

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

BUILDING INSPECTION

PERMIT

PERMIT ISSUED
Permit Number: 069564
MAY 9 2006
CITY OF PORTLAND

This is to certify that CARROLL CHRISTOPHER & ROBIN BOWMAN/Homeowner

has permission to Create darkroom in basement

AT 198 DANFORTH ST

057 K004001

provided that the person or persons who apply for or accept this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure is complete this building or part thereof shall be closed or enclosed-in-accordance with FOUR HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
Director - Building Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0564	Issue Date: PERMIT ISSUED MAY - 3 2006	CBL: 057 K004001
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Location of Construction: 198 DANFORTH ST	Owner Name: CARROLL CHRISTOPHER S & R	Owner Address: PO BOX 149	Phone:
Business Name:	Contractor Name: Home owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone:

Past Use: Single Family	Proposed Use: Single Family create darkroom in basement	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 2
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Proposed Project Description: Create darkroom in basement	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB 5/1/06 <i>[Signature]</i>
	Signature:	Signature:
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: dmartin	Date Applied For: 04/21/2006	Zoning Approval		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

6/12/06 See submittals for structural reinforcement
as specified by L & L Engineering. This was
identified during the construction process. JMB

6/23/06 Checked Footings & rebar for
new columns in basement - Depth size &
Rebar all OK.

John M

9/30/06 Close-in insp. (Elec, Plumbing, Access to sptic pump)
O.K. to Close.

9/18/06 Final Inspection O.K. (owner will add G.F.I Protection to
outlets over the sink (chemical sink))

Ch. N

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0564	Date Applied For: 04/21/2006	CBL: 057 K004001
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Location of Construction: 198 DANFORTH ST	Owner Name: CARROLL CHRISTOPHER S & R	Owner Address: PO BOX 149	Phone:
Business Name:	Contractor Name: Home owner	Contractor Address: Portland	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family create darkroom in basement	Proposed Project Description: Create darkroom in basement
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Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 04/25/2006
Note: **Ok to Issue:**

- 1) Must be used for "hobby" puposed only cannot be a Home occupations of home business of any kind. All conditions of Permit 060370 remain applicable to this permit.

Comments:

4/25/2006-mjn: Awaiting emergency egress confirmation.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

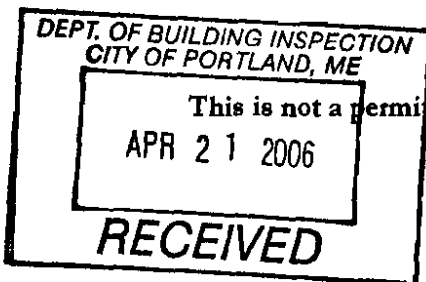
Location/Address of Construction: <u>198 DANFORTH ST. PORTLAND, ME 04102</u>		
Total Square Footage of Proposed Structure <u>170 SF.</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>57</u> Block# <u>1004</u> Lot# <u>001</u>	Owner: <u>CHRISTOPHER CARROLL</u> <u>ROBIN BOWMAN</u>	Telephone: <u>761-1114</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>CARROLL/BOWMAN</u> <u>198 DANFORTH ST</u> <u>PORTLAND, ME 04102</u>	Cost Of Work: \$ <u>1,000.00</u> Fee: \$ <u>30.</u> C of O Fee: \$ <u>0</u>
Current Specific use: <u>BASMENT ROOM/STORAGE</u> Proposed Specific use: <u>DARK ROOM</u>		
Project description: <u>PREVIOUS PERMIT WAS ISSUED FOR 3RD FLOOR RENOVATION.</u> <u>DECIDED TO LOCATE IT IN THE BASEMENT.</u>		
Contractor's name, address & telephone: <u>OWNER</u>		
Who should we contact when the permit is ready: <u>CHRIS CARROLL</u> Mailing address: _____ Phone: <u>761-1114</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Christopher Carroll Date: 4.21.2006



This is not a permit; you may not commence ANY work until the permit is issued.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below:

A Pre-construction Meeting will take place upon receipt of your building permit.

- | | | |
|-------------------------------------|--|--|
| <input type="checkbox"/> | Footing/Building Location Inspection: | Prior to pouring concrete |
| <input type="checkbox"/> | Re-Bar Schedule Inspection: | Prior to pouring concrete |
| <input type="checkbox"/> | Foundation Inspection: | Prior to placing ANY backfill |
| <input checked="" type="checkbox"/> | Framing/Rough Plumbing/Electrical: | Prior to any insulating or drywalling |
| <input checked="" type="checkbox"/> | Final/Certificate of Occupancy: | Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point. |

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

~~X~~ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Christina Carroll
Signature of Applicant/Designee
Donna Martin Admin
Signature of Inspections Official

Date
5 3 0 6
Date

CBL: *057K004* Building Permit #: *060564*

RESTORATIONS
PAPI & ROMANO BUILDERS, INC.
RENOVATIONS

P.O. Box 1079 Portland, Maine 04104 (207) 797-3381

6/9/06

FAX TO : DONNA MARTIN
INSPECTION SERVICES
CITY OF PORTLAND

FAX # : 274-2716

FAX FROM : RICK ROMANO
PAPI & ROMANO BUILDERS, INC.

FAX # : 797-5313

OF PAGES : 10 (INCL. THIS PAGE)

MESSAGE : DONNA PLEASE FIND THE DRAWINGS
& PERMIT INFORMATION FOR 198 DANFORTH ST.
(CHRIS CARROLL). CALL IF YOU HAVE ANY
QUESTIONS.

THANKS, RICK
"Old World Craftsmanship"

INSPECTORS:

4.21.2006

I HAVE DECIDED TO MOVE THE DARKROOM RENOVATION TO THE BASEMENT OF MY HOME AS THE REMOVAL OF NON LOAD BEARING WALLS ON THE THIRD FLOOR WOULD PROBABLY BE BETTER DONE IN COORDINATION WITH STRUCTURAL UPGRADES I INTEND TO ADVANCE IN THE FUTURE WITH HELP OF AN ENGINEER. THIS IS AN OLD HOME AND SOME SETTLEMENT MAY HAVE SHIFTED LOAD... THAT'S NOT TO SAY ANYTHING IS LESS THAN SOUND. THIS IS JUST CONSERVATIVE THINKING...

THE BASEMENT RENOVATIONS ARE ALMOST IDENTICAL TO THE 3RD FLOOR RENOVATIONS.

THANK YOU FOR YOUR CONSIDERATION.

-CHRISTOPHER CARROLL

GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, registers, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"—Ninth edition.
2. Structural steel:
 - A. Structural steel shall conform to ASTM A-36.
 - B. Structural tubing shall conform to ASTM A-500 GR.B.
3. Field connections shall be bolted using 3/4" diameter ASTM A325 high strength bolts except where field welding is indicated on the drawings.
4. All welding shall conform to AWS D1.1—Latest edition. Welding electrodes shall be E70XX.

CONCRETE NOTES:

1. Proportion design mixes to provide concrete with the following design strength (f^1c)= 3000 psi. Submit concrete mix design for approval prior to construction.
2. All concrete work shall conform to ACI 318—Latest Edition.
3. Add air entraining admixture at manufacturers prescribed rate to result in concrete at point of placement having the above noted air contents.
4% to 8% for maximum 3/4" aggregate.
4. Concrete shall not be placed in water or on frozen ground.
5. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315—Latest edition.

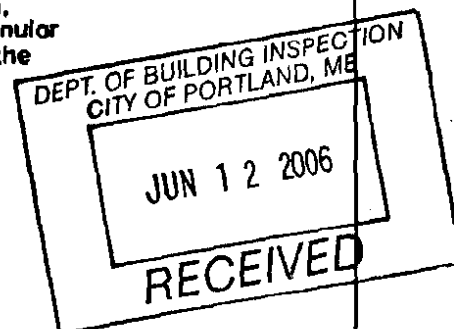
20064

designed by: JL	CARROLL-BOWMAN RESIDENCE 198 Danforth Street Portland, Maine 04102	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106
drawn by: LEM		
checked by: JHL		
scale: NO SCALE		
date: JUNE 06, 2006		
GENERAL AND STEEL NOTES		PHONE: (207) 757-4830 FAX: (207) 798-3432 EMAIL: LLENGR@L.COM
		S1

FOUNDATION NOTES:

1. Foundations have been designed with a presumptive bearing capacity of 2000 PSF to be verified by the General Contractor in the field.
2. Structural fill shall be used as fill beneath the foundations and as backfill for foundation.
 Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. Granular fill should be a well-graded sand and gravel mixture meeting the following gradation:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
6 inches	100
3 inches	75-100
#4	35-70
#40	5-35
#200	0-5



Based on the results of the laboratory testing, the on-site fill material is not suitable for the use as granular fill. However, it may be used as common fill if the organic material and debris present are removed prior to use. Common fill should consist of inorganic mineral soil free of ice, loam, organic, or other unsuitable material.

3. Structural foundation backfill shall be placed in layers not exceeding 6 inches in loose measure and compacted by self-propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ASTM D-

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC timber construction manual or the national design specifications (NDS) -latest edition.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with cca to 0.4 #/CF in accordance with AWWA C-18.
4. Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
5. Nailing not specified shall conform with IBC 2003.
6. Floor sheathing shall be 3/4" APA rated sheathing. Attach sheathing with construction adhesive and 10d ring shank nails at 6" o.c. at panel edges and intermediates.

20084

designed by:	JL
drawn by:	LEM
checked by:	JHL
scale:	NO SCALE
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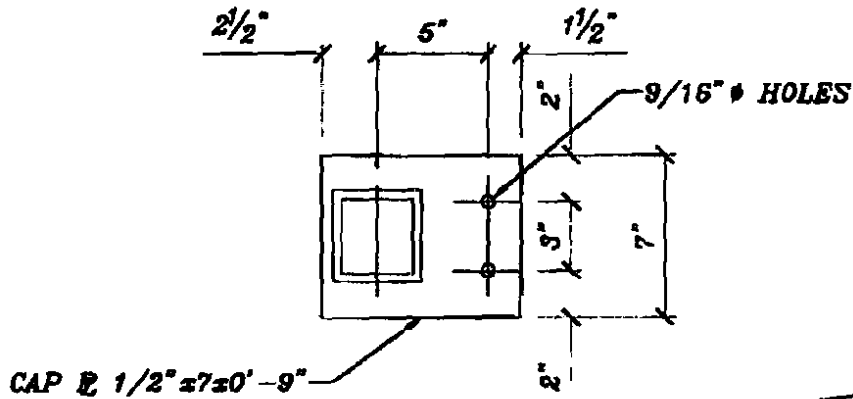
CARROLL-BOWMAN RESIDENCE
 198 Danforth Street
 Portland, Maine 04102

**L & L STRUCTURAL
 ENGINEERING SERVICES, INC.**
 SIX O STREET
 SOUTH PORTLAND, MAINE 04108

PHONE: (207) 787-4630
 FAX: (207) 788-0432
 EMAIL: LLENG@AOL.COM

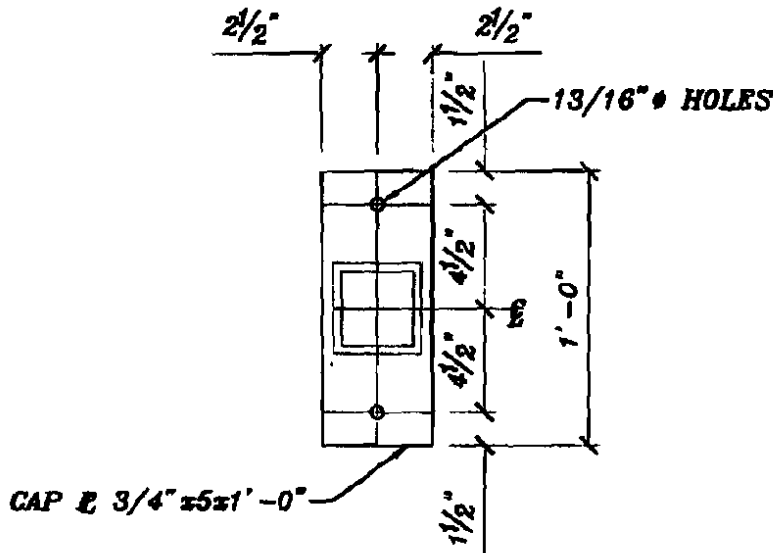
S2

CONCRETE NOTES



DETAIL A
 1 1/2" = 1'-0"
 S6

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JUN 12 2006
 RECEIVED



DETAIL B
 1 1/2" = 1'-0"
 S6

20084

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checked by:	JHL
scale:	1 1/2" = 1'-0"
date:	JUNE 06, 2006

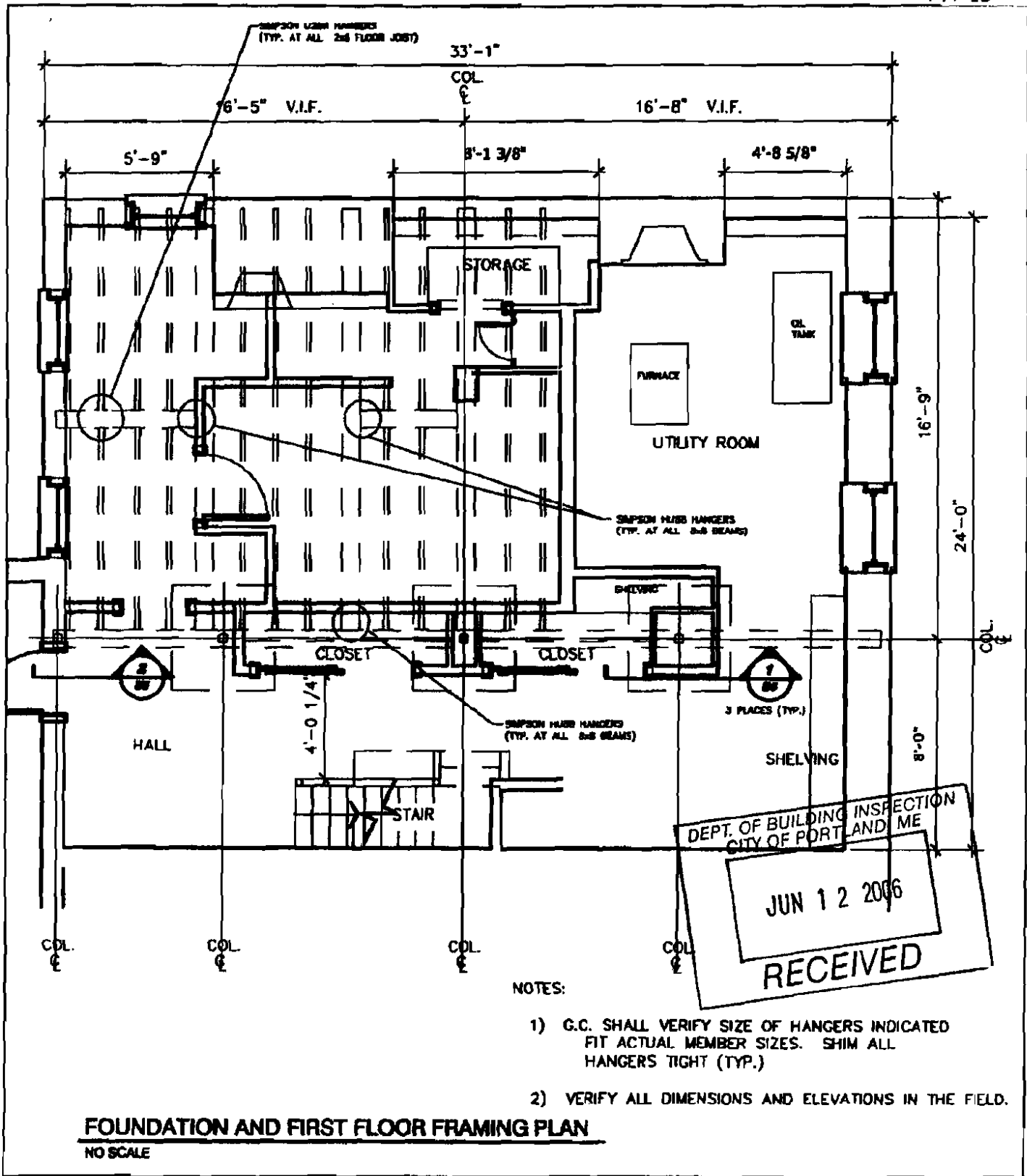
CARROLL-BOWMAN RESIDENCE
 198 Danforth Street
 Portland, Maine 04102

DETAILS

**L & L STRUCTURAL
 ENGINEERING SERVICES, INC.**
 SIX O STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 757-4630
 FAX: (207) 799-3432
 EMAIL: LLENG@AOL.COM

S6



NOTES:

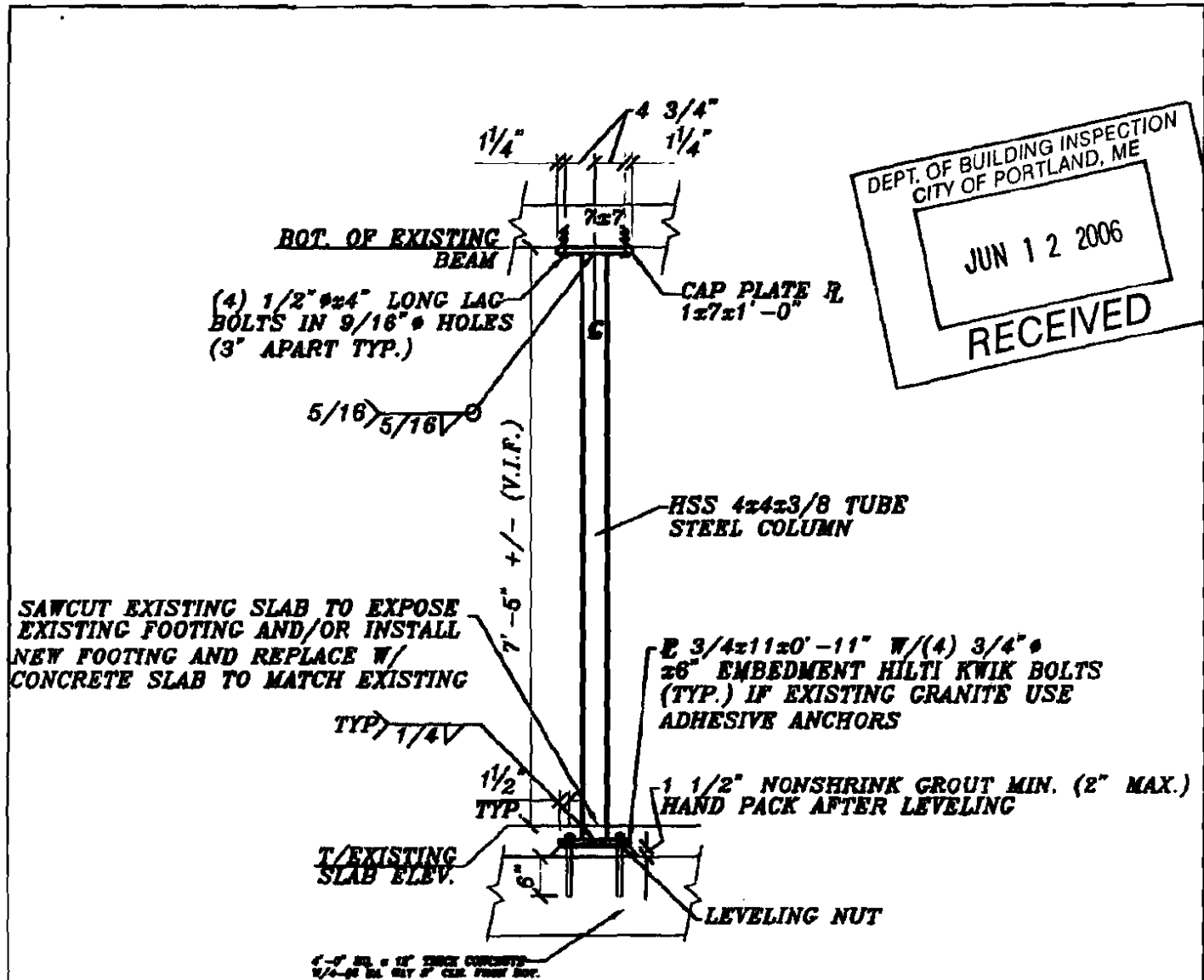
- 1) G.C. SHALL VERIFY SIZE OF HANGERS INDICATED FIT ACTUAL MEMBER SIZES. SHIM ALL HANGERS TIGHT (TYP.)
- 2) VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD.

FOUNDATION AND FIRST FLOOR FRAMING PLAN

NO SCALE

20084

designed by: JL	CARROLL-BOWMAN RESIDENCE 198 Danforth Street Portland, Maine 04102 FOUNDATION AND FIRST FLOOR FRAMING PLAN	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04108 PHONE: (207) 767-4630 FAX: (207) 768-5432 EMAIL: LLEN@L&L.COM	S3
drawn by: LEM			
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scale: NO SCALE			
date: JUNE 06, 2006			



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 12 2006
RECEIVED

SECTION 1
SS
1/2" = 1'-0"

NOTES:

- 1) (EXISTING FOOTING ADEQUACY TO BE DETERMINED BY THE ENGINEER OF RECORD AFTER EXPOSED) OR INSTALL NEW FOOTING AS SHOWN.
- 2) PROVIDE TEMPORARY SHORING AS REQ'D TO REMOVE EXISTING BRICK PIER AND INSTALL NEW STEEL COLUMNS.

20064

designed by:	JL
drawn by:	LEM
checked by:	JHL
scale:	1/2" = 1'-0"
date:	JUNE 06, 2006

CARROLL-BOWMAN RESIDENCE
198 Danforth Street
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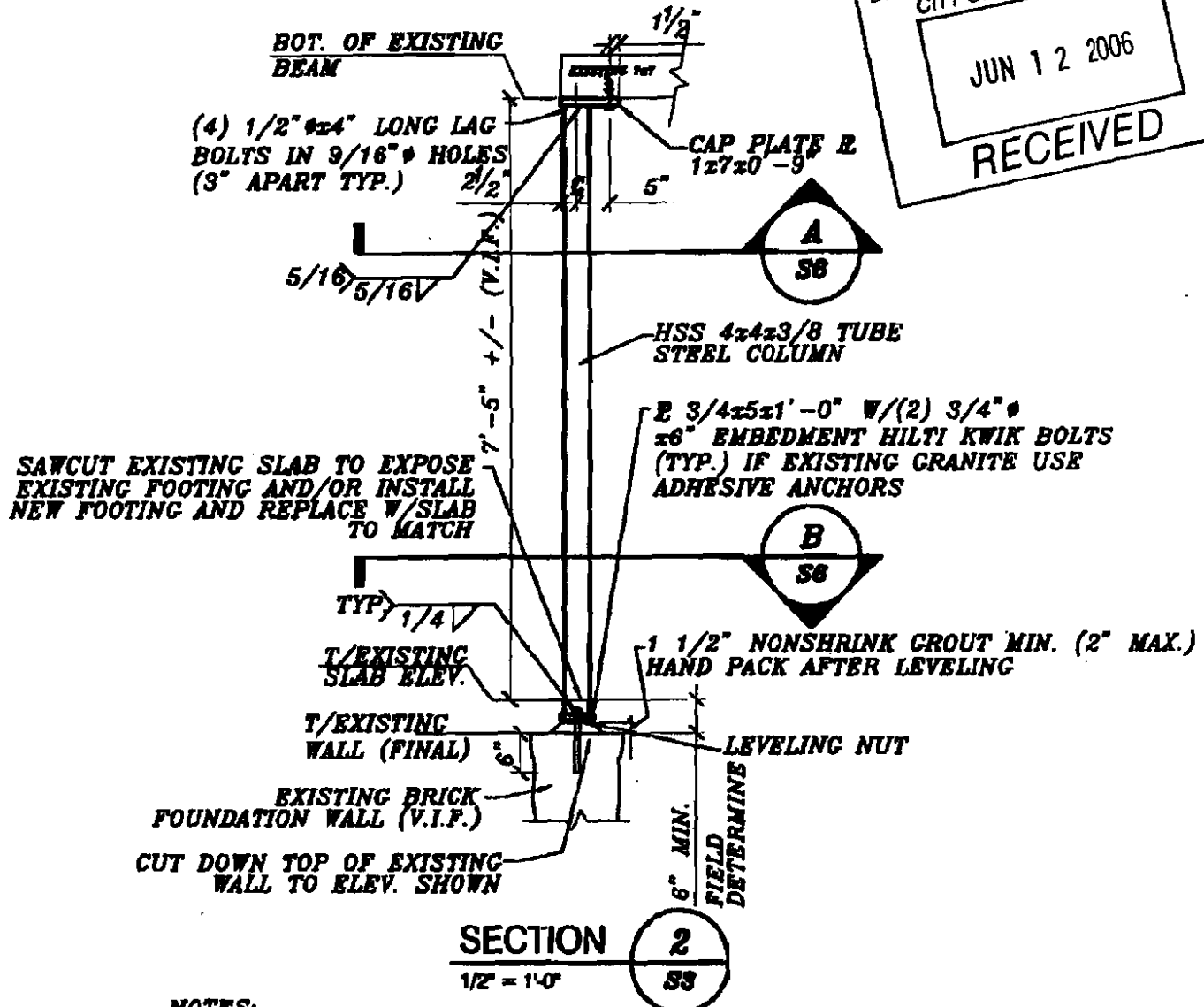
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SIX O STREET
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PHONE: (207) 767-4630
FAX: (207) 768-3432
EMAIL: LLENGBAUL.COM

SECTION

S4

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 12 2006
RECEIVED



- NOTES:**
- 1) (EXISTING WALL ADEQUACY TO BE DETERMINED BY THE ENGINEER OF RECORD AFTER EXPOSED) OR INSTALL NEW FOOTING TO BE DETERMINED.
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20084

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drawn by:	LEM
checked by:	JHL
scale:	1/2" = 1'-0"
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CARROLL-BOWMAN RESIDENCE
198 Danforth Street
Portland, Maine 04102

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**
SIX O STREET
SOUTH PORTLAND, MAINE 04106

PHONE: (207) 767-4830
FAX: (207) 760-8432
EMAIL: LLE@L&L.COM

S5

SECTION

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designed by: JL	<p>CARROLL-BOWMAN RESIDENCE 198 Danforth Street Portland, Maine 04102</p> <hr/> <p>GENERAL AND STEEL NOTES</p>	<p>L & L STRUCTURAL ENGINEERING SERVICES, INC. 506 O STREET SOUTH PORTLAND, MAINE 04106</p> <p>PHONE: (207) 707-4830 FAX: (207) 709-0432 EMAIL: LLEN@LLEN.COM</p>
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3. Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with cca to 0.4 #/CF in accordance with AWWA C-18.
4. Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
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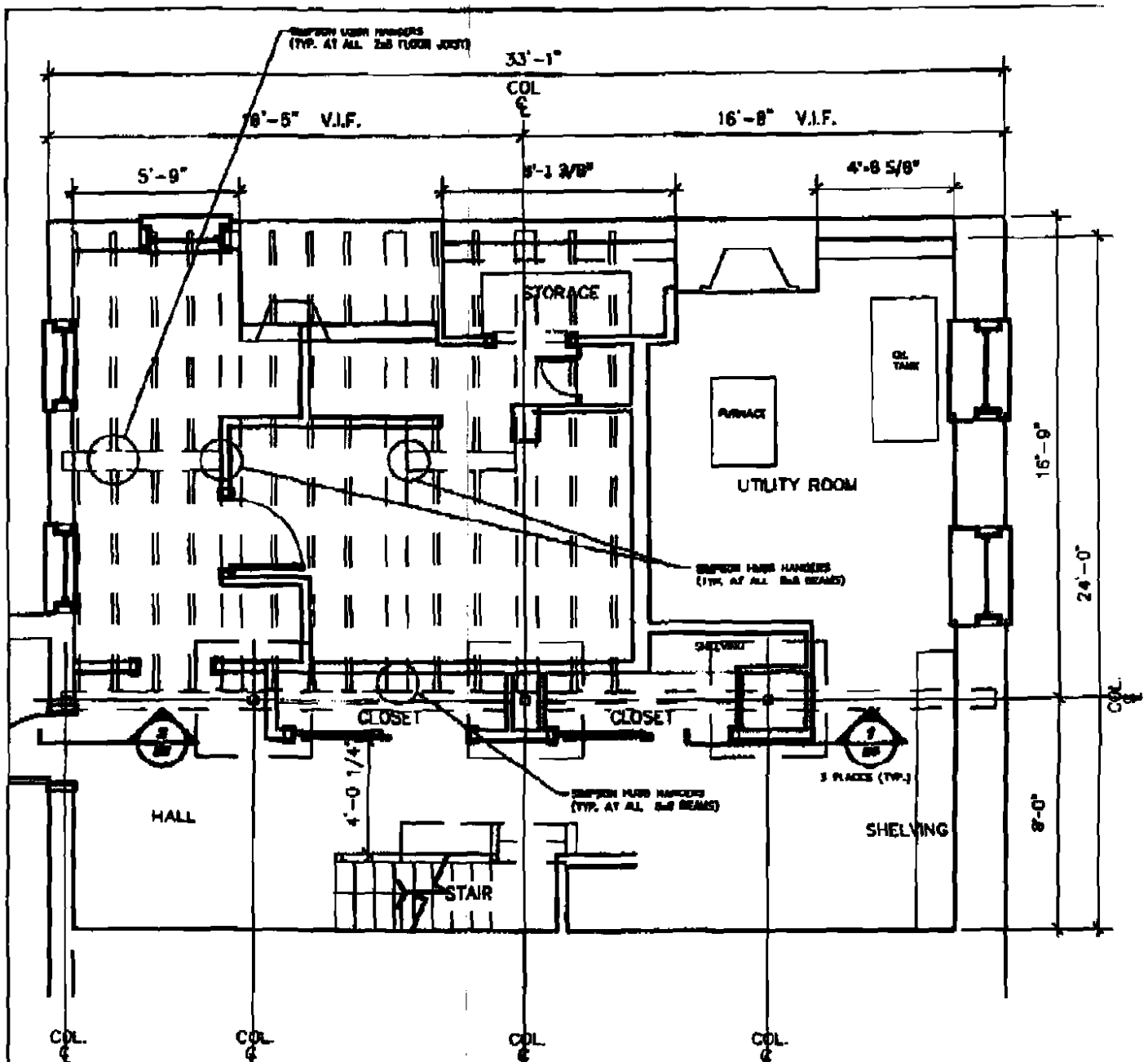
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PHONE: (207) 767-6830
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S2

CONCRETE NOTES

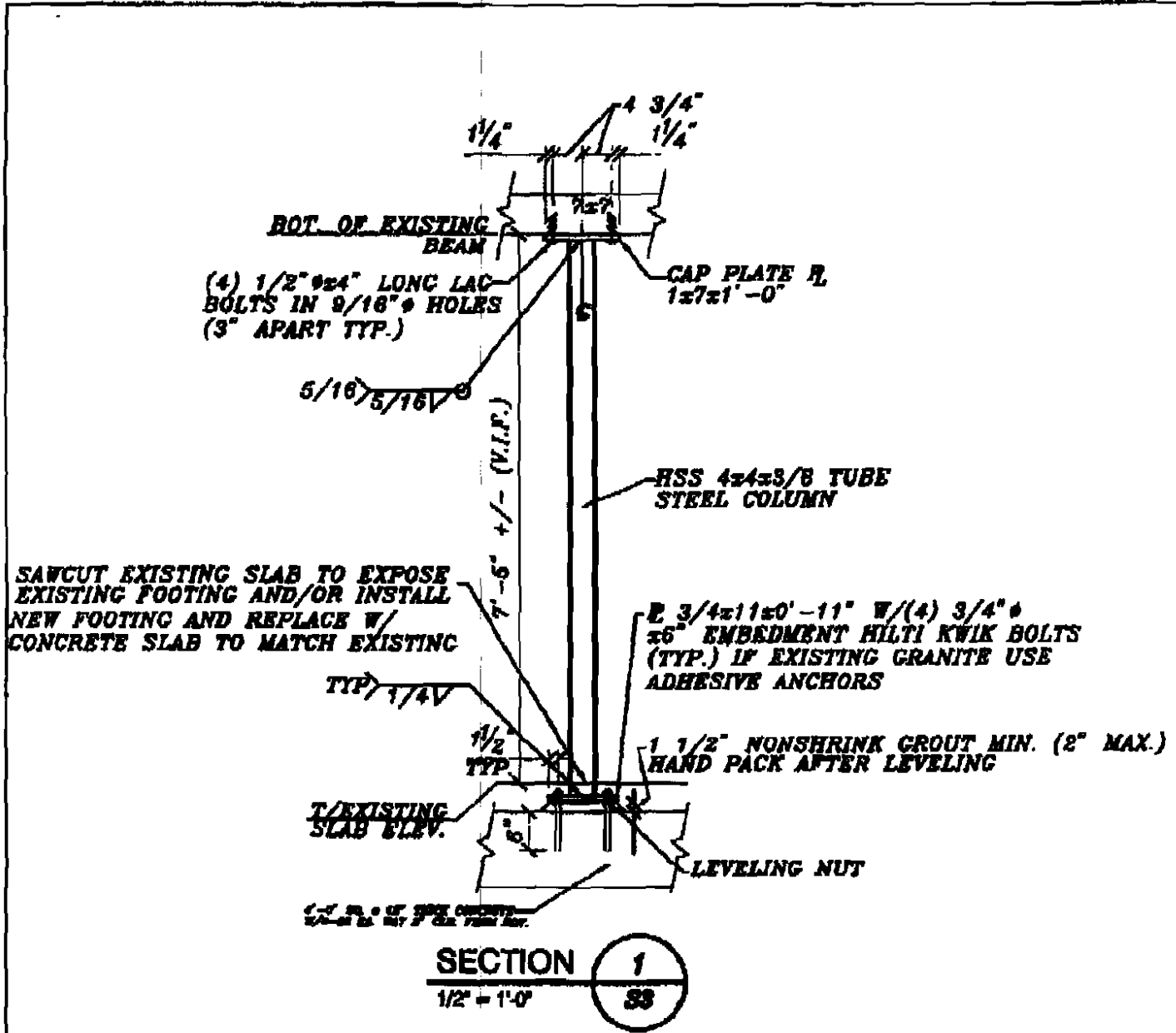


NOTES:

- 1) G.C. SHALL VERIFY SIZE OF HANGERS INDICATED FIT ACTUAL MEMBER SIZES. SHIM ALL HANGERS TIGHT (TYP.)
- 2) VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD

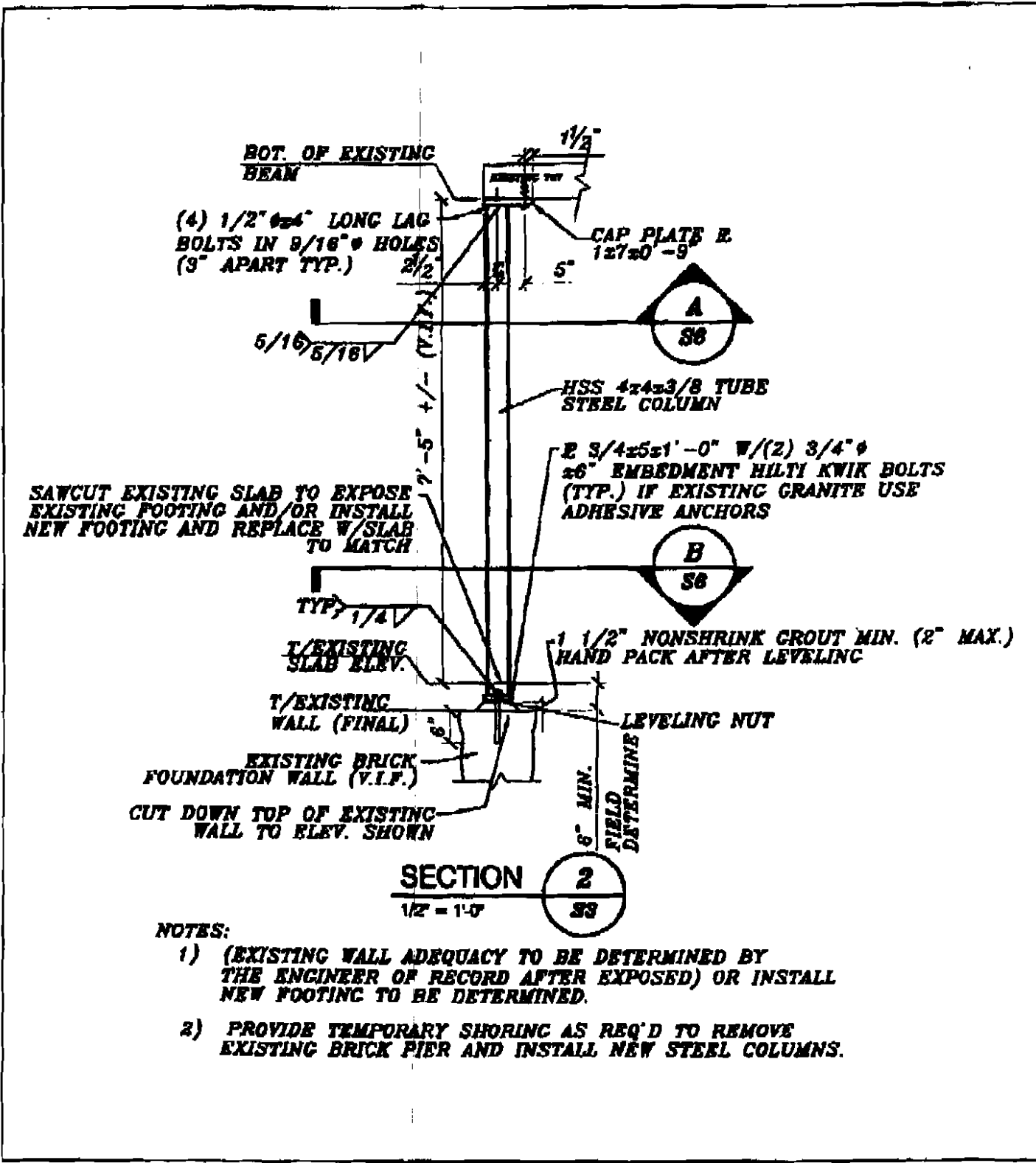
FOUNDATION AND FIRST FLOOR FRAMING PLAN
NO SCALE

<p>2006</p> <p>designed by: JL</p> <p>drawn by: LEM</p> <p>checked by: JHL</p> <p>scale: NO SCALE</p> <p>date: JUNE 06, 2006</p>	<p>CARROLL-BOWMAN RESIDENCE 198 Danforth Street Portland, Maine 04102</p> <p>FOUNDATION AND FIRST FLOOR FRAMING PLAN</p>	<p>L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106</p> <p>PHONE: (207) 767-8000 FAX: (207) 768-8432 EMAIL: LLEN@L&L.COM</p>	<p>S3</p>
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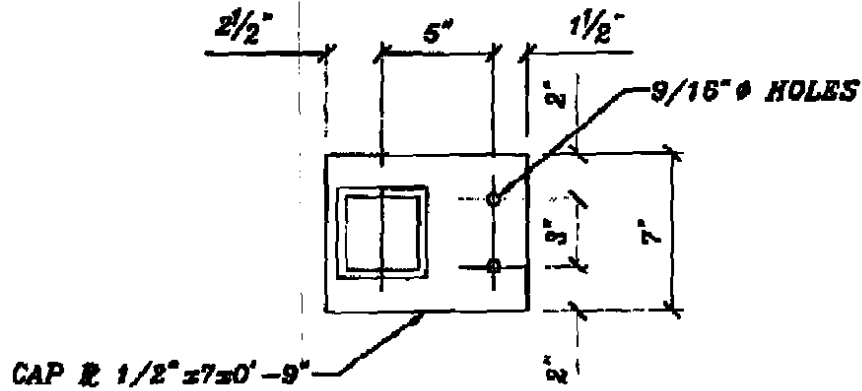


- NOTES:**
- 1) (EXISTING FOOTING ADEQUACY TO BE DETERMINED BY THE ENGINEER OF RECORD AFTER EXPOSED) OR INSTALL NEW FOOTING AS SHOWN.
 - 2) PROVIDE TEMPORARY SHORING AS REQ'D TO REMOVE EXISTING BRICK PIER AND INSTALL NEW STEEL COLUMNS.

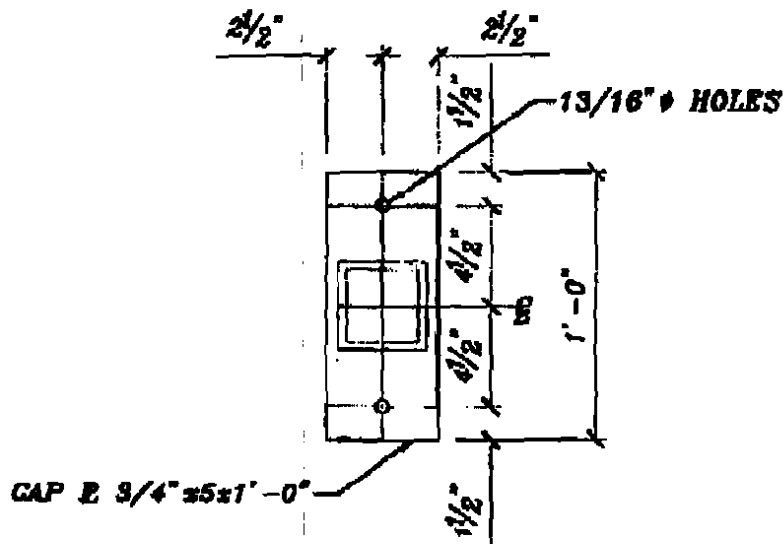
designed by: JL	CARROLL-BOWMAN RESIDENCE 198 Danforth Street Portland, maine 04102	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04109 PHONE: (207) 787-8838 FAX: (207) 788-3432 EMAIL: LLENGER@L.COM
drawn by: LEM		
checked by: JHL		
scale: 1/2" = 1'-0"		
date: JUNE 06, 2006		
SECTION		S4



20064	designed by: JL	CARROLL-BOWMAN RESIDENCE 198 Danforth Street Portland, Maine 04102	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4630 FAX: (207) 769-5432 EMAIL: LLE@L&L.COM
drawn by: LEM			
checked by: JHL			
scale: 1/2" = 1'-0"			
date: JUNE 06, 2006			
SECTION	S5		



DETAIL A
 1 1/2" = 1'-0"
 S6



DETAIL B
 1 1/2" = 1'-0"
 S6

20064

designed by:	JL
drawn by:	LEM
checked by:	JHL
scale:	1 1/2" = 1'-0"
date:	JUNE 06, 2006

CARROLL-BOWMAN RESIDENCE
 198 Danforth Street
 Portland, Maine 04102

**L & L STRUCTURAL
 ENGINEERING SERVICES, INC.**
 SIX O STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 787-4830
 FAX: (207) 788-3432
 EMAIL: LLENGR@L.COM

S6

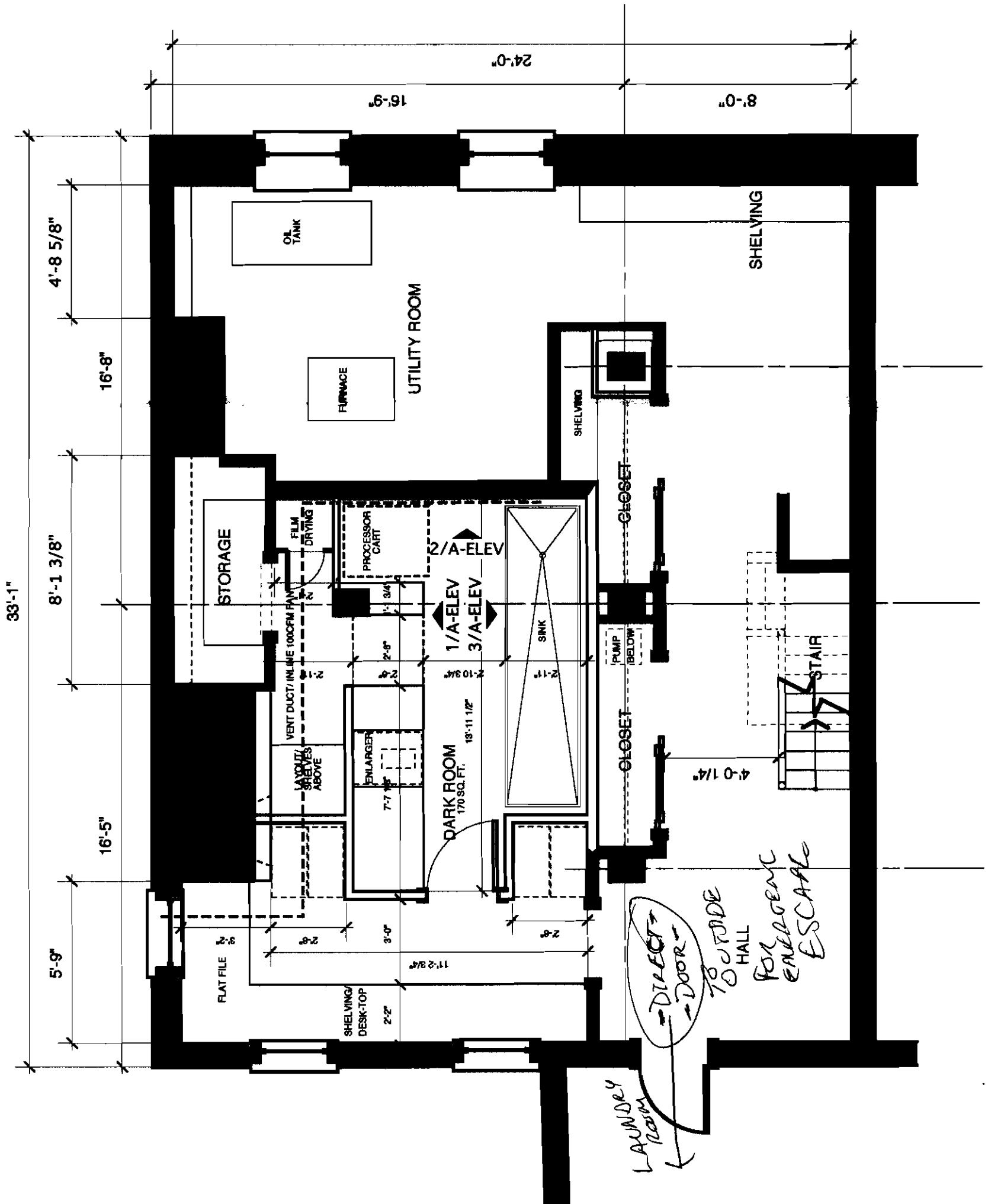
DETAILS

Proposed Basement Plans.

SHEP CARROLL ARCHITECTURE CHRISTOPHER SHEPARD CARROLL AIA 198 DANFORTH STREET PORTLAND, MAINE 04102 TELEPHONE: (207) 781-1114 FAX: (207) 781-1117 C9CARROLL@RCN.COM			Project Location CARROLL-BOWMAN RESIDENCE 198 DANFORTH STREET PORTLAND, MAINE 04102	Project Title DARK ROOM RENOVATION	Sheet Title BASEMENT PLAN
Issue Date: 21 APRIL 2006 Drawing Scale: 1/4" = 1'-0" Drawing No.			A-PLAN of Total Sheets		

WALL TYPE KEY

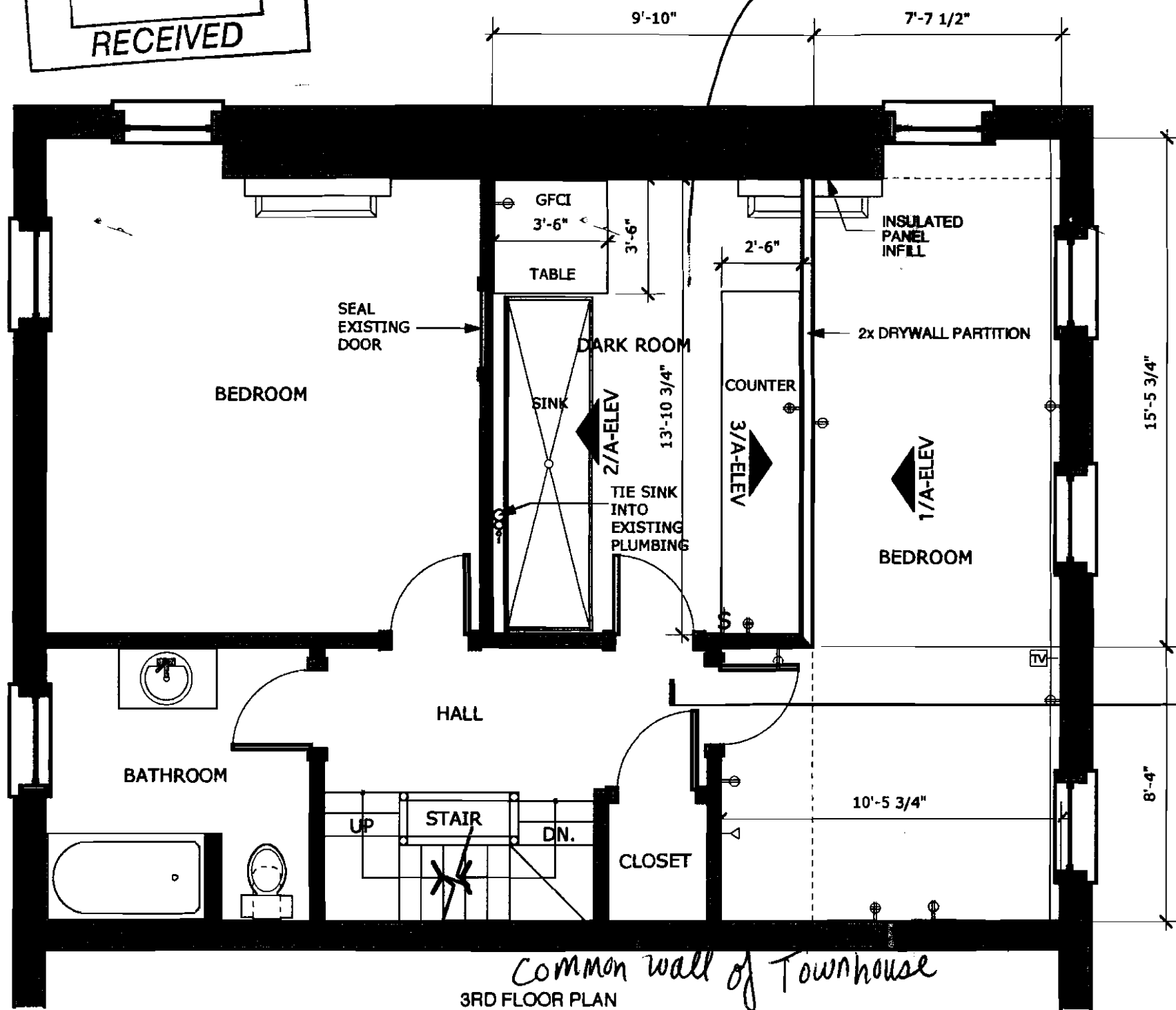
- EXISTING WALL
- NEW WALL
- DEMO WALL



Approved 3rd Floor Plans



Personal use only per Christopher Carroll 3/21/06

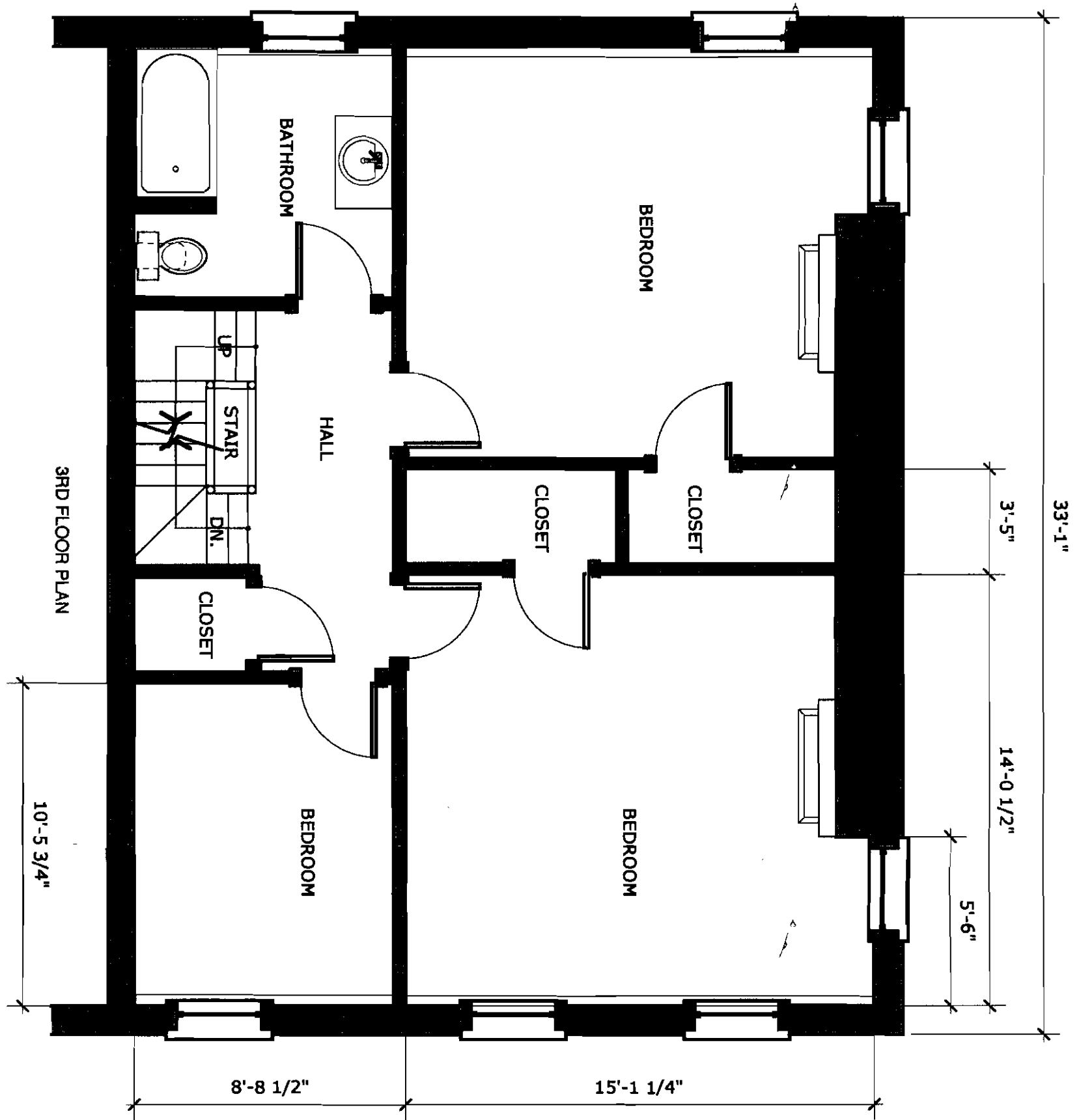


Common wall of Townhouse
3RD FLOOR PLAN

PROJECT DESCRIPTION:
Re-configure third floor to accommodate a Dark Room and reconfigure ceiling in remodeled Bedroom.

WALL TYPE KEY	
EXISTING WALL	
NEW WALL	
DEMO WALL	

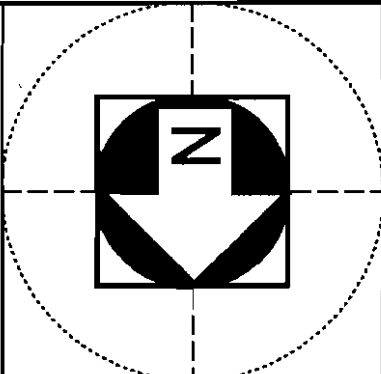
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Project Title	DARK ROOM RENOVATION	
	Project Location: CARROLL-BOWMAN RESIDENCE 198 DANFORTH STREET PORTLAND, MAINE 04102	
Design Firm	SHEP CARROLL ARCHITECTURE	
	CHRISTOPHER SHEPARD CARROLL AIA 198 DANFORTH STREET PORTLAND, MAINE 04102	
TELEPHONE: (207) 761-1114 FAX: (207) 761-1117 CSCARROLL@FCM.COM		



WALL TYPE KEY

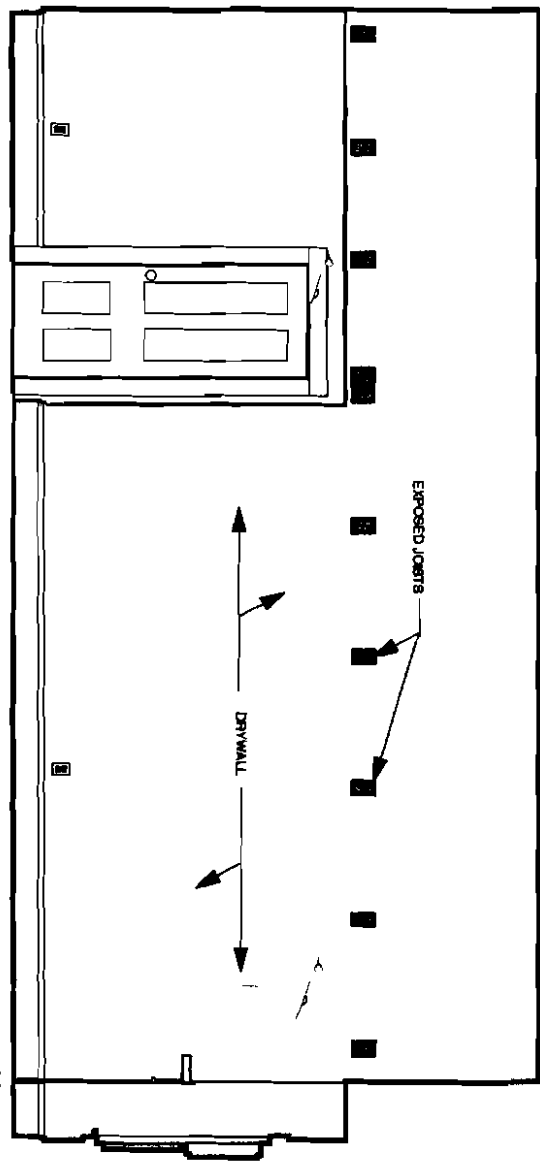
	EXISTING WALL
	NEW WALL
	DEMO WALL

Design Firm
SHEP CARROLL ARCHITECTURE
 CHRISTOPHER SHEPARD CARROLL AIA
 198 DANFORTH STREET
 PORTLAND, MAINE 04102
 TELEPHONE: (207) 761-1114 FAX: (207) 761-1117 CSCARROLL@RCN.COM

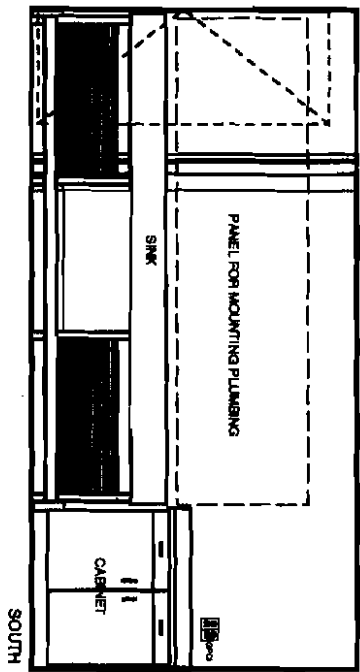


Project Title
DARK ROOM RENOVATION
 Project Location
CARROLL-BOWMAN RESIDENCE
 198 DANFORTH STREET
 PORTLAND, MAINE 04102

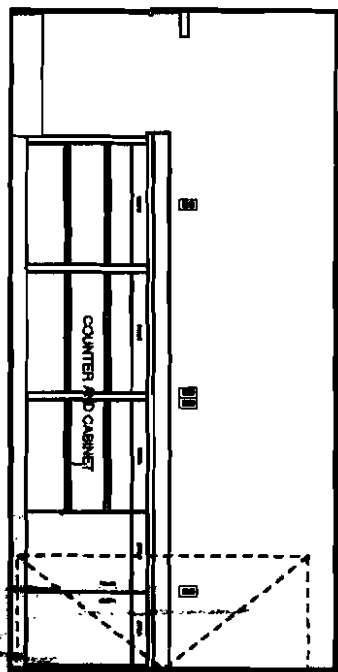
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 Issue Date: 20 MARCH 2006
 Drawing Scale: 1/4" = 1'-0"
 Drawing No.
A-EXIST
 of Total Sheets



1
BEDROOM ELEVATION



2
DARK ROOM ELEVATION

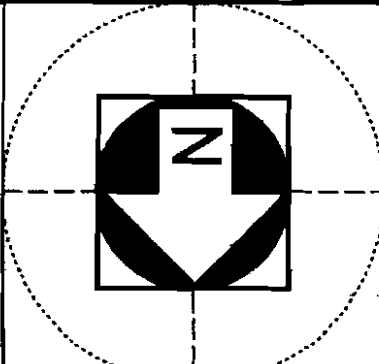


3
DARK ROOM ELEVATION

WALLTYPE KEY

	EXISTING WALL
	NEW WALL
	DEMO WALL

Design Firm
SHEP CARROLL ARCHITECTURE
 CHRISTOPHER SHEPARD CARROLL AIA
 198 DANFORTH STREET
 PORTLAND, MAINE 04102
 TELEPHONE: (207) 781-1114 FAX: (207) 781-1117 CSCARROLL@RCM.COM



Project Title
DARK ROOM RENOVATION
 Project Location
CARROLL-BOWMAN RESIDENCE
 198 DANFORTH STREET
 PORTLAND, MAINE 04102

Sheet Title
INTERIOR ELEVATIONS
 Issue Date: 20 MARCH 2006
 Drawing Scale: 1/4" = 1'-0"
 Drawing No.
A-SECTION
 of Total Sheets