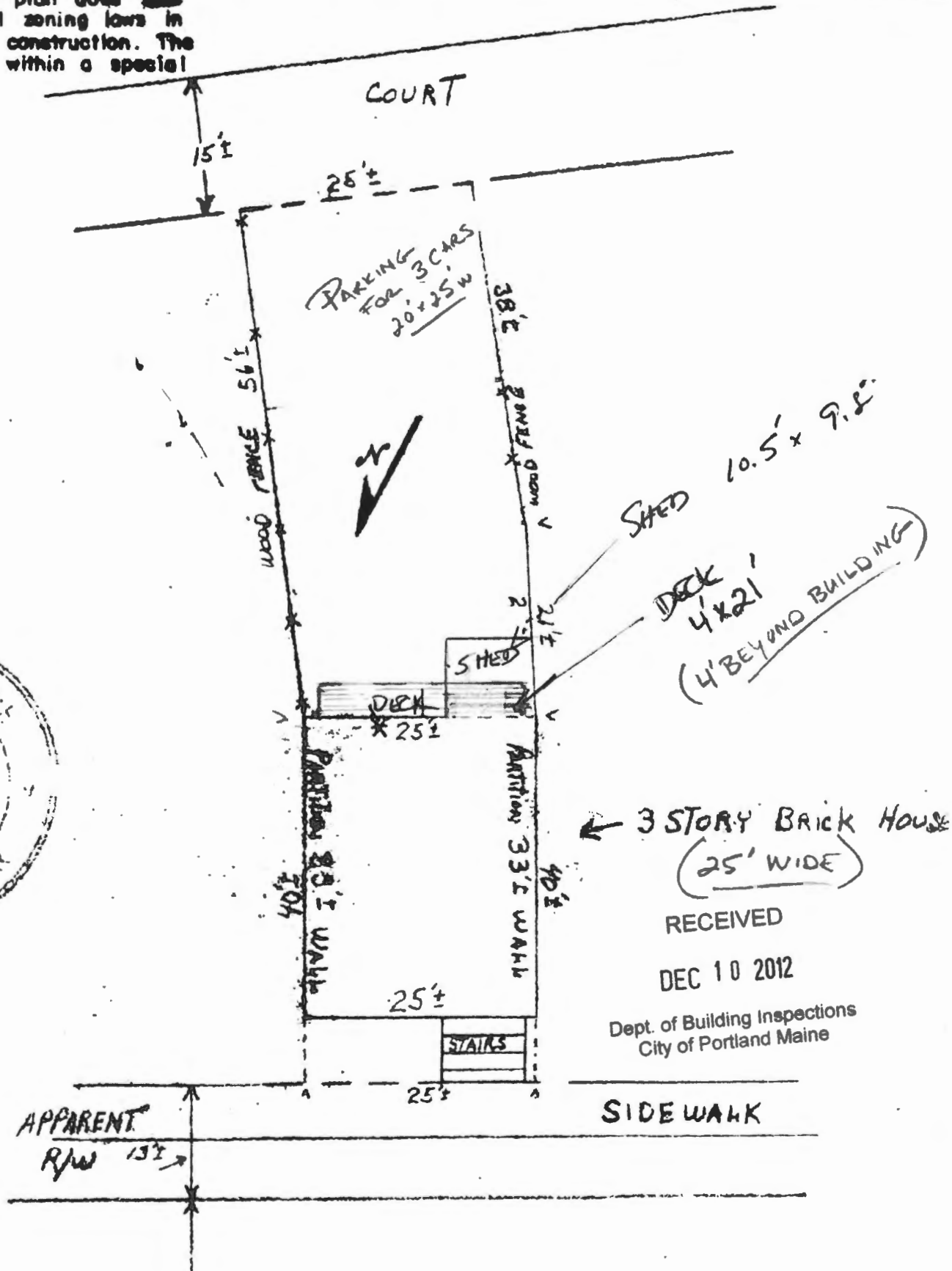
**192 DANFORTH ST.
EXISTING 4" X 6" REAR DECK STRUCTURE**



SAGE LOAN INSPECTION PLAN

192 DANFORTH
PORTLAND, MAINE

LENDING INSTITUTION AND ITS TITLE INSURER
certify that the location of the
shown on this plan does ~~not~~
with the local zoning laws in
at the time of construction. The
does not fall within a special
hazard zone.



← 3 STORY BRICK HOUSE
(25' WIDE)

RECEIVED

DEC 10 2012

Dept. of Building Inspections
City of Portland Maine

SIDEWALK

Jonathan Rioux - FW: 192 Danforth Plot Plan

From: "Peter Hawkes" <hawkes@maineproperties.com>
To: "'Jonathan Rioux'" <JRIOUX@portlandmaine.gov>
Date: 12/7/2012 4:09 PM
Subject: FW: 192 Danforth Plot Plan
Attachments: 1787_001.pdf

Just checking in to make sure you received the below email sent this past Monday the 3rd?

P e t e r H a w k e s
RE/MAX By The Bay
The Common at 88 Middle St.
Portland, ME 04101
207 553-7310 Office
207 632-2345 Cell
www.MaineProperties.com

From: Peter Hawkes [mailto:hawkes@maineproperties.com]
Sent: Monday, December 03, 2012 2:31 PM
To: 'Jonathan Rioux'
Subject: 192 Danforth Plot Plan

Jonathan,

Please find plot plan with existing deck bump out.
 Deck is approx 5' X 21', but extends beyond the building by 4'.
 As a rowhouse, the building is 25' and the property width is 25'.
 There is a shed on the ground level that extends fully to the property line beneath one end of the deck.

Trust this works for you.
 Let me know if I can be of further assistance.

P e t e r H a w k e s
RE/MAX By The Bay
The Common at 88 Middle St.
Portland, ME 04101
207 553-7310 Office
207 632-2345 Cell
www.MaineProperties.com

RECEIVED

DEC 10 2012

Dept. of Building Inspections
 City of Portland Maine

From: Jonathan Rioux [mailto:JRIOUX@portlandmaine.gov]
Sent: Tuesday, November 20, 2012 10:45 AM
To: Peter Hawkes
Subject: Re: 192 Danforth St_Deck Railing Permit Application

Peter,

Did you have a top down view " plot plan" showing the deck bump-out in relation to the building and property line?

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov

>>> "Peter Hawkes" <hawkes@maineproperties.com> 11/15/2012 11:29 AM >>>
Jonathan,

I've partially completed the Permit Application for replacing the Deck Railing at 192 Danforth St.
-- Waiting for my contractor's address.
-- Forwarded plans to Deb Andrews. She replied (copy attached): "I'm comfortable signing off on the change with no further review."
-- Would like to review content and fees with you.

I'll call as well.

P e t e r H a w k e s
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RECEIVED

DEC 10 2012

Dept. of Building Inspections
City of Portland Maine



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Gregory Mitchell

Inspection Services, Director
Tammy M. Munson

JANUARY 11, 2012

COPY

**HAWKES PETER B
192 DANFORTH ST
PORTLAND, ME 04102**

**CBL: 057 K007001
LOCATED AT 192 DANFORTH ST
RE: THIRD FLOOR PORCH RENOVATIONS**

CERTIFIED MAIL 70090820000141879028

NOTICE OF VIOLATION/ STOP WORK ORDER

Dear PETER B HAWKES,

An evaluation of the above-referenced property on 01/10/2012 revealed that building construction was conducted without benefit of a valid building permit as required by § 105.1 of MUBEC. Furthermore, on 01/06/2012 you were advised by a Building Official of the construction permitting requirements for exterior porches/ guardrails in the City of Portland.

Appropriate permitting has not been issued for the property listed above; therefore all construction activity at that property must stop immediately. This is a Stop Work Order pursuant to § 114. of MUBEC.

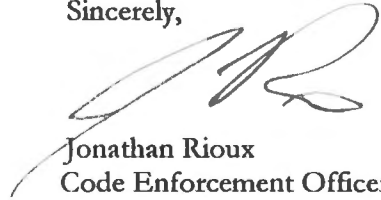
A re-inspection of the property will occur on 01/17/2012.

You may resume construction activity only after an assessed fee of **\$200.00** is paid accompanied with the issuance of the appropriate building permit and the subsequent lifting of this order. Building Permit Applications are available in this office, Room 315 at Portland City Hall, from 8:00 a.m. to 4:00 p.m. weekdays except holidays.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in § 1-15 of the Code and in Title 30-A of M.R.S.A. § 4452. This constitutes an appealable decision pursuant to § 112 of the City of Portland Building Code.

If you wish to discuss this matter, or you have any questions, please feel free to contact me @ 207.874.8702.

Sincerely,

A handwritten signature in black ink, appearing to be 'JR' with a stylized flourish.

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

CC: Chris Pirone, Captain/ Fire Prevention Officer



Jonathan Rioux - 192 Danforth Street

From: Jonathan Rioux
To: hawkes@maineproperties.com
Date: 11/14/2012 1:32 PM
Subject: 192 Danforth Street

1. Plot Plan
2. Cross Section & Framing
3. Documentation for Historic Preservation

Below is the link for a residential building permit application:

<http://www.portlandmaine.gov/planning/residentialadditions.pdf>

Examples

<http://www.portlandmaine.gov/planning/desgnstandards.asp>

R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter.

R312.2 Height. Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.

Historic Preservation Program

Deb Andrews
Historic Preservation Program Manager, 874-8726

Rob Wiener
Preservation Compliance Coordinator, 756-8023

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov