

57-J-31

5 Briggs St.

3 unit Apt.

Briggs St. Property

2015-097

City of Portland
Development Review Application
Planning Division Transmittal Form

Application Number: 2015-097 **Application Date:** 06/10/2015
CBL: 057 J031001 **Application Type:** Level III Site Plan Under 50,000 sq f
Applicant: Briggs Street Property LLC /Nicholas Burnett
Project Name: Briggs Street Apartments
Address: 5 BRIGGS ST
Project Description: 3 Unit rental apartment residential structure at 5 Briggs in the West End
Zoning: R6

Other Required Reviews:

| | | |
|---|---|--|
| <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> 14-403 Streets | <input type="checkbox"/> Housing Replacement |
| <input type="checkbox"/> Storm Water | # Units _____ | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Flood Plain | <input type="checkbox"/> Other: |
| # Lots _____ | <input type="checkbox"/> Shoreland | |
| <input checked="" type="checkbox"/> Site Location | <input type="checkbox"/> Design Review | |
| # Unit <u>3</u> | | |

Distribution List:

| | | | |
|-------------------------|----------------------|------------------------------|-------------------|
| Planner | Barbara Barhydt | Parking | John Peverada |
| Zoning | Ann Machado | Design Review | Caitlin Cameron |
| Traffic Engineer | Tom Errico | Corporation Counsel | Jennifer Thompson |
| Civil Engineer | David Sensus | Sanitary Sewer | John Emerson |
| Fire Department | Keith Gautreau | Inspections | Tammy Munson |
| City Arborist | Jeff Tarling | Historic Preservation | Deb Andrews |
| Engineering | David Margolis-Pineo | DRC Coordinator | Phil DiPierro |
| | | Outside Agency | |

Comments needed by 6/18/2015

*Please send
on e-mail*

*need to update zoning summary - R-6
 Financial - capacity - (next wk)
 - 2-bd.
 - Check height - from lowest grade -
 - then do ave grade - if meets*

Wealth Management
100 Middle Street 3rd Floor
Portland, ME 04101
tel 207 771 0800
fax 207 771 0870
toll free 800 442 6722

Morgan Stanley

July 22, 2015

Shukria Wiar, Planner
Planning Division, City of Portland
389 Congress Street
Portland, ME 04101

Re: Nicholas Burnett and Leslie Berne, TTEEs of the Madeline A. Burnett Living Trust U/A/D 4/7/2010

Dear Ms. Wiar:

Please be advised that Nicholas Burnett and Leslie Berne, as the Trustees of the Madeline A. Burnett Living Trust U/A/D 4/7/2010 (the "Trust"), maintain a brokerage account for the Trust at Morgan Stanley Smith Barney LLC ("Morgan Stanley") which contain assets, including cash and marketable securities, valued at \$1,221,431.70 as of the close of business on July 21, 2015. This account is currently being used to collateralize a PLA line of credit issued by Morgan Stanley Bank, N.A.

We are presenting the information contained herein pursuant to our clients' request. It is valid as of the date of issuance. Morgan Stanley does not warranty or guaranty that such identified securities, assets or monies will remain in the clients' account. The trustees have the power to withdraw assets from this account at any time and no security interest or collateral rights are being granted to any party other than Morgan Stanley.

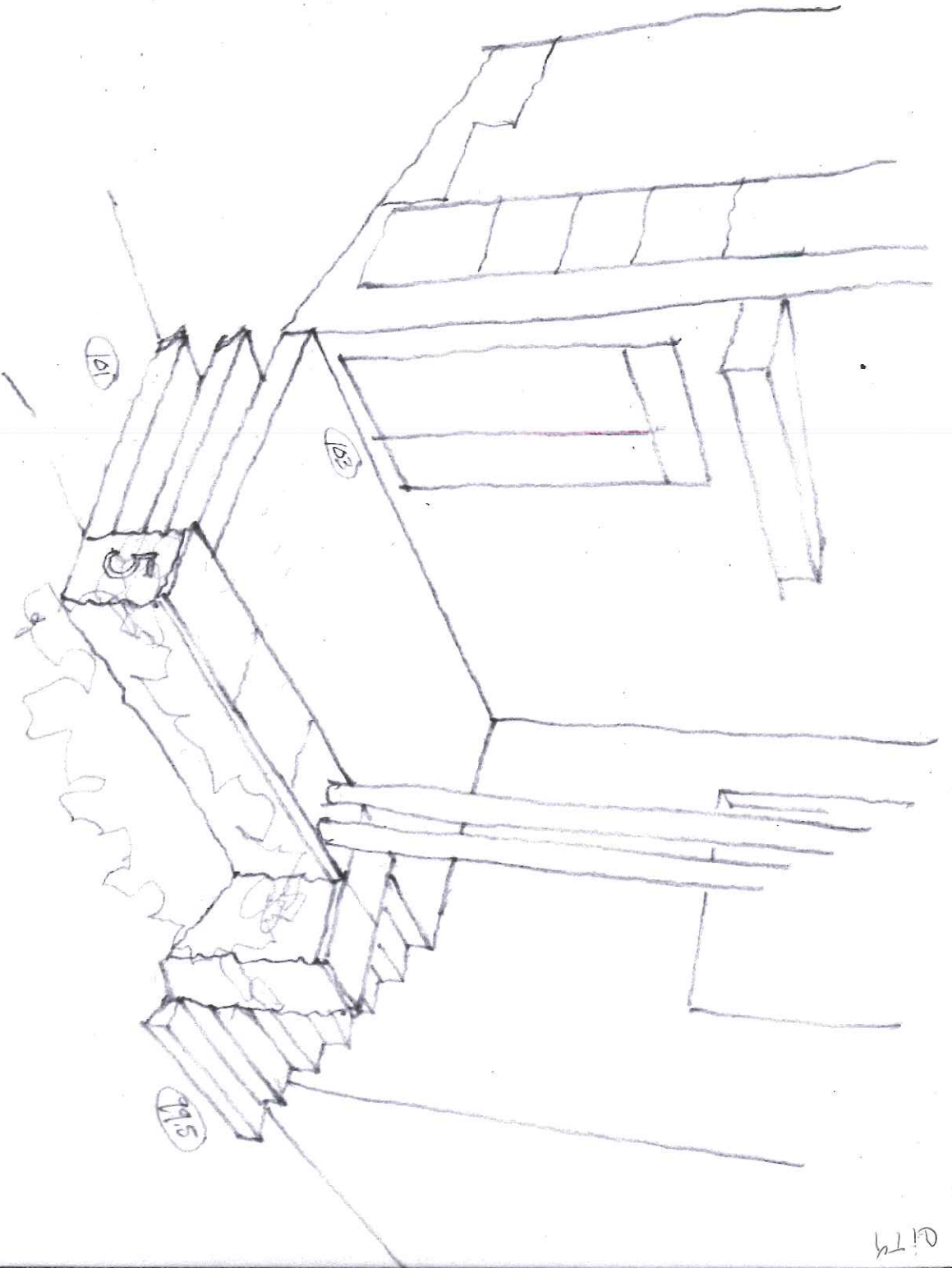
Thank you for your time and consideration in this matter.

Sincerely,



Margaret Pease
Vice-President
Business Service Manager

Cc: Nicholas Burnett and Leslie Berne



0179

RECEIVED

JUL 21 2015

City of Portland
Painting Division

7/21/15

PROPERTY DIVISION
CITY OF BOSTON

JUN 5 1 2012

RECEIVED

RECEIVED

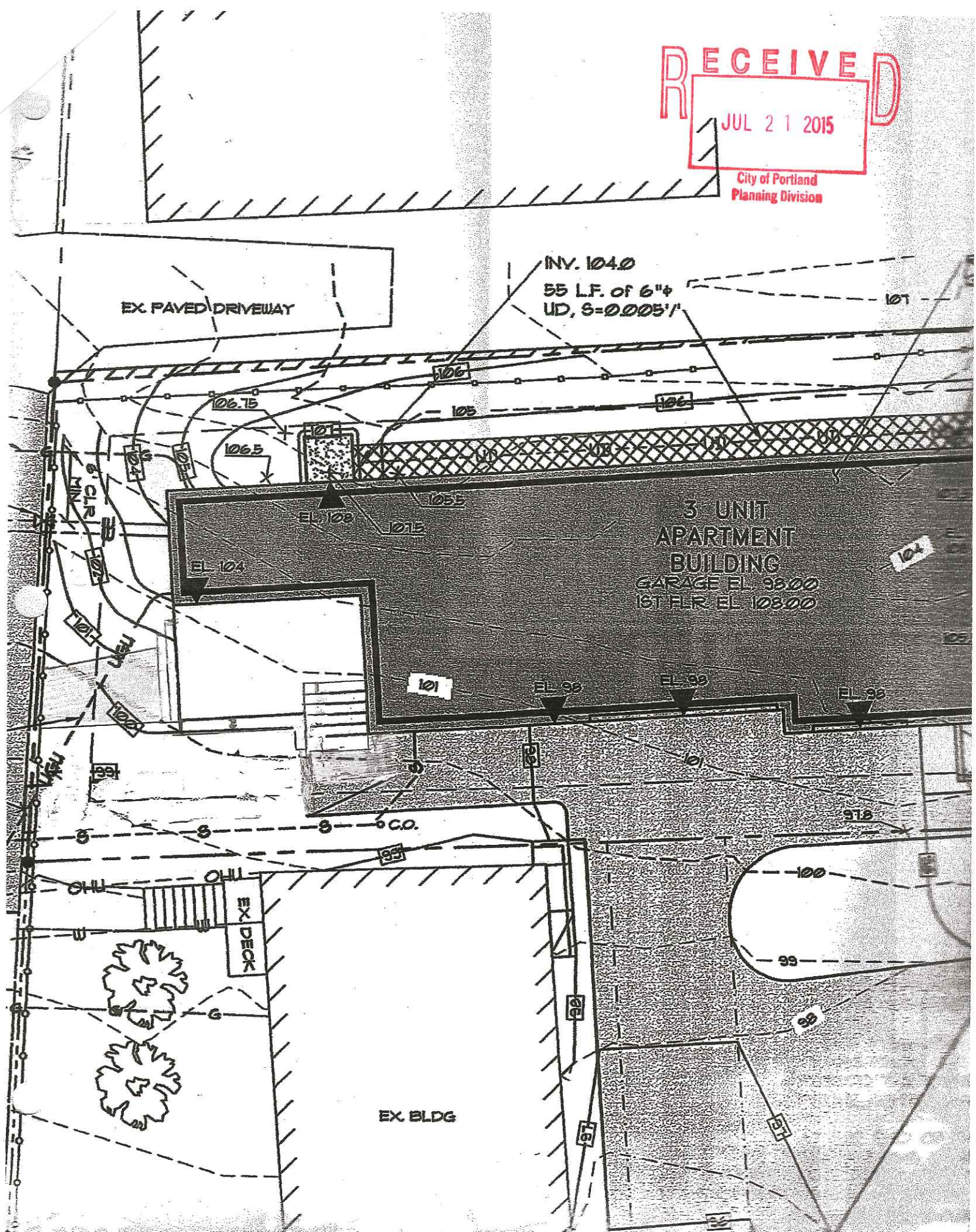
JUL 21 2015

City of Portland
Planning Division

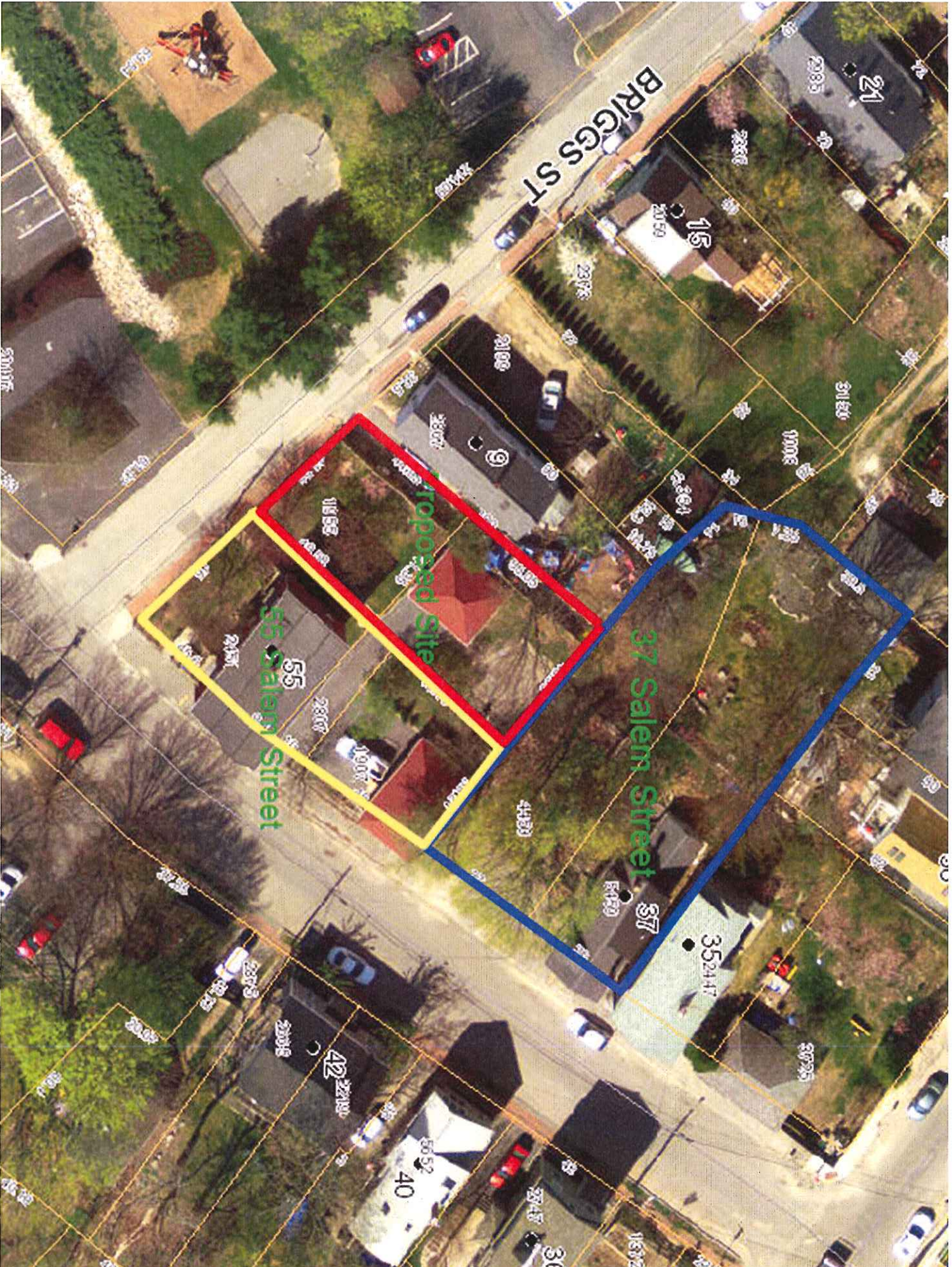
EX. PAVED DRIVEWAY

INV. 104.0
55 L.F. of 6"φ
UD, S=0.005'

3 UNIT
APARTMENT
BUILDING
GARAGE EL. 99.00
1ST FLR EL. 108.00



RECEIVED
JUL 1 2012
City of Portland
Planning Division



BRIGGS ST

Proposed Site

37 Salem Street

55 Salem Street

21

15

37

42

40

35

From: Derek <darapina@yahoo.com>
To: "shukriaw@portlandmaine.gov" <shukriaw@portlandmaine.gov>
CC: <jhunter22@hotmail.com>
Date: 7/28/2015 5:58 PM
Subject: 5 Briggs Street Concerns

Hello-

I am writing on behalf of my family regarding the proposed 3 unit at 5 Briggs St. We were completely shocked to hear about this project. We are an abutting property owner and have lived at 37 Salem for the last 7 years and recently purchased the property. The proposed development would significantly degrade the privacy and view of our property since our house, backyard, and deck all face that direction. We purchased our older home and one of its better attributes is the beautiful backyard and feel it has and now this may be compromised. If we had known about this development we would have pruned our trees differently as the proposed development will be looking into our yard and house especially since it will have 4 levels high.

I am would like to offer some suggestions on maintaining our privacy (i.e no windows on back side that faces our lot, planting new trees) and allowing this project to move forward.

I look forward to working with the planning board. We plan to attend the public hearing.

Thanks.

Derek Hengstenberg and Jennifer Hunter.

Sent from my iPhone

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To: "shukriaw@portlandmaine.gov" <shukriaw@portlandmaine.gov>
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Derek Hengstenberg and Jennifer Hunter.

Sent from my iPhone

- Nickolas Burnett on behalf of Briggs Street Property, LLC has submitted a Level III Site Plan and Subdivision application. The site is in the Residential R-6 zone was reviewed against the *R-6 Small Infill Development Design Standards, as well as the Multiple-Family Design Standard.*
- It is “urban infill” site ^{currently has} ~~and of course is currently vacant~~ garage on it that was used for adjoining property. The site faces Briggs Street and access to the site is behind an existing two-family building at 55 Salem Street.
- The project is for the construction of a three-unit apartment building. By zoning, the first three units do not need parking in the R-6 zone. The applicant is proposing parking; two spaces under the proposed building and one in the garage on the adjoining lot.
- Vehicle access is proposed from Salem Street via an existing 10 foot wide drive. This driveway will be shared by this property and the property at 55 Salem Street.
- The applicant is not requesting waivers and there a standard conditions of approval as part of this project.

Public Comment



PLANNING BOARD REPORT PORTLAND, MAINE

Briggs Street Subdivision: Three Units Apartments
5 Briggs Street
Level III Subdivision and Site Plan Review
2015-097
Briggs Street Property, Applicant

Submitted to: Portland Planning Board:
Public Hearing Date: July 28, 2015

Prepared by: Shukria Wiar, Planner
Date: July 24, 2015

I. INTRODUCTION

Nickolas Burnett on behalf of Briggs Street Property, LLC has submitted a Level III Site Plan and Subdivision application for the construction of a three-unit residential building on a 4,366 square feet "urban infill" site at 5 Brigg Street in the West End. The site is currently vacant. The site face Briggs Street and access to the site is behind an existing two-family building at 55 Salem Street. It is surrounded by single and multifamily houses. The site is in the Residential R-6 zone.

This proposal is being reviewed as a final plan and subject to the Site Plan and Subdivision Ordinance of Land Use Code. The project will also be reviewed against the *R-6 Small Infill Development Design Principles & Standards* (Appendix 7 of the Design Manual) and the *Two-Family, Special Needs Independent Living Units, Multiple-Family, Lodging Houses, Bed and Breakfasts, and Emergency Shelters Standards* (Sections (d) and (I), and Appendix 2 of the Design Manual).

One hundred and sixty-nine (169) notices were sent to area residents within 500 feet of the site and the interested party list. A notice also appeared in the July 20th and 21st editions of the *Portland Press Herald*.

| | |
|-----------------------|--|
| Applicant Name | Briggs Street Property, LLC |
| Consultants | |
| Engineer | Tom Greer of Pinkham and Greer |
| Surveyor | Mark Carpenter of Nadeau Land Surveys |
| Architect | John Whipple of Whipple Callendar Architects |

Project Review

| <i>Review</i> | <i>Applicable Standards</i> |
|---------------|--|
| Site Plan | 14-526 |
| Subdivision | 14-491 |
| Design Manual | R-6 Small Infill Development Design Principles & Standards (Appendix 7 of the Design Manual) and the Two-Family, Special Needs Independent Living Units, Multiple-Family, Lodging Houses, Bed and Breakfasts, and Emergency Shelters Standards (Sections (d) and (I), and Appendix 2 of the Design Manual) |

II. PROJECT DATA

| | |
|-----------------|-----------------------|
| Existing Zoning | R-6 Residential |
| Tax Map | CBL: 057 J029 and 031 |
| Existing Use | Vacant Lot |

| | |
|----------------------------------|---|
| Proposed Use | Apartments for Rental |
| Parcel Size | 4,366 SF |
| Number of Units to be Demolished | None- An existing garage will be razed on the property. |
| Number of Affordable Units | The proposed units will be market rate. |
| Proposed Bedroom Mix | Three two-bedroom apartments |
| Building Footprint | 1,409 SF |
| Building Floor Area | 4,251 SF |
| Impervious Surface Area | 1,409 SF |
| Parking Spaces | 3 spaces |
| Bicycle Parking Spaces | 2 spaces |
| Estimated Cost of Project | \$ 550,000 |
| | |

III. EXISTING CONDITIONS

Currently the parcel is vacant and surrounded by single-family and multifamily homes. The existing site is developed with lawn, patio, and a garage.

The site has an existing garage that serves the home at 55 Salem Street and is mostly open space.

The property does not have a curb cut on Briggs Street. There are paved areas that include the driveway from Salem Street and



walkways. Briggs Street is a one-way street, with on-street parking on the east side of the street that stretches from Danforth Street to Salem Street.

IV. PROPOSED DEVELOPMENT

The proposal, including floor plans and elevations, are included in the final plan set and have been revised to address staff concerns. The development project is proposed as new construction of a three-unit apartment building with each unit having living space and two bedrooms. The building will be three stories high with a building height of 35 feet and 1,409 SF footprint. At three stories high, the scale of this apartment building will be in balance the residential uses of the street and neighborhood.

The new R-6 text amendments do not require parking spaces for the first three units. However, the applicant is proposing three parking spaces. The building will have two parking spaces under the building and one at the

garage on the abutting lot at 55 Salem Street. Vehicle access is proposed from Salem Street via an existing 10 foot wide drive. This driveway will be shared by this property and the property at 55 Salem Street. The parking area is not visible from the street since it is tucked-away in in the building and away from any public streets. Two bicycle parking spaces are also proposed as part of this project. A fence is prosped that surrounds the property. A designated area for snow storage is located adjacent to the proposed building.

The building is not proposed at the sidewalk but the building will have a walkway and steps that will lead to the front façade. These features articulate the main façade of the building.

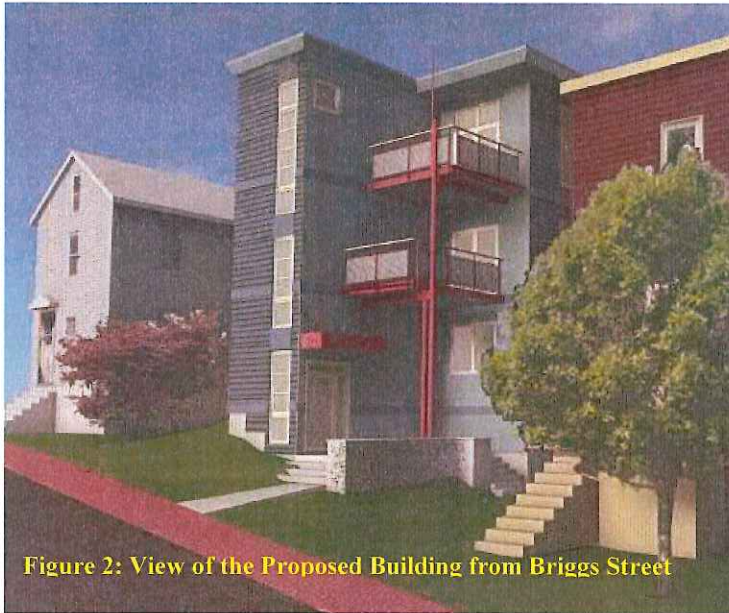


Figure 2: View of the Proposed Building from Briggs Street

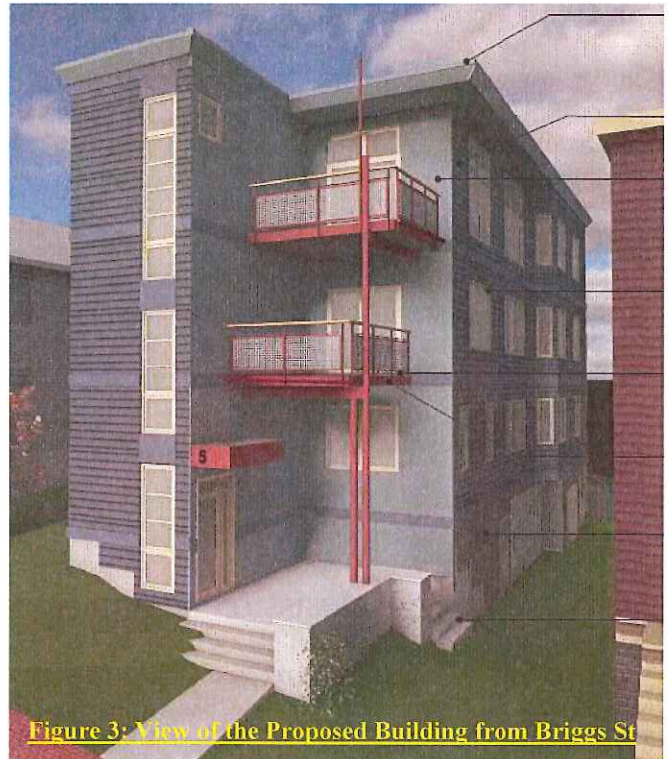
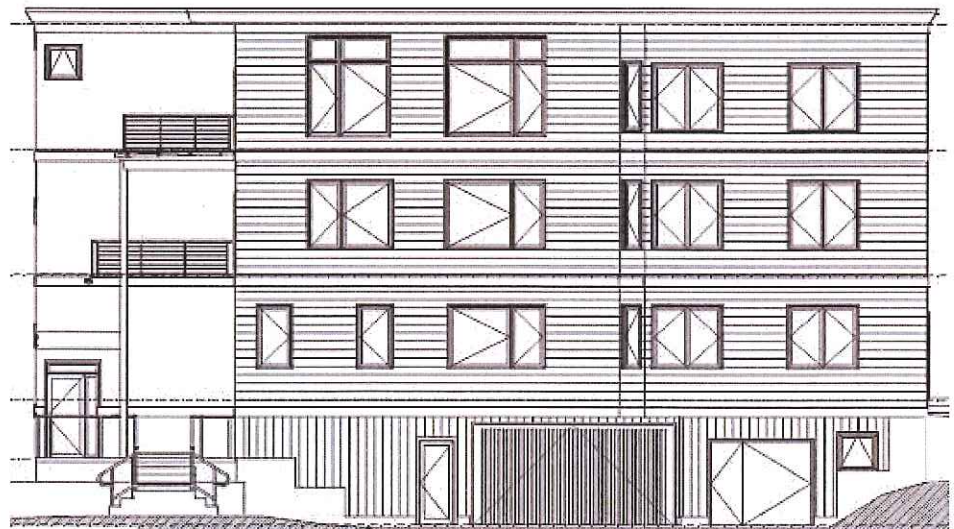


Figure 3: View of the Proposed Building from Briggs St

Figure 4: Elevation View of Building from



V. PUBLIC COMMENT

As of the writing of this report, there have been no comments submitted.

The applicant did not hold a neighborhood meeting since the subdivision is for three units only; project developments that have five or greater units or lots are required to hold a neighborhood meeting.

VI. RIGHT, TITLE AND INTEREST AND FINANCIAL/TECHNICAL CAPACITY

a. The owner of the property is Briggs Street Property, LLC. The applicant has provided a copy of a deed of sale, recorded at the Cumberland County Registry of Deeds (Book 46240 Page 151), which demonstrates their right, title and interest in the property.

b. The estimated cost of the development is \$550,000. The applicant has submitted a letter from Morgan Stanley, dated July 22, 2015, as demonstration of their financial and technical capacity to complete the proposed development.

VII. ZONING ASSESSMENT

The proposed three unit apartment building is a permitted use in the Residential R-6 zone. Under the R-6 zone all of the dimensional requirements are being met. For off street parking, Division 20 requires no parking for the first three units and one parking space per unit for residential uses after the first three in the R-6 zone. Even though parking is not required, the applicant is proposing three parking spaces as shown on the site plan.

Under external effects, section 14-167(b), the maximum noise requirement of 55 decibels at lot boundaries shall be maintained.

VIII. DEVELOPMENT REVIEW

A. SITE PLAN SUBMISSION REQUIREMENTS (Section 14-527) and SUBDIVISION PLAT AND RECORDING PLAT REQUIREMENTS (Section 14-496)

The applicant has submitted a recording plat. The plat will need to note the number of proposed units and associated parking on site. The final plat will need to be revised to reflect any waivers and conditions of approval that relate to the subdivision plan. Any waivers granted must be recorded at the Registry of Deeds within 90 days of a Planning Board decision. As writing of this report, there are no waivers requested.

B. SUBDIVISION (Section 14-497)

The proposed development has been reviewed by staff for conformance with the relevant review standards of Portland's Subdivision Ordinance and applicable regulations. Staff comments are listed below.

1. Will Not Result in Undue Water and Air Pollution (Section 14-497 (a) 1), and Will Not Result in Undue Soil Erosion (Section 14-497 (a) 4)

David Senus, P.E. with Woodard and Curran Engineering, has reviewed the erosion and sediment control plan and is satisfied with the proposed plans. Confirmation of ability to serve from PWD for water should be forwarded to the Planning Authority upon receipt.

2. Sufficient Water Available (Section 14-497 (a) 2 and 3)

The project will be served by the existing utility services located in Briggs Street. The Applicant has contacted the Portland Water District and the City Department of Public Services requesting ability to serve letters for water and sewer demand, and awaits responses. Confirmation of ability to serve from DPS for the sewer should be forwarded to the Planning Authority upon receipt.

A potential condition of approval:

Confirmation of ability to serve letters for water and sewer from PWD and DPS shall be submitted to the Planning Division prior to the issuance of a building permit.

3. *Will Not Cause Unreasonable Traffic Congestion (Section 14-497 (a) 5)*

Briggs Street is a one-way street, with on-street parking on the east side, which stretches from Danforth Street to Salem Street. The site will be accessed by an existing shared driveway and curb cut on Salem Street. Tom Errico, P.E. Ty Lin reviewed the proposal's details including the access, parking, and vehicle circulation (Attachment 1). Mr. Errico finds the project to be acceptable.

The proposed project is not anticipated to cause unreasonable traffic congestion. The staff finds the proposed project is in conformance with this standard.

4. *Will Provide for Adequate Sanitary Sewer and Stormwater Disposal (Section 14-497 (a) 6), and Will Not Cause an Unreasonable Burden on Municipal Solid Waste and Sewage (Section 14-497 (a) 7)*

Please refer to Paragraph VIII (B) 2, above.

5. *Scenic Beauty, Natural, Historic, Habitat and other Resources (Section 14-497 (a) 8)*

The proposal site is not within an historic district. It is in an urban neighborhood surrounded by a variety of residential building types. The proposed building does not impact the natural beauty of the area or adversely affect any significant wildlife habitat, rare or irreplaceable natural areas, or any public access to the shoreline. The staff finds the proposal in conformance with this standard.

6. *Comprehensive Plan (Section 14-497 (a) 9)*

The applicant has submitted their analysis of the projects conformance with the Comprehensive Plan (refer to Attachment C). The staff has identified the following goals and policies which are relevant to the proposed housing development and finds the proposal in conformance with the Comprehensive Plan:

Portland Housing Goal: Ensure that an adequate supply of housing is available to meet the needs, preferences, and financial capabilities of all Portland households, now and in the future.

Policies

- Ensure the construction of a diverse mix of housing types that offers a continuum of options across all income levels, which are both renter and owner-occupied, including but not limited to the following:
 - ii. Housing units for decreasing household size, such as young professionals, empty nesters, single-parent households, and senior citizens.
- Encourage higher density housing for both rental and home ownership opportunities, particularly located near services, such as schools, businesses, institutions, employers, and public transportation.
- Increase Portland's rental housing stock to maintain a reasonable balance between supply and demand yielding consumer choice, affordable rents, and reasonable return to landlords.
- Identify vacant land and redevelopment opportunities throughout the City to facilitate the construction of new housing.

Portland Housing Goal: Maintain and enhance the livability of Portland's neighborhoods as the City grows and evolves through careful land use regulations, design and public participation that respect neighborhood integrity.

Policies

- Encourage innovative new housing development, which is designed to be compatible with the scale, character, and traditional development patterns of each individual residential neighborhood.
- Encourage new housing development in proximity to neighborhood assets such as open space, schools, community services and public transportation.
- Ensure the integrity and economic value of Portland's neighborhoods.

7. Financial Capability (Section 14-497 (a) 10)

The estimated cost of the development is \$550,000. The applicant has submitted a letter from Morgan Stanley, dated July 22, 2015, as demonstration of their financial and technical capacity to complete the proposed development.

C. SITE PLAN STANDARDS (Section 14-526)

The proposed development has been reviewed by staff for conformance with the relevant review standards of Portland's site plan ordinance and applicable regulations. Staff comments are listed below.

1. *Transportation Standards*

a. Impact on Surrounding Street Systems and Access and Circulation- see Subdivision, Paragraph VIII (B) (3), above.

b. Construction Management Plan

A construction management plan has been submitted by the applicant for review. All the construction is proposed within the limits of the property lines.

c. Sidewalks

The applicant is proposing to install new brick sidewalk along their frontage on Briggs Street. This site is in the brick district.

d. Public Transit Access

The public transit requirements do not apply to this project.

e. Parking

There are three parking spaces and these are located in inside the building property and away from the street.

f. Bicycle Parking

The proposals include 2 bicycle parking spaces at the rear of the building, which meets the ordinance standard of 2 bicycle spaces per 5 vehicle spaces.

2. *Environmental Quality Standards*

a. Preservation of Significant Natural Features

There are no known significant natural features on the site.

b. Landscaping and Landscape Preservation

The applicant is proposing three street trees on Briggs Street, in front of the building and is meeting the street tree requirement. The site will have landscaping along the front of the building as well as on the side (which faces Salem Street) of the property.

c. Water Quality, Storm Water Management and Erosion Control

Currently the stormwater runoff from the site drains across the site, across the existing lot at the

corner of Briggs and Salem Streets to the City's combined sewer system through a catch basin at that corner. The proposed flows will follow the same pattern. In this area, there is no separated stormdrain system.

According to Section 5 of the City of Portland Technical Manual, a Level III development project is required to submit a stormwater management plan pursuant to the regulations of Maine DEP Chapter 500 Stormwater Management Rules, including conformance with the Basic, General, and Flooding Standards. Given the size of the proposed development and the de minimis increase in impervious area (less than 1,000 sq ft), no formal stormwater management plan submittal will be required. The Applicant should note that any future proposed increases in impervious area on the site may be considered cumulative to the current proposed increase of 982 square feet, and requirements for stormwater management may be required at that time.

3. *Public Infrastructure and Community Safety Standards*

a. Consistency with Master Plans

See Subdivision, Paragraph VIII (B)6 above.

b. Public Safety and Fire Prevention

The Crime Prevention through Environmental Design (CPTED) standards in the site plan ordinance address the principles of natural surveillance, access control and territorial reinforcement so that the design of developments enhance the security of public and private spaces and reduce the potential for crime.

The applicant has introduced recess lights at the entrance way and along the balcony of each unit. Wall mounted lighting will also be provided for the area by the entrance and parking garage.

c. Availability and Adequate Capacity of Public Utilities

The project will be served by the existing utility services located in Briggs Street. The Applicant has contacted the Portland Water District and the City Department of Public Services requesting ability to serve letters for water and sewer demand, and awaits responses. Confirmation of ability to serve letters for water and sewer from PWD and DPS should be forwarded to the Planning Authority upon receipt.

4. *Site Design Standards*

a. Snow and Ice Loading

The applicant is proposing on-site snow storage. The two areas for storage is around either side of the building, see Site Plan (Attachment P5).

b. View Corridors

This site is not within a Protected View Corridor as per the "View Corridor Protection Plan" approved by the Portland City Council in 2001.

c. Historic Resources

The site is outside the 100 foot setback of the West End historic district, therefore the project does not have to be reviewed by Historic Preservation.

d. Exterior Lighting

The proposal has noted recess lighting under the front door canopy and at the balconies. A lighting and photometric plan has not been submitted for review. According to the applicant, any proposed lighting will meet the City's Technical Standards:

All exterior site lighting including lighting of building entrances will be cutoff with no light emitted above the horizontal plane or spilled onto adjacent properties or streets.

Illumination levels will be adequate but not excessive for the safety, comfort and convenience of occupants and user of the site and will conform to all applicable standards of Section 12 of the Technical Manual.

e. Noise and Vibration

All heating, ventilation and air conditioning equipment (HVAC), air handling units (AHU), emergency generators, and similar equipment will have to be shown on the plans and meet state and federal emissions requirements. These mechanical equipment should be located to the interior of the site, away from abutting residential properties and be screened from view from any public street and from adjacent sites by structure walls, evergreen landscaping, fencing, masonry wall or a combination thereof. This information will have to be submitted for review.

f. Signage and Wayfinding

This standard does not apply to the proposal.

g. Zoning Related Design Standards

On Tuesday, July 21, a design review according to the *City of Portland Design Manual* Standards was performed for the proposed new construction of a three-family dwelling at 5 Briggs Street. The review was performed by Caitlin Cameron, Urban Designer and Shukria Wiar, Planner, within the Planning Division of the Department of Planning & Urban Development. The project was reviewed against the *R-6 Small Infill Development Design Principles & Standards* (Appendix 7 of the Design Manual) and also the *Two-family, Special Needs Independent Living Units, Multiple-family, Lodging Houses, Bed and Breakfasts, and Emergency Shelters* (Section I of the Design Manual).

Design Review Criteria:

The project was reviewed with the *R-6 Alternative Design Review* which has the following criteria:

- a. Proposed design is consistent with all of the Principle Statements
- b. The majority of the Standards within each Principle are met
- c. The guiding principle for new construction under the alternative design review is to be compatible with the surrounding buildings in a two-block radius in terms of size, scale, materials, and siting, as well as the general character of the established neighborhood, thus Standards A-1 through A-3 shall be met.
- d. The design plan is prepared by an architect registered in the State of Maine.

The project must also meet the design standards of the *Two-family, Special Needs Independent Living Units, Multiple-family, Lodging Houses, Bed and Breakfasts, and Emergency Shelters*.

Findings of the Design Review:

The proposed design passes all of the criteria of the *R-6 Alternate Design Review*.

The proposed design passes all of the *Multi-family design standards*.

Comments for the specific standards are provided in Attachment 4.

IX. STAFF RECOMMENDATION

Subject to the proposed motions and conditions of approval listed below, Planning Division staff recommends that the Planning Board approve the proposed development.

X. PROPOSED MOTIONS

Subdivision Plat

On the basis of the application, plans, reports, and other information submitted by the applicant, findings and recommendations contained in Planning Board Report for application 2015-097 relevant to the Subdivision Ordinance, and other regulations, as well as the Planning Board deliberations and the testimony presented at the Planning Board hearings, the Planning Board finds the following:

That the plan ~~(is)~~ **(is not)** in conformance with the subdivision standards of the land use code, subject to the following conditions:

1. The Applicant shall note on the subdivision plat that any future proposed increases in impervious area on the site shall be considered cumulative to the current proposed increase of 982 square feet, and requirements for stormwater management shall be required at that time.
- 7-0 2. The final boundary survey, subdivision plat, and site plans shall be stamped by a registered professional land surveyor and registered engineer.
3. The recording plat shall be revised noting all waivers and conditions for review and approval by the Planning Authority prior to recording. All waivers shall be recorded within 90 days of the Planning Board approval.

Level III Site Plan

On the basis of the application, plans, reports, and other information submitted by the applicant, findings and recommendations contained in Planning Board Report for application 2015-097 relevant to the Site Plan Ordinance, and other regulations, as well as the Planning Board deliberations and the testimony presented at the Planning Board hearings, the Planning Board finds the following:

That the plan ~~(is)~~ **(is not)** in conformance with the site plan standards and all other applicable provisions of the land use code, subject to the following conditions:

1. The applicant shall submit confirmation of ability to serve letters for water and sewer from Portland Water District and Department of Public Service, respectively, to the Planning Division prior to the issuance of a building permit.
2. All exterior site lighting including lighting of building entrances shall be cutoff with no light emitted above the horizontal plane or spilled onto adjacent properties or streets. Illumination levels shall be adequate but not excessive for the safety, comfort and convenience of occupants and user of the site and shall conform to all applicable standards of Section 12 of the Technical Manual. The external lighting specification shall be submitted for review and approval by the Planning authority prior to the issuance of a building permit.
3. Storm Water Management Condition of Approval- The developer/contractor/subcontractor must comply with conditions of the construction stormwater management plan and sediment and erosion control plan based on City standards and state guidelines. The owner/operator of the approved

7-0
stormwater management system and all assigns shall comply with the conditions of Chapter 32 Stormwater including Article III, Post Construction Stormwater Management, which specifies the annual inspections and reporting requirements. A maintenance agreement for the stormwater drainage system, as attached, or in substantially the same form with any changes to be approved by Corporation Counsel, shall be submitted, signed, and recorded prior to the issuance of a building permit with a copy to the Department of Public Services.

4. The proposed specifications for the mechanical equipment shall be reviewed and approved by the Planning Authority and Acting Zoning Administrator prior to the issuance of a building permit.

6.

ATTACHMENTS:

Staff Review Comments and Background Information

1. Traffic Engineering Review (Tom Errico, T Y Lin), comments dated 07.14.2015
2. Department of Public Services Review, David Margolis-Pineo, dated 07.07.2015
3. Civic Engineer Review, David Senus, dated 07.06.2015 and 07.17.2015
4. Urban Designer Review, Caitlin Cameron, dated 07.21.2015
5. Fire Department Review, Capt. Keith Gautreau, dated 07.09.2015

Applicant's Submittal

- A. Application Cover
- B. Level III Application updated 6-1-14_201506010838120054(2)-signed
- C. 1.1 Table of Contents
- D. 1.2 Development Review Application
- E. Project Description
- F. Project Summary
- G. Right Title and Interest
- H. Lesniewski deed
- I. Adams Deed
- J. 3.3 Determination Letter
- K. Compliance
- L. 4.1 Zoning Summary
- M. Financial and Technical Capacity
- N. 5.3 HVAC
- O. Utility Capacity
- P. 7.1 PWD capacity0001
- Q. 7.2 Unitil capacity0001
- R. Stormwater Management
- S. Solid Waste
- T. Construction Management Plan
- U. 10.0 Construction Management Plan
- V. Drawings
- W. A0.1 Construction Management Plan
- X. C_Drainage Analysis D1.0
- Y. C_Housekeeping Report
- Z. C_Stormwater Maintenance Agreement
- AA. C_SW I&MF
- BB. C_SW Narrative

- CC. C_Treatment Calculation
- DD. Notification Map (500 feet) 7-1-15
- EE. Response Letter from Pinkham and Greer, dated 07.14.2015
- FF. Financial Capacity Letter

Plans

- Plan1 A-0 TITLE SHEET
- Plan2 Boundary Survey
- Plan3 Subdivision Recording Plat
- Plan4 Site Plan
- Plan5 Existing Conditions and Demolition Plans
- Plan6 Grading and Utilities Plans
- Plan7 Erosion Control and Landscaping Plans
- Plan8 Details
- Plan9 Details
- Plan10 Details
- Plan11 Renderings
- Plan12 A-1 B'MT AND FIRST PLANS
- Plan13 A-2 2ND AND 3RD PLANS
- Plan14 A-3 ELEVATIONS
- Plan15 A-4 SECTIONS
- Plan16 A-5 DETAILS
- Plan17 S0.0 Structural Notes
- Plan18 S1.0 Foundation Plan
- Plan19 S1.1 First and Second Floor Framing Plan
- Plan20 S2.1 Typ. Concrete Details and Sections
- Plan21 S3.1 Drawing Details

From: Tom Errico <thomas.errico@tylin.com>
To: Shukria Wiar <SHUKRIAW@portlandmaine.gov>
CC: David Margolis-Pineo <DMP@portlandmaine.gov>, Katherine Earley
<KAS@portlandmaine.gov>, Jeremiah Bartlett <JBartlett@portlandmaine.gov>, "Tarling, Jeff"
<JST@portlandmaine.gov>
Date: 7/14/2015 12:00 PM
Subject: 5 Briggs Street - Traffic Review

Hi Shukria - I have reviewed the site plan for the project and find conditions to be acceptable. I have no comments.

Please contact me if you have any questions.

Best regards,

Thomas A. Errico, PE
Senior Associate
Traffic Engineering Director
[T.Y. Lin International]T.Y. Lin International
12 Northbrook Drive
Falmouth, ME 04105
207.781.4721 (main)
207.347.4354 (direct)
207.400.0719 (mobile)
207.781.4753 (fax)
thomas.errico@tylin.com<mailto:thomas.errico@tylin.com>
Visit us online at www.tylin.com<http://www.tylin.com>
Twitter | Facebook | LinkedIn | YouTube

"One Vision, One Company"

Please consider the environment before printing.

From: David Margolis-Pineo
To: Shukria Wiar
CC: Barbara Barhydt; DEVELOPMENT REVIEW GROUP
Date: 7/7/2015 3:55 PM
Subject: Development Review Comments for Five Briggs St

Comments have also be added to Urban Insight.

July 7, 2015

Memo To: Shukria Wiar
Barbara Barhydt
From: David Margolis-Pineo
Re: 5 Briggs Street – Three Unit Apartment Building 2015-097

The Department of Public Services has the following preliminary review comments on the above proposed project

1. Both the Survey and Plat plans require a stamp by a registered professional land surveyor.
2. Please indicate that the proposed sewer lateral within the street right of way shall be SDR-35 PVC. Also please be aware that a sewer connection fee of one to two thousand dollars will be required.
3. Add note to Sheet C1.1 that all work within the road right of way shall meet City of Portland Technical Manual standards.

We have no further comments at this time.

MEMORANDUM



TO: Shukria Wiar, Planner
FROM: David Senus, P.E.
DATE: July 6, 2015
RE: Briggs Street Apartments, Final Level III Site Plan Application

Woodard & Curran has reviewed the Final Level III Site Plan Application for the proposed apartment building located at 5 Briggs Street in Portland, Maine. The project involves the demolition of an existing garage and the construction of a three unit rental apartment residential structure in the West End.

Documents Reviewed by Woodard & Curran

- Level III Site Plan Application and attachments, dated June 9, 2015, prepared by Nicholas Burnett, on behalf of Briggs Street Property, LLC.
- Boundary Survey, dated January 12, 2012, prepared by James D. Nadeau, LLC, on behalf of Nicholas Burnett.
- Engineering Plans, Sheets C1.0-C1.4, and C2.1-C2.4, dated May 20, 2015, prepared by Pinkham & Greer Civil Engineers, on behalf of Briggs Street Property, LLC.

Comments

- 1) Per Section 13 of the City's Technical Manual, the Applicant is required to submit a Boundary Survey that has been Stamped by a Maine Licensed Professional Surveyor; the Boundary Survey has not been stamped at this time.
- 2) The Applicant should provide letters from the Portland Water District and the City Department of Public Services confirming capacity to serve the proposed development and approving the design of the proposed utilities.
- 3) In accordance with Section 5 of the City of Portland Technical Manual, a Level III development project is required to submit a stormwater management plan pursuant to the regulations of MaineDEP Chapter 500 Stormwater Management Rules, including conformance with the Basic, General, and Flooding Standards. We offer the following comments:
 - a) Basic Standards: Plans, notes, and details have been provided to address erosion and sediment control requirements, inspection and maintenance requirements, and good housekeeping practices in general accordance with Appendix A, B, & C of MaineDEP Chapter 500; however, the plans should specify catch basin inlet protection devices for the existing catch basin at the corner of Salem Street and Briggs Street; applicable notes and details should be provided for this inlet protection.
 - b) General Standard: The project will result in an increase in impervious area of approximately 1,168 square feet. As such, the project is required to include stormwater management features for stormwater quality control. The Applicant has noted that an Underdrained Soil Filter (UDSF) is proposed. The Applicant should address the following comments:
 - i. The Applicant should clarify whether runoff from the patio is intended to infiltrate into the stormwater management system.
 - ii. It appears that the design intent is for an Underdrained Subsurface Sand Filter (USSF) system, and not an Underdrained Soil Filter; the filter material type should correspond to the sand material identified in Chapter 7.3 of Volume III. of the BMP Technical Design Manual.
 - iii. The inspection and maintenance plan refers to replacing the top layer of the soil filter when water ponds on the surface of the bed; however, the project does not propose to collect and filter runoff through a vegetated soil filter. Inspection & maintenance requirements should correspond to the requirements outlined in Chapter 7.3 of Volume III. of the BMP Technical Design Manual.



- iv. The inspection and maintenance plan should identify the reporting requirements outlined in Chapter 32 of the City of Portland Code of Ordinances.
- c) Flooding Standard: The project will result in an increase in impervious area of approximately 1,168 square feet. As such, the project is required to include stormwater management features to control the rate or quantity of stormwater runoff from the site. The Applicant has proposed plastic chambers (StormTech) for water storage under the patio system and above the proposed sand filter. Although no model analysis was provided, given the small proposed increase in impervious area on the site, we feel the proposed system will adequately reduce peak flows from the site and comply with the intent of the Flooding Standard.
- 4) The design intent of the overflow outlet from the stormwater management system is unclear. If out-letting onto a landscaped area, some form of stabilization should be provided. Landscape stone or other products could be considered acceptable in lieu of traditional rip-rap if preferred for aesthetic reasons.

MEMORANDUM



TO: Shukria Wiar, Planner
FROM: David Senus, P.E.
DATE: July 17, 2015
RE: Briggs Street Apartments, Final Level III Site Plan Application – Response to Comments

Woodard & Curran has reviewed the response to comments submittal for the Final Level III Site Plan Application for the proposed apartment building located at 5 Briggs Street in Portland, Maine. The project involves the demolition of an existing garage and the construction of a three unit rental apartment residential structure in the West End.

Documents Reviewed by Woodard & Curran

- Response to comments letter dated July 14, 2015, prepared by Pinkham & Greer Civil Engineers on behalf of Briggs Street Property, LLC.
- Engineering Plans, Sheets C1.0-C1.4, and C2.1-C2.2, REV dated July 14, 2015, prepared by Pinkham & Greer Civil Engineers on behalf of Briggs Street Property, LLC.

Comments (Previous comments in italics)

- 1) *Per Section 13 of the City's Technical Manual, the Applicant is required to submit a Boundary Survey that has been Stamped by a Maine Licensed Professional Surveyor; the Boundary Survey has not been stamped at this time.*
- 2) *The Applicant should provide letters from the Portland Water District and the City Department of Public Services confirming capacity to serve the proposed development and approving the design of the proposed utilities.*
- 3) In accordance with Section 5 of the City of Portland Technical Manual, a Level III development project is required to submit a stormwater management plan pursuant to the regulations of MaineDEP Chapter 500 Stormwater Management Rules, including conformance with the Basic, General, and Flooding Standards. Given the size of the proposed development and the de minimis increase in impervious area (less than 1,000 sq ft), no formal stormwater management plan submittal will be required. The Applicant should note that any future proposed increases in impervious area on the site may be considered cumulative to the current proposed increase of 982 square feet, and requirements for stormwater management may be required at that time. We offer the following comments:
 - a) Basic Standard: Plans, notes, and details have been provided to address erosion and sediment control requirements, inspection and maintenance requirements, and good housekeeping practices in general accordance with Appendix A, B, & C of MaineDEP Chapter 500.
 - b) General Standard: The project scope has been revised from earlier submittals and will result in a de minimis increase in impervious area of approximately 982 square feet. As such, the project is not required to include any stormwater management features for stormwater quality control.
 - c) Flooding Standard: The project scope has been revised from earlier submittals and will result in a de minimis increase in impervious area of approximately 982 square feet. As such, the project is not required to include any stormwater management features to control the rate or quantity of stormwater runoff from the site.

Planning and Urban Development Department Planning Division



Subject: R-6 Small Infill & Multi-family Design Review – 5 Briggs Street

Written by: Caitlin Cameron, Urban Designer

Date of Review: Tuesday, July 21, 2015

On Tuesday, July 21, a design review according to the *City of Portland Design Manual* Standards was performed for the proposed new construction of a three-family dwelling at 5 Briggs Street. The review was performed by Caitlin Cameron, Urban Designer and Shukria Wiar, Planner, within the Planning Division of the Department of Planning & Urban Development. The project was reviewed against the *R-6 Small Infill Development Design Principles & Standards* (Appendix 7 of the Design Manual) and also the *Two-family, Special Needs Independent Living Units, Multiple-family, Lodging Houses, Bed and Breakfasts, and Emergency Shelters* (Section I of the Design Manual).

Design Review Criteria:

The project was reviewed with the *R-6 Alternative Design Review* which has the following criteria:

- A. Proposed design is consistent with all of the Principle Statements
- B. The majority of the Standards within each Principle are met
- C. The guiding principle for new construction under the alternative design review is to be compatible with the surrounding buildings in a two-block radius in terms of size, scale, materials, and siting, as well as the general character of the established neighborhood, thus Standards A-1 through A-3 shall be met.
- D. The design plan is prepared by an architect registered in the State of Maine.

The project must also meet the design standards of the *Two-family, Special Needs Independent Living Units, Multiple-family, Lodging Houses, Bed and Breakfasts, and Emergency Shelters.*

Findings of the Design Review:

The proposed design passes all of the criteria of the *R-6 Alternate Design Review* – some comments are provided below.

The proposed design passes all of the *Multi-family design standards* – see comments below.

Design Review Comments (*red text denotes principles or standards that are not met*):

Principle A Overall Context – Not met – while the mass and height of the proposal is consistent and compatible with the surrounding residential context, the extent of the massing recess is not.

- *A-1 Scale and Form:* The scale of the project is compatible with the existing context. The building form is a variation on a typical triple-decker typology. Rather than use a bay, the project uses the stair tower as a building projection.
- *A-2 Composition of Principal Facades:* The composition of the front facades is more contemporary than the traditional building fabric but has a vertical proportion, is balanced, and uses local symmetry. The stair tower is treated similarly to a bay by providing a projection on the front façade.
- *A-3 Relationship to the Street:* An adequate proportion of the front façade is set near the street and is placed consistently with the street wall on the block.

Principle B Massing – Met – Most aspects of the building reflect the principle and the majority of the Standards are met by the proposed design.

- *B-1 Massing:* The proposed massing is generally consistent with the neighborhood using a vertical proportion and a projection on the front façade, **However, the recessed portion of the building is setback much further than is found in any other building in the neighborhood.**
- *B-2 Roof Forms:* The proposed roof form is consistent with the surrounding context and the building type.
- *B-3 Main Roofs and Subsidiary Roofs:* There is a clear main roof form.
- *B-4 Roof Pitch:* Not applicable
- *B-5 Façade Articulation:* The project employs balconies and a covered entry.
- *B-6 Garages:* Not applicable

Principle C Orientation to the Street – Met – The project appropriately reflects the private/public relationship of residential buildings in this neighborhood.

- *C-1 Entrances:* The main entry is emphasized with the canopy, stoop, and material/color articulation. **The access to the principal building entry was revised to provide direct access from the street to the building stoop. See additional drawings received 7.21.15**
- *C-2 Visual Privacy:* Visual privacy is adequately addressed; all ground floor windows appear to be higher than 48" above adjoining sidewalk grade.
- *C-3 Transition Spaces:* A front porch/stoop is provided. See comments below about revisions.

Principle D Proportion and Scale – Met – While the proportions and scale of the building overall are harmonious and human-scaled, the fenestration on May Street is problematic.

- *D-1 Windows:* The majority of windows are rectangular with vertical proportion.
- *D-2 Fenestration:* The percent of fenestration on the front façades appear to meet the minimum 12% requirement.
- *D-3 Porches:* Balconies and porch exceed 20% of front façade length and meet minimum depth and square footage requirements.

Principle E Balance – Met – The building façade composition creates a sense of balance with good use of overall and local symmetry and articulation of façade materials.

- *E-1 Window and Door Height:* The majority of window and door head heights align along a common horizontal datum.
- *E-2 Window and Door Alignment:* The majority of windows shall stack so that centerlines of windows are in vertical alignment.

- *E-3 Symmetricality:* Primary window compositions are arranged symmetrically around discernable vertical axes.

Principle F Articulation – Met – The project employs visually interesting and well-composed facades.

- *F-1 Articulation:* Project employs a cornice, expression lines, materials with texture and scale, and details that provide shadow lines.
- *F-2 Window Types:* There are many window types used in the project.
- *F-3 Visual Cohesion:* The visual cohesion of the façade is good; materials are appropriately placed.
- *F-4 Delineation between Floors:* Floors are delineated with expression lines and balconies.
- *F-5 Porches, etc.:* The balconies are well integrated into the overall design.
- *F-6 Main Entries:* The main entry is emphasized with a canopy with placement near the street. **The access to the main entry was revised to provide a direct access from the sidewalk.**
- *F-7 Articulation Elements:* Project includes offsets in the building faces and a pronounced cornice.

Principle G Materials – Met – The dominant neighborhood material is clapboard

- *G-1 Materials:* The clapboards and board and batten are in keeping with the residential context. The use of panels, though not common in this neighborhood, is minimal and is broken up with detailing of each floor.
- *G-2 Material and Façade Design:* The materials are appropriately placed according to their nature.
- *G-3 Chimneys:* Not applicable
- *G-4 Window Types:* There are many window types used in this project.
- *G-5 Patios and Plazas:* Proposed porch/balconies use concrete and metal.

(i) Two-family, Special Needs Independent Living Units, Multiple-Family, Lodging Houses, Bed and Breakfasts, and Emergency Shelters:

Standard 1 – Met – The street-facing façade provides a high level of visual interest with variations in massing, material changes, balconies. The form, scale, roof line, and building orientation are consistent with and complement the surrounding residential context. The building height is one story above neighboring buildings but the height is not overwhelming and is mitigated by the slope of the street and the setback of building mass. The principal entrance, while side-facing, is close to the street and is emphasized with a canopy.

Standard 2 – Met – The front-most portion of the street-facing façade has a relationship to the street consistent with the surrounding building context. Preferably, the rest of that front façade would not be set back so far from the street. **The relationship of the main entry to the street was revised to provide a configuration that creates a more direct pedestrian path from the sidewalk to the door and that makes the front porch more comfortable and useable.**

Standard 3 – Met – The project provides balcony space for each dwelling unit.

Standard 4 – Met – The project has a high level of fenestration and the provision of balconies also contributes to residents' access to light and air. Storage is provided within each unit as well as the basement.

Standard 5 – Met – Garage doors and drive are located on side of building and away from the street.

Standard 6 – Not Applicable

MEMORANDUM

To: FILE

From: Shukria Wiar

Subject: Application ID: 2015-097

Date: 7/23/2015

Comments Submitted by: Keith Gautreau/Fire on 7/9/2015

Site access is okay considering the existing conditions. Hydrant locations are good for the proposed 3 unit sprinkled building.

Comments Submitted by: Keith Gautreau/Fire on 7/9/2015

All construction shall comply with City Code Chapter 10.
<http://www.portlandmaine.gov/citycode/chapter010.pdf>

Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.

Comments Submitted by: Keith Gautreau/Fire on 7/9/2015

The new building shall not affect the egress or required Fire Department access for the neighboring building.

A. Application Cover

**5 BRIGGS STREET
PORTLAND, MAINE**

**Application for:
Final Site Plan Level III Review**

Submitted by:
Nicholas Burnett
55 Salem St. Unit B
Portland, ME 04102

For:
Briggs Street Property, LLC
55 Salem Street, Unit B
Portland, ME 04102

Submission date:
June 9 , 2015

B. Level III Application updated 6-1-14



Level III – Preliminary and Final Site Plans Development Review Application Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level III: Preliminary or Final Site Plan. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits.

Level III: Site Plan Development includes:

- New structures with a total floor area of 10,000 sq. ft. or more except in Industrial Zones.
- New structures with a total floor area of 20,000 sq. ft. or more in Industrial Zones.
- New temporary or permanent parking area(s) or paving of existing unpaved parking areas for more than 75 vehicles.
- Building addition(s) with a total floor area of 10,000 sq. ft. or more (cumulatively within a 3 year period) except in Industrial Zones.
- Building addition(s) with a total floor area of 20,000 sq. ft. or more in Industrial Zones.
- A change in the use of a total floor area of 20,000 sq. ft. or more in any existing building (cumulatively within a 3 year period).
- Multiple family development (3 or more dwelling units) or the addition of any additional dwelling unit if subject to subdivision review.
- Any new major or minor auto business in the B-2 or B-5 Zone, or the construction of any new major or minor auto business greater than 10,000 sq. ft. of building area in any other permitted zone.
- Correctional prerelease facilities.
- Park improvements: New structures greater than 10,000 sq. ft. and/or facilities encompassing 20,000 sq. ft. or more (excludes rehabilitation or replacement of existing facilities); new nighttime outdoor lighting of sports, athletic or recreation facilities not previously illuminated.
- Land disturbance of 3 acres or more (includes stripping, grading, grubbing, filling or excavation).

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14) which is available on our website:

Land Use Code: <http://me-portland.civicplus.com/DocumentCenter/Home/View/1080>

Design Manual: <http://me-portland.civicplus.com/DocumentCenter/View/2355>

Technical Manual: <http://me-portland.civicplus.com/DocumentCenter/View/2356>

Planning Division
Fourth Floor, City Hall
389 Congress Street
(207) 874-8719

Office Hours
Monday thru Friday
8:00 a.m. – 4:30 p.m.

PROJECT NAME: _____

PROPOSED DEVELOPMENT ADDRESS:

PROJECT DESCRIPTION:

CHART/BLOCK/LOT: _____

PRELIMINARY PLAN _____ (date)

FINAL PLAN _____ (date)

CONTACT INFORMATION:

| | |
|--|--|
| Applicant – must be owner, Lessee or Buyer Name: Business Name, if applicable: Address: City/State : Zip Code: | Applicant Contact Information Work # Home# Cell # Fax# e-mail: |
| Owner – (if different from Applicant) Name: Address: City/State : Zip Code: | Owner Contact Information Work # Home# Cell # Fax# e-mail: |
| Agent/ Representative Name: Address: City/State : Zip Code: | Agent/Representative Contact information Work # Cell # e-mail: |
| Billing Information Name: Address: City/State : Zip Code: | Billing Information Work # Cell # Fax# e-mail: |

| | |
|--|---|
| Engineer Name: Address: City/State : Zip Code: | Engineer Contact Information Work # Cell # Fax# e-mail: |
| Surveyor Name: Address: City/State : Zip Code: | Surveyor Contact Information Work # Cell # Fax# e-mail: |
| Architect Name: Address: City/State : Zip Code: | Architect Contact Information Work # Cell # Fax# e-mail: |
| Attorney Name: Address: City/State : Zip Code: | Attorney Contact Information Work # Cell # Fax# e-mail: |

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Credit Card, Cash or Check payable to the City of Portland.)

| | |
|--|---|
| Level III Development (check applicable reviews) ___ Less than 50,000 sq. ft. (\$500.00) ___ 50,000 - 100,000 sq. ft. (\$1,000) ___ 100,000 – 200,000 sq. ft. (\$2,000) ___ 200,000 – 300,000 sq. ft. (\$3,000) ___ over \$300,00 sq. ft. (\$5,000) ___ Parking lots over 11 spaces (\$1,000) ___ After-the-fact Review (\$1,000.00 plus applicable application fee) Plan Amendments (check applicable reviews) ___ Planning Staff Review (\$250) ___ Planning Board Review (\$500) The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review fees are assessed separately. Any outside reviews or analysis requested from the Applicant as part of the development review, are the responsibility of the Applicant and are separate from any application or invoice fees. | Other Reviews (check applicable reviews) ___ Traffic Movement (\$1,000) ___ Stormwater Quality (\$250) ___ Subdivisions (\$500 + \$25/lot) # of Lots ___ x \$25/lot = _____ ___ Site Location (\$3,000, except for residential projects which shall be \$200/lot) # of Lots ___ x \$200/lot = _____ ___ Other _____ ___ Change of Use ___ Flood Plain ___ Shoreland ___ Design Review ___ Housing Replacement ___ Historic Preservation |
|--|---|

APPLICATION SUBMISSION:

1. All site plans and written application materials must be submitted electronically on a CD or thumb drive with each plan submitted as separate files, with individual file which can be found on the **Electronic Plan and Document Submittal** page of the City's website at <http://me-portland.civicplus.com/764/Electronic-Plan-and-Document-Submittal>
2. In addition, one (1) paper set of the plans (full size), one (1) paper set of plans (11 x 17), paper copy of written materials, and the application fee must be submitted to the Building Inspections Office to start the review process.

The application must be complete, including but not limited to the contact information, project data, application checklists, wastewater capacity, plan for fire department review, and applicant signature. The submissions shall include one (1) paper packet with folded plans containing the following materials:

1. One (1) full size site plans that must be folded.
2. One (1) copy of all written materials or as follows, unless otherwise noted:
 - a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
3. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
4. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
5. One (1) set of plans reduced to 11 x 17.

Please refer to the application checklist (attached) for a detailed list of submission requirements.

APPLICANT SIGNATURE:

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level III Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

| | |
|-------------------------|-------|
| Signature of Applicant: | Date: |
|-------------------------|-------|

PROJECT DATA

The following information is required where applicable, in order to complete the application.

| | |
|--|---------|
| Total Area of Site | sq. ft. |
| Proposed Total Disturbed Area of the Site | sq. ft. |
| If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland. | |
| | |
| Impervious Surface Area | |
| Impervious Area (Total Existing) | sq. ft. |
| Impervious Area (Total Proposed) | sq. ft. |
| | |
| Building Ground Floor Area and Total Floor Area | |
| Building Footprint (Total Existing) | sq. ft. |
| Building Footprint (Total Proposed) | sq. ft. |
| Building Floor Area (Total Existing) | sq. ft. |
| Building Floor Area (Total Proposed) | sq. ft. |
| | |
| Zoning | |
| Existing | |
| Proposed, if applicable | |
| | |
| Land Use | |
| Existing | |
| Proposed | |
| | |
| Residential, if applicable | |
| # of Residential Units (Total Existing) | |
| # of Residential Units (Total Proposed) | |
| # of Lots (Total Proposed) | |
| # of Affordable Housing Units (Total Proposed) | |
| | |
| Proposed Bedroom Mix | |
| # of Efficiency Units (Total Proposed) | |
| # of One-Bedroom Units (Total Proposed) | |
| # of Two-Bedroom Units (Total Proposed) | |
| # of Three-Bedroom Units (Total Proposed) | |
| | |
| Parking Spaces | |
| # of Parking Spaces (Total Existing) | |
| # of Parking Spaces (Total Proposed) | |
| # of Handicapped Spaces (Total Proposed) | |
| | |
| Bicycle Parking Spaces | |
| # of Bicycle Spaces (Total Existing) | |
| # of Bicycle Spaces (Total Proposed) | |
| | |
| Estimated Cost of Project | |

| PRELIMINARY PLAN (Optional) - Level III Site Plan | | | |
|--|--------------------------|--------------------|--|
| Applicant Checklist | Planner Checklist | # of Copies | GENERAL WRITTEN SUBMISSIONS CHECKLIST |
| | | 1 | Completed Application form |
| | | 1 | Application fees |
| | | 1 | Written description of project |
| | | 1 | Evidence of right, title and interest |
| | | 1 | Evidence of state and/or federal approvals, if applicable |
| | | 1 | Written assessment of proposed project's compliance with applicable zoning requirements |
| | | 1 | Summary of existing and/or proposed easement, covenants, public or private rights-of-way, or other burdens on the site |
| | | 1 | Written requests for waivers from site plan or technical standards, if applicable. |
| | | 1 | Evidence of financial and technical capacity |
| | | 1 | Traffic Analysis (may be preliminary, in nature, during the preliminary plan phase) |
| Applicant Checklist | Planner Checklist | # of Copies | SITE PLAN SUBMISSIONS CHECKLIST |
| | | 1 | Boundary Survey meeting the requirements of Section 13 of the City of Portland's Technical Manual |
| | | 1 | Preliminary Site Plan including the following: (information provided may be preliminary in nature during preliminary plan phase) |
| | | | Proposed grading and contours; |
| | | | Existing structures with distances from property line; |
| | | | Proposed site layout and dimensions for all proposed structures (including piers, docks or wharves in Shoreland Zone), paved areas, and pedestrian and vehicle access ways; |
| | | | Preliminary design of proposed stormwater management system in accordance with Section 5 of the Technical Manual (note that Portland has a separate applicability section); |
| | | | Preliminary infrastructure improvements; |
| | | | Preliminary Landscape Plan in accordance with Section 4 of the Technical Manual; |
| | | | Location of significant natural features (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features) located on the site as defined in Section 14-526 (b) (1); |
| | | | Proposed buffers and preservation measures for significant natural features, as defined in Section 14-526(b) (1); |
| | | | Location , dimensions and ownership of easements, public or private rights of way, both existing and proposed; |
| | | | Exterior building elevations. |

| FINAL PLAN - Level III Site Plan | | | |
|---|--------------------------|--------------------|--|
| Applicant Checklist | Planner Checklist | # of Copies | GENERAL WRITTEN SUBMISSIONS CHECKLIST (* If applicant chooses to submit a Preliminary Plan, then the * items were submitted for that phase and only updates are required) |
| | | 1 | * Completed Application form |
| | | 1 | * Application fees |
| | | 1 | * Written description of project |
| | | 1 | * Evidence of right, title and interest |
| | | 1 | * Evidence of state and/or federal permits |
| | | 1 | * Written assessment of proposed project's specific compliance with applicable Zoning requirements |
| | | 1 | * Summary of existing and/or proposed easements, covenants, public or private rights-of-way, or other burdens on the site |
| | | 1 | * Evidence of financial and technical capacity |
| | | 1 | Construction Management Plan |
| | | 1 | A traffic study and other applicable transportation plans in accordance with Section 1 of the technical Manual, where applicable. |
| | | 1 | Written summary of significant natural features located on the site (Section 14-526 (b) (a)) |
| | | 1 | Stormwater management plan and stormwater calculations |
| | | 1 | Written summary of project's consistency with related city master plans |
| | | 1 | Evidence of utility capacity to serve |
| | | 1 | Written summary of solid waste generation and proposed management of solid waste |
| | | 1 | A code summary referencing NFPA 1 and all Fire Department technical standards |
| | | 1 | Where applicable, an assessment of the development's consistency with any applicable design standards contained in Section 14-526 and in City of Portland Design Manual |
| | | 1 | Manufacturer's verification that all proposed HVAC and manufacturing equipment meets applicable state and federal emissions requirements. |

| Applicant Checklist | Planner Checklist | # of Copies | SITE PLAN SUBMISSIONS CHECKLIST (* If applicant chooses to submit a Preliminary Plan, then the * items were submitted for that phase and only updates are required) |
|---------------------|-------------------|-------------|---|
| | | 1 | * Boundary Survey meeting the requirements of Section 13 of the City of Portland's Technical Manual |
| | | 1 | Final Site Plans including the following: |
| | | | Existing and proposed structures, as applicable, and distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone); |
| | | | Existing and proposed structures on parcels abutting site; |
| | | | All streets and intersections adjacent to the site and any proposed geometric modifications to those streets or intersections; |
| | | | Location, dimensions and materials of all existing and proposed driveways, vehicle and pedestrian access ways, and bicycle access ways, with corresponding curb lines; |
| | | | Engineered construction specifications and cross-sectional drawings for all proposed driveways, paved areas, sidewalks; |
| | | | Location and dimensions of all proposed loading areas including turning templates for applicable design delivery vehicles; |
| | | | Existing and proposed public transit infrastructure with applicable dimensions and engineering specifications; |
| | | | Location of existing and proposed vehicle and bicycle parking spaces with applicable dimensional and engineering information; |
| | | | Location of all snow storage areas and/or a snow removal plan; |
| | | | A traffic control plan as detailed in Section 1 of the Technical Manual; |
| | | | Proposed buffers and preservation measures for significant natural features, where applicable, as defined in Section 14-526(b)(1); |
| | | | Location and proposed alteration to any watercourse; |
| | | | A delineation of wetlands boundaries prepared by a qualified professional as detailed in Section 8 of the Technical Manual; |
| | | | Proposed buffers and preservation measures for wetlands; |
| | | | Existing soil conditions and location of test pits and test borings; |
| | | | Existing vegetation to be preserved, proposed site landscaping, screening and proposed street trees, as applicable; |
| | | | A stormwater management and drainage plan, in accordance with Section 5 of the Technical Manual; |
| | | | Grading plan; |
| | | | Ground water protection measures; |
| | | | Existing and proposed sewer mains and connections; |

- Continued on next page -

| | | |
|--|--|--|
| | | Location of all existing and proposed fire hydrants and a life safety plan in accordance with Section 3 of the Technical Manual; |
| | | Location, sizing, and directional flows of all existing and proposed utilities within the project site and on all abutting streets; |
| | | Location and dimensions of off-premises public or publicly accessible infrastructure immediately adjacent to the site; |
| | | Location and size of all on site solid waste receptacles, including on site storage containers for recyclable materials for any commercial or industrial property; |
| | | Plans showing the location, ground floor area, floor plans and grade elevations for all buildings; |
| | | A shadow analysis as described in Section 11 of the Technical Manual, if applicable; |
| | | A note on the plan identifying the Historic Preservation designation and a copy of the Application for Certificate of Appropriateness, if applicable, as specified in Section Article IX, the Historic Preservation Ordinance; |
| | | Location and dimensions of all existing and proposed HVAC and mechanical equipment and all proposed screening, where applicable; |
| | | An exterior lighting plan in accordance with Section 12 of the Technical Manual; |
| | | A signage plan showing the location, dimensions, height and setback of all existing and proposed signs; |
| | | Location, dimensions and ownership of easements, public or private rights of way, both existing and proposed. |



PORTLAND FIRE DEPARTMENT
SITE REVIEW
FIRE DEPARTMENT CHECKLIST



A separate drawing[s] shall be provided as part of the site plan application for the Portland Fire Department's review.

1. Name, address, telephone number of applicant
3. Name address, telephone number of architect
4. Proposed uses of any structures [NFPA and IBC classification]
6. Square footage of all structures [total and per story]
7. Elevation of all structures
8. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
9. Hydrant locations
10. Water main[s] size and location
11. Access to all structures [min. 2 sides]
12. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.

Some structures may require Fire flows using annex H of NFPA 1

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2991



Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: _____

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: _____ Chart Block Lot Number: _____

Proposed Use: _____

Previous Use: _____

Site Category

- Commercial (see part 4 below)
- Industrial (complete part 5 below)
- Governmental
- Residential
- Other (specify)

| |
|--|
| |
| |
| |
| |
| |

Existing Sanitary Flows: _____ GPD

Existing Process Flows: _____ GPD

Description and location of City sewer that is to receive the proposed building sewer lateral.

(Clearly, indicate the proposed connections, on the submitted plans)

2. Please, Submit Contact Information.

City Planner's Name: _____ Phone: _____

Owner/Developer Name: _____

Owner/Developer Address: _____

Phone: _____ Fax: _____ E-mail: _____

Engineering Consultant Name: _____

Engineering Consultant Address: _____

Phone: _____ Fax: _____ E-mail: _____

(Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review)

3. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: _____ GPD

Peaking Factor/ Peak Times: _____

Specify the source of design guidelines: (i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify)

(Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet)

4. Please, Submit External Grease Interceptor Calculations.

Total Drainage Fixture Unit (DFU) Values: _____

Size of External Grease Interceptor: _____

Retention Time: _____

Peaking Factor/ Peak Times: _____

(Note: In determining your restaurant process water flows, and the size of your external grease interceptor, please use The Uniform Plumbing Code. Note: In determining the retention time, sixty (60) minutes is the minimum retention time. Note: Please submit detailed calculations showing the derivation of your restaurant process water design flows, and please submit detailed calculations showing the derivation of the size of your external grease interceptor, either in the space provided below, or attached, as a separate sheet)

5. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: _____ GPD

Do you currently hold Federal or State discharge permits? _____

Yes _____ No _____

Is the process wastewater termed categorical under CFR 40? _____

Yes _____ No _____

OSHA Standard Industrial Code (SIC): _____

<http://www.osha.gov/oshstats/sicser.html>

Peaking Factor/Peak Process Times: _____

(Note: On the submitted plans, please show where the building's domestic sanitary sewer laterals, as well as the building's industrial-commercial process wastewater sewer laterals exits the facility. Also, show where these building sewer laterals enter the city's sewer. Finally, show the location of the wet wells, control manholes, or other access points; and, the locations of filters, strainers, or grease traps)

(Note: Please submit detailed calculations showing the derivation of your design flows, either in the space provided below, or attached, as a separate sheet)

Notes, Comments or Calculation

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| C2.2 | Details |
| C2.3 | Details |
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| | |
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D 1.2Development
Review Application

1

DEVELOPMENT REVIEW APPLICATION

Construction Management Plan Notes

Temporary fencing will be erected on the west side of the property where existing fence is located. The opening of the right of way onto Salem Street will also have temporary fencing.

When sidewalks on Briggs or Salem Street are removed or under construction then signage will be placed at the head of Briggs St., at the junction of Salem and Briggs and to the east on Salem St., directing pedestrians to use the sidewalk on the opposite side of the streets. Barriers and warning tapes will also be utilized. Additional signage and barriers will be employed to direct traffic when utility work requires excavation and repaving of Salem Street.

All work shall conform to applicable city codes and ordinances.

The contractor shall clean and remove debris and sediment, or other public waste due to construction, deposited on public streets, sidewalks and adjacent areas.

No holes, trenches or structures shall be left open overnight in any excavation accessible to the public or in a public right of way.

Construction waste will be sorted on site and will either be recycled or legally disposed of by the general contractor.

Construction Management Plan

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Construction waste will be sorted on site and will either be recycled or legally disposed of by the general contractor.

V

10

DRAWINGS

PROJECT DESCRIPTION

Project Summary

Existing:

5 Briggs Street currently has a two car, single story garage built on it. There are no existing easements, covenants, rights of way or other burdens on the property.

Proposed:

Briggs Street Project is the demolition of the existing garage and the new construction of a 3-unit apartment building located in the West End. One apartment will comprise each of three stories.

The architectural features of the building will fit very well into the neighborhood. There will be ample decks on the top two floors, visible from Briggs street. The first floor unit will have direct access to a garden terrace. The Briggs St. facade of the building will feature the decks, a vertical row of fenestration defining the stairwell and a protected entry with stairs leading from a walkway. The South facade, at a remove from Salem Street, is broken up by a two foot setback and a stairwell tower set behind the decks and entry doorway. At three stories high with a flat roof, the scale will complement the the neighborhood, where three-story flat-roofed buildings predominate.

The site is sloped, allowing a 2-car garage to be built into the daylight basement facing South. It is in roughly the same location, but at a lower elevation, than the existing garage. The stormwater treatment system, located to the East of the building, consists of a stormdrain infiltration and underdrained soil filter system under seeded loam and pavers. A trench drain and gutter will divert stormwater from the roof and neighboring property into the system.

Parking for two vehicles in the garage, and an additional parking spot will be provided. A designated parking area is available for two bicycles. The driveway will follow the same path as the existing drive, on an existing 10' right-of-way through the adjacent Salem Street property owned by Nicholas Burnett. Areas for snow removal will be located adjacent to parking.

Consistency with City Master Plans

The 5 Briggs Street Project is consistent with the City's Comprehensive Plan Housing Goal to provide a sufficient supply of quality housing, "support Portland's economic development, insure the safety of it's citizens and maintain stable neighborhoods."

This project will add three residential units to an underutilized lot. This new development will help increase adjacent property values and help better maintain a stable neighborhood.

Natural Features Summary

There are no significant natural features on the site. The site is moderately sloped. There is one mature tree that will need to be removed, as well as three decorative maples and a crab apple..

A small peach tree will be moved if necessary and possible. Existing plantings and lawn will be restored.

Site Lighting

Tall exterior site lighting including lighting and building entrances will be cutoff with no light emitted above the horizontal plane or spilled onto adjacent properties or streets.

Illumination levels will be adequate for the safety, comfort and convenience of occupants and users of the site and will conform to all applicable standards of Section 12 of the Technical Manual.

Right, Title and Interest

Deed of Sale for 47 Salem Street and 5 Briggs Street

Release Deed for 55 Salem Street , EXHIBIT A excepting and reserving right of way

Determination letter from Marge Shmuckal, dated April 3, 2012

DEED OF SALE BY PERSONAL REPRESENTATIVE
(INTESTATE)
Maine Statutory Short Form


KNOW ALL PERSONS BY THESE PRESENTS, that Daniel P. Barrett, duly appointed and acting Successor Personal Representative of the Estate of Ilon J. Lesniewski, deceased (intestate), as shown by the probate records of the Cumberland County Probate Court, Portland, Maine and having given notice to each person succeeding to an interest in the real property described below at least ten (10) days prior to the sale, by the power conferred by the Probate Code, and every other power, for consideration paid, grant to Briggs Street Property, LLC, the real properties on 47 Salem Street, and 5 Briggs Street, City of Portland, County of Cumberland and State of Maine, as more fully described in Exhibit A attached hereto and fully incorporated herein by reference.

WITNESS his hand and seal this 8th day of September, 2011.

Signed, Sealed and Delivered
in the presence of



Witness



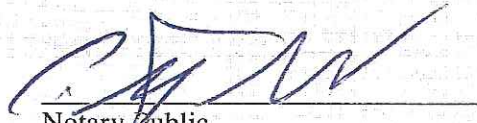
Daniel P. Barrett, Personal Representative
Ilon J. Lesniewski Estate

STATE OF MAINE,
Cumberland, ss.

September 8, 2011

Then personally appeared the above named Daniel P. Barrett in his said capacity and acknowledged the foregoing instrument to be his free act and deed.

Before me,



Notary Public

Type or Print Name

C. TRENT GRACE
Notary Public, Maine
My Commission Expires February 2, 2015

MAINE REAL ESTATE TAX PAID

011-1910

EXHIBIT 'A'
47 SALEM STREET AND 5 BRIGGS STREET
PORTLAND, MAINE

Two certain lots or parcels of land, with the buildings thereon, situated on the northeasterly side of Briggs Street in said City of Portland, the first being bounded and described as follows:

Beginning at a drill hole in the cement side walk on the northeasterly side line of Briggs Street distant forty-six (46) feet in a northwesterly direction for the stone monument with marks the northeasterly side line of Briggs Street with the northwesterly side line of Salem Street; thence in a northeasterly direction and making an angle of ninety-five (95) degrees with the northeasterly side line of Briggs Street (on the Salem Street side of the angle) and running parallel with and two (2) feet northerly of the brick foundation of the building at the northeasterly corner of Salem and Briggs Streets a distance of forty-nine and 58 one hundredths (49.58) feet to an iron pipe; thence deflecting to the left by an angle of ninety-one degrees and forty-two minutes (91.42) and running in a northwesterly direction a distance of forty-one and thirty-five one-hundredths (41.35) feet to an iron pipe in the southeasterly line of land now or formerly on one Willis; thence in a southwesterly direction by said Willis land a distance of forty-four and ninety-five one-hundredths (44.95) feet to an iron pipe in the northeasterly side line of said Briggs Street; thence in a southeasterly direction by said northeasterly line of Briggs Street a distance of forty-one and fifty-five one-hundredths (41.55) feet to the point of the beginning.

Also another certain lot or parcel of land with the buildings thereon, situated northwesterly of Salem Street, in said City of Portland, bounded and described as follows:

Beginning at the northeasterly corner of land conveyed by Albin Spiridovicz to Leopad Tarazewski and Orzula Tarazewski by deed dated November 12, 1932 and recorded in the Cumberland County Registry of Deeds in Book 1409, Page 414, which corner is forty-four and ninety-five one-hundredths (44.95) feet northeasterly from Briggs Street; thence southeasterly by said Tarazewicz land, formerly of Francis E. Eltman, forty-one and thirty-five one-hundredths (41.35) feet to an iron pipe at land conveyed by Albin Spiridovicz to Joseph T. Lesniewski et al by deed dated May 13, 1933 and recorded in said Registry of Deeds in Book 1420, Page 210; thence northeasterly by said Lesniewski land fifty-five and fifteen one-hundredths (55.15) feet to an iron pipe at land now or formerly of Symonds; thence northwesterly by said Symonds land forty (40) feet, more or less, to land formerly of Willis; thence southwesterly by said Willis land fifty-five (55) feet, more or less, to the point of the beginning, together with the right of way to Salem Street ten (10) feet wide as excepted and reserved in said deed to Lesniewski.

Being the same premises conveyed to Ilon Lesniewski by Earl Brand et al by deed dated January 4, 1968 and recorded in the Cumberland County Registry of Deeds, Book 3036, Page 427.

Received
Recorded Register of Deeds
Sep 09, 2011 03:49:41P
Cumberland County
Pamela E. Lovley

RELEASE DEED (LONG FORM)


KNOW ALL BY THESE PRESENTS,

THAT I, ROBERT ADAMS, of Portland, Cumberland County, Maine in consideration of ONE DOLLAR and other valuable consideration paid by NICOLAS S. BURNETT, of Portland, Cumberland County, Maine, and whose mailing address is PO Box 7693, Portland ME 04112, the receipt whereof I do hereby acknowledge, do hereby REMISE, RELEASE and FOREVER QUITCLAIM unto Nicolas S. Burnett, his heirs and assigns forever, the land and buildings in Portland, Cumberland County, Maine, more fully described on Exhibit A attached to this instrument.

TO HAVE AND TO HOLD the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to Nicolas S. Burnett, his heirs and assigns, to him and their use and behoof forever.

IN WITNESS WHEREOF, Robert Adams has hereunto set his hand and seal this

SIGNED, SEALED AND DELIVERED
IN PRESENCE OF:


(Witness)


ROBERT ADAMS

STATE OF MAINE
CUMBERLAND, ss.

8-31, 20 11

Then personally appeared Robert Adams and acknowledged the foregoing instrument to be his free act and deed.

Before me: 
Notary Public/Attorney at Law

NOTARY PRINT NAME: _____

C. TRENT GRACE
Notary Public, Maine
My Commission Expires February 2, 2015

EXHIBIT A

Property Location: 55 Salem Street, Portland, Cumberland County, Maine

Municipal Assessor's Map 57 Block J Lot 20

Beginning at a stone monument which marks the intersection of the northerly side line of Salem Street with the easterly side line of Briggs Street, thence northerly by said easterly line of Briggs Street a distance of forty-six (46) feet to a drill hole in the cement sidewalk, thence deflecting to the right by an angle of eighty-five (85) degrees a distance of forty-nine and fifty-eight hundredths (49.58) feet to an iron pipe, thence continuing the same course a distance of fifty-five and fifteen hundredths (55.15) feet to an iron pipe in the line of land now or formerly of one Simonds, thence deflecting to the right by an angle of eighty-eight degrees and fifty-one minutes ($88^{\circ} 51'$), and running in a southerly direction by said Simonds land a distance of thirty-nine and twenty-four hundredths (39.24) feet to a stone monument in the northerly side line of Salem Street, thence in a westerly direction and by the northerly line of Salem Street a distance of fifty-five (55) feet to an iron pipe, thence continuing the same course a distance of nine and four tenths (9.4) feet to an angle in said street line, thence deflecting to the right and by said line of Salem Street a distance of forty-five and sixth tenths (45.6) feet to the stone monument at the point of beginning.

Excepting and reserving therefrom a certain right of way to be used in common with others, leading from Salem Street to a lot in the rear of the premises above described. Said right of way to be ten (10) feet wide, and to lie on the easterly side of a line drawn between the two iron pipes mentioned in the second and forth courses of the above description, that is, the northerly pipe is forty-nine and fifty-eight hundredths (49.58) feet from Briggs Street measured along the northerly line of above piece, and the southerly pipe is fifty-five (55) feet from the stone monument at the Simonds corner measured along Salem Street

Being the same premises conveyed to Robert Adams by Deed of Distribution by Personal Representative of Philip L. King, duly appointed and acting personal representative of the Estate of Robert M. Koulovatos, deceased (testate), as shown by the probate records of the County of Cumberland, State of Maine, being Docket No. 2006-1460, dated September 20, 2007 and recorded in the Cumberland County Registry of Deeds in Book 25494, Page 237.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Greg Mitchell - Acting Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator

April 3, 2012

James D. Nadeau, P.L.S., C.F.M.
James D. Nadeau, LLC Professional Land Surveyors
918 Brighton Avenue
Portland, Maine 04102

RE: 55 Salem Street – 057-J-20 & 22 (called parcel “A”)
5 Briggs Street – 057-J-29 & 31 (called parcel “B”)

Dear Jim,

I am in receipt of your request for a determination letter concerning the properties located at 55 Salem Street (parcel “A”) and 5 Briggs Street (parcel “B”). Both properties are located in an R-6 residential zone with no other overlay zones.

My determination is based upon a survey prepared by James D. Nadeau of James D. Nadeau, LLC Professional Land Surveyors, sign, sealed and dated 2-13-12. It is important to observe that the Assessors maps have not accurately depicted the deeds in its map rendering. The 10' right-of-way over parcel “A” has been inaccurately shown as separate property and part of parcel “B”. It is my understanding that the underlying ownership of the property of the 10' right-of-way is part of parcel “A”.

The proposal is to convey 53 square foot of property from the owner of parcel “A” to the owner of parcel “B” as shown on the given survey. The proposal does not violate any zoning requirements of either property, including setbacks and lot coverage. Parcel “A” would maintain more than the minimum R-6 lot size at 4,701 square feet after the conveyance of 53 square feet.

Parcel “B” is currently 4,366 square feet in size, essentially vacant with a garage to be demolished. The proposed conveyance would increase the lot size to 4,419 square feet. The R-6 zone has a minimum lot size of 4,500 square feet. Because the current lot is under the minimum lot size, the owner of parcel “B” has two options prior to developing the lot. The owner may prove the property is a lot of record as defined under 14-433 showing this office a chain of title since 1957 and use the dimensional requirements of section 14-139(1). Or the owner of parcel “B” may be able to show compliance with the R-6 “Small residential lot development” requirements of section 14-139(2).

Parcel “A” is considered to be a legal two (2) residential dwelling unit constructed prior to the basis of the current Land Use Zoning Ordinance.

This determination is not permission to begin construction. Separate reviews and permits are required through the Planning and Inspection Services Division prior to any construction.

If there are any questions regarding this matter, please do not hesitate to contact me at (207) 874-8695.

Very truly yours,

A handwritten signature in blue ink that reads "Marge Schmuckal". The signature is fluid and cursive, with a long horizontal stroke at the end.

Marge Schmuckal
Zoning Administrator

COMPLIANCE

ZONING SUMMARY

Chapter 14

| | |
|------------------------|------------------------------------|
| Project Address | 5 Briggs St, Portland, ME 04102 |
| Project type | Multi-family Residential > 3 units |
| City Zone | R-6 |
| Legal ID | 57 J 29 & 31 |
| Lot Area | 4419 SF |
| Permitted Uses | Multiple uses |
| Existing Uses | Garage |
| Proposed Use | Multi-family Residential |
| Guidelines | NA |

R-6 Sect. 14-139 (b) Small residential lot development

| Dimension Requirements | Required/Allowed | Provided |
|-------------------------------|--|---------------------|
| Min. Lot Size | None | 4419 SF |
| Max Lot Size | 10,000 SF | 4419 SF |
| Min Front Yard | Max. 10'-0" | 10'-0" |
| Min Rear Yard | rear or side yard at least 15' | 15" |
| Side Yard | Min 10' set back between buildings | 10' |
| Min Princ Structure Height | 2 Stories above grade | 3 stories |
| Max Princ Structure Height | 45' | <40' |
| Open Space Requirement | Each unit provide deck, porch, patio or balcony; or 10% lot open space | 2 balconies & patio |
| Min Lot Width | none | 40' |
| Min Area per Dwelling Lot | 725 SF | 1473 s.f. |
| Other Requirements | | |
| Off-street Auto Parking | 1 space per Unit | 3 |
| Off-street Bicycle Parking | 2 spaces per 5 units | 2 |

Building Code and Use Summary

| | |
|---------------------------------|--|
| Applicable Codes | IBC 2009 IECC 2009 R-6 CBL 57 J 29 & 31 NFPA 101/2009 Maine State Internal Plumbing Code (Ref. Uniform Plumbing Code 2009) |
| Building Use | Three-unit residential. Rental Properties |
| Occupancy Classification | IBC R2 NFPA 101: Residential |

Fire Department Technical Standards:

The project will be sprinkled in compliance with NFPA 13R 2010

Hydrant location: Approx. 96' from new structure. (at the corner of Briggs St. and Salem St.)

All details will be reviewed with the Portland Fire Department as required.

Fire Resistant Construction IBC 2009 VB

Sound Transmission

IBC 2009 1207.2 ""assemblies separating dwelling units from each other... shall have an STC of not less than 50"

1207.3 "Floor/ceiling assemblies between dwelling units... shall have an IIC rating of not less than 50"

FINANCIAL AND TECHNICAL CAPACITY

Technical Capacity

Architect: Whipple Callendar Architects is a leader in Maine in building residences, educational and commercial structures. Whipple Callendar is the lead designer on the project.

Other consultants will be retained in an as-needed basis.

Pinkham and Greer, Civil Engineers is responsible for design of the stormwater drainage system and all civil plans

HVAC

All HVAC equipment in this project will meet all applicable state and federal emissions requirements.

The HVAC equipment will meet the requirements of ASHRAE 90.1-2007 Energy Efficiency Standard and the IECC 2009.

Primary HVAC equipment will be located in each unit. A condenser for each unit will be located on the NW building elevation. The equipment will be screened from view by the property fence.

Noise levels generated by site equipment will not exceed City standards,

EVIDENCE OF UTILITY CAPACITY TO SERVE

P



nicholas burnett <nick3ddesign@gmail.com>

CMP New Service Installation - Notif # 10300121038

1 message

cmpservicecoordination@cmpco.com <cmpservicecoordination@cmpco.com>

Wed, May 27, 2015 at 8:17 PM

To: NICK3DDESIGN@gmail.com



www.cmpco.com

DEAR NICHOLAS S BURNETT,

Welcome to CMP! We look forward to serving you throughout your new service installation project.

The notification number referenced in the subject line of this email is unique to your project. Please reference this number when you contact us.

Please view Getting Connected on our internet site. The information contained on the website is designed to help you understand the steps involved in establishing electricity service.

There are forms required for your new service installation. You may print out the necessary forms at the link below:

Simple Service Forms

Throughout this process, the CMP Service Coordination Team will work with you to complete your project. We are available Monday through Friday from 7:30 am to 4:00 pm. Please don't hesitate to e-mail us at cmpservicecoordination@cmpco.com with any questions. We'll keep you informed every step of the way with e-mails sent out as each milestone is completed.

We look forward to meeting your electricity delivery needs!

Sincerely,

Your CMP Service Coordination Team

Contact us at: cmpservicecoordination@cmpco.com

For more information: <http://www.cmpco.com/YourAccount/GetConnected/default.html>





Unitil

Q

May 28, 2015, 2015

Re: 5 Briggs Street, Portland Maine

Dear Mr. Burnett:

Thank you for your interest in using natural gas for the above referenced project.

Unitil has natural gas in the vicinity of this project to provide additional gas service. The evaluation to complete the design, costs and determining what the customer contribution may be, if any, can be completed once Unitil receives the completed design and load information.

Unitil welcomes the opportunity for further discussions regarding this project.

If you have any further questions or require additional information, please contact me directly at (207) 541-2536 or at Harmon@unitil.com.

Sincerely,

Bridget L. Harmon
Business Development Representative, Customer Energy Solutions



Unitil

1075 Forest Ave.

Portland, ME 04103 T 207.541.2536 E mathers@unitil.com www.unitil.com

CUSTOMER ENERGY SOLUTIONS
1075 Forest Ave.
Portland, ME 04103

T 888.486.4845 www.unitil.com

STORMWATER MANAGEMENT

Solid Waste

The building owner will contract with the City of Portland Public Works Authority for the collection of solid waste and recyclables.

Building tenants will be provided with suitable recycling containers obtained from the Public Works Authority. Tenants will also be instructed to use City of Portland designated biodegradable bags for non-recyclable solid waste.

Construction waste will be sorted on site and either recycled or legally disposed of by the General Contractor.

Construction Management Plan Notes

Temporary fencing will be erected on the west side of the property where existing fence is located. The opening of the right of way onto Salem Street will also have temporary fencing.

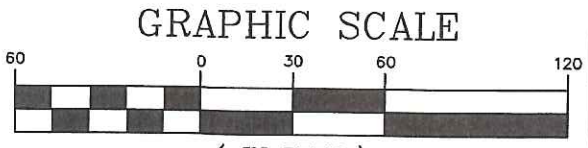
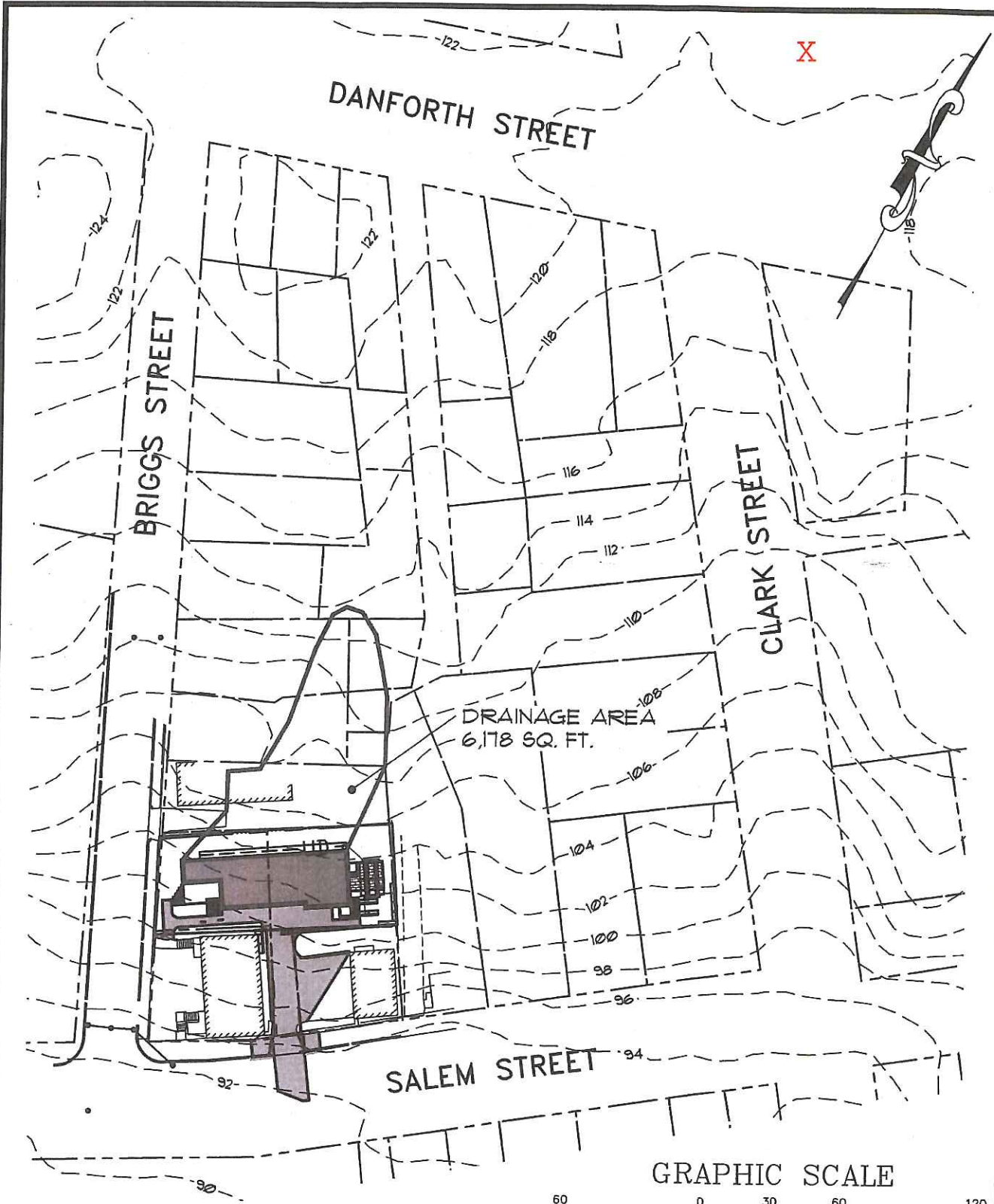
When sidewalks on Briggs or Salem Street are removed or under construction then signage will be placed at the head of Briggs St., at the junction of Salem and Briggs and to the east on Salem St., directing pedestrians to use the sidewalk on the opposite side of the streets. Barriers and warning tapes will also be utilized. Additional signage and barriers will be employed to direct traffic when utility work requires excavation and repaving of Salem Street.

All work shall conform to applicable city codes and ordinances.

The contractor shall clean and remove debris and sediment, or other public waste due to construction, deposited on public streets, sidewalks and adjacent areas.

No holes, trenches or structures shall be left open overnight in any excavation accessible to the public or in a public right of way.

Construction waste will be sorted on site and will either be recycled or legally disposed of by the general contractor.



GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft.

DRAINAGE ANALYSIS

PINKHAM & GREER
CIVIL ENGINEERS

28 VANNAH AVE. PORTLAND, ME. 04103

BRIGGS STREET PROPERTY, LLC
5 BRIGGS STREET
PORTLAND, MAINE

D1.0

SCALE: AS SHOWN DATE: MAY 20, 2015 CHK BY: TSG PROJECT: 14164

HOUSEKEEPNG REPORT

5 BRIGGS STREET
PORTLAND, MAINE

May 20, 2015

Housekeeping:

This project is located in a stream watershed. Protection of the groundwater quality is ensured by having good housekeeping practices and maintenance of the stormwater systems. Spill prevention must be incorporated into the plan. The project should follow the following steps:

1. Homeowners should be made aware of possible groundwater and surface water contamination based on their actions. The spilling of products such as small engine fuel, cleaning products and paints need to be cleaned up. The use of fertilizers and pesticides should be done cautiously and in accordance with manufacturers recommendations.

The maintenance of the landscaping and parking lots should include the sweeping of the parking lots and removal of the materials that may cause dust.

During construction follow the erosion control measures outlined on the plans.

During construction, develop a waste handling program that identified potential contaminates that could be introduced to the aquifer. Follow hazardous waste rules if any items used are considered a hazardous waste. It is critical to the site that uncontrolled releases be prevented.

Oil absorbent pads should be used while refueling equipment.

This site may require dewatering of trenches. During construction, monitor stormwater runoff from the equipment and ground areas to minimize contamination of groundwater.

**STORMWATER DRAINAGE SYSTEM
MAINTENANCE AGREEMENT**

For SUBDIVISIONS

IN CONSIDERATION OF the site plan and subdivision approval granted by the Planning Board of the City of Portland to the proposed 5 Briggs Street shown on the Subdivision Recording Plat (Exhibit A) recorded in Cumberland Registry of Deeds in Plan Book ____, Page ____ submitted by Briggs Street Property, LLC, and associated Grading & Utilities Plan (Exhibit B) prepared by Pinkham & Greer, Civil Engineers of 28 Vannah Avenue, Portland, Maine 04103 dated May 7, 2015 and pursuant to a condition thereof, Briggs Street Property, LLC, a Maine limited liability company with a principal place of business in Portland, Maine, and having a mailing address of 55 Salem Street #B, Portland, Maine, 04102, the owner of the subject premises, does hereby agree, for itself, its successors and assigns (the "Owner"), as follows:

Maintenance Agreement

That it, its successors and assigns, will, at its own cost and expense and at all times in perpetuity, maintain in good repair and in proper working order the underdrained soil filter, (hereinafter collectively referred to as the "stormwater system"), as shown on the Grading & Utilities Plan in Exhibit B and in strict compliance with the approved Inspection and Maintenance of Stormwater Management Facilities, prepared for the Owner by Pinkham & Greer, Civil Engineers attached in Exhibit C and Chapter 32 of the Portland City Code.

Owner of the subject premises further agrees, at its own cost, to keep a Stormwater Maintenance Log. Such log shall be made available for inspection by the City of Portland upon reasonable notice and request.

Said agreement is for the benefit of the said City of Portland and all persons in lawful possession of said premises and abutters thereto; further, that the said City of Portland and said persons in lawful possession may enforce this Agreement by an action at law or in equity in any court of competent jurisdiction; further, that after giving the Owner written notice and a stated time to perform, the said City of Portland, by its authorized agents or representatives, may, but is not obligated to, enter upon said premises to maintain, repair, or replace said stormwater system in the event of any failure or neglect thereof, the cost and expense thereof to be reimbursed in full to the said City of Portland by the Owner upon written demand. Any funds owed to the City under this paragraph shall be secured by a lien on the property.

This Agreement shall also not be construed to allow any change or deviation from the requirements of the subdivision and/or site plan most recently and formally approved by the Planning Board of the City of Portland.

This agreement shall bind the undersigned only so long as it retains any interest in said premises, and shall run with the land and be binding upon the Owner's successors and assigns as their interests may from time to time appear.

The Owner agrees to record a copy of this Agreement in the Cumberland County Registry of Deeds within thirty (30) days of final execution of this Agreement. The Owner further agrees to provide a copy of this Agreement to any successor or assign and to forward to the City an Addendum signed by any successor or assign in which the successor or assign states that the successor or assign has read the Agreement, agrees to all its terms and conditions and the successor or assign will obtain and forward to the City's Department of Public Services and Department of Planning and Urban Development a similar Addendum from any other successor or assign.

For the purpose of this agreement and release "Owner" is any person or entity who is a successor or assign and has a legal interest in part, or all, of the real estate and any building. The real estate shown by chart, block and lot number in the records on file in the City Assessor's office shall constitute "the property" that may be entered by the City and liened if the City is not paid all of its costs and charges following the mailing of a written demand for payment to the owner pursuant to the process and with the same force and effect as that established by 36 M.R.S.A. §§ 942 and 943 for real estate tax liens.

Any written notices or demands required by the agreement shall be complete on the date the notice is attached to one or more doors providing entry to any buildings and mailed by certified mail, return receipt requested or ordinary mail or both to the owner of record as shown on the tax roles on file in the City Assessor's Office.

If the property has more than one owner on the tax rolls, service shall be complete by mailing it to only the first listed owner. The failure to receive any written notice required by this agreement shall not prevent the City from entering the property and performing maintenance or repairs on the stormwater system, or any component thereof, or liening it or create a cause of action against the City.

Dated at Portland, Maine this ____ day of _____, 2015.

Briggs Street Property, LLC

Nicholas Burnett

STATE OF MAINE
CUMBERLAND, ss.

Date: _____

Personally appeared the above-named _____ (*name and title*), and acknowledged the foregoing instrument to be his free act and deed in his said capacity.

Before me,

Notary Public/Attorney at Law

Print name: _____

Exhibit A: Subdivision Recording Plat as recorded (C1.0)

Exhibit B: Approved Grading & Utilities Plan (C1.3)

Exhibit C: Approved Inspection and Maintenance of Stormwater Management Facilities

5 Briggs Street
PORTLAND, MAINE

May 20, 2015

**INSPECTION AND MAINTENANCE
OF STORMWATER MANAGEMENT FACILITIES**

The project developer is Briggs Street Property, LLC, 55 Salem St. #B, Portland, ME 04102. The developer will be responsible for the inspection and maintenance of all stormwater management facilities, the establishment of any contract services required to implement the program, and the keeping of records and maintenance log book as described herein. At a minimum, the appropriate and relevant activities for each of the stormwater management facilities should be performed on the prescribed schedule. Periodic inspection and maintenance of these site features and devices is necessary to prevent erosion and remove pollutants from stormwater runoff.

SWALES, DITCHES AND PAVED SURFACES:

Swales, ditches and paved surfaces are easily inspected during a site walk or even a ride-by. Since visual inspection is easy, their condition should be assessed during and/or after significant rainfall events such as thundershowers and periods of heavy or extended rainfall and during periods of significant snowmelt. Any damage or unusual condition such as sedimentation of a ditch, erosion, damaged pavement or dying vegetation should be recorded, dated and initialed by the inspector when observed. Even if there is no damage, the inspector should make record of these inspections at least twice annually.

Paved surfaces should be visually inspected monthly during the winter. The inspector should pay particular attention to the build up of ice and sand along the edge of the road and remove accumulations that block the free flow of surface runoff to the catch basins. Paved areas should be swept at least once annually. The date and initials of the inspector should be recorded on the forms provided as well as a notation of any cleanup effort that was made.

DRAIN PIPES:

Drain pipes connect catch basins and field inlets. Inspect drain pipes when inspecting other stormwater maintenance facilities. At least annually make a visual inspection of the pipe. During the daylight you should be able to see light through most pipes as they have been laid to a straight line and grade. In some cases (e.g. pipe runs to a catch basin, or is blocked) you will need a light to inspect pipes.

Clean pipes as necessary. Record inspections on the forms provided noting condition of pipe and any maintenance procedures implemented.

UNDERDRAINED SOIL FILTERS:

There is an underdrained soil filter located under the patio on the east end of the building. It consists of an underdrain layer of sand with sand media over it. There are plastic chambers in stone over that with insulation and the patio on top. It is connected to the roof drain and drip strip

Soil Filter Inspection: The soil filter should be inspected after every major storm in the first few months to ensure proper function. Thereafter, the filter should be inspected at least once every six months to ensure that it is draining within 48 hours; and that, after storms that fill the system to overflow, it drains in no less than 24 hours. If the system drains too fast, the orifice on the underdrain outlet may need to be modified. An inspection port is provided for this use.

Soil Filter Replacement: The top several inches of the filter shall be replaced with fresh material when water ponds on the surface of the bed for more than 72 hours. The removed sediments should be disposed in an acceptable manner.

Sediment Removal: Check the roof gutter system to ensure debris is not reaching the filter.

Record all maintenance on forms provided.

**STORMWATER MANAGEMENT SYSTEM
MAINTENANCE PROGRAM
SUMMARY CHECKLIST**

| Item | Commentary | Frequency | | | |
|--|--|------------------------|--------------------------|----------|-----------|
| | | Month | Semi-Annual | Annual | Long-Term |
| Open Swale, Ditches & Inlet Structures | Inspect for debris accumulation, erosion and excessive vegetation. Mow monthly, remove debris, repair and revegetate any area of erosion | X Mow | | X | |
| Pavement | Review for damage and buildup of debris and sand. | X | X Sweep | | |
| Pipelines | Inspect for sediment build-up in pipe. Flush and remove as required. | | | X | |
| Underdrain Soil Filter | Review Inspection Port | | X | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

**STORMWATER MANAGEMENT REPORT
5 BRIGGS STREET
PORTLAND, MAINE**

May 20, 2015

Project Description:

This project is the construction of a three unit residential structure located on Briggs Street. The existing site is developed with lawn, patio, and a garage. The new structure will be three stories with a 1,409 sq. ft. footprint. The access to the site will be from Salem Street. Parking is under the first floor.

The sewer, water, and gas utilities will be from Salem Street. The electrical and cable services will be from Briggs Street.

Stormwater Controls:

The existing site has sheet and concentrated drainage from the area above. The surface water flows across the site, across the existing lot at the corner of Briggs and Salem to the stormdrain system at that corner. The future flows will do the same thing.

The existing site has 1,276 sq. ft. of impervious cover. The developed site will have 2,444 sq. ft. of impervious cover. This increase of 1,168 sq. ft. requires the installation of a stormwater control and treatment system.

Treatment System:

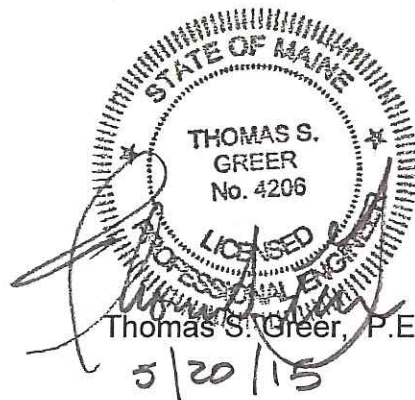
The site will include an Underdrained Soil Filter (UDSF) system to treat the runoff from the roof of the building. The roof will have a single pitch from the downhill side to the uphill side. A gutter system will collect the water and convey it to the UDSF under the patio. A screen system in the downspout of the gutter will remove leaves and debris from the system. Also connected to the system will be a drip strip along the building. This will collect any stormwater from the uphill side of the site and overflow from the gutter system.

The treatment system will consist of a filter media underlain by underdrain pipes. Over the media will be plastic chambers for water storage all under the patio system. The chambers will have an inspection overflow port. This will be for the observation of standing water over the filter media, venting of the system and over flow of excess flow. The discharge from the system will be by the underdrain pipes to daylight just below the filter. This recreates the existing surface water flow.

The system will also provide some peak flow controls. The first inch of runoff from the roof will be captured and discharged over a 24 to 48 hour time frame.

Results:

The use of the Underdrained Soil Filter to capture and treat runoff from the roof will control peak flows and treat the stormwater. No unreasonable impacts from stormwater should occur to downstream properties or environments as a result of this project.



THIS PROJECTS HAS 1,276 SQ FT OF EXISTING IMPERVIOUS COVER. THE DEVELOPED PROJECT WILL HAVE 2,444 SQ FT OF IMPVIOUS COVER. THE ADDITIONAL 1,276 SQ FT REQUIRES TREATMENT. TO MEET THIS STANDARD, AN UNOCDRAINED SOIL FILTER WILL BE USED TO TREAT THE RUN OFF FROM THE ROOF.

REQUIRED TREATMENT VOLUME

$$1,276 \times \frac{1''}{12''/CF} = 106 \text{ CF}$$

VOLUME OF THE STORAGE OVER THE FILTER MEDIA

$$15' \times 14' \times \frac{22''}{12} \times 0.35 = 134 \text{ CF}$$

134 > 106 STANDARDS ARE MET.

File: 14164

July 14, 2015

Ms. Shukria Wiar, Planning Department
City of Portland
389 Congress Street, 4th Floor
Portland, ME 04101

RE: 5 BRIGGS STREET

Dear Shukria,

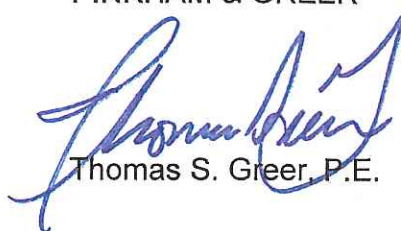
Attached are revised plans for 5 Briggs Street. Through some value engineering we have made some changes that are reflected on the plans. These include:

1. Revised the front steps and walkway to consolidate the steps leading to the front door.
2. Removed the rear patio and provided a flat grass area.
3. Removed the retaining walls in the rear yard.
4. Removed the Stormwater Treatment System as the total increase in impervious surface is less than 1,000 sq. ft. It will go from 1,276 sq. ft. to 2,258 sq. ft.
5. The utilities are now located off Briggs Street in conformance with the utility standards. No work on Salem Street is required.
6. We have added catch basin erosion control for the catch basin at the corner of Briggs and Salem.
7. The site has been re-graded to reflect the changes.

Let me know if you have any questions.

Sincerely,

PINKHAM & GREER



Thomas S. Greer, P.E.

Enclosures

cc: John Whipple, Nick Burnett, File

TSG/rjs

Wealth Management
100 Middle Street 3rd Floor
Portland, ME 04101
tel 207 771 0800
fax 207 771 0870
toll free 800 442 6722

Morgan Stanley

July 22, 2015

Shukria Wiar, Planner
Planning Division, City of Portland
389 Congress Street
Portland, ME 04101

Re: Nicholas Burnett and Leslie Berne, TTBEs of the Madeline A. Burnett Living Trust U/A/D 4/7/2010

Dear Ms. Wiar:

Please be advised that Nicholas Burnett and Leslie Berne, as the Trustees of the Madeline A. Burnett Living Trust U/A/D 4/7/2010 (the "Trust"), maintain a brokerage account for the Trust at Morgan Stanley Smith Barney LLC ("Morgan Stanley") which contain assets, including cash and marketable securities, valued at \$1,221,431.70 as of the close of business on July 21, 2015. This account is currently being used to collateralize a PIA line of credit issued by Morgan Stanley Bank, N.A.

We are presenting the information contained herein pursuant to our clients' request. It is valid as of the date of issuance. Morgan Stanley does not warranty or guaranty that such identified securities, assets or monies will remain in the clients' account. The trustees have the power to withdraw assets from this account at any time and no security interest or collateral rights are being granted to any party other than Morgan Stanley.

Thank you for your time and consideration in this matter.

Sincerely,



Margaret Pease
Vice-President
Business Service Manager

Cc: Nicholas Burnett and Leslie Berne

Locus Deed References:

Parcel A
Robert Adams
vs.
Nicholas S. Burnett
 dated August 31, 2011 and recorded September 2, 2011 at the Cumberland County Registry of Deeds in Book 28961, Page 294.

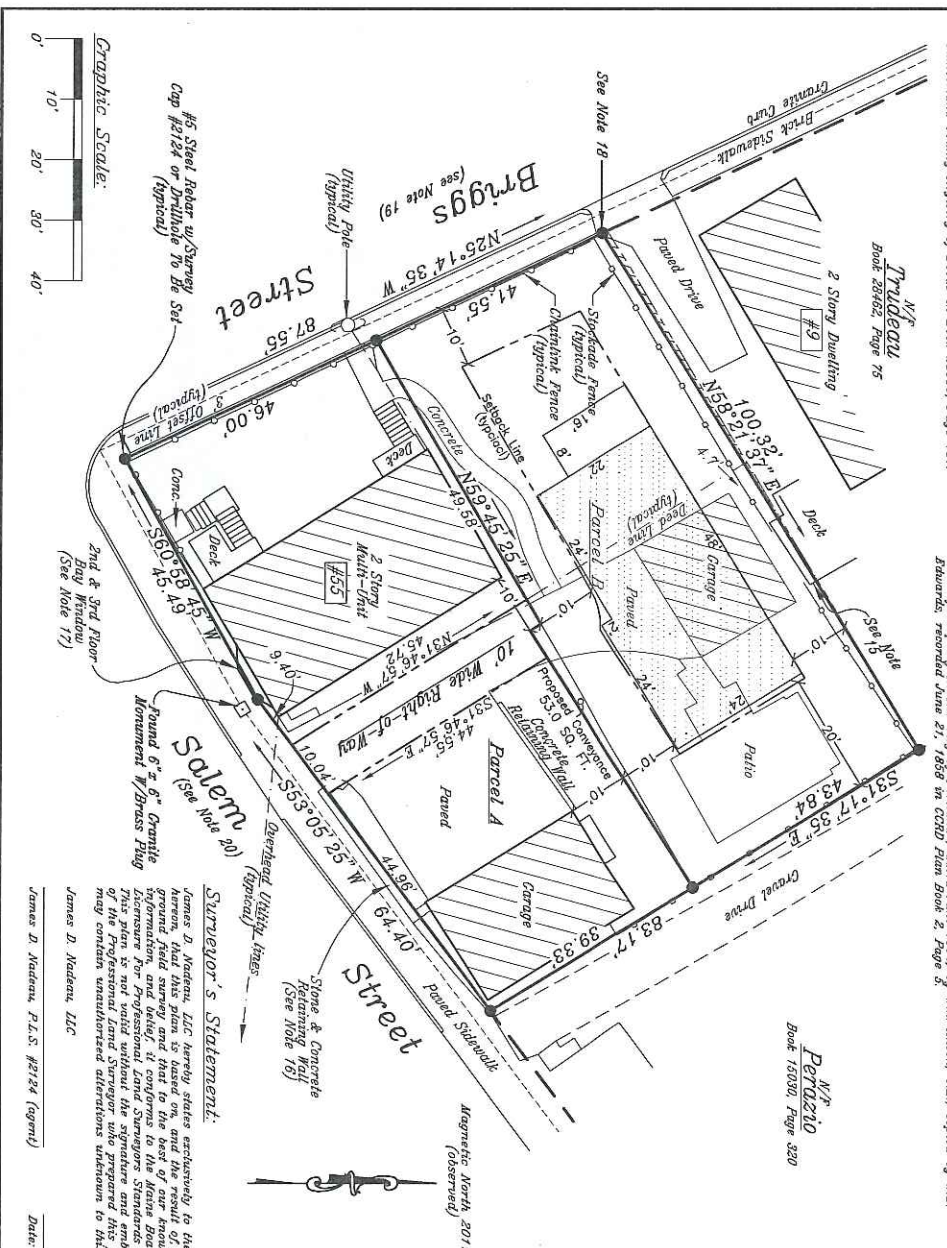
Parcel B
Estate of Tom J. Lesniewski
vs.
Briggs Street Property, LLC
 dated September 2, 2011 and recorded September 9, 2011 at the Cumberland County Registry of Deeds in Book 28950, Page 151.

Plan References:

1. Plan of Danforth, Salem, May, Snow & Briggs Streets in Portland, Maine, dated December 4, 1974, by Owen Snow, Inc., City of Portland Plan 974/2.
2. City of Portland Engineering Street Notes, Danforth, Salem, Bond, Orange, School, & Briggs Streets dated January 1926, City of Portland Vol. 2, No. 190.
3. City of Portland Engineering Street Notes, Salem Street, City of Portland Vol. 1, No. 22.
4. Plan of Briggs Street and Showing Change in Line of Salem Street, dated October 7, 1857, by Charles Adams, City of Portland Plan 359/10.
5. City of Portland Engineering Street Notes, Danforth Street, revised December 15, 2003, sheet 2 of 4, City of Portland Vol. 1, No. 93.
6. City of Portland Engineering Street Notes, Clark Street, dated September 1935, sheet 1 of 2, City of Portland Vol. 1, No. 62.
7. Plan of Division of Brunslet Estate, dated September 1857, by Charles H. How, C.E., recorded.
8. Plan of Property in The City of Portland, dated June 1854, by Wm. Anson, C.E., copied by W.S. Barrows, recorded June 21, 1868 in CSD Plan Book 2, Page 3.

General Notes:

1. This plan is not intended to depict limits or extent of fee title ownership.
2. This office reserves the right to be held harmless by all 3rd party claims.
3. The survey does not purport to reflect any of the judgments or recommendations of the referenced documents.
4. Building setback compliance or restrictive covenants.
5. This office reserves the right to be held harmless for unknown or unobtainable private records which could affect the results of this survey.
6. Reference is made to "Contract for Land Surveying Services" between James D. Maden, LLC and the below listed client(s), which shall be considered an integral part of this survey.
7. All deeds referenced on this plan are recorded at the Cumberland County Registry of Deeds (CSD).
8. This office does not accept any liability for errors in the Plan.
9. Locus Parcel A is shown on the City of Portland Assessor's Map 57, Block 4, as Lot 20, listed as 55 Salem Street & Lot 30, listed as 45 Salem Street. Locus Parcel B is shown on the City of Portland Assessor's Map 57, Block 4, as Lot 31, listed as 5 Briggs Street & Lot 29, listed as 42 Salem Street.
10. Area of Locus Parcel A is 4,754 square feet (0.11 acre), Locus Parcel B is 4,468 square feet (0.10 acre).
11. The apparent right of way lines depicted on this plan are based on the Plan of Division of Brunslet Estate and the Survey of the Property in the City of Portland, dated June 1854, by Wm. Anson, C.E., copied by W.S. Barrows, recorded June 21, 1868 in CSD Plan Book 2, Page 3.
12. All building corner offsets to boundary lines are from corner-headers and not building foundations.
13. Child 1-888-8053342 at least three business days before performing ANY excavation.
14. Locus Parcel falls in the R-6 Zoning District. See City of Portland Zoning Ordinance for regulations and restrictions.
15. Neighbor's deed appears to encroach on Locus Parcel A by 1.2'.
16. Stone and concrete embankment wall on Locus Parcel A appears to encroach in the Salem Street right of way.
17. Shed & 3rd story window of multi-unit on Locus Parcel A appears to encroach in the Salem Street right of way by 0.5'.
18. This office has created this neighborhood corner based on a 269' call from Danforth Street to the northwesterly corner of land now or formerly Tridell's per Book 292, page 496, dated 03/10/1929 which last fits a circle, 1936' diameter, the center of which is 100' from the intersection of Danforth Street to the westerly end of a previous deed call of 267' from Danforth Street per Book 113, page 222, dated 05/06/1828. The matched area depicts the difference in these areas only.
19. Briggs Street was completed November 11, 1859 per City of Portland Street to 32' along Salem Street.
20. Salem Street was occupied as 3 rods (46.5') December 6, 1848 per City of Portland records Vol. 6, Page 528. A portion of Salem Street was altered at the intersection of Briggs Street November 7, 1859 per City of Portland records Vol. 7, Page 199.



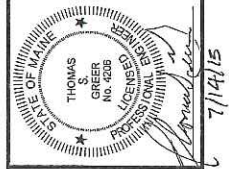
FOR REVIEW

MADE BY:
 Boundary Survey
 Made For
Nicholas Burnett
Salem Street & Briggs Street
Portland, Maine

James D. Maden, LLC
 Professional Land Surveyors
 Certified Floodplain Managers
 912 BAZINGTON AVE. PORTLAND, ME. PH: (207)879-2970
 DATE: 01/12/2012 DRAWN BY: JDM/JC
 SCALE: 1" = 40' PLS.#: 2115392

Surveyor's Statement:
 James D. Maden, LLC hereby states exclusively to the client listed herein, that this plan is based on, and the result of, an on the ground field survey and that to the best of our knowledge, information and belief, the same is true and correct. This plan is not valid without the signature and embossed seal of the Professional Land Surveyor who prepared this plan as it may contain unadvised alterations unknown to this office.
 James D. Maden, LLC
 James D. Maden, P.L.S. #2124 (expired) Date: _____

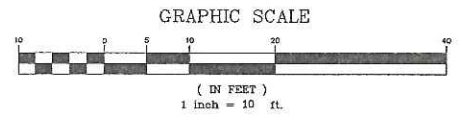
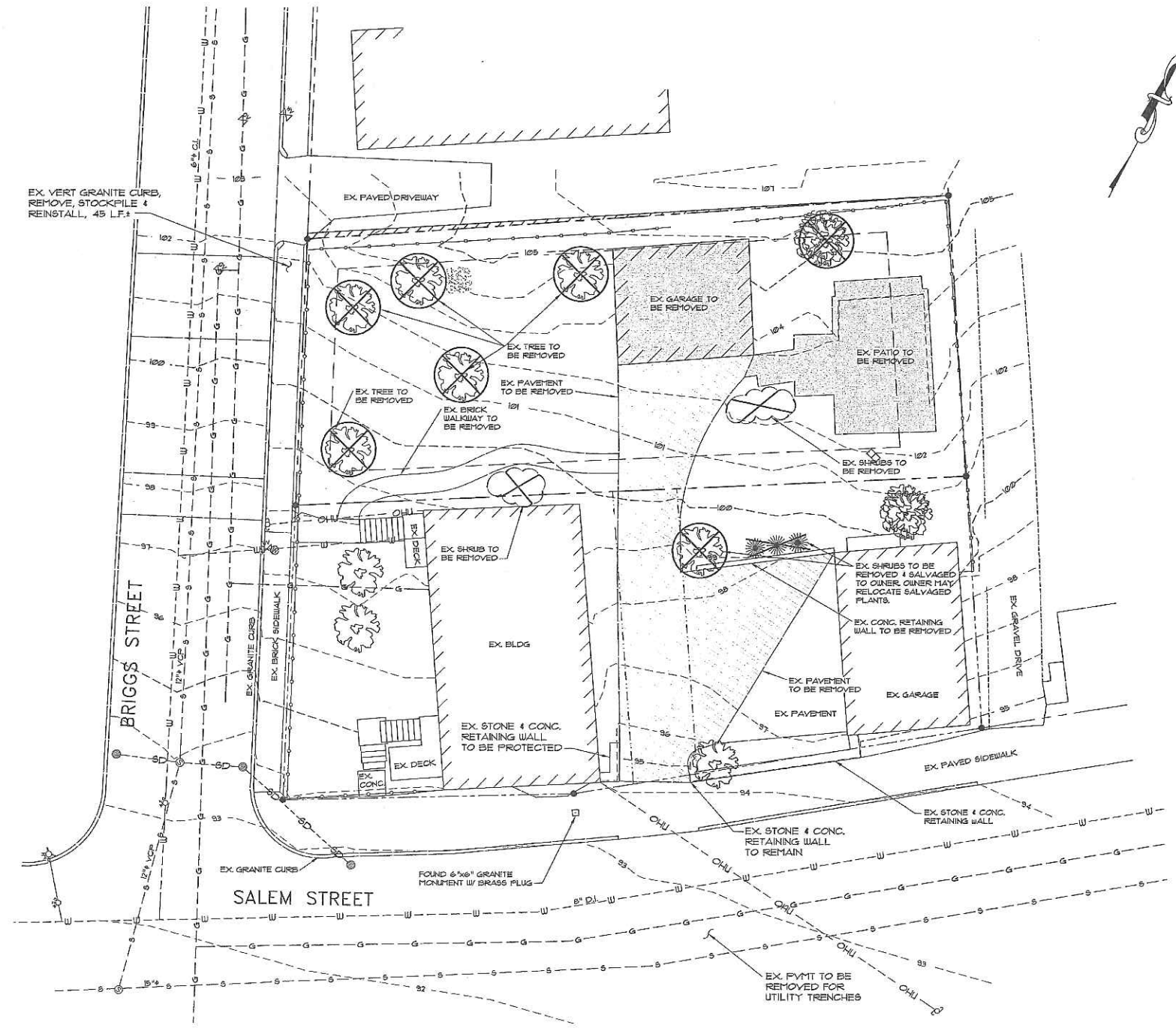
Graphic Scale:
 0' 10' 20' 30' 40'



LEGEND

EXISTING

| | |
|--|--------------------------|
| | PROPERTY LINE |
| | BUILDING SETBACK |
| | ADJUTERS PROPERTY |
| | EASEMENT |
| | EDGE OF PAVEMENT |
| | CONTOURS |
| | BUILDING |
| | EDGE OF GRAVEL |
| | CURB |
| | GAS LINE |
| | SANITARY SEWER |
| | STORMDRAIN |
| | OVERHEAD UTILITY |
| | WATER LINE |
| | CATCH BASIN |
| | SEWER MANHOLE |
| | MANHOLE |
| | WATER METER |
| | UTILITY POLE |
| | TREE |
| | STOCKADE FENCE |
| | CHAIN LINK FENCE |
| | BENCHMARK |
| | FOUND MONUMENT |
| | 1/2" STEEL REBAR |
| | 1/2" SURVEY CAP 2014 SET |
| | FIRE HYDRANT |
| | WATER SHUTOFF |
| | WATER VALVE |
| | GAS VALVE |



| REV. | DATE | DESCRIPTION |
|------|---------|---|
| 2 | 7/14/15 | REV'D PER SWIFT COMMENTS FOR CITY SUBMITTAL |
| 1 | 5/20/15 | |

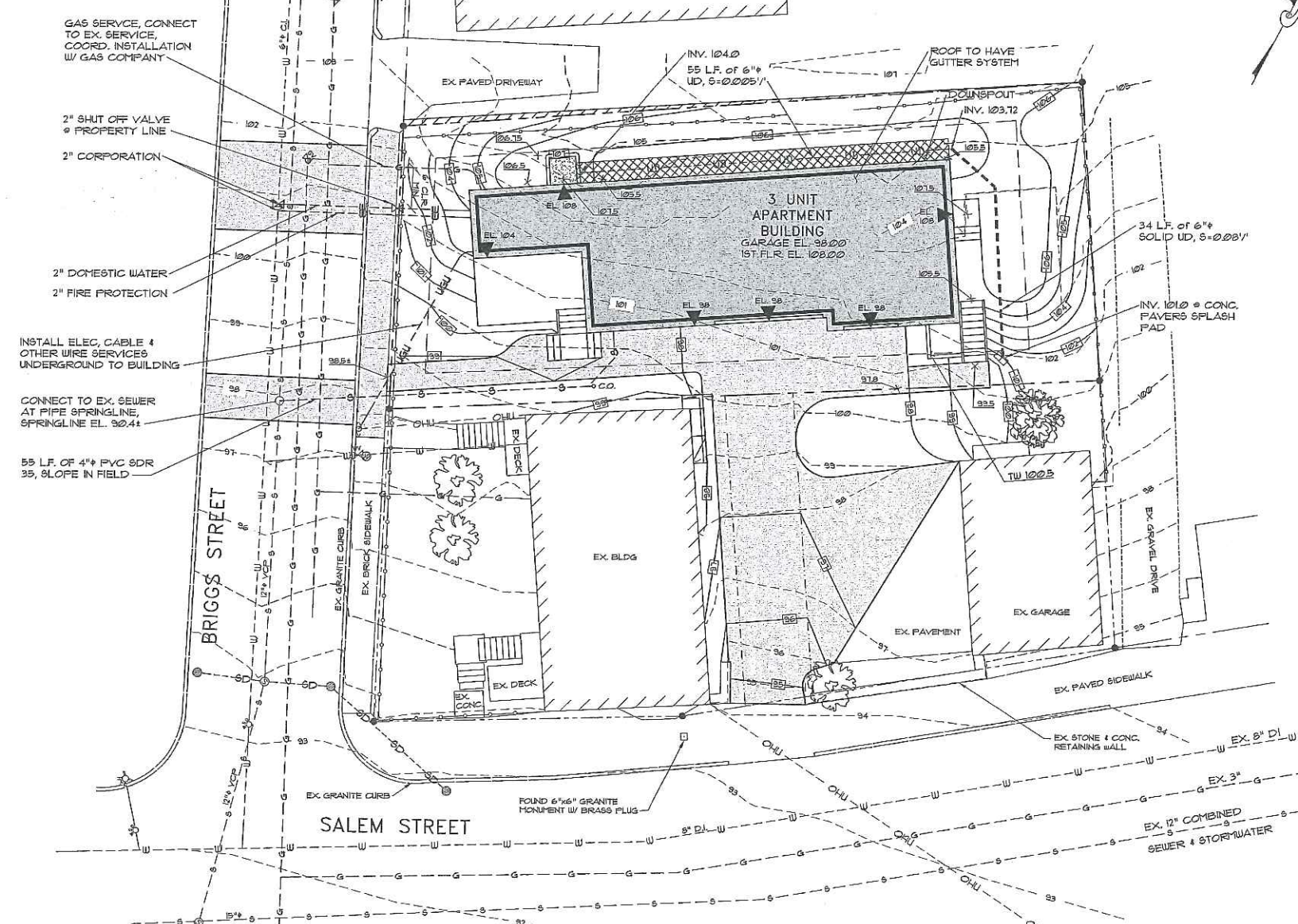
| | | | |
|----------|----------------|----------|---------|
| SCALE: | AS SHOWN | DRN BY: | JDC/RJS |
| DATE: | APRIL 22, 2015 | DESG BY: | TSG |
| PROJECT: | 14164 | CHK BY: | TSG |

BRIGGS STREET PROPERTY, LLC
 55 SALEM ST #B
 PORTLAND, ME. 04102

5 BRIGGS STREET
 PORTLAND, MAINE

EXISTING CONDITIONS &
 DEMOLITIONS PLANS

C1.2



GAS SERVICE, CONNECT TO EX. SERVICE. COORD. INSTALLATION W/ GAS COMPANY

2" SHUT OFF VALVE @ PROPERTY LINE

2" CORPORATION

2" DOMESTIC WATER

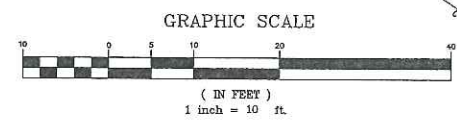
2" FIRE PROTECTION

INSTALL ELEC. CABLE & OTHER WIRE SERVICES UNDERGROUND TO BUILDING

CONNECT TO EX. SEWER AT PIPE SPRINGLINE, SPRINGLINE EL. 90.44

55 LF. OF 4" PVC SDR 35, SLOPE IN FIELD

- LEGEND**
- EXISTING**
- PROPERTY LINE
 - BUILDING SETBACK
 - ADJUTERS PROPERTY
 - EASEMENT
 - EDGE OF PAVEMENT
 - CONTOURS
 - BUILDING
 - EDGE OF GRAVEL CURB
 - CURB
 - GAS LINE
 - SANITARY SEWER
 - STORMDRAIN
 - CHU
 - OVERHEAD UTILITY
 - WATER LINE
 - CATCH BASIN
 - SEWER MANHOLE
 - MANHOLE
 - WATER METER
 - UTILITY POLE
 - TREE
 - STOCKADE FENCE
 - CHAINLINK FENCE
 - BENCHMARK
 - FOUND MONUMENT
 - #5 STEEL REBAR W/ SURVEY CAP 7/24 SET
 - FIRE HYDRANT
 - WATER SHUTOFF
 - WATER VALVE
 - GAS VALVE
- PROPOSED**
- EDGE OF PAVEMENT
 - VERTICAL GRANITE CURB
 - CONTOURS
 - BUILDING
 - BUILDING ENTRY/EGRESS
 - GAS LINE
 - SANITARY SEWER
 - UNDERGROUND CABLE UTILI
 - WATER LINE
 - UNDERDRAIN
 - DRIPSTRIP W/ UNDERDRAIN
 - SPOT GRADE
 - TOP OF WALL
 - WATER SHUT OFF
 - WALL MOUNTED LIGHT
 - BUILDING HATCH
 - CONCRETE PAD



PINKHAM & GREER
CIVIL ENGINEERS

28 WINDY AVE. PORTLAND, ME. 04103
TEL: 207.761.5242 FAX: 207.761.4545

7/14/15

| REV. | DATE | DESCRIPTION |
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| 2 | 7/14/15 | REV'D PER STAFF COMMENTS |
| 1 | 5/20/15 | FOR CITY SUBMITTAL |

BRIGGS STREET PROPERTY, LLC
55 SALEM ST #B
PORTLAND, ME. 04102

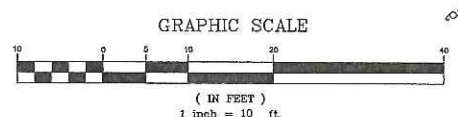
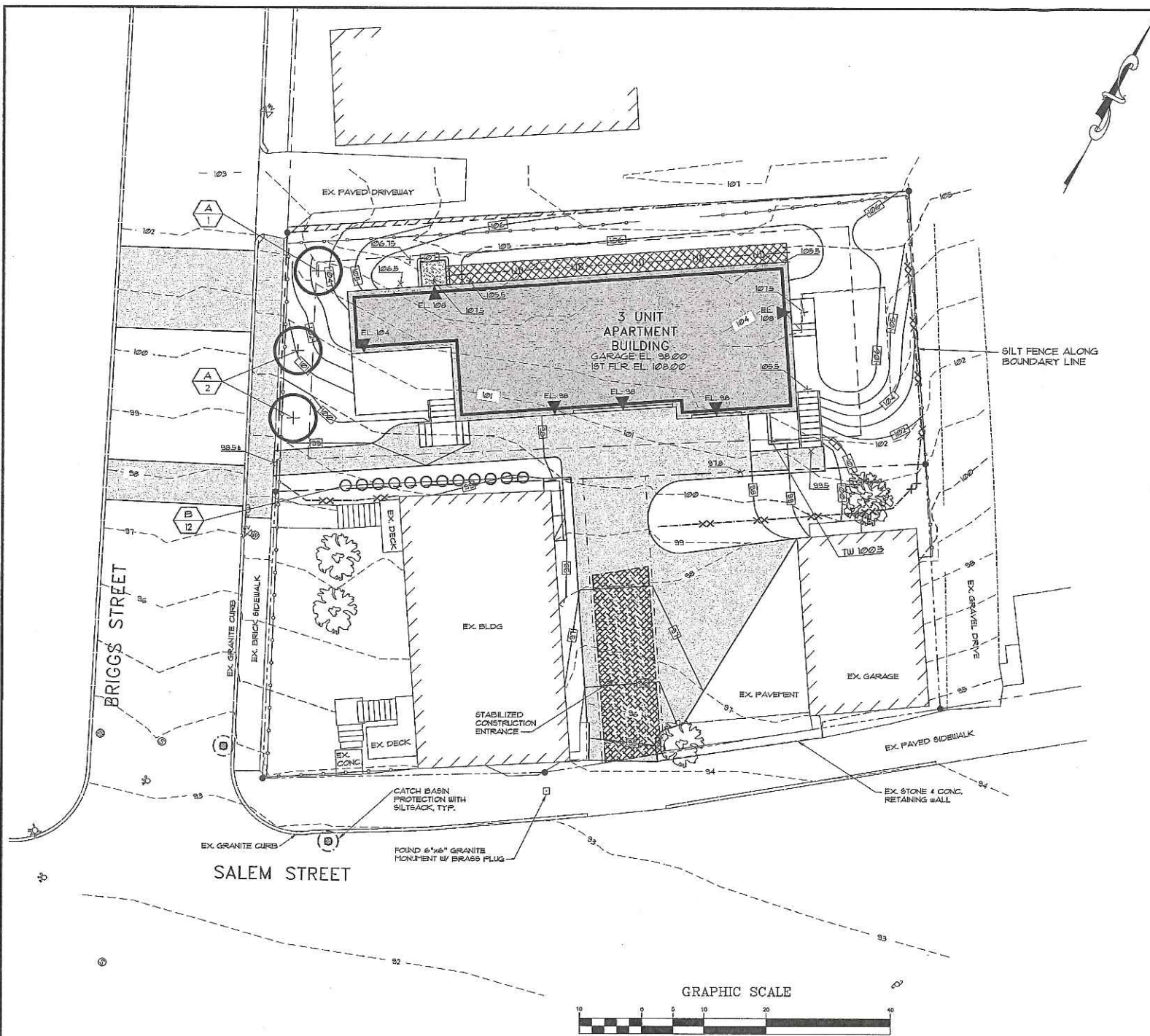
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DATE: MAY 7, 2015
PROJECT: 14764

5 BRIGGS STREET
PORTLAND, MAINE

GRADING & UTILITIES PLAN

C1.3

MAPLOT 57UJ29 & 57UJ31



SUGGESTED SEQUENCE OF CONSTRUCTION TO CONTROL EROSION:

- THIS SEQUENCE OF CONSTRUCTION IS A GENERAL GUIDE TO THE CONTRACTOR. ACTUAL CONSTRUCTION PRACTICES WILL DICTATE VARIATIONS IN THE ORDER OF MAJOR EVENTS.
1. INSTALL ALL PERIMETER SILT FENCE AND HAY BALE PROTECTION.
 2. INSTALL SILTATION BASINS. (PRIOR TO ANY STRIPPING OF TOPSOIL OR OTHER EARTHWORK)
 3. CLEAR AND GRUB WORK AREAS. TEMPORARILY SEED AREAS NOT TO BE WORKED ON WITHIN 14 DAYS.
 4. STRIP AND STOCKPILE ON-SITE TOPSOIL. SEED STOCKPILES WITH TEMPORARY SEED MIX.
 5. SUBMIT SAMPLES OF TOPSOIL/LOAM FOR LAB WORK. ADJUST LINE AND FERTILIZER ACCORDINGLY.
 6. BEGIN EARTHWORK FOR PARKING AND BUILDING FOUNDATION.
 1. STABILIZE AREAS DRAINING TO UNDERDRAINED SOIL FILTER.
 2. INSTALL AND PROTECT STORM DRAINAGE SYSTEM.
 3. BEGIN BUILDING CONSTRUCTION.
 10. ROUGH GRADE PARKING AREAS.
 11. FINE GRADE ALL PARKING AND DRIVEWAY SIDE SLOPES AND ROUGH GRADE REMAINDER OF SITE.
 12. RESEED OR TEMPORARILY SEED ANY AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS.
 13. COMPLETE FINE GRADING AND PAVING OF WALKS AND PARKING AREAS.
 14. FINE GRADE, LOAM SEED AND FERTILIZE REMAINDER OF SITE.
 15. REMOVE TEMPORARY SOIL EROSION MEASURES.

EROSION CONTROL LEGEND



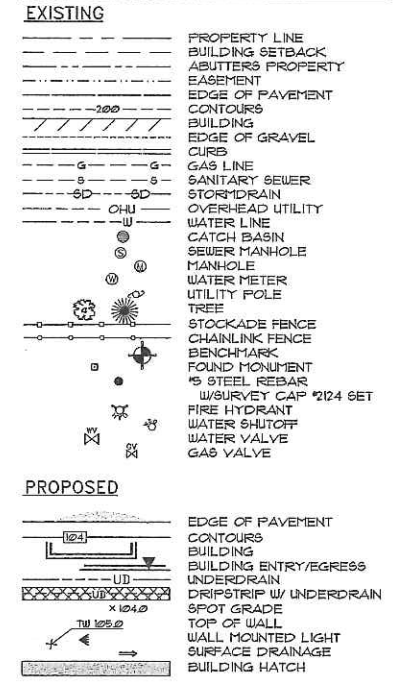
PLANT LIST

| SYMBOL | COMMON NAME/BOTANICAL NAME | SIZE | QUANTITY | ROOT |
|--------|---|--------------|----------|--------|
| A | ARMSTRONG RED MAPLE / acer freemanii | 2" cal. | 3 | B&B |
| B | BOXWOOD / boxus sempervirens "Suffruticosa" | 18"-24" TALL | 5 | POTTED |

LANDSCAPE NOTES

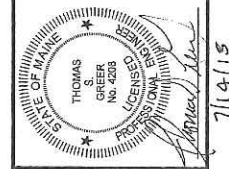
- GENERAL:**
1. SAVE EXISTING TREES AS SHOWN. DO NOT CUT OR CLEAR ANY VEGETATION BEYOND THE IMPACT LIMIT LINE.
 2. ALL PLANT MATERIALS INSTALLED ARE TO MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 3. ALL PROPOSED PLANT LOCATIONS SHALL BE AS SHOWN ON PLANS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLANTING AND WILL NOTIFY OWNER'S REPRESENTATIVE IN THE EVENT OF CONFLICTS.
 4. PLANT LOCATIONS ARE TO BE SCALED FROM THE LANDSCAPE PLAN UNLESS NOTED OTHERWISE.
 5. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 6. FINAL QUANTITY FOR EACH PLANT TYPE IS NOTED IN THE PLANT LIST. THIS NUMBER SHALL TAKE PRECEDENCE IN THE CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE LIST AND ON THE PLAN.
- 1. ANY PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.**
- 2. ALL DISTURBED AREAS TO BE LOAMED AND SEEDED.**
- MAINTENANCE:**
1. LAWS: SHALL BE WATERED, FERTILIZED AND MOUN ON A REGULAR BASIS ACCORDING TO SEASON AND RAINFALL, TO PRODUCE A STRONG TURF OF 80% MIN. COVERAGE WITHIN THE FIRST YEAR. FREE FROM SIZABLE THIN OR BARE SPOTS. REGRADING AND RESEEDING WILL BE PERFORMED ON BARE SPOTS UNTIL COVERAGE IS COMPLETE.
 2. TREES & SHRUBS: THE ESTABLISHMENT PERIOD SHALL BE TWO CALENDAR YEARS FROM THE DATE OF FINAL ACCEPTANCE. DURING THE ESTABLISHMENT PERIOD THE OWNER OR OWNER'S CONTRACTOR SHALL WATER, CULTIVATE AND PRUNE AS REQUIRED TO MAINTAIN A HEALTHY GROWING CONDITION.
 3. AT THE END OF THE ESTABLISHMENT PERIOD AND UPON SUBSEQUENT ANNUAL INSPECTIONS, PLANTS WHICH HAVE DIED OR FAILED TO THRIVE SHALL BE REPLACED WITH EQUIVALENT SIZE AND SPECIES. AFTER THE CONTRACTOR'S GUARANTEE PERIOD HAS ENDED, IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN AND REPLACE PLANTINGS.
 4. TREES, SHRUBS AND LAWS WHICH ARE NOT IRRIGATED WITH AN AUTOMATIC SPRINKLER OR DRIP SYSTEM SHALL BE THOROUGHLY WATERED ON A REGULAR BASIS DURING PERIODS OF BELOW AVERAGE RAINFALL. SOIL SHOULD BE SAMPLED AT A DEPTH OF 12" AND IF DRY, WATER TO DEPTH OF 24".
 5. MULCH IS TO BE MAINTAINED AT A DEPTH TO COMPLETELY COVER THE SOIL AND TO PRESERVE MOISTURE AND MINIMIZE WEEDS.
 6. TREES, SHRUBS AND LAWS SHALL BE FERTILIZED ANNUALLY AND TREATED WITH INSECTICIDES AND/OR FUNGICIDES AS REQUIRED FOR CONTINUED HEALTHY GROWTH.
 7. SUCKERS, WEEDS, AND DEAD WOOD SHALL BE REMOVED ON A SEASONAL BASIS, AND SHRUBS SHALL BE PRUNED TWICE A YEAR ACCORDING TO THE REQUIREMENTS OF EACH SPECIES (IE. SOME SPECIES SHOULD NOT BE PRUNED AT ALL). SHRUBS SHALL NOT BE PRUNED INTO INDIVIDUALS BUT ALLOWED TO GROW INTO A MASS.
 8. WHERE TREES ARE LOCATED NEAR SIDEWALKS OR PARKING LOTS, THE CANOPY SHALL BE LIMBED UP TO PROMOTE SAFE CLEARANCE TO 8' ABOVE GRADE.
 9. LAWN AREAS SHALL BE MOUN AS OFTEN AS NECESSARY TO KEEP LAWS TO A 2 1/2 - 3" HEIGHT, AND AERATED ON A SEASONAL BASIS.
 10. BEDS AND LAWN EDGES SHALL BE REGULARLY TRIMMED AND EDGED.
 11. PERENNIAL AND ANNUAL BEDS SHALL BE DESIGNED, PLANTED AND MAINTAINED FOR SEASONAL COLOR AND INTEREST. ANNUALS MAY BE INCORPORATED TO A MAXIMUM LIMIT OF 25% OF THE BED AREA OF MAINTAINED BEDS FROM MAY 15 THROUGH NOVEMBER 15. PERENNIAL BEDS SHALL BE WATERED AS REQUIRED FOR HEALTHY PLANT GROWTH, AND WEEDED AND DEADHEADED ON A MONTHLY BASIS.

LEGEND



PINKHAM & GREER
CIVIL ENGINEERS

20 WINDY MEADOWS RD., PORTLAND, ME. 04103
TEL: 503-875-2626 FAX: 503-875-1460



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| 2 | 7/14/15 | REV'D PER STAFF COMMENTS |

BRIGGS STREET PROPERTY, LLC
55 SALEM ST #B
PORTLAND, ME. 04102

SCALE: AS SHOWN
DATE: MAY 7, 2015
PROJECT: 14164

DRN BY: JDCRIS
DESIGN BY: TSG
CHK BY: TSG

5 BRIGGS STREET
PORTLAND, MAINE

EROSION CONTROL & LANDSCAPE PLANS

C1.4

EROSION CONTROL NOTES

GENERAL:

THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:

- SOIL EROSION IS KEPT TO A MINIMUM.
- NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
- ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2023.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
- LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. LOAM AND SEED ANY DISTURBED AREA WITHIN 15' OF WETLANDS OR WATERBODIES WITHIN 48 HOURS OR PRIOR TO AND STORM EVENT. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
- INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILT FENCES AND STONE CHECK DAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.
- PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEMS.
- APPLY MULCH TO BARE SOILS WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, WITHIN 48 HOURS IF WITHIN 15' OF WETLAND OR WATERBODY, PRIOR TO ANY RAIN EVENT, OR PRIOR TO ANY WORK SHUTDOWN LASTING MORE THAN ONE DAY.
- TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. IF AREA IS WITHIN 15' OF WETLAND OR WATERBODY, SEED WITHIN 48 HOURS. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
- MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
 - THE BASE OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 15%
 - WITHIN 100' FT. OF STREAMS AND WETLANDS
 BETWEEN OCT. 1 AND APRIL 15 USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
 - SIDE SLOPES OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 8%
- INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125B.
- FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERTING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
- PLACE AND GRADE LOAM IN A REASONABLY UNIFORM MANNER. WORK LINE AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEED BED IS PREPARED. REMOVE FROM SURFACE ALL STONES LARGER THAN 2" AND ALL OTHER UNSUITABLE MATERIAL. LIME AND FERTILIZER SHOULD BE MIXED INTO SOIL PRIOR TO ROLLING EXCEPT IF INCLUDED IN HYDROSEED MIXTURE. PERMANENT STABILIZATION OF REVEGETATED AREAS IS CONSIDERED AS 90% CATCH.
- ALL CULVERT OR PIPE OUTFALL PROTECTION MUST BE INSTALLED WITHIN 48 HOURS OF INSTALLING NEW PIPE OR CULVERT.
- DITCHES AND CHANNELS DESIGNATED TO BE LINED WITH RIPRAP AND/OR EROSION CONTROL MESH MUST BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR CHANNEL.
- ALL CATCH BASINS, NEW OR EXISTING, THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS MUST BE PROTECTED BY INSTALLING AND MAINTAINING SILT SACKS DURING CONSTRUCTION.
- WATER FROM CONSTRUCTION TRENCH DEWATERING OR TEMPORARY STREAM DIVERSION WILL PASS FIRST THROUGH A FILTER BAG OR SECONDARY CONTAINMENT STRUCTURE (E.G. HAY BALE OR EROSION CONTROL MIX LINED POOL) PRIOR TO DISCHARGE. THE DISCHARGE SITE SHALL BE SELECTED TO AVOID FLOODING, ICING, AND SEDIMENT DISCHARGES TO A PROTECTED RESOURCE. IN NO CASE SHALL THE FILTER BAG OR CONTAINMENT STRUCTURE BE LOCATED WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE.

TOPSOIL:

- SUITABLE TOPSOIL SALVAGED FROM SITE OR SCREENED, LOOSE AND FRIABLE SANDY LOAM OR LOAM AS DEFINED BY THE USDA SOIL CONSERVATION SERVICE CLASSIFICATION SYSTEM, FREE FROM ADMIXTURE OF SUBSOIL, REFUSE, LARGE STONES, CLDS, ROOTS, WEEDS, RHIZOMES OR OTHER UNDESIRABLE FOREIGN MATTER AS DETERMINED BY THE INSPECTING AUTHORITY. CONTRACTOR SHALL SUBMIT REPORTS OF LOAM TEST RESULTS PERFORMED BY AN INDEPENDENT TESTING LABORATORY FOR TOPSOIL FROM DIFFERENT SOURCES PRIOR TO PLACING. THE COST OF TESTING SHALL BE INCIDENTAL TO THE COST OF TOPSOIL. TOPSOIL SHALL MEET THE FOLLOWING SPECIFICATIONS:
- MATERIAL
 - SAND - 0.075 IN. TO 0.002 IN. DIAMETER (% BY VOLUME) 45 - 75
 - SILT - 0.002 IN. TO 0.0002 IN. DIAMETER (% BY VOLUME) 20 - 40
 - CLAY - LESS THAN 0.0002 IN. DIAMETER (% BY VOLUME) 5 - 15
 ORGANICS (SHALL MEET THE REQUIREMENTS OF MDOT STANDARD SPECIFICATION 111.03 FEAT HUMUS) (% BY VOLUME) . 10 - 20
- NUTRIENTS:
 - CALCIUM (CA) (% SATURATION) 60 - 80
 - MAGNESIUM (MG) (% SATURATION) 10 - 25
 - POTASSIUM (K) (% SATURATION) 2.1 - 3.0
 - PHOSPHORUS (P) (POUNDS/ACRE) 10 - 40
 - PH 6.0 - 6.5
- PERMEABILITY (INCHES PER HOUR) 3 - 10
- MAXIMUM STONE SIZE (INCHES) 3/4

SEEDING:

USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30. USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RE-SEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT 111.03(a) METHOD NUMBER 3

TEMPORARY SEED:

| | | |
|-----------------------------|----------------|--------------|
| OATS | 80.00 LBS/ACRE | 4/01 - 5/14 |
| ANNUAL RYEGRASS | 40.00 LBS/ACRE | |
| SUDANGRASS | 40.00 LBS/ACRE | 5/15 - 8/14 |
| ANNUAL RYEGRASS | 80.00 LBS/ACRE | 5/15 - 9/14 |
| WINTER RYE | 12.00 LBS/ACRE | 9/15 - 9/30 |
| WINTER RYE (W/ MULCH COVER) | 12.00 LBS/ACRE | 10/01 - 3/31 |

LIME AND FERTILIZER:

APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (130 POUNDS PER 1000 SQUARE FEET). APPLY FERTILIZER (10-20-20) AT A RATE OF 800 POUNDS PER ACRE (184 POUNDS PER 1000 SQUARE FEET).

MULCH:

| | | |
|-------------------------|---------------|-----------------|
| STRAW OR HAY (ANCHORED) | 10 - 30 LBS | PROTECTED AREAS |
| STRAW OR HAY (ANCHORED) | 105 - 215 LBS | WINDY AREAS |
| SHREDDED OR CHOPPED | 105 - 215 LBS | |
| JUTE MESH | AS REQUIRED | |

EXCELISIOR MAT AS REQUIRED

MULCH ANCHORING

| | |
|------------------|----------------------|
| PEG AND TWINE | LIQUID ASPHALT |
| MULCH NETTING | WOOD CELLULOSE FIBER |
| ASPHALT EMULSION | CHEMICAL TACK |

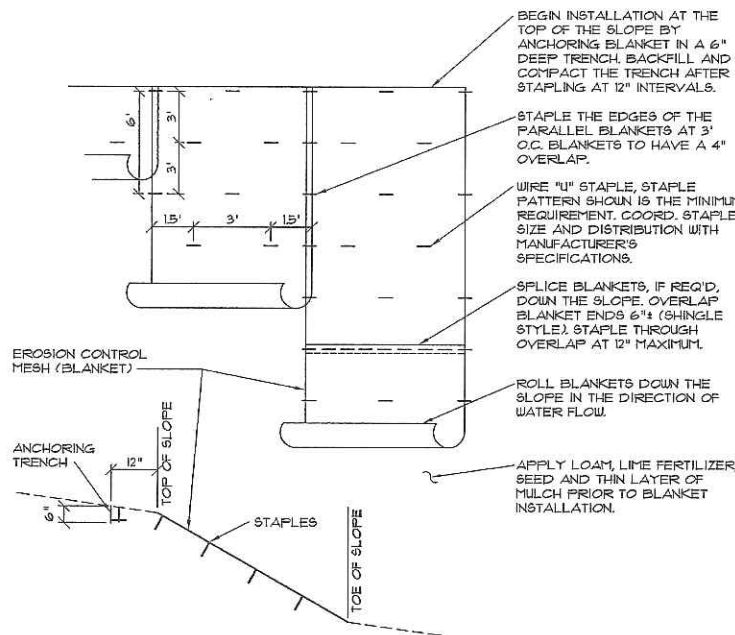
WINTER CONSTRUCTION:

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. IF THE CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 75% MATURE VEGETATION COVER OR RIP RAP BY NOVEMBER 15 THEN THE SITE NEEDS TO BE PROTECTED WITH OVER-WINTER STABILIZATION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIP RAP OR GRAVEL BASE ON A ROAD. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDER TAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL THE SUBBASE GRAVEL IS INSTALLED IN ROADWAY AREAS OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS/1000 SF. (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. THE CONTRACTOR MUST INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

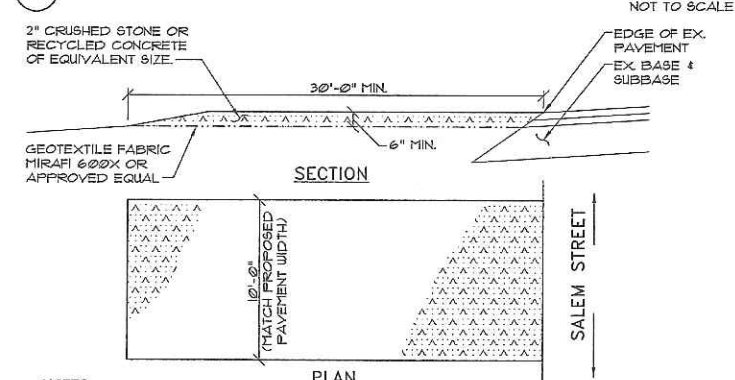
- SOIL STOCKPILES**
STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER-WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR AT 150 LBS/1000 SF. (3 TONS/ACRE) OR WITH A FOUR INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND WILL BE REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH HAY OR STRAW) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.
- NATURAL RESOURCES PROTECTION**
ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCES, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED BY DECEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH EROSION CONTROL MATS. DURING WINTER CONSTRUCTION, A DOUBLE LINE OF SEDIMENT BARRIERS (I.E. SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) WILL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.
- SEDIMENT BARRIERS**
DURING FROZEN CONDITIONS, SEDIMENT BARRIERS SHALL CONSIST OF EROSION CONTROL MIX SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.
- MULCHING**
ALL AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN MULCHED WITH STRAW OR HAY AT A RATE OF 150 LBS/1000 SF. (3 TONS/ACRE) AND ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

- MULCHING ON SLOPES AND DITCHES**
SLOPES SHALL NOT BE LEFT EXPOSED FOR ANY EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY MULCHED AND ANCHORED WITH PEG AND NETTING OR WITH EROSION CONTROL BLANKETS. MULCHING SHALL BE APPLIED AT A RATE OF 250 LBS/1000 SF. ON ALL SLOPES GREATER THAN 8%. MULCH NETTING SHALL BE USED IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 8%. THAT 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%. EROSION CONTROL BLANKETS SHALL BE USED IN LIEU OF MULCH IN ALL DRAINAGE WAYS WITH SLOPE GREATER THAN 8%. EROSION CONTROL MIX CAN BE USED AS A SUBSTITUTE FOR EROSION CONTROL BLANKETS ON ALL SLOPES EXCEPT DITCHES.
- SEEDING**
BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. AFTER NOVEMBER 1 IF THE EXPOSED AREA HAS BEEN LOAMED AND FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. DORMANT SEEDING MAY BE PLACED PRIOR TO THE PLACEMENT OF MULCH AND FABRIC NETTING ANCHORED WITH STAPLES. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND BE SEEDED AT AN APPLICATION RATE OF 5 LBS/1000 SF. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 75% CATCH) SHALL BE REVEGETATED BY REPLACING LOAM, SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL AREAS DISTURBED IN THE WINTER SHALL BE VEGETATED IN THE SPRING.

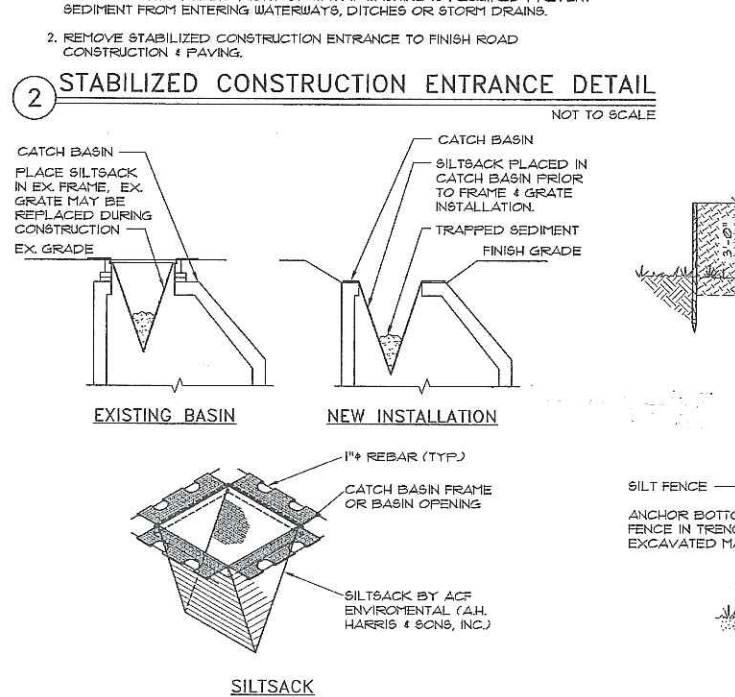
- TRENCH DEWATERING AND TEMPORARY STREAM DIVERSION**
WATER FROM CONSTRUCTION TRENCH DEWATERING OR TEMPORARY STREAM DIVERSION WILL PASS FIRST THROUGH A FILTER BAG OR SECONDARY CONTAINMENT STRUCTURE (E.G. HAY BALE OR EROSION CONTROL MIX LINED POOL) PRIOR TO DISCHARGE. THE DISCHARGE SITE SHALL BE SELECTED TO AVOID FLOODING, ICING, AND SEDIMENT DISCHARGES TO A PROTECTED RESOURCE. IN NO CASE SHALL THE FILTER BAG OR CONTAINMENT STRUCTURE BE LOCATED WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE.
- INSPECTION AND MONITORING**
MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL PERFORM VISUAL INSPECTED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION. FOLLOWING THE TEMPORARY AND/OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL, IN THE SPRING, INSPECT AND REPAIR ANY DAMAGED AND/OR UNESTABLISHED SPOTS. ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 85 TO 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH.



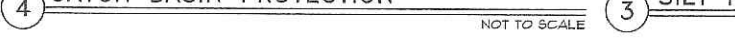
1 EROSION CONTROL MESH INSTALLATION DETAIL NOT TO SCALE



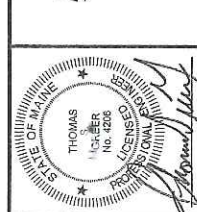
2 STABILIZED CONSTRUCTION ENTRANCE DETAIL NOT TO SCALE



3 SILT FENCE DETAIL NOT TO SCALE



4 CATCH BASIN PROTECTION NOT TO SCALE



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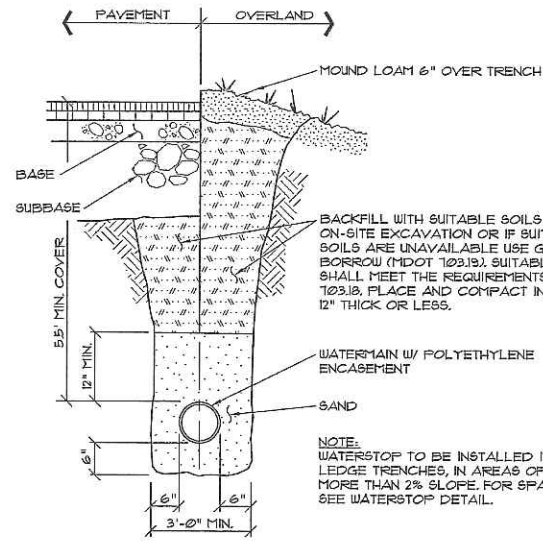
BRIGGS STREET PROPERTY, LLC
55 SALEM ST #B
PORTLAND, ME. 04102

SCALE: AS SHOWN
DATE: APRIL 7, 2015
PROJECT: 14164

DRN BY: JDC/RUS
DESG BY: TSC
CHK BY: TSC

5 BRIGGS STREET
PORTLAND, MAINE

C2.1



4 TYPICAL WATER MAIN SECTION ON-SITE

POLYETHYLENE ENCASUREMENT GENERAL SPECIFICATIONS

1. TUBE TYPE POLYETHYLENE ENCASUREMENT SHALL BE INSTALLED ON ALL DUCTILE IRON PIPE AND FITTINGS IN ACCORDANCE WITH AWWA STANDARD C105 - LATEST REVISION, METHOD A.
2. POLYETHYLENE ENCASUREMENT SHALL BE EITHER LINEAR LOW-DENSITY POLYETHYLENE (LLDPE) FILM WITH A MINIMUM THICKNESS OF 8-MIL OR HIGH-DENSITY, CROSS-LAMINATED POLYETHYLENE (HDCLPE) FILM WITH A MINIMUM THICKNESS OF 4-MIL.
3. CIRCUMFERENTIAL WRAPS OF TAPE OR PLASTIC TIE STRAPS SHALL BE PLACED AT 2-FT. INTERVALS ALONG THE BARREL OF THE PIPE.
4. THE POLYETHYLENE ENCASUREMENT SHALL PREVENT CONTACT BETWEEN THE PIPE AND THE SURROUNDING BACKFILL AND BEDDING MATERIAL BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT OR WATERTIGHT ENCLOSURE. ALL LUMPS OF CLAY, MUD, CINDERS, AND SO FORTH, ON THE PIPE SURFACE SHALL BE REMOVED PRIOR TO INSTALLATION OF THE POLYETHYLENE ENCASUREMENT. DURING INSTALLATION, CARE SHALL BE EXERCISED TO PREVENT SOIL OR EMBANKMENT MATERIAL FROM BECOMING TRAPPED BETWEEN THE PIPE AND THE POLYETHYLENE.
5. THE POLYETHYLENE FILM SHALL BE FITTED TO THE CONTOUR OF THE PIPE TO EFFECT A SNUG, BUT NOT TIGHT, ENCASUREMENT WITH MINIMUM SPACE BETWEEN THE POLYETHYLENE AND THE PIPE. SUFFICIENT SLACK SHALL BE PROVIDED IN CONTIGUOUS JOINTS TO PREVENT STRETCHING THE POLYETHYLENE WHERE IT BRIDGES IRREGULAR SURFACES, SUCH AS BELL-SPIGOT INTERFACES, BOLTED JOINTS, OR FITTINGS, AND TO PREVENT DAMAGE TO THE POLYETHYLENE DUE TO BACKFILLING OPERATIONS. OVERLAPS AND ENDS SHALL BE SECURED WITH ADHESIVE TAPE, STRING, PLASTIC TIE STRAPS, OR ANY OTHER MATERIAL CAPABLE OF HOLDING THE POLYETHYLENE ENCASUREMENT IN PLACE UNTIL BACKFILLING OPERATIONS ARE COMPLETE.
6. THREE LAYERS OF POLYETHYLENE ADHESIVE TAPE SHALL BE WRAPPED AROUND ANY POLYWRAPPED PIPE WHERE A TAPPING MACHINE WILL BE PLACED. ALL COPPER SERVICES CONNECTED TO A PIPE WRAPPED IN POLYETHYLENE ENCASUREMENT SHALL BE WRAPPED WITHIN THREE FEET OF THE PIPE.

UNDERGROUND UTILITIES WARNING TAPE

IDENTIFICATION TAPE TO BE INSTALLED ABOVE ALL NEW UNDERGROUND UTILITIES AND ABOVE ANY EXISTING UTILITIES THAT MAY BE EXPOSED BY THIS CONSTRUCTION.

DETECTABLE UNDERGROUND MARKING TAPE TO BE PERMANENT, BRIGHT-COLORED, CONTINUOUS-PRINTED PLASTICIZED ALUMINUM TAPE, INTENDED FOR DIRECT-BURIAL SERVICE NOT LESS THAN 3\"/>

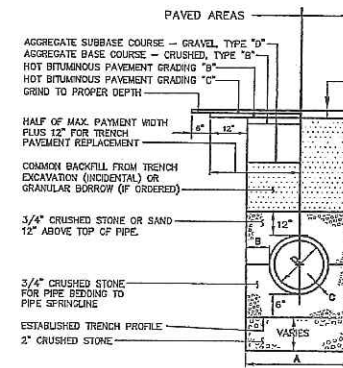
AFWA UNIFORM COLOR CODE:

- WHITE PROPOSED EXCAVATION
- PINK TEMPORARY SURVEY MARKINGS
- RED ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES
- YELLOW GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS
- ORANGE COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT
- BLUE POTABLE WATER
- PURPLE RECLAIMED WATER, IRRIGATION AND SLURRY LINES
- GREEN SEWERS AND DRAIN LINES

1 UNDERGROUND UTILITIES WARNING TAPE

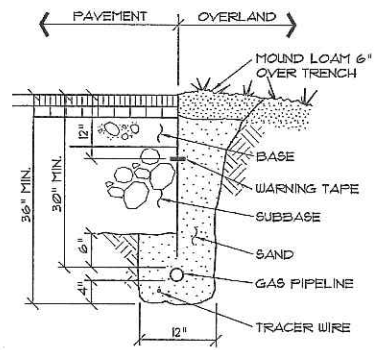
NOTES:
DEPTH OF BITUMINOUS PAVEMENT AND AGGREGATE COURSES SHALL BE DETERMINED BY STREET CLASSIFICATION.
ANY ALTERNATE TRENCHING OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND, DEPARTMENT OF PUBLIC SERVICES.

- NOTES:
1. ALTERNATIVE CONSTRUCTION METHODS OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.
 2. IN PAVED AREAS, DEPTH OF GRAVEL AND HOT MIX ASPHALT PAVEMENT SHALL MATCH THE GREATER OF EXISTING CONDITIONS OR THE REQUIREMENTS FOR THE CORRESPONDING STREET CLASSIFICATION.
 3. DIMENSION B SHALL BE SUFFICIENT TO ALLOW CRUSHED STONE BEDDING TO BE PLACED AND COMPACTED UNDER THE HAUNCHES OF THE PIPE, BUT IN ALL CASES DIMENSION B SHALL BE AT LEAST 8\"/>

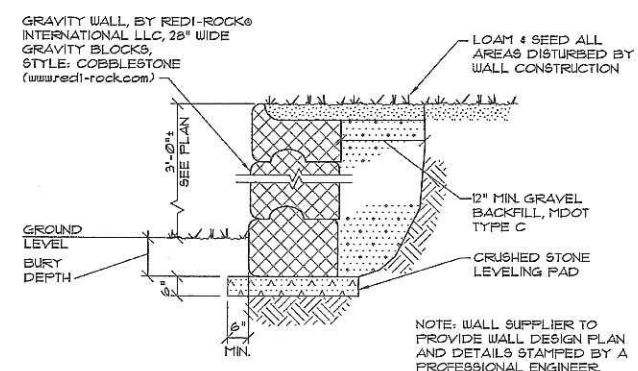


| PIPE DIAMETER, D (INCHES) | MAX. TRENCH WIDTH, A (FEET) |
|---------------------------|-----------------------------|
| 4 | 4.0 |
| 6 | 4.0 |
| 8 | 4.0 |
| 10 | 4.0 |
| 12 | 5.0 |
| 15 | 5.0 |
| 18 | 5.0 |
| 21 | 5.0 |
| 24 | 5.0 |
| 27 | 5.0 |
| 30 | 5.0 |
| 36 | 6.0 |
| 42 | 6.0 |
| 48 | 7.0 |

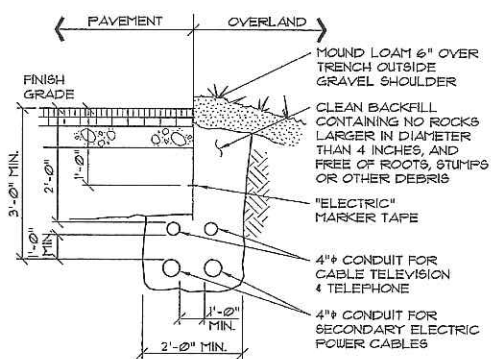
3 TYPICAL PIPE TRENCH INSTALLATION (11-12)



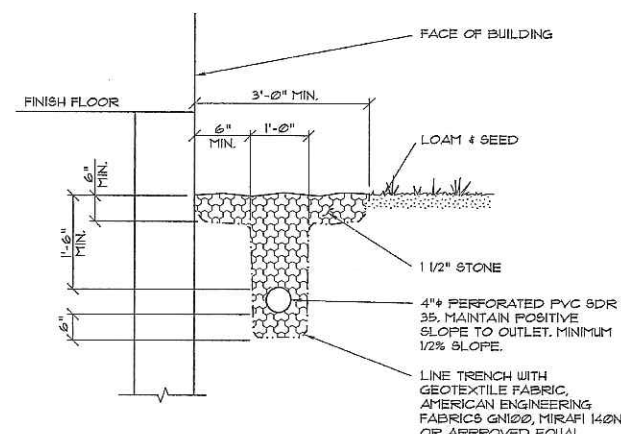
6 GAS PIPING TRENCH SECTION



5 MODULAR BLOCK WALL



8 CABLE TRENCH SECTION



7 STONE DRIPSTRIP SECTION

PINKHAM & GREER CIVIL ENGINEERS
 28 WILLOW ST. PORTLAND, ME 04103
 TEL: 207.761.5442 FAX: 207.761.4490

THOMAS S. GREER
 LICENSED PROFESSIONAL ENGINEER
 STATE OF MAINE
 NO. 6286

| REV. | DATE | DESCRIPTION |
|------|---------|--------------------------|
| 2 | 7/14/15 | REV'D PER STAFF COMMENTS |
| 1 | 5/20/15 | FOR CITY SUBMITTAL |

BRIGGS STREET PROPERTY, LLC
 55 SALEM ST #B
 PORTLAND, ME. 04102

SCALE: AS SHOWN
 DATE: APRIL 7, 2015
 PROJECT: 14164

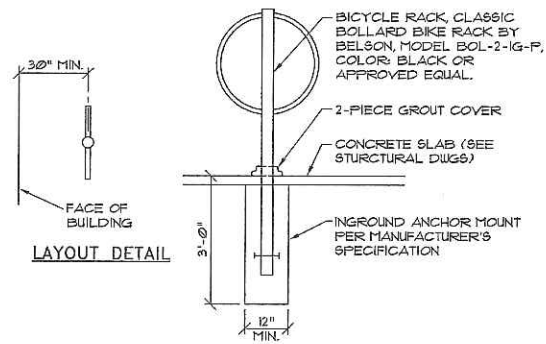
DRN BY: JDC/RJS
 DESG BY: TSG
 CHK BY: TSG

5 BRIGGS STREET
 PORTLAND, MAINE

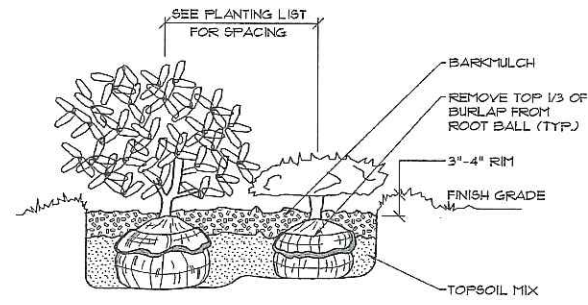
DETAILS

C2.2

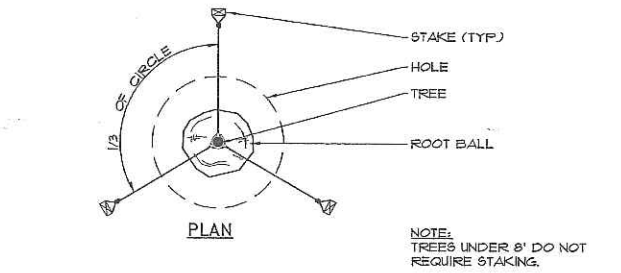
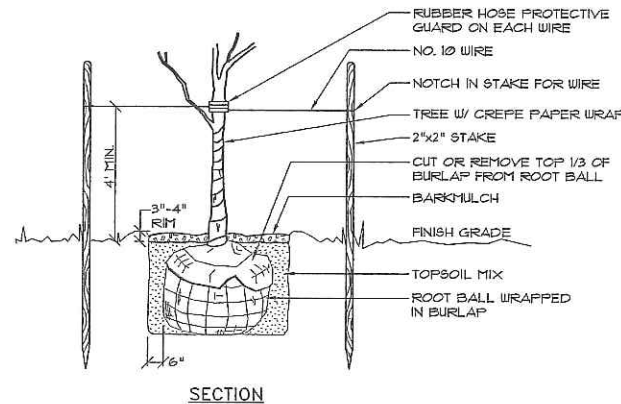
MAP/LOT 57/4/29 & 57/3/31



7 BIKE RACK DETAIL NOT TO SCALE



5 SHRUB PLANTING DETAIL NOT TO SCALE

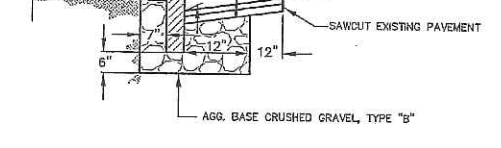
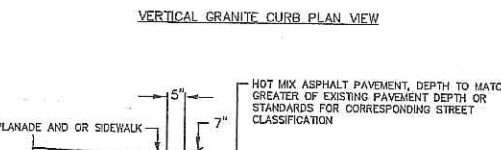
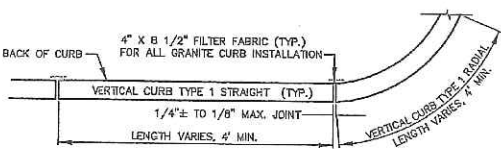
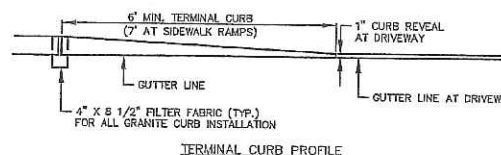


6 TREE PLANTING DETAIL NOT TO SCALE

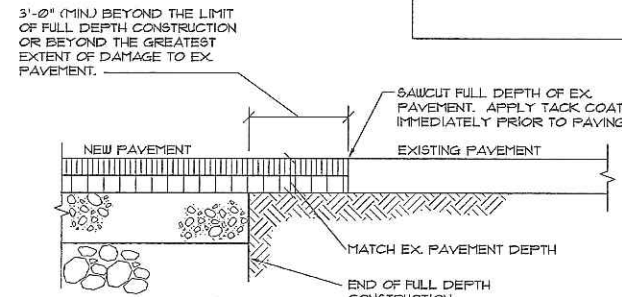
| CONSTRUCTION | USE |
|---|---------------------------------------|
| 1 1/4" HMA MDOT 9.5mm 2 1/4" HMA MDOT 13.2mm 4" COMPACTED AGGREGATE BASE, MDOT 103.06(a) TYPE A 13" COMPACTED AGGREGATE SUBBASE, MDOT 103.06(b) TYPE D COMPACTED SUBGRADE | BITUMINOUS FULL DEPTH CONSTRUCTION |
| 4" TOPSOIL, NO STONES OVER 3/4" DIA. GRANULAR MATERIAL IN FILL AREAS COMPACTED SUBGRADE | GRASS ALL DISTURBED AREAS |
| 3" BARKMULCH PREPARED SUBGRADE | PLANT BED BARKMULCH |

NOTES:
 1. HMA = HOT MIX ASPHALT.
 MDT = MAINE DEPARTMENT OF TRANSPORTATION.
 2. ALL COURSE THICKNESS AFTER FINAL COMPACTION.

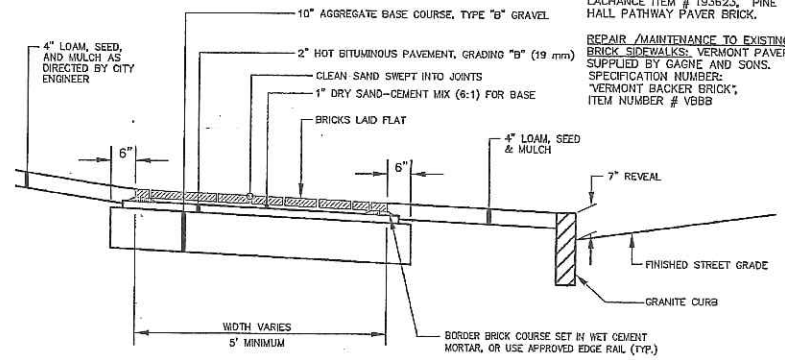
2 SCHEDULE OF SURFACE FINISHES ON-SITE NOT TO SCALE



4 VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREET (1-17) NOT TO SCALE



1 PAVEMENT CUTTING & MATCHING SECTION NOT TO SCALE



3 BRICK SIDEWALK WITH BITUMINOUS BASE (1-10) NOT TO SCALE

PINKHAM & GREER
 CIVIL ENGINEERS
 100 WASHINGTON ST., PORTLAND, ME. 04103
 TEL: 207/774-5432 FAX: 207/774-0449

THOMAS S. GREER
 LICENSED PROFESSIONAL ENGINEER
 STATE OF MAINE
 No. 10003
 7/14/15

| REV. | DATE | DESCRIPTION |
|------|---------|--------------------------|
| 2 | 7/14/15 | REV'D PER STAFF COMMENTS |
| 1 | 5/20/15 | FOR CITY SUBMITTAL |

BRIGGS STREET PROPERTY, LLC
 55 SALEM ST #B
 PORTLAND, ME. 04102

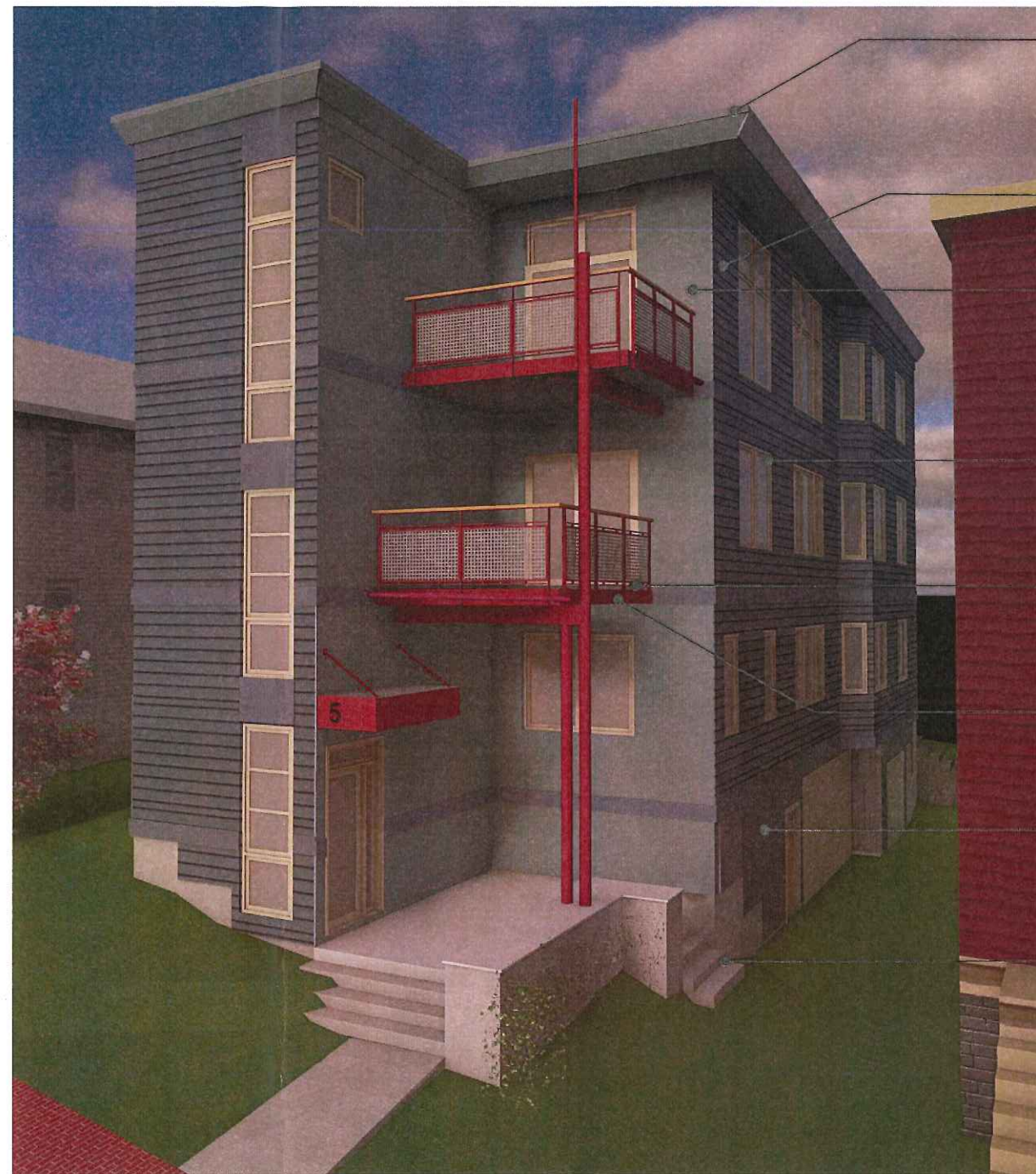
SCALE: AS SHOWN
 DATE: APRIL 7, 2015
 PROJECT: 14184

DRN BY: JDC/RJS
 DESC BY: TSG
 CHK BY: TSG

5 BRIGGS STREET
 PORTLAND, MAINE

DETAILS

C2.3



- SOFFIT AND FASCIA
LP Smartside Panel painted BM james river gray AC-23
- SIDING 1 @ all but entry
LP Smartside clapboards exposed 7" painted Ben Moore HC-159 blue
- SIDING 2 @ entry notch
LP Smartside Panels 2 x 4 and 2 x 8 sizes painted Ben Moore James River Gray AC-23 framed w/ mill finish alum molding
- WINDOWS
Matthews Brothers Starrett Adobe color
- RAILINGS, BEAMS + POSTS
Painted steel w/ trap wire mesh. Color: BM 1301
- DECKING
Aeratis synthetic gray t + g boards
- BASEMENT LEVEL SIDING
LP Smartside reverse board and batten panels w/ grooves 8" oc, BM north hampton beige (similar to window color)
- STOOP AND STAIRS
Concrete

MATERIALS

STREET VIEWS

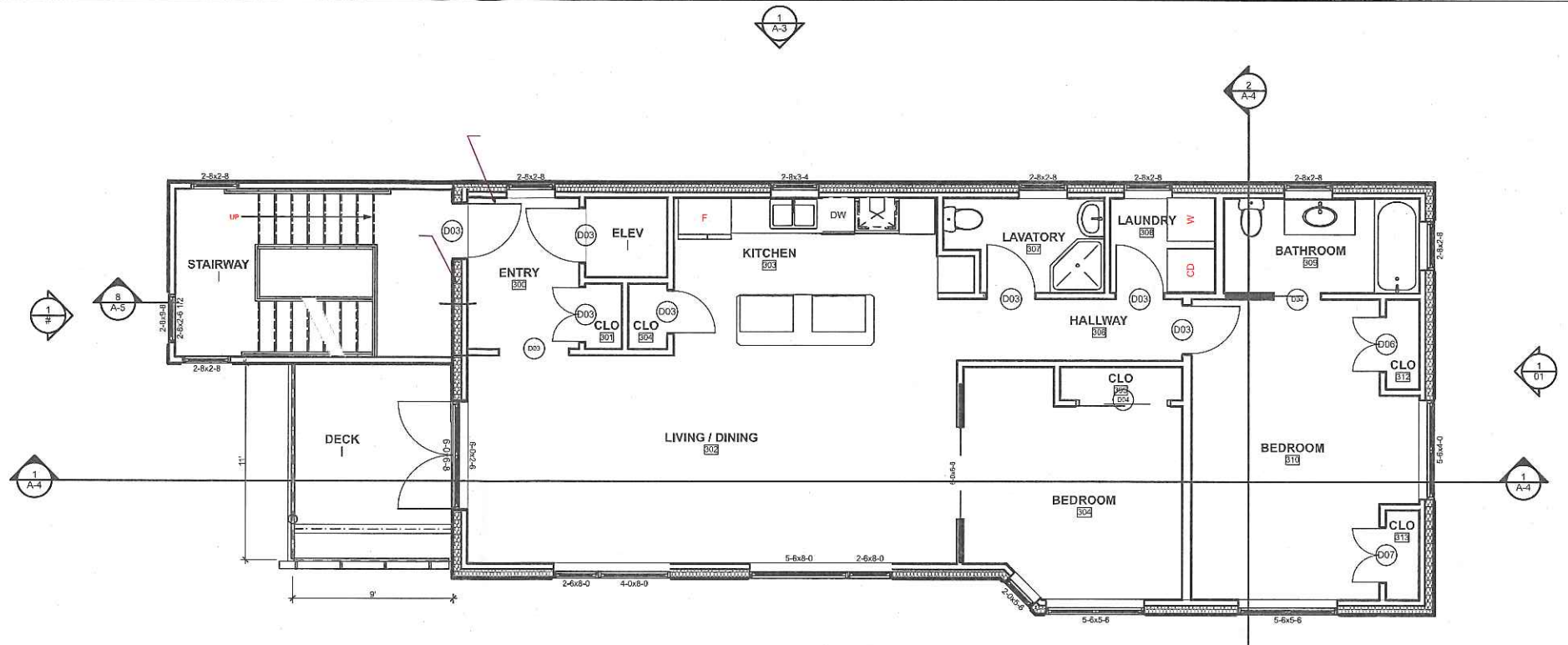
BRIGGS STREET APARTMENTS

5 BRIGGS STREET, PORTLAND MAINE

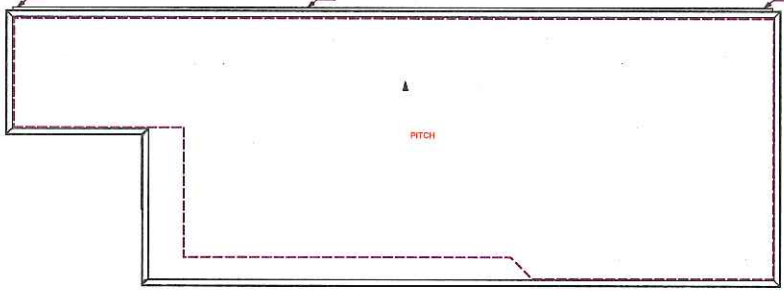
WHIPPLE - CALLENDER ARCHITECTS



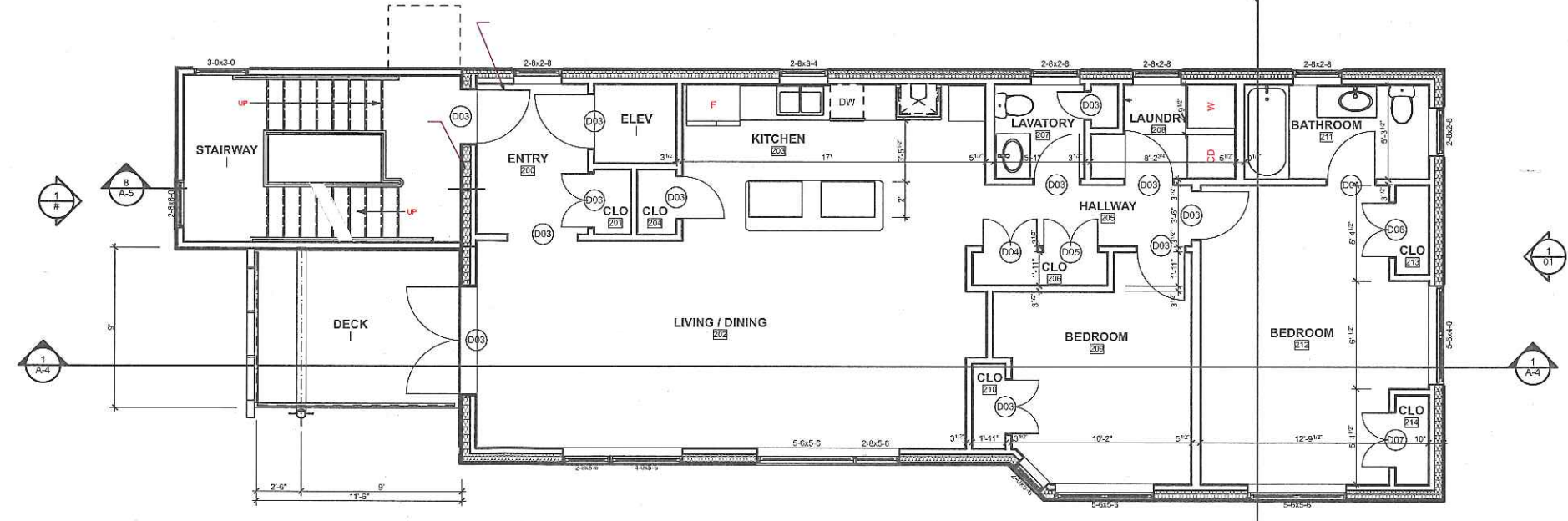
136 PLEASANT AVE, PORTLAND, ME 04103 207-775-2696



2 3rd FLOOR
SCALE: 1/4" = 1'-0"

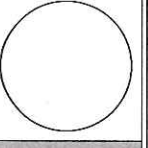


3 ROOF
SCALE: 1/8" = 1'-0"

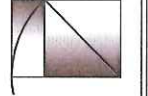


1 2nd FLOOR
SCALE: 1/4" = 1'-0"

BRIGGS STREET APARTMENTS
5 BRIGGS STREET
PORTLAND, MAINE



WHIPPLE | CALLENDER ARCHITECTS



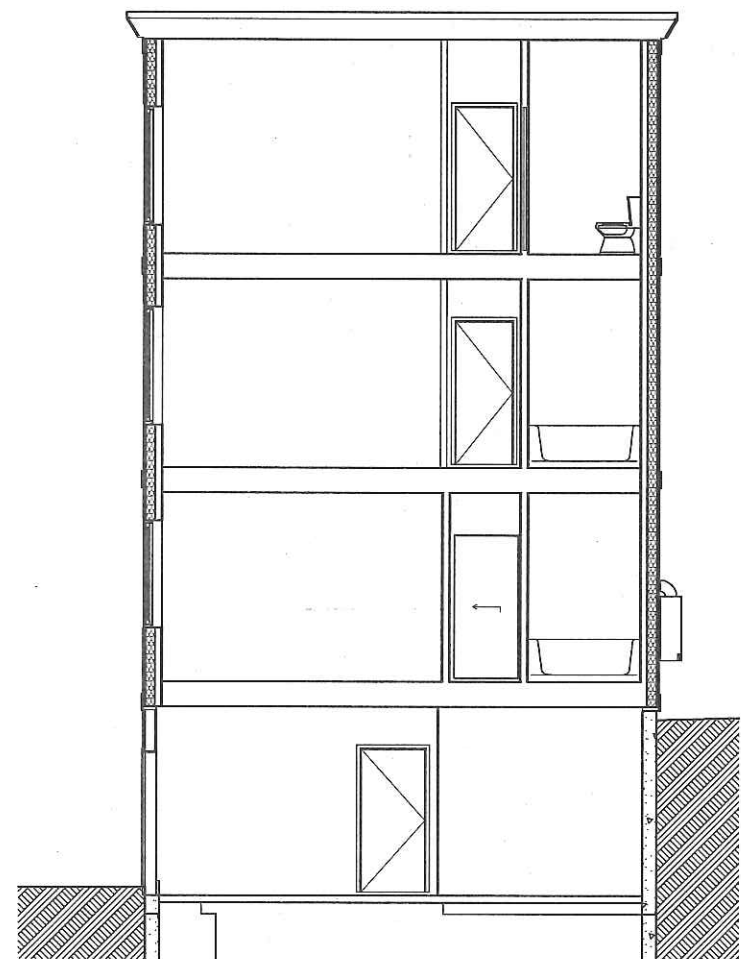
136 PLEASANT AVE.
PORTLAND, ME 04103
P 207.775.2496
F 207.775.3631
www.whipplecallender.com

| DATE | DESCRIPTION |
|-------------------------------------|---------------------|
| 6/9/15 <td>CHECKED BY: JWW/CAC</td> | CHECKED BY: JWW/CAC |
| | DRAWN BY: JWW/CAC |
| | JOB: BSA |
| | SHEET TITLE: |

A-2

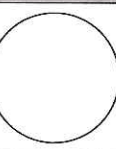


1 SECTION
A-4 SCALE: 1/4" = 1'-0"

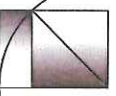


2 SECTION
A-4 SCALE: 1/4" = 1'-0"

BRIGGS STREET APARTMENTS
5 BRIGGS STREET
PORTLAND, MAINE



WHIPPLE | CALLENDER ARCHITECTS



136 PLEASANT AVE.
PORTLAND, ME 04103
P 207.775.2696
F 207.775.3631
www.whipplecallender.com

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |
| | | |
| | | |

DATE: 6/9/15
CHECKED BY: JWW/CAC
DRAWN BY: JWW/CAC
JOB: BSA
SHEET TITLE:

A-4

PRELIMINARY NOT FOR CONSTRUCTION

BRIGGS STREET APARTMENTS
 PORTLAND, MAINE
 SALEM STREET
 NEW BUILDING

| No. | DESCRIPTION | DATE | ISSUED FOR PERMIT - NOT FOR CONSTRUCTION | |
|-----|--|---------|--|----|
| | | | DR | PR |
| A | ISSUED FOR PERMIT - NOT FOR CONSTRUCTION | 5-20-15 | | |

SHEET TITLE:
STRUCTURAL NOTES

| | |
|-----------------|---------|
| DESIGNED: | TD |
| DRAWN: | TD |
| DATE: | 4-23-15 |
| PROJECT NUMBER: | 15-052 |

S0.0

GENERAL NOTES:

- REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN. REFERENCE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL PLANS FOR SIZES AND LOCATIONS OF WALL AND SLAB OPENINGS, DUCTS, PIPING, CURBS, AND EQUIPMENT PADS. IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, OR NOTES ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.
- EXISTING DIMENSIONS AND CONDITIONS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION OR FABRICATION. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF DEVIATIONS OR CHANGES ARE REQUIRED TO THE CONTRACT DOCUMENTS OR APPROVED SHOP DRAWINGS DUE TO INTERFERENCES, FABRICATION ERRORS, OR OTHER CAUSES.
- THE STRUCTURE IS SELF-SUPPORTING AND STABLE AFTER THE ENTIRE BUILDING IS COMPLETELY CONSTRUCTED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCING DURING CONSTRUCTION AND ERECTION TO PROVIDE AND ENSURE LOCAL AND OVERALL STABILITY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION AND ERECTION. THE CONTRACTOR SHALL RETAIN A LICENSED STRUCTURAL ENGINEER TO DESIGN TEMPORARY BRACING/SHORING AND DETERMINE WHERE THE TEMPORARY BRACING/SHORING IS NEEDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTION PROCEDURES, SEQUENCING AND FOR COMPLYING WITH ALL APPLICABLE SAFETY REGULATIONS DURING THE WORK.
- ONE ELECTRONIC COPY OR TWO SETS OF HARD COPIES OF SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER. ONE HARD COPY WILL BE RETURNED TO THE CONTRACTOR AND ONE HARD COPY WILL BE RETAINED BY THE ENGINEER.
- REFERENCE THE PROJECT SPECIFICATIONS FOR MATERIAL, WORKMANSHIP AND ADDITIONAL INFORMATION NOT COVERED IN THESE NOTES (WHERE APPLICABLE)

DESIGN CRITERIA:

- BUILDING CODES:**
 INTERNATIONAL BUILDING CODE (IBC), 2009 EDITION
 ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES
 MAINE UNIFORM BUILDING AND ENERGY CODE
- LIVE LOADS:**
 FLOOR LIVING AREAS = 40 PSF
- SNOW LOADS:**
 GROUND SNOW LOAD (Pg) = 60 PSF
 SNOW EXPOSURE FACTOR (Ce) = 1.0
 SNOW LOAD IMPORTANCE FACTOR (Is) = 1.0
 THERMAL FACTOR (Ct) = 1.1
 FLAT ROOF SNOW LOAD (Pf) = 46 PSF + DRIFT
- WIND LOADS:**
 BASIC WIND SPEED = 100 MPH
 IMPORTANCE FACTOR (Iw) = 1.0
 WIND EXPOSURE C
 MAIN WINDFORCE-RESISTING SYSTEM (INCLUDES WINDWARD + LEeward) = 22 PSF
 COMPONENTS & CLADDING - PER ASCE 7-05
- SEISMIC CRITERIA:**
 BASED ON EQUIVALENT LATERAL FORCE PROCEDURE
 OCCUPANCY CATEGORY II
 SOIL SITE CLASSIFICATION = D
 SEISMIC IMPORTANCE FACTOR (Ie) = 1.0
 DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETER:
 Sds = .371
 Sd1 = .160
 SEISMIC DESIGN CATEGORY C
 RESPONSE MODIFICATION COEFFICIENT (R) = 6.5 (WOOD FRAMED SHEAR WALLS)
 SEISMIC RESPONSE COEFFICIENT (cs) = 0.057

FOUNDATION NOTES:

- FOUNDATIONS HAVE BEEN DESIGNED USING A PRESUMED ALLOWABLE BEARING PRESSURE PER TABLE 1806.2 OF THE INTERNATIONAL BUILDING CODE BASED ON TYPICAL SOILS FOUND IN THIS AREA. IF CLAY, MU, ORGANIC SILT, PEAT OR UNPREPARED FILL IS FOUND DURING CONSTRUCTION, NOTIFY ENGINEER IMMEDIATELY. AS THE ALLOWABLE LOADS USED IN DESIGN WILL NEED TO BE VERIFIED BY A GEOTECHNICAL ENGINEER. CASCO BAY ENGINEERING RECOMMENDS PROCURING A GEOTECHNICAL ENGINEER TO VERIFY EXISTING SOIL CONDITIONS.
- ALLOWABLE SOIL BEARING CAPACITY USED IN DESIGN = 2,000 PSF
- MINIMUM FROST DEPTH COVER = 4'-6" FOR EXTERIOR FOOTINGS BELOW FINAL EXTERIOR GRADE.
- EXCAVATION, BACKFILL, COMPACTION, GRADATION REQUIREMENTS, FOUNDATION DRAINAGE AND PERMANENT DEWATERING REQUIREMENTS SHALL BE PROVIDED BY A GEOTECHNICAL ENGINEER.
- CONCRETE SLABS ON GRADE SHALL BE CONSTRUCTED ON A MINIMUM 12" THICK LAYER OF PROPERLY COMPACTED STRUCTURAL FILL, UNLESS OTHERWISE DIRECTED BY A GEOTECHNICAL ENGINEER.
- FOUNDATIONS SHALL BEAR ON UNDISTURBED NATIVE SOIL, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL AND STRUCTURAL ENGINEER IF ANY UNSUITABLE SOILS ARE ENCOUNTERED PRIOR TO PLACING FOUNDATIONS.
- FOUNDATION WALLS AND SLAB-ON-GRADES SHALL REACH THEIR FULL 28 DAY COMPRESSIVE STRENGTH PRIOR TO BACKFILLING. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING/BRACING FOR WALLS WHEN BACKFILL IS PLACED PRIOR TO CONCRETE ACHIEVING ITS FULL 28 DAY STRENGTH. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING/BRACING FOR WALLS AND OTHER STRUCTURAL ELEMENTS PRIOR TO INSTALLATION OF PERMANENT BRACING/FLOOR/STRUCTURE.
- PROTECT FOUNDATIONS FROM FROST AND KEEP BOTTOM OF TRENCH DRY DURING CONSTRUCTION. IF GROUNDWATER IS ENCOUNTERED NEAR OR ABOVE THE BASE OF THE FOOTINGS, EXCAVATIONS SHALL BE DEWATERED DURING CONSTRUCTION. SURFACE WATER SHALL BE DIVERTED AWAY FROM EXCAVATIONS.
- DO NOT UNDERMINE EXISTING FOUNDATIONS OF ADJACENT STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING, BRACING AND UNDERPINNING OF EXISTING STRUCTURES DURING EXCAVATION, BACKFILLING, AND CONSTRUCTION. CONTRACTOR SHALL SLOPE EXCAVATIONS TO ACHIEVE SOIL STABILITY.

CONCRETE NOTES:

- ALL WORK SHALL CONFORM TO IBC 2009 REFERENCED EDITIONS OF "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301).
- REQUIRED CONCRETE PARAMETERS ARE AS FOLLOWS:

| LOCATION | MAX W/C RATIO | f'c | AIR-ENTRAINMENT |
|---|---------------|-----------|-----------------|
| INT. WALLS/ELEV. SLABS | .52 | 3,000 PSI | 2% ± 1/2% |
| FOUNDATIONS, FOOTINGS, & FOUNDATION WALLS | .45 | 4,500 PSI | 6% ± 1/2% |
| INT. SLAB-ON-GRADE | .45 | 4,500 PSI | 2% ± 1/2% |
| EXT. SLAB-ON-GRADE | .45 | 4,500 PSI | 6% ± 1/2% |

WHERE: W/C = WATER TO CEMENT RATIO AND
 f'c = COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS

USE PORTLAND CEMENT TYPE II, IN CONFORMANCE WITH ASTM 1510
 AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C 260
 ADMIXTURES SHALL CONFORM TO ASTM C 494
 FLY ASH USED AS ADMIXTURES SHALL CONFORM TO ASTM C 618

- MAXIMUM AGGREGATE SIZE SHALL BE 3/4", IN CONFORMANCE WITH ASTM C33.
- CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE IS NOT PERMITTED.
- MAXIMUM SLUMP AFTER THE ADDITION OF A WATER-REDUCING ADMIXTURE IS 6 INCHES.
- CONTRACTOR SHALL NOT PLACE CONCRETE ON FROZEN GROUND OR IN WATER. ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING NEAR-FREEZING OR FREEZING WEATHER. REFERENCE ACI 308, AS NOTED ABOVE, FOR RECOMMENDATIONS FOR COLD WEATHER CONCRETING.
- VERTICAL CONSTRUCTION JOINTS IN WALLS SHALL NOT EXCEED A SPACING OF 40 FEET, U.N.O.
- ANCHOR BOLTS SHALL BE HEADED RODS AND CONFORM TO ASTM F1554, GRADE 36 KSI WELDABLE STEEL, U.N.O. ON DRAWINGS. PROVIDE GALVANIZED ANCHOR BOLTS WHERE IN CONTACT WITH PRESSURE TREATED LUMBER.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED BARS.
- WELDED WIRE FABRIC (WVF) SHALL CONFORM TO ASTM A185 AND BE PROVIDED IN FLAT SHEETS. PROVIDE ADEQUATE SUPPORT FOR WVF TO ENSURE PROPER LOCATION WITHIN SLAB DURING CONCRETE PLACEMENT.
- MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS:
 A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3 INCHES
 B. FORMED CONCRETE IN CONTACT WITH EARTH OR EXPOSED TO WEATHER 2 INCHES
 C. CONCRETE NOT EXPOSED TO EARTH OR WEATHER IN SLABS & WALLS 1 1/2 INCHES
- WELDING OF REINFORCEMENT IS NOT PERMITTED.
- PROVIDE NON-SHRINK GROUT BENEATH LEVELING PLATES & BEARING PLATES w/ MINIMUM COMPRESSIVE STRENGTH OF 7,000 PSI AT 28 DAYS.
- PROVIDE CONTINUOUS REINFORCEMENT AT ALL CORNERS AND INTERSECTIONS. SEE TYPICAL FOUNDATION WALL DETAILS ON FOUNDATION DETAILS SHEET.
- REINFORCING BARS AND ALL EMBEDDED ITEMS, INCLUDING ANCHOR BOLTS, MUST BE ACCURATELY PLACED AND ADEQUATELY SECURED BEFORE CONCRETE IS PLACED. "NET SETTING" OF EMBEDDED ITEMS INTO CONCRETE IS STRICTLY PROHIBITED.
- UNLESS NOTED ON DRAWINGS, FOLLOW ACI STANDARDS FOR LAP SPLICE LENGTHS OF REINFORCING BARS.

REBAR LAP SPLICE TABLE

| BAR SIZE | #3 | #4 | #5 | #6 | #7 | #8 | #9 |
|-------------------|-----|-----|-----|-----|-----|-----|-----|
| 3000 PSI CONCRETE | 18" | 24" | 30" | 36" | 48" | 56" | 64" |
| 4500 PSI CONCRETE | 16" | 20" | 24" | 30" | 40" | 48" | 54" |

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL WORK SHALL CONFORM TO IBC 2009 REFERENCED EDITIONS OF AISC "SPECIFICATION FOR THE DESIGN FABRICATIONS, AND ERECTION OF STRUCTURAL STEEL" AND THE "CODE OF STANDARD PRACTICE"
- STRUCTURAL STEEL MEMBERS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 WIDE FLANGE SHAPES AND TEES ASTM A992
 ANGLES, PLATES, CHANNELS ASTM A36, Fy=36 KSI (U.N.O.)
 SQUARE/RECTANGULAR HSS ASTM A500, GRADE B, Fy=48 KSI
 ROUND HSS ASTM A500, GRADE B, Fy=42 KSI
 STEEL PIPE ASTM A53, TYPE E OR S, GRADE B, Fy=35 KSI
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO COMMENCING FABRICATION.
- FIELD CONNECTIONS SHALL UTILIZE MINIMUM 3/4" DIAMETER A325 HIGH STRENGTH BOLTS, U.N.O. BOLTED CONNECTIONS SHALL BE SLIP CRITICAL AT ALL MOMENT FRAMES, BRACED FRAMES, AND AT ADDITIONAL LOCATIONS INDICATED "SC" IN THE DRAWINGS. SLIP CRITICAL CONNECTIONS SHALL UTILIZE LOAD INDICATOR WASHERS OR TENSION CONTROL BOLTS. USE A490 BOLTS WHERE INDICATED ON DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR DESIGN OF CONNECTIONS NOT ALREADY DETAILED ON STRUCTURAL DRAWINGS. CONTRACTOR SHALL SUBMIT DESIGN STAMPED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE WHERE PROJECT IS LOCATED PRIOR TO COMMENCING FABRICATION.
- WELDING SHALL CONFORM TO AWS D1.1. USE LOW-HYDROGEN SMAW ELECTRODES WITH MINIMUM TENSILE STRENGTH OF 70 KSI.
- PROVIDE 1/2" LEVELING PLATES UNDER ALL COLUMN BASE PLATES, U.N.O. LEVELING PLATES SHALL BE SET AND GROUTED PRIOR TO COLUMN ERECTION.
- ALL STRUCTURAL STEEL NOT EXPOSED TO WEATHER SHALL RECEIVE ONE COAT OF STANDARD SHOP PRIMER, U.N.O.
- SEE DRAWINGS AND CONCRETE NOTES FOR ANCHOR BOLT INFORMATION.

WOOD NOTES:

- ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH IBC 2009 REFERENCED EDITIONS OF THE AITC TIMBER CONSTRUCTION MANUAL AND AF&PA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS).
- ALL FRAMING SHALL BE SPRUCE-PINE-FIR, No.2 OR BETTER U.N.O. AND HAVE A MAXIMUM MOISTURE CONTENT OF 19%.
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED (PT) SOUTHERN YELLOW PINE.
- WHERE "LVL" IS NOTED ON DRAWINGS, PROVIDE LAMINATED VENEER LUMBER, WHICH HAS THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
 Fb = 2600 PSI Fc = 2510 PSI (PARALLEL TO GRAIN)
 Fv = 285 PSI Fc = 750 PSI (PERPENDICULAR TO GRAIN)
 Ft = 1555 PSI E = 2,000,000 PSI
- WHERE "PSL" IS NOTED ON DRAWINGS, PROVIDE PARALLAM STRAND LUMBER, WHICH HAS THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
 Fb = 2900 PSI Fc = 2900 PSI (PARALLEL TO GRAIN)
 Fv = 290 PSI Fc = 750 PSI (PERPENDICULAR TO GRAIN)
 Ft = 2025 PSI E = 2,000,000 PSI
- ALL ENGINEERED LUMBER THAT IS EXPOSED TO WEATHER SHALL BE WOLMANIZED.
- ALL FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE, GLUED AND NAILED TO FLOOR FRAMING WITH 8d RINK SHANK NAILS AT 6" o.c. AT SUPPORTED PANEL EDGES, 12" o.c. AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE ON DRAWINGS.
- ALL ROOF SHEATHING (5/8") AND WALL SHEATHING (1/2") SHALL BE APA PERFORMANCE-RATED. ATTACH TO SUPPORTED PANEL EDGES WITH 8d NAILS AT 6" o.c. AND AT INTERMEDIATE SUPPORTS WITH 8d NAILS AT 12" o.c. U.N.O. SEE DRAWINGS FOR MORE STRINGENT NAILING REQUIREMENTS AT WOOD SHEAR WALLS.
- SHEATHING SHALL BE ORIENTED WITH LONG DIMENSION PERPENDICULAR TO THE SUPPORTS AND BE CONTINUOUS OVER TWO OR MORE SUPPORTS. STAGGER ALL JOINTS & PROVIDE ADEQUATE JOINT SPACING (1/8" TYP) AS RECOMMENDED BY MANUFACTURER.
- PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS. PROVIDE 1x3 DIAGONAL BRIDGING OR FULL DEPTH SOLID BLOCKING FOR EACH 8'-0" OF SPAN FOR ALL JOISTS AND RAFTERS.
- WHERE BEAMS ARE LABELED ON PLAN, DO NOT SPLICE BEAM NOR ANY PLY OF BEAM BETWEEN SUPPORTS.
- ALL CONNECTION HARDWARE SHALL BE BY SIMPSON STRONG-TIE (OR APPROVED EQUIVALENT) AND SHALL BE HOT-DIPPED GALVANIZED. HARDWARE IN CONTACT WITH PRESSURE TREATED (PT) LUMBER SHALL BE GALVANIZED G185 (ZMAX). REFER TO MANUFACTURERS LITERATURE FOR PROPER INSTALLATION GUIDELINES.
- FASTENERS USED IN CONTACT WITH PRESSURE TREATED (PT) LUMBER SHALL BE HOT-DIPPED GALVANIZED, STAINLESS STEEL, OR OTHER FINISH APPROVED BY ENGINEER.
- ALIGN COLUMNS SUCH THAT COLUMNS BEAR CONTINUOUSLY TO FOUNDATION SUPPORT. INSTALL ADDITIONAL SOLID BLOCKING WITHIN FLOOR PACKAGE TO PROVIDE CONTINUITY OF LOAD PATH.
- PROVIDE HORIZONTAL BLOCKING FOR ALL LOAD BEARING WALLS AT 4'-0" O.C. VERTICAL, MAXIMUM.
- SUBMIT SHOP DRAWINGS FOR ALL PREFABRICATED WOOD JOISTS AND WALL PANELS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

ABBREVIATION:

| | | | |
|----------------|---------------------------|-------------|------------------------------|
| AB | ANCHOR BOLT | L | ANGLE |
| ADDL | ADDITIONAL | LL | DOUBLE ANGLE |
| ARCH | ARCHITECT | LB | POUND |
| & | AND | LF | LINEAR FOOT |
| B/FTG, BOF | BOTTOM OF FOOTING | LH | LONG LEG HORIZONTAL |
| BUDG | BUILDING | LLV | LONG LEG VERTICAL |
| BM | BEAM | MAX | MAXIMUM |
| BOT | BOTTOM | MECH | MECHANICAL |
| BRG | BEARING | MFR | MANUFACTURER |
| BTWN | BETWEEN | MIN | MINIMUM |
| | | MISC | MISCELLANEOUS |
| C | STRUCTURAL STEEL CHANNEL | NF | NEAR FACE |
| CANT | CANTILEVER | NO | NUMBER |
| CIP | CAST-IN-PLACE CONCRETE | NS | NEAR SIDE |
| CJ | CONTROL JOINT | NTS | NOT TO SCALE |
| CLR | CLEAR | OC | ON CENTER |
| CMU | CONCRETE MASONRY UNIT | OF | OUTSIDE FACE |
| CNJ | CONCRETE JOINT | OPNG | OPENING |
| COL | COLUMN | OPP | OPPOSITE |
| CONC | CONCRETE | P | PIER DESIGNATION |
| CONV | CONNECTION | PL | PLATE |
| CONT | CONTINUOUS | PP | PARTIAL PENETRATION WELD |
| CONTR | CONTRACTOR | PPREFAB | PREFABRICATED |
| CP | COMPLETE PENETRATION WELD | PSF | POUNDS PER SQUARE FOOT |
| CY | CUBIC YARD | PSI | POUNDS PER SQUARE INCH |
| | | REIN | REINFORCING STEEL |
| DIA | DIAMETER | REQ, REQD | REQUIRED |
| DISCONT | DISCONTINUOUS | RD | ROOF DRAIN |
| DWG | DRAWING | SC | SLIP CRITICAL |
| (E), EX, EXIST | EXISTING | SECT | SECTION |
| EA | EACH | SEATH | SHEATHING |
| EF | EACH FACE | SM | SIMILAR |
| EL ELEV | ELEVATION | SDG | SLAB-ON-GRADE |
| EQ | EQUAL | SPAC | SPACING |
| EQUIP | EQUIPMENT | SPECS | SPECIFICATIONS |
| ES | EACH SIDE | SS | STAINLESS STEEL |
| EW | EACH WAY | STD | STANDARD |
| EXP | EXPANSION | STIFF | STIFFENER |
| EXT | EXTERIOR | STL | STEEL |
| | | STR | STRAIGHT |
| F | FOOTING DESIGNATION | STRUCT | STRUCTURAL |
| FDN | FOUNDATION | T | TOP |
| FF | FINISH FLOOR | T&B | TOP AND BOTTOM |
| FLG | FLANGE | TOC, T/CONC | TOP OF CONCRETE |
| FLR | FLOOR | T/FTG, TOP | TOP OF FOOTING |
| FT | FOOT | TEMP | TEMPERATURE |
| FTD | FOOTING | T/SHELF | TOP OF SHELF |
| FV | FIELD VERIFY | T/SLAB | TOP OF SLAB |
| | | T/STL | TOP OF STEEL |
| G | GAGE | T/WALL | TOP OF WALL |
| GALV | GALVANIZED | TS | STRUCTURAL TUBING |
| HOR, HORIZ | HORIZONTAL | TYP | TYPICAL |
| HSS | HOLLOW STRUCTURAL SHAPE | UNO | UNLESS NOTED OTHERWISE |
| HT | HEIGHT | VER, VERT | VERTICAL |
| | | VF | VERIFY IN FIELD |
| IF | INSIDE FACE | W | STRUCTURAL STEEL WIDE FLANGE |
| IN | INCH | W/O | WITHOUT |
| INFO | INFORMATION | WP | WORK POINT |
| | | WT | WEIGHT |
| JOINT | JOINT | WVF | WELDED WIRE FABRIC |
| K | KIP (1 KIP = 1,000 LBS) | | |
| KSI | KIPS PER SQUARE INCH | | |

LEGEND:

| | | | |
|-------------------|--|---------------------------|--|
| SLOPE DESIGNATION | | UNDISTURBED EARTH | |
| ELEVATION MARK | | LEDGE | |
| ROOF PITCH | | COMPACTED STRUCTURAL FILL | |
| SPAN DIRECTION | | CONCRETE | |
| SECTION MARK | | GROUT | |
| | | BRICK | |
| | | CMU | |



PLAN
NORTH



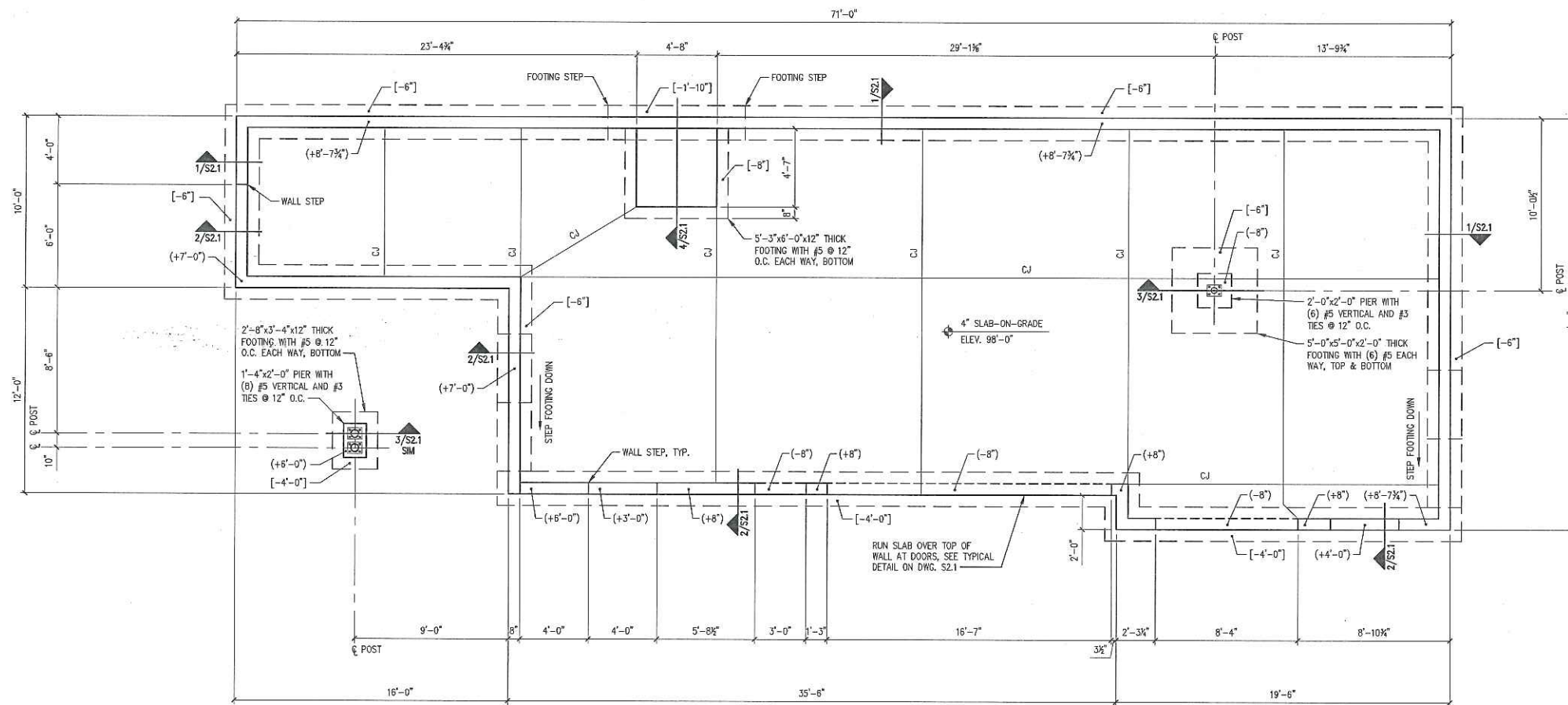
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PRELIMINARY
NOT FOR CONSTRUCTION

BRIGGS STREET APARTMENTS
SALEM STREET
PORTLAND, MAINE
NEW BUILDING

PRINTED: Jun 02, 2015



- NOTES:
1. SEE S2.1 FOR TYPICAL SLAB-ON-GRADE, FOOTING AND WALL REINFORCING DETAILS.
 2. REFERENCE FINISH FLOOR ELEVATION = 98'-0"
 3. TOP OF CONCRETE ELEVATIONS ARE NOTED (+X'-X") FROM SLAB-ON-GRADE ELEVATION.
 4. TOP OF FOOTING ELEVATIONS ARE NOTED [-X'-X") FROM SLAB-ON-GRADE ELEVATION.
 5. CJ = CONTROL OR CONSTRUCTION JOINT

PLAN LEGEND

| | |
|--|------------------------|
| | BEARING WALL |
| | SHEAR WALL |
| | BEAM |
| | HSS COLUMN |
| | COLUMN FROM ABOVE |
| | COLUMN BELOW |
| | COLUMN ABOVE AND BELOW |
| | HOLD-DOWN |

FOUNDATION PLAN

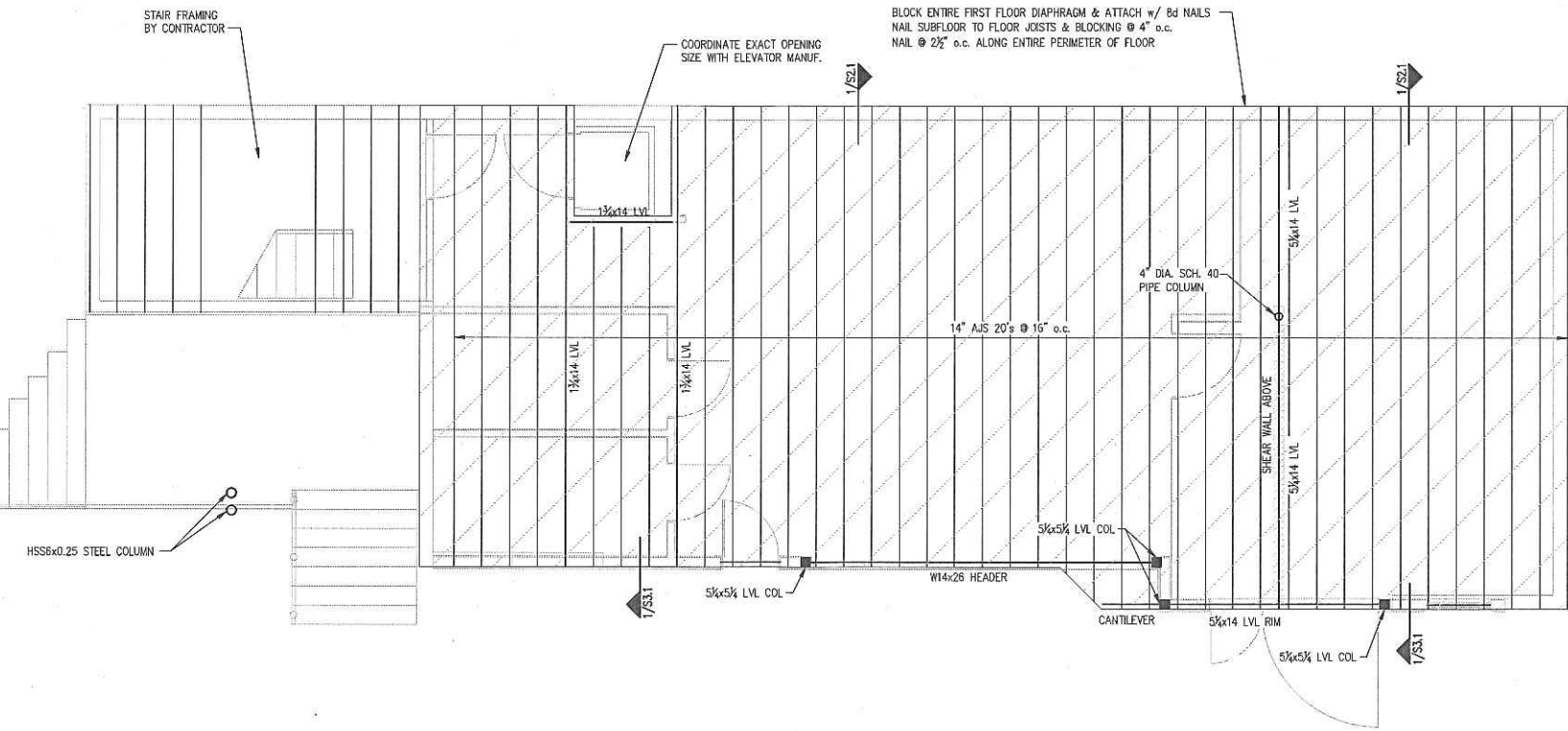
SCALE: 1/4"=1'-0"

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SHEET TITLE:
FOUNDATION PLAN

DESIGNED: TD
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DATE: 4-23-15
PROJECT NUMBER: 15-052

S1.0

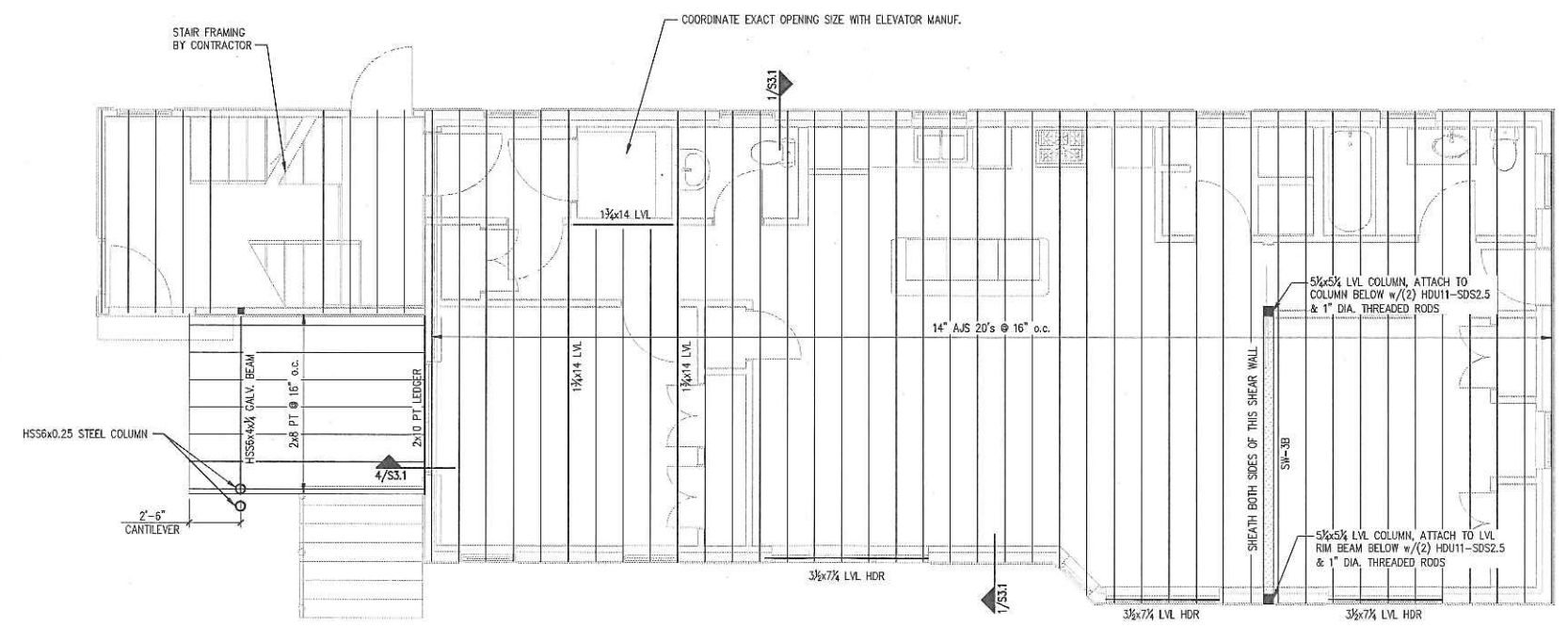


| SHEAR WALL SCHEDULE BETWEEN FLOOR DIAPHRAGMS | | | |
|--|------------------------|------------------------|---------|
| GRID | SHEATHING REQUIREMENTS | NAILING AT PANEL EDGES | REMARKS |
| SW-3 | ONE SIDE | 3" o.c. | |
| SW-3B | BOTH SIDES | 3" o.c. | |
| SW-4 | ONE SIDE | 4" o.c. | |
| SW-4B | BOTH SIDES | 4" o.c. | |
| SW-6 | ONE SIDE | 6" o.c. | |
| SW-6B | BOTH SIDES | 6" o.c. | |

- NOTES FOR SHEAR WALL SCHEDULES:
- PLYWOOD SHEATHING SHALL BE 1/2" APA RATED SHEATHING.
 - DO NOT COUNTERSINK NAILS INTO PLYWOOD SHEATHING.
 - BLOCK ALL PANEL EDGES.
 - SPACE NAILS 12" o.c. AT INTERMEDIATE SUPPORTS.
 - SHEAR WALLS SHALL EXTEND UP TO DIAPHRAGM ABOVE.

FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" 1



- NOTES:
- PROVIDE SIMPSON JOIST HANGERS AT ALL JOIST ENDS, TYP.
 - WINDOW HEADERS SHALL BE (3)-2x10's w/ 1/2" PLYWOOD LAWS, U.N.O.
 - PROVIDE (3)-2x6'S AT ALL COLUMNS, CORNERS AND HOLD DOWN LOCATIONS, U.N.O.
 - "SW-X" DENOTES SHEAR WALL TYPE. SEE SHEAR WALL SCHEDULE THIS DWG FOR NAILING REQUIREMENTS AND ADDITIONAL INFORMATION.

PLAN LEGEND:

| | |
|--|------------------------|
| | BEARING WALL |
| | SHEAR WALL |
| | BEAM |
| | HSS COLUMN |
| | COLUMN FROM ABOVE |
| | COLUMN BELOW |
| | COLUMN ABOVE AND BELOW |
| | HOLD-DOWN |

SECOND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" 2

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 Phone 207.842.2800
 Fax 207.842.2828
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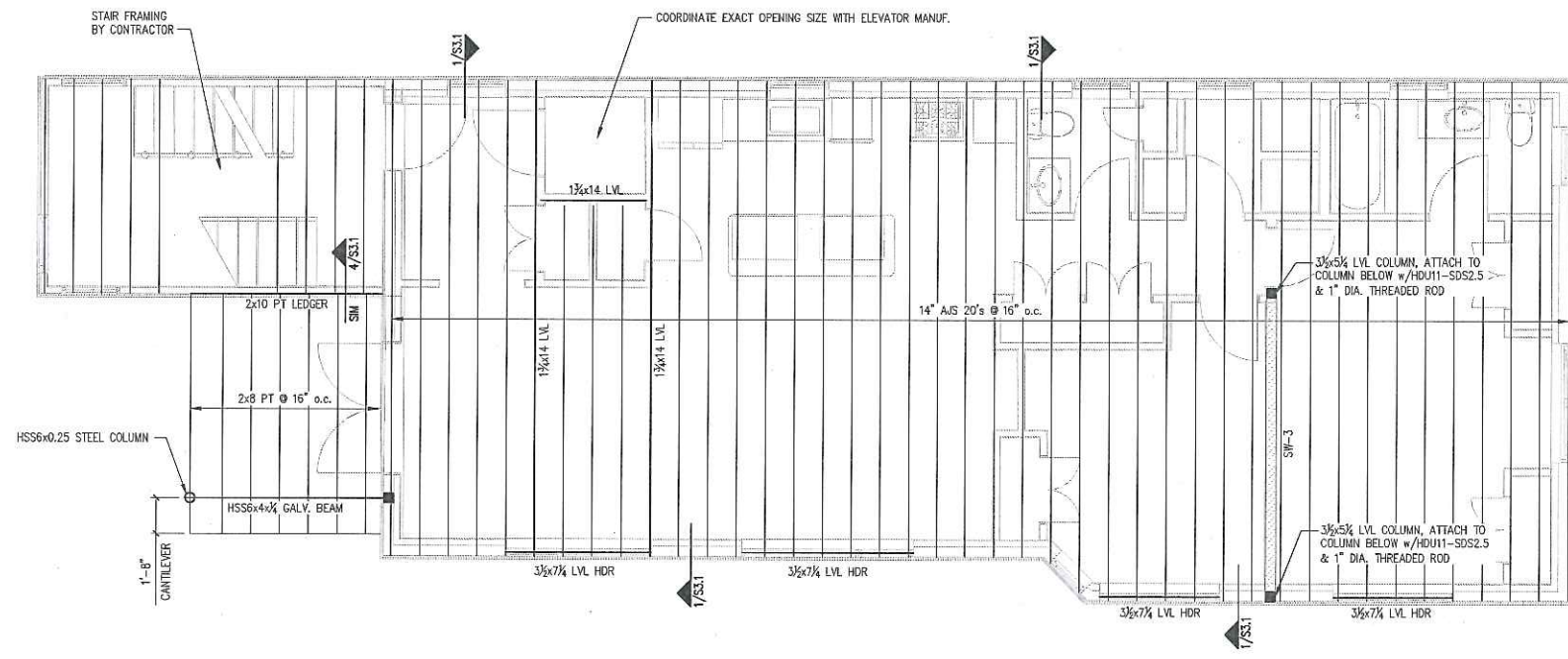
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SHEET TITLE:
FIRST AND SECOND FLOOR FRAMING PLANS

DESIGNED: ID
 DRAWN: TD
 DATE: 4-23-15
 PROJECT NUMBER: 15-052

S1.1

PRINTED: Jun 02, 2015

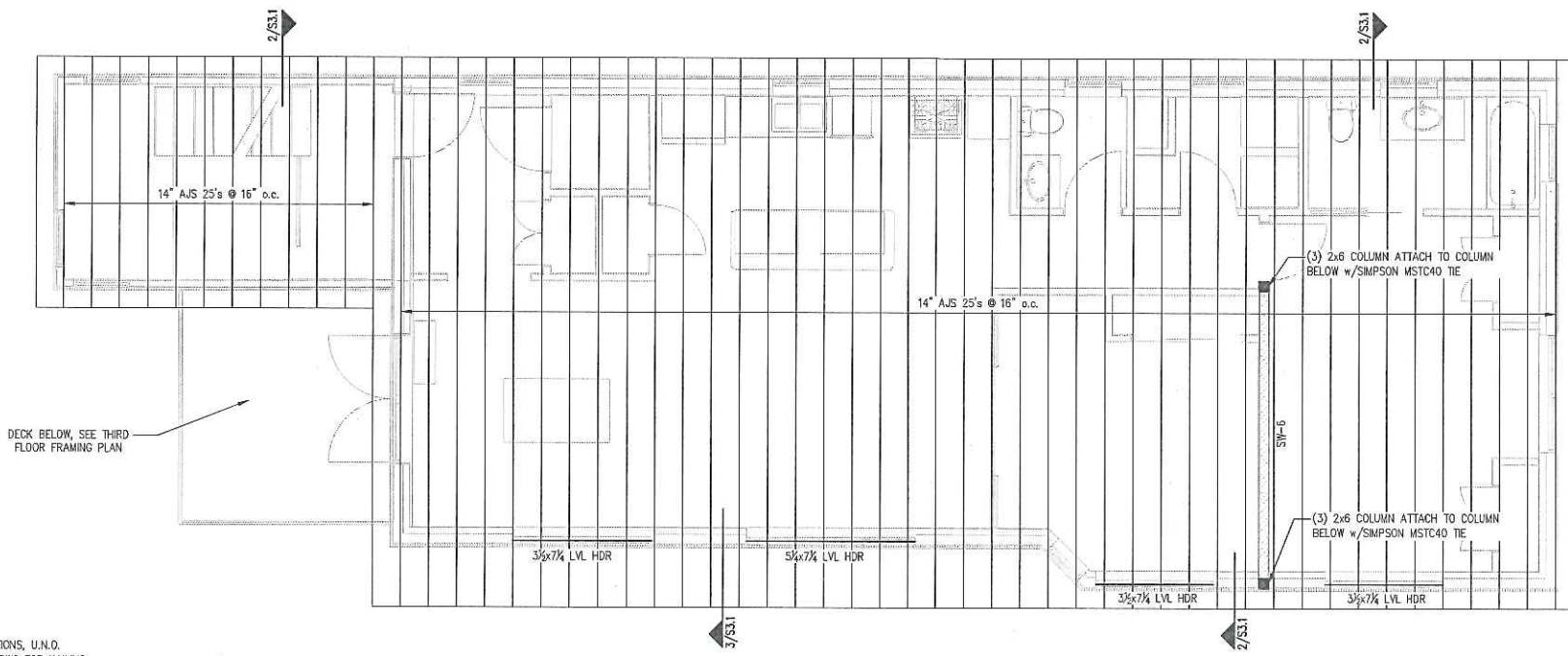


| SHEAR WALL SCHEDULE BETWEEN FLOOR DIAPHRAGMS | | | |
|--|------------------------|------------------------|---------|
| GRID | SHEATHING REQUIREMENTS | NAILING AT PANEL EDGES | REMARKS |
| SW-3 | ONE SIDE | 3" o.c. | |
| SW-3B | BOTH SIDES | 3" o.c. | |
| SW-4 | ONE SIDE | 4" o.c. | |
| SW-4B | BOTH SIDES | 4" o.c. | |
| SW-6 | ONE SIDE | 6" o.c. | |
| SW-6B | BOTH SIDES | 6" o.c. | |

- NOTES FOR SHEAR WALL SCHEDULES:
1. PLYWOOD SHEATHING SHALL BE 7/8" APA RATED SHEATHING.
 2. DO NOT COUNTERSINK NAILS INTO PLYWOOD SHEATHING.
 3. BLOCK ALL PANEL EDGES.
 4. SPACE NAILS 12" o.c. AT INTERMEDIATE SUPPORTS.
 5. SHEAR WALLS SHALL EXTEND UP TO DIAPHRAGM ABOVE.

THIRD FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" 1



- NOTES:
1. PROVIDE SIMPSON JOIST HANGERS AT ALL JOIST ENDS, TYP.
 2. WINDOW HEADERS SHALL BE (3)-2x10's w/ 1/2" PLYWOOD LAMS, U.N.O.
 3. PROVIDE (3)-2x6'S AT ALL COLUMNS, CORNERS AND HOLD DOWN LOCATIONS, U.N.O.
 4. "SW-X" DENOTES SHEAR WALL TYPE. SEE SHEAR WALL SCHEDULE THIS DWG FOR NAILING REQUIREMENTS AND ADDITIONAL INFORMATION.

ROOF FRAMING PLAN

PLAN LEGEND

| | |
|--|------------------------|
| | BEARING WALL |
| | SHEAR WALL |
| | BEAM |
| | HSS COLUMN |
| | COLUMN FROM ABOVE |
| | COLUMN BELOW |
| | COLUMN ABOVE AND BELOW |
| | HOLD-DOWN |

SCALE: 1/4"=1'-0" 2

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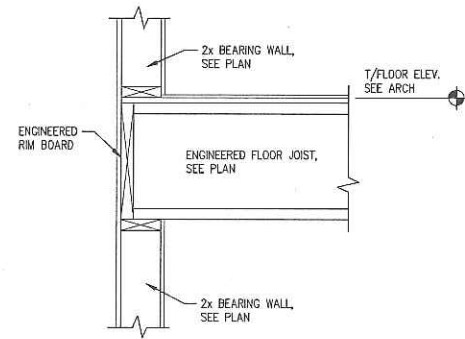
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SHEET TITLE
THIRD FLOOR AND ROOF FRAMING PLANS

DESIGNED: TD
 DRAWN: TD
 DATE: 4-23-15
 PROJECT NUMBER: 15-052

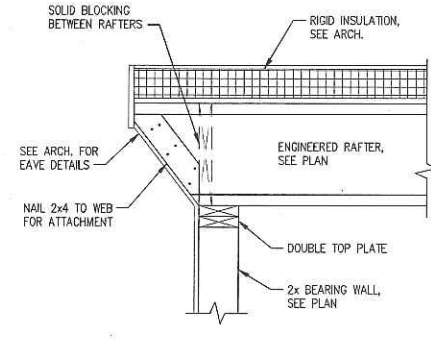
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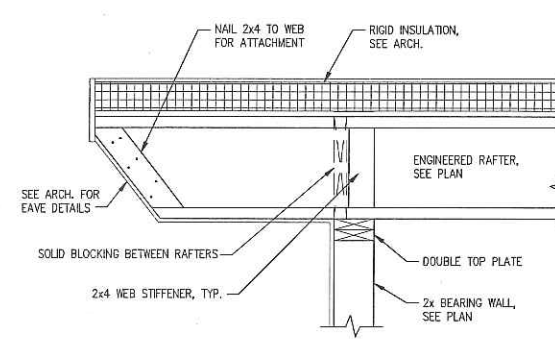
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1 SECTION 1" = 1'-0"



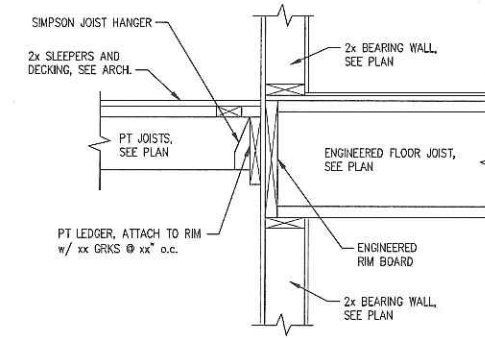
NOTE: BLOCK BEARING WALLS @ 4'-0" o.c., VERT., TYP.

2 SECTION 1" = 1'-0"



NOTE: BLOCK BEARING WALLS @ 4'-0" o.c., VERT., TYP.

3 SECTION 1" = 1'-0"



4 SECTION 1" = 1'-0"

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NEW BUILDING

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SHEET TITLE:

FRAMING
DETAILS

DESIGNED: TD
DRAWN: TD
DATE: 4-23-15
PROJECT NUMBER: 15-052

S3.1

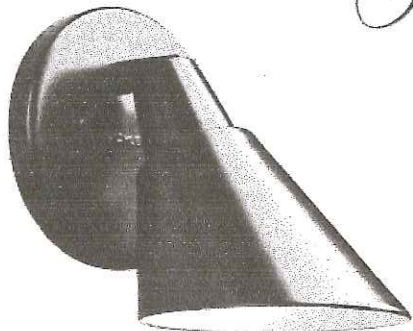
To Shukria Wiar and Caitlin Cameron, Portland Planning Dept.

Please accept for the 5 Briggs Street Apartments, for fulfilment of the conditions of approval:

- 1- the ability to serve letters from Portland Water District and Portland Public Services
- 2- manufacturer's' information showing lighting fixtures to be Dark Sky approved and elevations showing lighting locations, conforming to Section 12 of the Technical Manual
- 3-specifications for the mechanical equipment: Fujitsu mini-split heat pumps, model 15RLS3H
4. Plans showing a revision of the cornice and fenestration pattern on the building, as discussed with Ms. Wiar and Ms. Cameron. The owner has resolved all concerns of the abutting neighbors, assuring Ms. Trudeau, at 5 Briggs St., that a border fence will remain and the Derek Humphry, at 37 Salem, that some mutually agreed upon plantings will be added in the back yard of the new building.

KICHLER

Style to live by™



Beach Light Collection Outdoor Wall 1 Light AZ 49081AZ (Architectural Bronze)

Product Description:

This sleek and simple 1 light outdoor wall fixture from the Beach Light collection takes everything the outdoors has to offer. Anodized pre-finishing creates a more durable finish that can stand up to the harshest coastal conditions. A great look in Architectural Bronze, it is **Dark Sky compliant** and 'Turtle-Friendly' when paired with the specified bulb. *

Available Finishes
Architectural Bronze
Black (Painted)
PL

Technical Information

| | |
|------------------|------------------------|
| Weight: | 0.88 |
| Safety Rated: | Wet |
| HCWO: | 2.50 |
| Base Backplate: | 5.00 Dia |
| Collection: | Beach Light Collection |
| Width: | 5 |
| Height: | 6.25 |
| Lamp Included: | Not Included |
| Light Source: | Incandescent |
| Socket Base: | Medium |
| Number of Bulbs: | 1 |
| Lamp Type: | A15 |
| Max Watt: | 60W |
| Finish: | Architectural Bronze |

Project _____
Type _____
Ordering # _____
Comments _____



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Hinkley Lighting 1326BK Black 15.5" Height 1 Light Dark Sky Outdoor Wall Sconce from the Shelter Collection

Item #: BCI1709721

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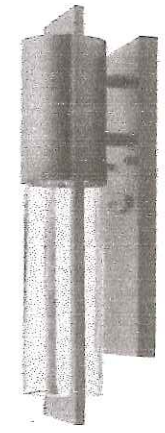
Hinkley Lighting - Shelter Collection

A Build.com review of the Hinkley Lighting Shelter Collection. These outdoor wall sconces, pendants, and post lights feature Clear Seedy glass and come in three finishes: Black, Buckeye Bronze, and Hematite. They are available in various sizes with incandescent, fluorescent, or LED options.

Do It Yourself: Installing an Outdoor Wall Sconce

Learn how to change out your wall sconce to update your home. Follow Justin Bergson as he shows you the step-by-step procedure in making this project a quick and

HINKLEY LIGHTING



[Click to view larger image](#)



People Who Viewed Hinkley Lighting 1326 Also Viewed

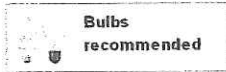
hematite

Compare

simple one

Product Details for the Hinkley Lighting 1326BK in Black

This product has additional required/recommended options. To configure, add to your cart.



15.5" Height Single Light Dark Sky Outdoor Wall Sconce from the Shelter Collection

Features:

- Clear Seedy glass cylinder shade
- Seeded glass shades replicate the look of colonial glass
- Made of cast aluminum
- Designed to cast a soft ambient light over a wide area
- Dark Sky Compliant *
- Suitable for wet locations

Lamping Technologies:

- **Bulb Base - Medium (E26):** The E26 (Edison 26mm), Medium Edison Screw, is the standard bulb used in 120-Volt applications in North America. E26 is the most common bulb type and is generally interchangeable with E27 bulbs.
- **Compatible Bulb Types:** Nearly all bulb types can be found for the E26 Medium Base, options include Incandescent, Fluorescent, LED, Halogen, and Xenon / Krypton.

Specifications:

- Bulb Base: Medium (E26)
- Bulb Included: No
- Bulb Type: Compact Fluorescent, Incandescent
- Height: 15.5"
- Material: Aluminum
- Number of Bulbs: 1
- Product Weight: 4 lbs
- Shade Material: Glass
- Shade Type: Seedy Glass
- Wattage: 60
- Watts Per Bulb: 60
- Width: 4.5" (measured from furthest point left to furthest point right on fixture)
- ADA: No
- Backplate Height: 12"
- Backplate Width: 4.5"
- Dark Sky: Yes
- Energy Star: No
- Extension: 4.75" (measured from mounting surface to furthest protruding point on fixture)
- HCO: 5.75" (height from center of outlet)
- Location Rating: Wet Location

Compliance:

- Dark Sky Lighting: Known as Cut Off Lighting, or Friendly Lighting, Dark Sky refers to

The Great Outdoors
Starting at \$146.90
☆☆☆☆☆ (0)

Hinkley Lighting 1324
Starting at \$189.00
☆☆☆☆☆ (2)

Hinkley Lighting
Starting at \$169.00
☆☆☆☆☆ (3)

Kichler 9244
Starting at \$89.00
☆☆☆☆☆ (5)

Hinkley Lighting 1326 Technical Specs

| | |
|------------------|-----------------------------------|
| ADA | No |
| Backplate Height | 12 |
| Backplate Width | 4.5 |
| Base Color | Black, Bronze, Grey |
| Bulb Base | Medium (E26) |
| Bulb Included | No |
| Bulb Type | Compact Fluorescent, Incandescent |
| Collection | Shelter |
| Dark Sky | Yes |
| Energy Star | No |
| Extension | 4.75 |
| Genre | Contemporary |
| HCO | 5.75 |
| Height | 15.5 |
| Light Direction | Ambient Lighting |
| Location Rating | Wet Location |
| Material | Aluminum |
| Motion Sensor | No |
| Number of Bulbs | 1 |
| Photocell | No |
| Product Weight | 4 |
| Shade | Yes |
| Shade Color | Clear |
| Shade Material | Glass |
| Shade Shape | Cylinder |
| Shade Type | Seedy Glass |
| Solar | No |



Compare

Home > Outdoor Lighting > Outdoor Wall Lighting > Wall Mounted - Outdoor > 1600063 - Product Details

See more Minka-Lavery

Minka-Lavery Bay Crest Brushed Stainless Steel Dark Sky Outdoor Wall Mount

Bellacor Number: 1600063

g+1 [Share](#) [Tweet](#) [Save](#)

Sale Price **\$69.90***
MSRP: ~~\$104.85*~~
Regular Price: ~~\$93.00~~
YOU SAVE 33% (\$34.95)

★★★★★
Write a review

Brand
MINKA-LAVERY®
A Minka Group Company

[ADD TO CART](#)

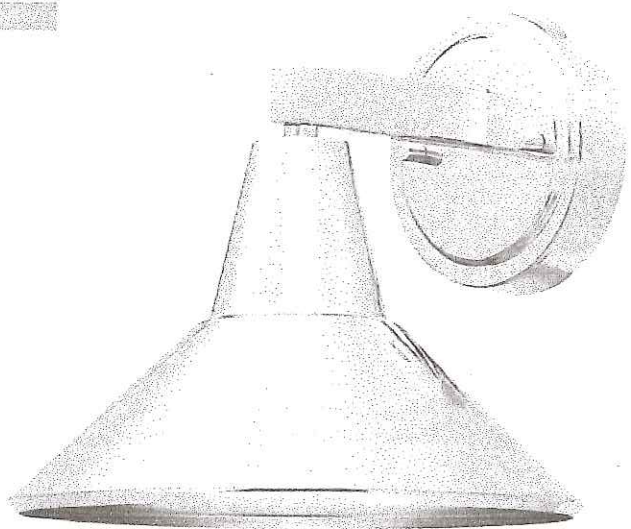
Qty: 1
SHIPS IN 1 TO 2 BUSINESS DAYS [details](#)
[Cancel and return policy](#)

- Add To Project
- Add To Wishlist
- Print Page
- Add to Compare
- Email a Friend

FREE SHIPPING **\$75**
ON ORDERS OVER
[SEE DETAILS](#)



PayPal CREDIT
Get more time to pay
Check out with PayPal and choose PayPal Credit to pay for your purchase.



Hide Product Banners


PRODUCT DESCRIPTION

- Bulb is not included
- Warranty: 1 Year

BAYCREST COLLECTION



\$94.40 - \$97
Baycrest Brushed Stainless Steel
[ADD TO CART](#)



\$73.40 - \$75
Baycrest Dorian Bronze One-Light
[ADD TO CART](#)



\$94.40 - \$97
Baycrest Dorian Bronze One-Light
[ADD TO CART](#)

PRODUCT DETAILS

| | |
|---------------------|-----------------------------------|
| Bellacor Number: | 1600063 |
| Finish: | Brushed Stainless Steel |
| Material: | Metal and Glass |
| Dimensions: | 9"W x 8 1/4"H x 9.5"Ext |
| Backplate: | 4 63/100"W x 0"H |
| Style: | Contemporary |
| Voltage: | 110 to 120 Volt |
| Bulb/Watt: | 1 - 60 watt A19 Medium Base bulbs |
| Compare Brightness: | View Chart |
| Weight: | 5.4 Lbs |
| Assembly: | Some Assembly Required |
| Certification: | ETL |
| Usage: | Exterior Wet |
| UPC: | 747396080710 |
| Brand SKU: | 72211-A144 |
| Brand: | Minka-Lavery |
| Collection: | Baycrest |

[*More Info](#)

DISCLAIMERS

*Due to manufacturer policies, additional discounts cannot be applied to this item. Clearance, overstock and temporary price cut items are not eligible for discounts.

YOU MAY ALSO ENJOY



\$419.90 - \$428
Mallorca Exterior Wall Mount
[ADD TO CART](#)



\$719.00 - \$817
Castle Black Four-Light Outdoor Wall Light
[ADD TO CART](#)

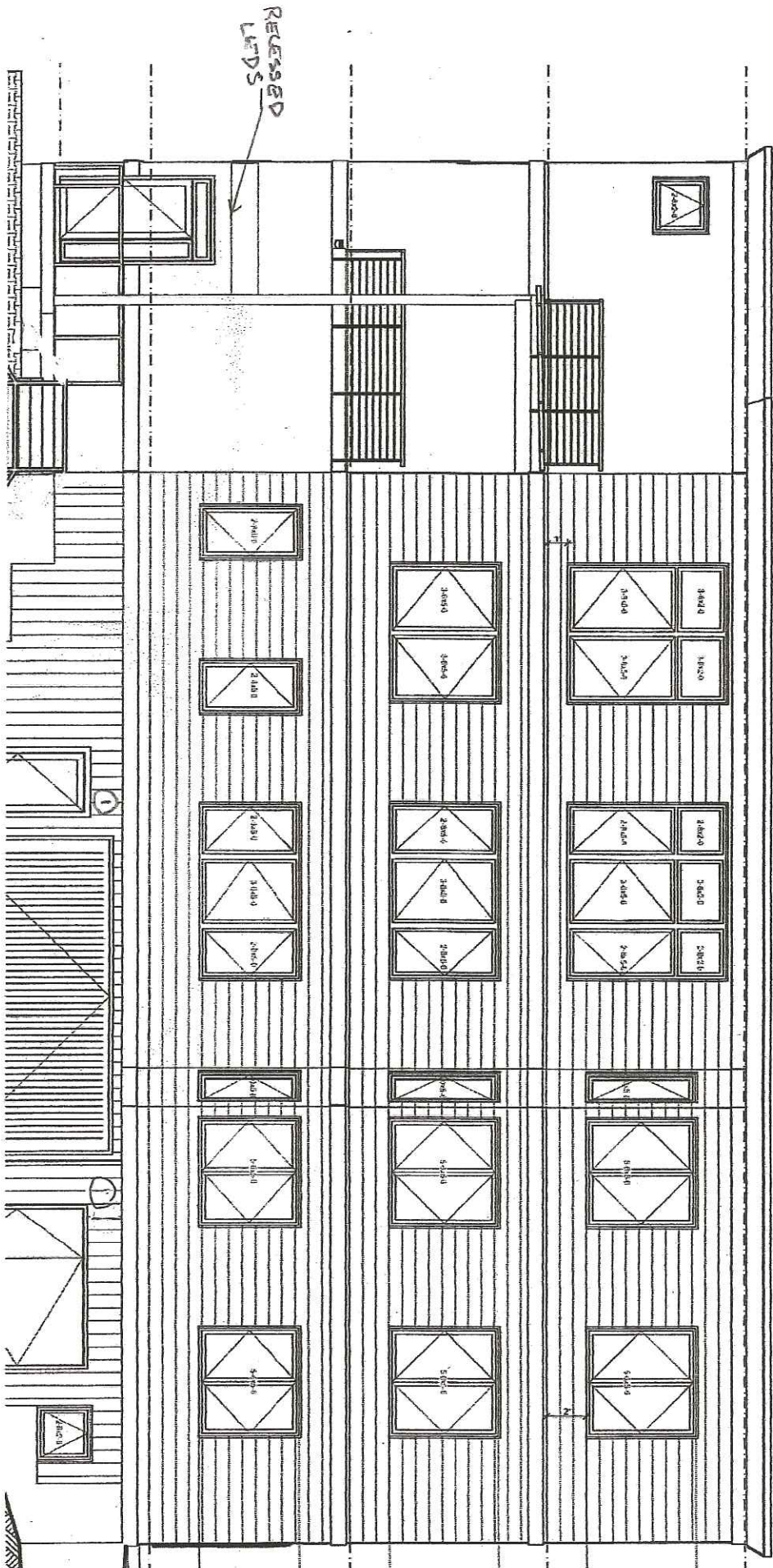


\$553.00 - \$706
Castle Black Outdoor Lantern
[ADD TO CART](#)

REVIEWS

★★★★★

① -2 KITCHLER
RECESSED LIGHTING IN ROOF OVER ENTRY -2

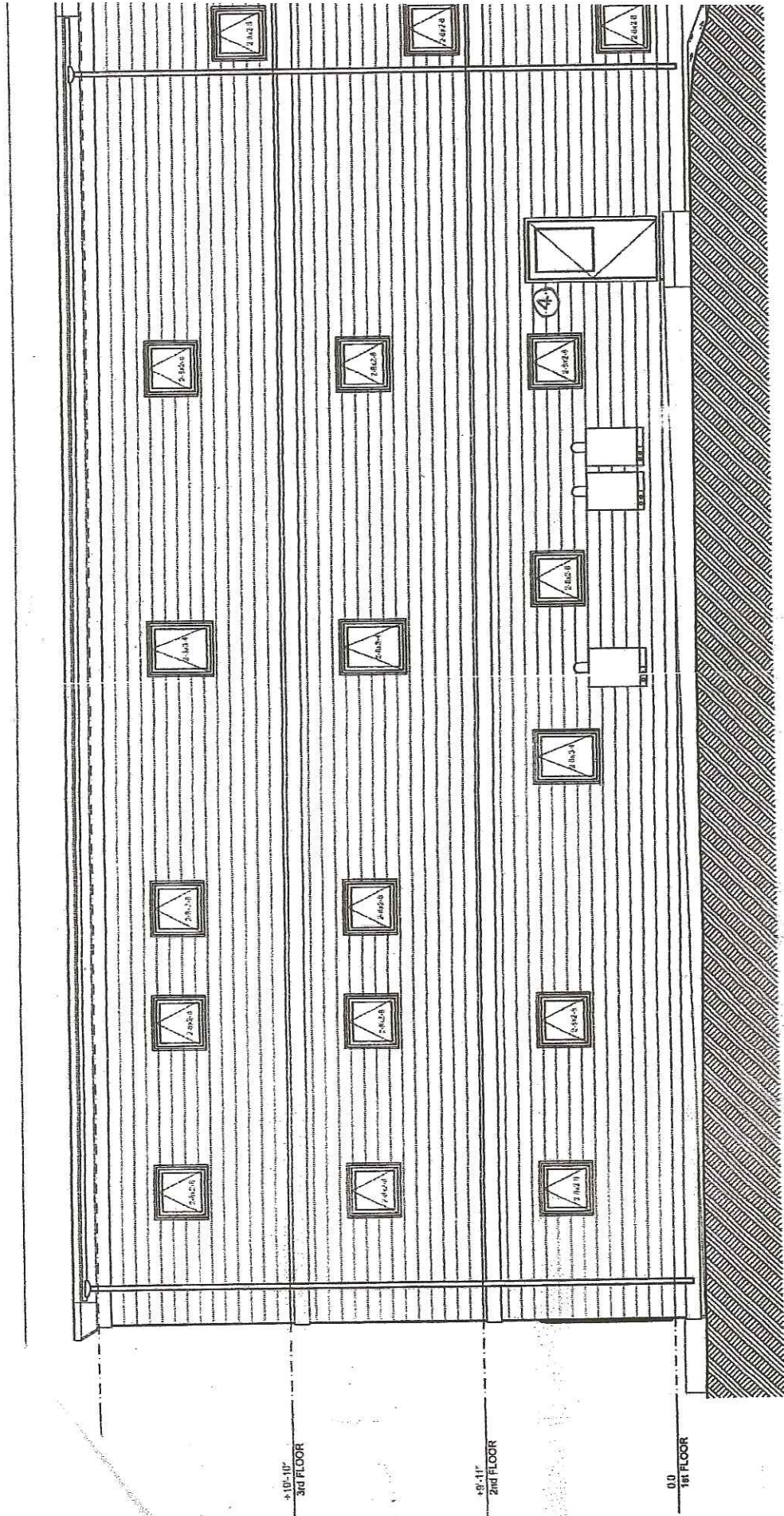


SOUTH ELEVATION

ALL FIXTURES DARK SKY COMPLIANT

2)

4-1 MINKA



1 NORTH ELEVATION

NOT TO SCALE

A-3

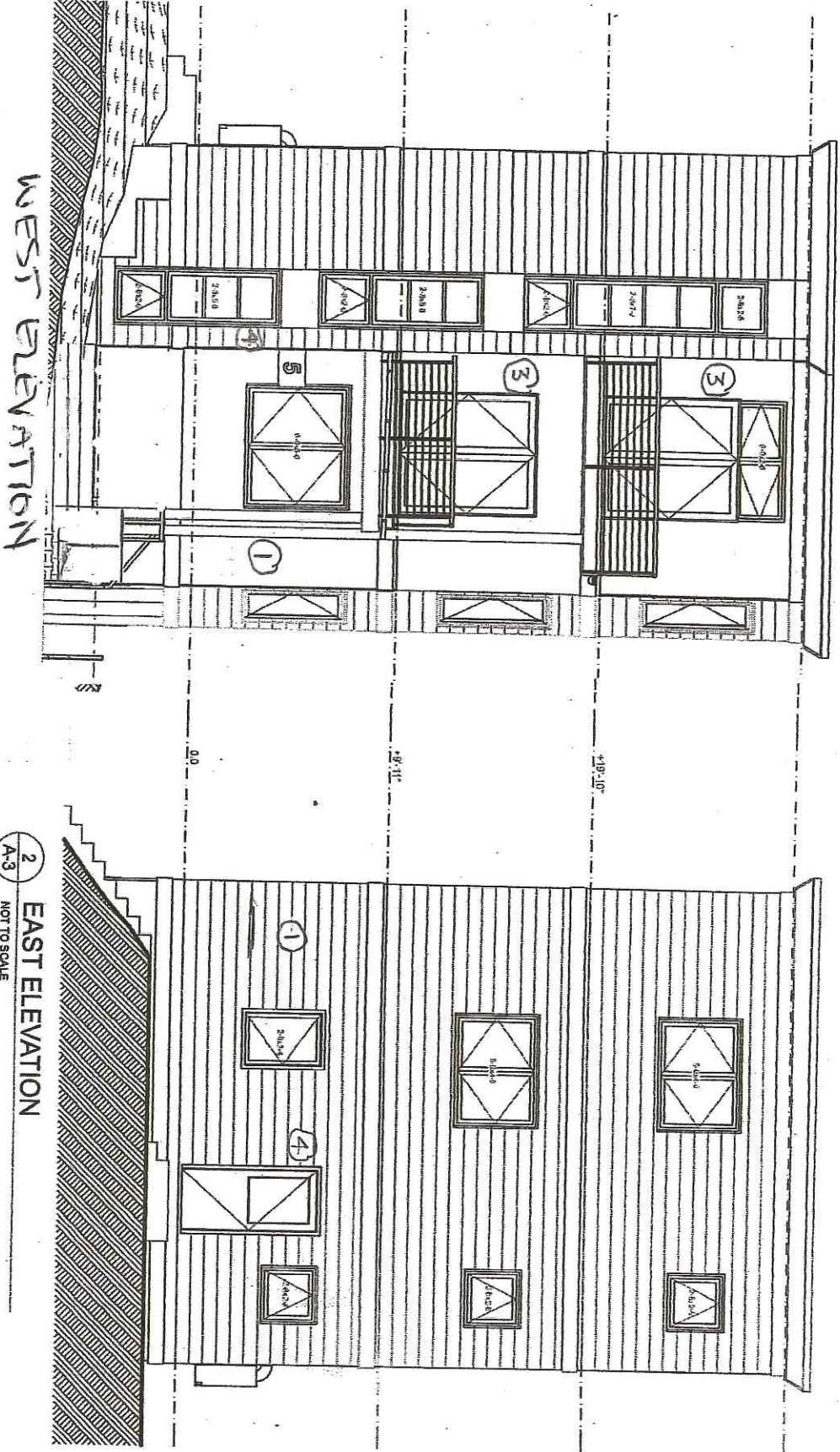
3

5 BRIGGS ST.

EXTERIOR LIGHTING

- ① - 1 KITCHLER BEACH LIGHT COLLECTION
- ③ - 2 HINKLEY SHUTTER WALL SCOUC
- ④ - 1 MINKA-LAVERY BAY

- ① - 1 KITCHLER
- ④ - 1 MINKA



WEST ELEVATION

EAST ELEVATION

2
A-3

NOT TO SCALE

1



nicholas burnett <nick3ddesign@gmail.com>

Nick, My screw up. I fixed it.

1 message

David Margolis-Pineo <DMP@portlandmaine.gov>
To: Nick Burnett <nick3ddesign@gmail.com>

Thu, Aug 13, 2015 at 2:26 PM

Nick,

My screw up. I fixed it.

August 13, 2015

Mr. Nick Burnett
55 Salem Street
Portland, ME 04102

RE: The Capacity to Handle Wastewater Flows from 5 Briggs Street

Dear Nick:

The Department of Public Services which includes the Water Resource Division has reviewed and determined that the downstream sewers from 5 Briggs Street has the capacity to convey and that the City's Wastewater Treatment Plant has the capacity to treat the estimated 900 gallons per day of wastewater which will be generated from this three family unit.

If the City can be of further assistance, please call 874-8850 or 400-6695.

Sincerely,

CITY OF PORTLAND

David Margolis-Pineo
Deputy City Engineer

Anticipated Wastewater Flows from the Proposed Three Family Unit:
Three Unit Building at 300 gpd per Unit = 900 GPD

CC: Jeffrey Levine, Director, Department of Planning and Urban Development, City of Portland
Barbara Barhydt, Development Review Services Mgr., Dep't. of Planning and Urban Development, City of Portland
Nell Donaldson, Department of Planning and Urban Development, City of Portland
Shukria Wiar, Planner, Department of Planning and Urban Development, City of Portland
Nancy Gallinaro, Water Resources Manager
Benjamin N. Pearson, E.I., Industrial Pretreatment Coordinator, City of Portland
John Emerson, Wastewater Coordinator, City of Portland

David Margolis-Pineo
Deputy City Engineer
Department of Public Services
55 Portland St.
Portland, ME 04101
Office [207-874-8850](tel:207-874-8850)
Fax [207-874-8852](tel:207-874-8852)
Cell [207-400-6695](tel:207-400-6695)
dmp@portlandmaine.gov

 **David Margolis-Pineo.vcf**
1K



Portland Water District

FROM SEBAGO LAKE TO CASCO BAY

July 8, 2015

3 D Design
55 Salem Street Unit B
Portland, ME 04102

Attn: Nicholas Burnett
Re: 5 Briggs Street - Portland
Ability to Serve with PWD Water

Dear Mr. Burnett:

The Portland Water District has received your request for an Ability to Serve Determination for the noted site submitted on May 27, 2015. Based on the information provided, we can confirm that the District will be able to serve the proposed project as further described in this letter.

Conditions of Service

The following conditions of service apply:

- It is the District's understanding that a 3-unit residential development with a NFPA 13R life safety sprinkler system is proposed at this location. New service(s) may be installed through the properties frontage on Briggs Street. A single service line may be used to serve both domestic and fire protection needs. The split for the sprinkler service must be located after the water meter and must include a non-testable backflow prevention device. The sprinkler system designer must provide documentation indicating the peak flow in gallons per minute required to operate the life safety system in order for the meter to be appropriately sized.
- Water District approval of water infrastructure plans will be required for the project prior to construction. As your project progresses, we advise that you submit any preliminary design plans to MEANS for review of the water main and water service line configuration. We will work with you to ensure that the design meets our current standards.

Existing Site Service

According to District records, the project site does not currently have existing water service.

Water System Characteristics

According to District records, there is a 6-inch diameter cast iron water main on the westerly side of Briggs Street and a public fire hydrant located 85 feet from the site.

The current data from the nearest hydrant with flow test information is as follows:

Hydrant Location: Salem Street @ Briggs Street
Hydrant Number: POD-HYD00357
Last Tested: 4/9/2015
Static Pressure: 66 psi
Residual Pressure: Not measured
Flow: Not measured

Public Fire Protection

It is not anticipated that this project will include the installation of new public hydrants to be accepted into the District water system. It is your responsibility to contact the Portland Fire Department to ensure that this project is adequately served by existing and/or proposed hydrants.

Domestic Water Needs

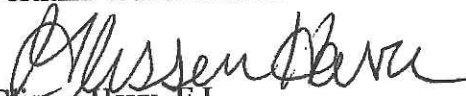
The data noted above indicates there should be adequate pressure and volume of water to serve the domestic water needs of your proposed project.

Private Fire Protection Water Needs

You have indicated that this project will require water service to provide private fire protection to the site. **Please note that the District does not guarantee any quantity of water or pressure through a fire protection service.** Please contact MEANS to request a hydrant flow test and we will work with you to get more complete data in order to determine if the water main in Briggs Street can support a sprinkler system.

If the District can be of further assistance in this matter, please let us know.

Sincerely,
Portland Water District


Glenn Havu, E.I.
Design Engineer

Submittal Data: 15RLS3H
Inverter Driven Heat Pump

15,000 BTU Heat Pump System

Job Name: 5 BRIGGS ST
 Location: _____
 Engineer: _____
 Submitted to: _____
 Submitted by: _____
 Reference: _____

Date: 8/10/15
 Approval: _____
 Construction: _____
 Unit #: _____
 Drawing #: _____

General Features

- Refrigerant Type R410A.
- Human Sensor
- Wired and wireless remote controllers
- Double swing automatic
- Automatic airflow adjustment
- Low noise mode
- Powerful mode
- 5- Years Parts, 7-Years Compressor Warranty (See Warranty Statement for details)
- Program timer
- Weekly time



Model Information

Outdoor..... AOU15RLS3H
 Indoor..... ASU15RLS3
Electrical..... 208/230V AC 1ph-60Hz
 Available Voltage Range..... 208/230 +/- 10%
 Minimum Circuit Ampacity..... 18.2 A
 Max Fuse Size..... 20A
 Max Starting Current..... 5.2 A

Input Power

Cooling..... 1.04 kW
 Heating..... 1.15 kW

Running Current

Cooling..... 4.8 A
 Heating..... 5.2 A

Capacity

Nominal Cooling..... 15,000 Btu
 Min-Max Cooling..... 3,100-18,400 Btu/h
 Nominal Heating..... 18,000 Btu/h
 Min-Max Heating..... 3,100-23,900 Btu/h

Compressor

..... Rotary (inv x1)
 Motor Output..... 1,000 W
 Refrigerant..... R410a
 Charge..... 3 lbs. 1 oz
 Oil..... FREOL a68SZ

Fan Motor

(Condenser) Type: DC..... Propeller x 1
 (Condenser) Motor Output..... 49 W
 (Evaporator) Type: DC..... Cross flow fan x1
 (Evaporator) Motor Output..... 61 W

Heat Exchanger {Condenser (C) Evaporator (E)}

Dimensions (H x W x D)
 Condenser..... 23-1/8 x 34-11/16 x 1-7/16 in. (588x881x36.4 mm)
 Evaporator..... Main 15-1/8 x 28-3/8 x 1-3/16 in. (384x720x30) Sub 3-5/16 x 28-3/8 x 1/2 in. (84x720x13.3 mm) 4-15/16 x 28-3/8 x 1/2 in. (126x720x13.3 mm)
 Fin Pitch..... 20 FPI (C) Main 21 FPI Sub 18 FPI (E)
 Rows x Stages..... 2 x 28 (C) Main 3 x 24 Sub 1 x 10 (E)
 Pipe Type (Material)..... Copper (C) Copper (E)
 Fin Type (Material)..... Aluminum (C) Aluminum (E)

Note: Specifications are based on the following conditions.
 Cooling: Indoor temperature of 80°F (26.7°C) DB/67°F (19.44°C) WB, and outdoor temperature of 95°F (35°C) DB/75°F (23.9°C) WB.
 Heating: Indoor temperature of 70°F (21.1°C) DB/59°F (15°C) WB, and outdoor temperature of 47°F (8.33°C) DB/43°F (6.11°C) WB.
 Pipe length: 240.7 in. (7.5m), Height difference: 0ft. (0m) (Outdoor unit - indoor unit)

Operation Temperature Range

Cooling..... 14°F (-10°C) to 115°F (46°C)
 Heating..... -15°F (-26°C) to 75°F (24°C)

Efficiency

SEER..... 25.3
 EER (cooling)..... 4.09 kW/kW
 COP (heating)..... 4.59 kW/kW / 15.7 Btu/hW
 HSPF (heating)..... 13.4 Btu/hW

Enclosure (Condenser)

Material..... Painted galvanized steel
 Color..... Beige (10 YR 7.5/1.0 NN)

Sound Pressure Level

Outdoor..... 49 dB(A)
 Indoor..... 45 dB(A)

Dimensions

H x W x D
 Outdoor in. (mm)..... 24-1/2 (620) x 31-1/8 (790) x 11-7/16 (290)
 Indoor in. (mm)..... 11- 5/8 (295) x 37 (940) x 10-5/8 (270)

Connection Pipe

Liquid..... 1/4" / 6.35 mm Flare
 Gas..... 1/2" / 12.7 mm Flare
 Method (Liquid/Gas)..... Brazing
 Max Length (Pre-charge)..... 66 ft. (20 m) / (49 ft. {15 m})
 Max Height Difference..... 49 ft. (15 m)

Weight

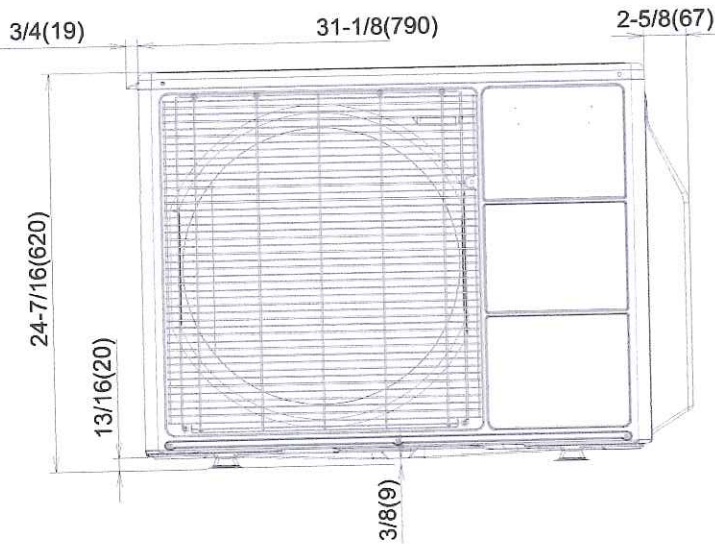
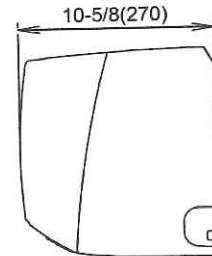
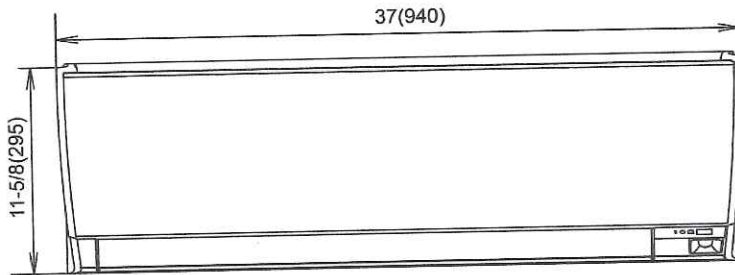
Outdoor..... 88 lbs (40 kg)
 Indoor..... 31 lbs (14 kg)

Accessories

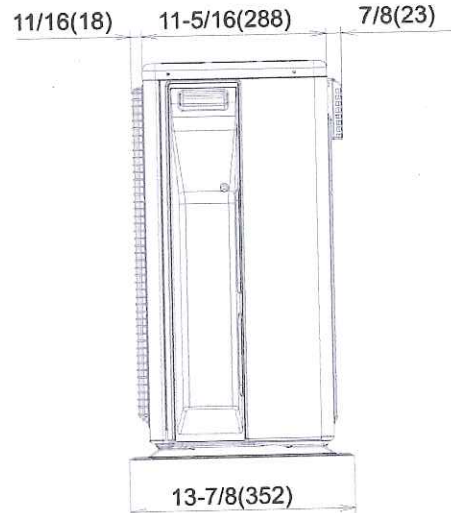
Wired Remote Controller..... UTY-RVNUM
 Wired Remote Controller..... UTY-RNNUM
 Simple Remote Controller..... UTY-RSNUM
 Communication Kit..... UTY-TWBXF1
 External Connection Kit..... UTY-XWZXZ5

Dimensions: 15RLS3H

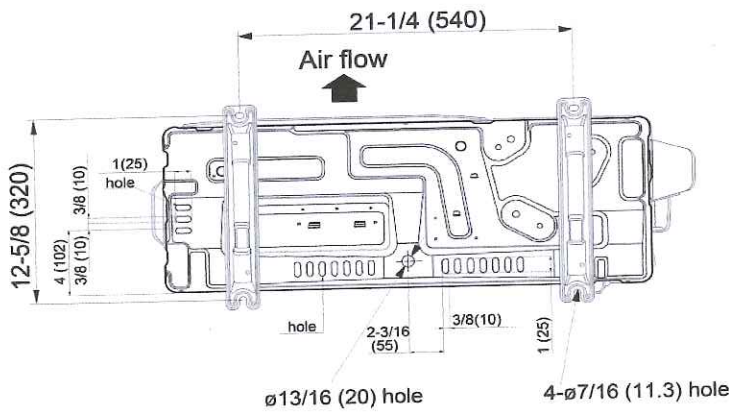
[Unit: in. (mm)]



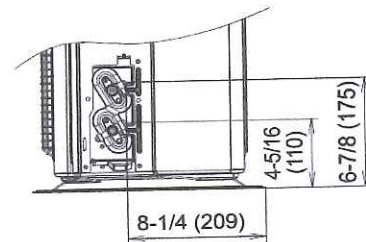
Front view



Side view



Bottom view



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**5 BRIGGS STREET
PORTLAND, MAINE**

**Application for:
Final Site Plan Level III Review**

Submitted by:
Nicholas Burnett
55 Salem St. Unit B
Portland, ME 04102

For:
Briggs Street Property, LLC
55 Salem Street, Unit B
Portland, ME 04102

Submission date:
June 9 , 2015



Jeff Levine, AICP, Director
 Planning & Urban Development Department

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no Site Plan or Historic Preservation Applications can be reviewed until payment of appropriate application fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

- Within 24-48 hours, once my complete application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.
- Within 24-48 hours, once my application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.
- I intend to deliver a payment method through the U.S. Postal Service mail once my application paperwork has been electronically delivered.

W. S. R. A. 4/22/2015
 Applicant Signature: Date:
W. S. R. A.
 I have provided digital copies and sent them on: Date:

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means i.e. a thumb drive or CD to the Inspections Office, City Hall, 3rd Floor, Room 315.

DEVELOPMENT REVIEW APPLICATION

PROJECT NAME: 5 Briggs Street Apartments

PROPOSED DEVELOPMENT ADDRESS:
5 Briggs Street, Portland, ME

PROJECT DESCRIPTION:
Three unit rental apartment residential structure at 5 Briggs St. in the West End

CHART/BLOCK/LOT: 57 J 29

57 J 31

PRELIMINARY PLAN _____ (date)
FINAL PLAN 6/10/2015 (date)

CONTACT INFORMATION:

| | |
|---|---|
| Applicant – must be owner, Lessee or Buyer Name: Nicholas Burnett Business Name, if applicable: Briggs Street Property , LLC Address: 55 Salem St. City/State : Portland, ME Zip Code: 04102 | Applicant Contact Information Work # Home# Cell # 207.272.4956 Fax# e-mail: nick3ddesign@gmail.com |
| Owner – (if different from Applicant) Name: Address: City/State : Zip Code: | Owner Contact Information Work # Home# Cell # Fax# e-mail: |
| Agent/ Representative Name: same Address: City/State : Zip Code: | Agent/Representative Contact information Work # Cell # e-mail: |
| Billing Information Name: same Address: City/State : Zip Code: | Billing Information Work # Cell # Fax# e-mail: |

| | |
|--|--|
| Engineer Tom Greer Name: Pinkham & Greer, Civil Engineers Address: 28 Vannah St. City/State : Portland, ME Zip Code: 04103 | Engineer Contact Information Work # 207.781.5242 Cell # Fax# 207.781.4245 e-mail: tgreer@pinkhamandgreer.com |
| Surveyor Mark CVarpenter Name: Nadeau Land Surveys Address: 918 Brighton Ave City/State : Portland, ME Zip Code: 04102 | Surveyor Contact Information Work # 207.878.7870 Cell # Fax# 207.878.7871 e-mail: mark@nadeaulandsurveys.com |
| Architect John Whipple Name: Whipple Callendar Architects Address: 136 Pleasant Ave. City/State : Portland, ME Zip Code: 04103 | Architect Contact Information Work # 207.775.2696 x104 Cell # 207.807.6997 Fax# 207.775.3631 e-mail: john@whipplecallendar.com |
| Attorney Susan Logiudice Name: Preti Flaherty Address: One City Center PO Box 9546 City/State : Portland, ME Zip Code: 04112-9546 | Attorney Contact Information Work # 207.791.3218 Cell # 207.233.5184 Fax# 207.233.0937 e-mail: sel@preti.com |

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Credit Card, Cash or Check payable to the City of Portland.)

| | |
|--|--|
| Level III Development (check applicable reviews) <input checked="" type="checkbox"/> Less than 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000) <input type="checkbox"/> 100,000 – 200,000 sq. ft. (\$2,000) <input type="checkbox"/> 200,000 – 300,000 sq. ft. (\$3,000) <input type="checkbox"/> over \$300,00 sq. ft. (\$5,000) <input type="checkbox"/> Parking lots over 11 spaces (\$1,000) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee) Plan Amendments (check applicable reviews) <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500) The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review fees are assessed separately. Any outside reviews or analysis requested from the Applicant as part of the development review, are the responsibility of the Applicant and are separate from any application or invoice fees. | Other Reviews (check applicable reviews) <input type="checkbox"/> Traffic Movement (\$1,000) <input checked="" type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Subdivisions (\$500 + \$25/lot) # of Lots ___ x \$25/lot = ___ <input checked="" type="checkbox"/> Site Location (\$3,000, except for residential projects which shall be \$200/lot) # of Lots <u>2</u> x \$200/lot = <u>400</u> <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation |
|--|--|

APPLICATION SUBMISSION:

1. All site plans and written application materials must be submitted electronically on a CD or thumb drive with each plan submitted as separate files, with individual file which can be found on the **Electronic Plan and Document Submittal** page of the City's website at <http://me-portland.civicplus.com/764/Electronic-Plan-and-Document-Submittal>
2. In addition, one (1) paper set of the plans (full size), one (1) paper set of plans (11 x 17), paper copy of written materials, and the application fee must be submitted to the Building Inspections Office to start the review process.

The application must be complete, including but not limited to the contact information, project data, application checklists, wastewater capacity, plan for fire department review, and applicant signature. The submissions shall include one (1) paper packet with folded plans containing the following materials:

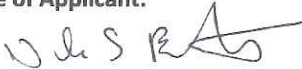
1. One (1) full size site plans that must be folded.
2. One (1) copy of all written materials or as follows, unless otherwise noted:
 - a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
3. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
4. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
5. One (1) set of plans reduced to 11 x 17.

Please refer to the application checklist (attached) for a detailed list of submission requirements.

APPLICANT SIGNATURE:

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level III Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

| | |
|--|--------------------|
| Signature of Applicant:  | Date: 6/10/2015 |
|--|--------------------|

PROJECT DATA

The following information is required where applicable, in order to complete the application.

| | | |
|--|--------------------------------------|--------------|
| Total Area of Site | 4419 | sq. ft. |
| Proposed Total Disturbed Area of the Site | 4419 | sq. ft. |
| If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland. | | |
| Impervious Surface Area | | |
| Impervious Area (Total Existing) | 378 | sq. ft. |
| Impervious Area (Total Proposed) | 1409 | sq. ft. |
| Building Ground Floor Area and Total Floor Area | | |
| Building Footprint (Total Existing) | 378 | sq. ft. |
| Building Footprint (Total Proposed) | 1409 | sq. ft. |
| Building Floor Area (Total Existing) | 378 | sq. ft. |
| Building Floor Area (Total Proposed) | 4251 | sq. ft. |
| | (plus 1409 s.f. unfinished basement) | |
| Zoning | | |
| Existing | | |
| Proposed, if applicable | R-6 | |
| Land Use | | |
| Existing | | 2 car garage |
| Proposed | | residence |
| Residential, If applicable | | |
| # of Residential Units (Total Existing) | 0 | |
| # of Residential Units (Total Proposed) | 3 | |
| # of Lots (Total Proposed) | 1 | |
| # of Affordable Housing Units (Total Proposed) | 0 | |
| Proposed Bedroom Mix | | |
| # of Efficiency Units (Total Proposed) | | |
| # of One-Bedroom Units (Total Proposed) | 3 | |
| # of Two-Bedroom Units (Total Proposed) | | |
| # of Three-Bedroom Units (Total Proposed) | | |
| Parking Spaces | | |
| # of Parking Spaces (Total Existing) | 2 | |
| # of Parking Spaces (Total Proposed) | 2 | |
| # of Handicapped Spaces (Total Proposed) | 0 | |
| Bicycle Parking Spaces | | |
| # of Bicycle Spaces (Total Existing) | 0 | |
| # of Bicycle Spaces (Total Proposed) | 2 | |
| Estimated Cost of Project | 550,000 | |

| FINAL PLAN - Level III Site Plan | | | |
|---|--------------------------|--------------------|--|
| Applicant Checklist | Planner Checklist | # of Copies | GENERAL WRITTEN SUBMISSIONS CHECKLIST (* If applicant chooses to submit a Preliminary Plan, then the * items were submitted for that phase and only updates are required) |
| x | | 1 | * Completed Application form |
| x | | 1 | * Application fees |
| x | | 1 | * Written description of project |
| x | | 1 | * Evidence of right, title and interest |
| na | | 1 | * Evidence of state and/or federal permits |
| x | | 1 | * Written assessment of proposed project's specific compliance with applicable Zoning requirements |
| x | | 1 | * Summary of existing and/or proposed easements, covenants, public or private rights-of-way, or other burdens on the site |
| | | 1 | * Evidence of financial and technical capacity |
| x | | 1 | Construction Management Plan |
| na | | 1 | A traffic study and other applicable transportation plans in accordance with Section 1 of the technical Manual, where applicable. |
| na | | 1 | Written summary of significant natural features located on the site (Section 14-526 (b) (a)) |
| x | | 1 | Stormwater management plan and stormwater calculations |
| x | | 1 | Written summary of project's consistency with related city master plans |
| x | | 1 | Evidence of utility capacity to serve |
| x | | 1 | Written summary of solid waste generation and proposed management of solid waste |
| x | | 1 | A code summary referencing NFPA 1 and all Fire Department technical standards |
| x | | 1 | Where applicable, an assessment of the development's consistency with any applicable design standards contained in Section 14-526 and in City of Portland Design Manual |
| x | | 1 | Manufacturer's verification that all proposed HVAC and manufacturing equipment meets applicable state and federal emissions requirements. |

| Applicant Checklist | Planner Checklist | # of Copies | SITE PLAN SUBMISSIONS CHECKLIST (* If applicant chooses to submit a Preliminary Plan, then the * items were submitted for that phase and only updates are required) |
|---------------------|-------------------|-------------|---|
| x | | 1 | * Boundary Survey meeting the requirements of Section 13 of the City of Portland's Technical Manual |
| | | 1 | Final Site Plans including the following: |
| x | | | Existing and proposed structures, as applicable, and distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone); |
| x | | | Existing and proposed structures on parcels abutting site; |
| x | | | All streets and intersections adjacent to the site and any proposed geometric modifications to those streets or intersections; |
| x | | | Location, dimensions and materials of all existing and proposed driveways, vehicle and pedestrian access ways, and bicycle access ways, with corresponding curb lines; |
| x | | | Engineered construction specifications and cross-sectional drawings for all proposed driveways, paved areas, sidewalks; |
| na | | | Location and dimensions of all proposed loading areas including turning templates for applicable design delivery vehicles; |
| na | | | Existing and proposed public transit infrastructure with applicable dimensions and engineering specifications; |
| x | | | Location of existing and proposed vehicle and bicycle parking spaces with applicable dimensional and engineering information; |
| x | | | Location of all snow storage areas and/or a snow removal plan; |
| na | | | A traffic control plan as detailed in Section 1 of the Technical Manual; |
| na | | | Proposed buffers and preservation measures for significant natural features, where applicable, as defined in Section 14-526(b)(1); |
| na | | | Location and proposed alteration to any watercourse; |
| na | | | A delineation of wetlands boundaries prepared by a qualified professional as detailed in Section 8 of the Technical Manual; |
| na | | | Proposed buffers and preservation measures for wetlands; |
| na | | | Existing soil conditions and location of test pits and test borings; |
| x | | | Existing vegetation to be preserved, proposed site landscaping, screening and proposed street trees, as applicable; |
| x | | | A stormwater management and drainage plan, in accordance with Section 5 of the Technical Manual; |
| x | | | Grading plan; |
| x | | | Ground water protection measures; |
| x | | | Existing and proposed sewer mains and connections; |

- Continued on next page -

| | | |
|----|--|--|
| x | | Location of all existing and proposed fire hydrants and a life safety plan in accordance with Section 3 of the Technical Manual; |
| x | | Location, sizing, and directional flows of all existing and proposed utilities within the project site and on all abutting streets; |
| na | | Location and dimensions of off-premises public or publicly accessible infrastructure immediately adjacent to the site; |
| na | | Location and size of all on site solid waste receptacles, including on site storage containers for recyclable materials for any commercial or industrial property; |
| x | | Plans showing the location, ground floor area, floor plans and grade elevations for all buildings; |
| na | | A shadow analysis as described in Section 11 of the Technical Manual, if applicable; |
| na | | A note on the plan identifying the Historic Preservation designation and a copy of the Application for Certificate of Appropriateness, if applicable, as specified in Section Article IX, the Historic Preservation Ordinance; |
| x | | Location and dimensions of all existing and proposed HVAC and mechanical equipment and all proposed screening, where applicable; |
| x | | An exterior lighting plan in accordance with Section 12 of the Technical Manual; |
| na | | A signage plan showing the location, dimensions, height and setback of all existing and proposed signs; |
| x | | Location, dimensions and ownership of easements, public or private rights of way, both existing and proposed. |



**PORTLAND FIRE DEPARTMENT
SITE REVIEW
FIRE DEPARTMENT CHECKLIST**



A separate drawing[s] shall be provided as part of the site plan application for the Portland Fire Department's review.

1. Name, address, telephone number of applicant
Nicholas Burnett, 55 Salem St. Portland, ME 207.272.4956
3. Name address, telephone number of architect
John Whipple, Whipple Callendar Architects, 36 Vannah St. Portland, ME 207. 775.2696 x104
4. Proposed uses of any structures [NFPA and IBC classification]
NFPA- Single Family Residential, IBC R-2
6. Square footage of all structures [total and per story]
1417 per story, 5660 total, including basement
7. Elevation of all structures
+/- 35'-0"
8. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
9. Hydrant locations
Approx. 96'-0" from the structure, located at the NW corner of Briggs St. and Salem St.
10. Water main[s] size and location
Please refer to the Grading and Utilities Plan
11. Access to all structures [min. 2 sides] Yes, primary access at south and west sides of the building.
West access through gated path , south access using 10'-0" driveway
12. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards. Enclosed

Some structures may require Fire flows using annex H of NFPA 1

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2991



Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: May 28, 2015

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: 5 Briggs Street Chart Block Lot Number: 57 / J / 29 & 31

Proposed Use: Apartment Building
Previous Use: Open lot

| | | |
|---------------|------------------------------------|--|
| Site Category | Commercial (see part 4 below) | |
| | Industrial (complete part 5 below) | |
| | Governmental | |
| | Residential x | |
| | Other (specify) | |

Existing Sanitary Flows: 0 GPD
Existing Process Flows: 0 GPD
Description and location of City sewer that is to receive the proposed building sewer lateral.

(Clearly, indicate the proposed connections, on the submitted plans)

2. Please, Submit Contact Information.

City Planner's Name: Helen Donaldson Phone: 207.874.8723
Owner/Developer Name: Briggs Street Property, LLC (Nick Burnett)
Owner/Developer Address: 55 Salem St. Portland, ME 04102
Phone: 207.272.4956 Fax: _____ E-mail: nick3ddesign@gmail.com
Engineering Consultant Name: Pinkham & Greer Civil Engineers (Thomas S. Greer, P.E.)
Engineering Consultant Address: 28 Vannah Avenue, Portland, ME 04103
Phone: 207.781.5242 Fax: 207.781.4245 E-mail: tgreer@pinkhamandgreer.com

(Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review)

3. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: 900 GPD
Peaking Factor/ Peak Times: typical residential am & pm peaks
Specify the source of design guidelines: (i.e. "Handbook of Subsurface Wastewater Disposal in Maine,"
"Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify)
Based on EPA standards water use per person 60 gpd / criteria

(Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet)

4. Please, Submit External Grease Interceptor Calculations.

Total Drainage Fixture Unit (DFU) Values: not required
Size of External Grease Interceptor: _____
Retention Time: _____
Peaking Factor/ Peak Times: _____

(Note: In determining your restaurant process water flows, and the size of your external grease interceptor, please use The Uniform Plumbing Code. Note: In determining the retention time, sixty (60) minutes is the minimum retention time. Note: Please submit detailed calculations showing the derivation of your restaurant process water design flows, and please submit detailed calculations showing the derivation of the size of your external grease interceptor, either in the space provided below, or attached, as a separate sheet)

5. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: 0 GPD
Do you currently hold Federal or State discharge permits? Yes _____ No _____
Is the process wastewater termed categorical under CFR 40? Yes _____ No _____
OSHA Standard Industrial Code (SIC): <http://www.osha.gov/oshstats/sicser.html>
Peaking Factor/Peak Process Times: _____

(Note: On the submitted plans, please show where the building's domestic sanitary sewer laterals, as well as the building's industrial-commercial process wastewater sewer laterals exits the facility. Also, show where these building sewer laterals enter the city's sewer. Finally, show the location of the wet wells, control manholes, or other access points; and, the locations of filters, strainers, or grease traps)

(Note: Please submit detailed calculations showing the derivation of your design flows, either in the space provided below, or attached, as a separate sheet)

Notes, Comments or Calculation

This is a standard residential building with 1 bedroom apartments. The total number of units is 3.

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| | |
|------|--|
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| | |
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| S1.2 | 3rd Floor & Roof Framing Plans |
| S2.1 | Typ. Concrete Details & Sections |
| S3.1 | Framing Details |

PROJECT DESCRIPTION

Project Summary

Existing:

5 Briggs Street currently has a two car, single story garage built on it. There are no existing easements, covenants, rights of way or other burdens on the property.

Proposed:

Briggs Street Project is the demolition of the existing garage and the new construction of a 3-unit apartment building located in the West End. One apartment will comprise each of three stories.

The architectural features of the building will fit very well into the neighborhood. There will be ample decks on the top two floors, visible from Briggs street. The first floor unit will have direct access to a garden terrace. The Briggs St. facade of the building will feature the decks, a vertical row of fenestration defining the stairwell and a protected entry with stairs leading from a walkway. The South facade, at a remove from Salem Street, is broken up by a two foot setback and a stairwell tower set behind the decks and entry doorway. At three stories high with a flat roof, the scale will complement the the neighborhood, where three-story flat-roofed buildings predominate.

The site is sloped, allowing a 2-car garage to be built into the daylight basement facing South. It is in the same location, but at a lower elevation, than the existing garage. The stormwater treatment system, located to the East of the building, consists of a stormdrain infiltration and underdrained soil filter system under seeded loam and pavers. A trench drain and gutter will divert stormwater from the roof and neighboring property into the system.

Parking for two vehicles in the garage, and an additional parking spot will be provided. A designated parking area is available for two bicycles. The driveway will follow the same path as the existing drive, on an existing 10' right-of-way through the adjacent Salem Street property owned by Nicholas Burnett. Areas for snow removal will be located adjacent to parking.

Consistency with City Master Plans

The 5 Briggs Street Project is consistent with the City's Comprehensive Plan Housing Goal to provide a sufficient supply of quality housing, "support Portland's economic development, insure the safety of it's citizens and maintain stable neighborhoods."

This project will add three residential units to an underutilized lot. This new development will help increase adjacent property values and help better maintain a stable neighborhood.

Natural Features Summary

There are no significant natural features on the site. The site is moderately sloped. There is one mature tree that will need to be removed, as well as three decorative maples and a crab apple.. A small peach tree will be moved if necessary and possible. Existing plantings and lawn will be restored.

Site Lighting

Tall exterior site lighting including lighting and building entrances will be cutoff with no light emitted above the horizontal plane or spilled onto adjacent properties or streets.

Illumination levels will be adequate for the safety, comfort and convenience of occupants and users of the site and will conform to all applicable standards of Section 12 of the Technical Manual.

RIGHT, TITLE AND INTEREST

**DEED OF SALE BY PERSONAL REPRESENTATIVE
(INTESTATE)
Maine Statutory Short Form**


KNOW ALL PERSONS BY THESE PRESENTS, that **Daniel P. Barrett**, duly appointed and acting Successor Personal Representative of the **Estate of Ilon J. Lesniewski**, deceased (intestate), as shown by the probate records of the Cumberland County Probate Court, Portland, Maine and having given notice to each person succeeding to an interest in the real property described below at least ten (10) days prior to the sale, by the power conferred by the Probate Code, and every other power, for consideration paid, grant to **Briggs Street Property, LLC**, the real properties on 47 Salem Street, and 5 Briggs Street, City of Portland, County of Cumberland and State of Maine, as more fully described in Exhibit A attached hereto and fully incorporated herein by reference.

WITNESS his hand and seal this 8th day of September, 2011.

Signed, Sealed and Delivered
in the presence of



Witness



Daniel P. Barrett, Personal Representative
Ilon J. Lesniewski Estate

STATE OF MAINE,
Cumberland, ss.

September 8, 2011

Then personally appeared the above named Daniel P. Barrett in his said capacity and acknowledged the foregoing instrument to be his free act and deed.

Before me,



Notary Public

Type or Print Name

C. TRENT GRACE
Notary Public, Maine
My Commission Expires February 2, 2015

MAINE REAL ESTATE TAX PAID

C11-191C

EXHIBIT 'A'
47 SALEM STREET AND 5 BRIGGS STREET
PORTLAND, MAINE

Two certain lots or parcels of land, with the buildings thereon, situated on the northeasterly side of Briggs Street in said City of Portland, the first being bounded and described as follows:

Beginning at a drill hole in the cement side walk on the northeasterly side line of Briggs Street distant forty-six (46) feet in a northwesterly direction for the stone monument with marks the northeasterly side line of Briggs Street with the northwesterly side line of Salem Street; thence in a northeasterly direction and making an angle of ninety-five (95) degrees with the northeasterly side line of Briggs Street (on the Salem Street side of the angle) and running parallel with and two (2) feet northerly of the brick foundation of the building at the northeasterly corner of Salem and Briggs Streets a distance of forty-nine and 58 one hundredths (49.58) feet to an iron pipe; thence deflecting to the left by an angle of ninety-one degrees and forty-two minutes (91.42) and running in a northwesterly direction a distance of forty-one and thirty-five one-hundredths (41.35) feet to an iron pipe in the southeasterly line of land now or formerly on one Willis; thence in a southwesterly direction by said Willis land a distance of forty-four and ninety-five one-hundredths (44.95) feet to an iron pipe in the northeasterly side line of said Briggs Street; thence in a southeasterly direction by said northeasterly line of Briggs Street a distance of forty-one and fifty-five one-hundredths (41.55) feet to the point of the beginning.

Also another certain lot or parcel of land with the buildings thereon, situated northwesterly of Salem Street, in said City of Portland, bounded and described as follows:

Beginning at the northeasterly corner of land conveyed by Albin Spiridovicz to Leopad Tarazewski and Orzula Tarazewski by deed dated November 12, 1932 and recorded in the Cumberland County Registry of Deeds in Book 1409, Page 414, which corner is forty-four and ninety-five one-hundredths (44.95) feet northeasterly from Briggs Street; thence southeasterly by said Tarazewicz land, formerly of Francis E. Eltman, forty-one and thirty-five one-hundredths (41.35) feet to an iron pipe at land conveyed by Albin Spiridovicz to Joseph T. Lesniewski et al by deed dated May 13, 1933 and recorded in said Registry of Deeds in Book 1420, Page 210; thence northeasterly by said Lesniewski land fifty-five and fifteen one-hundredths (55.15) feet to an iron pipe at land now or formerly of Symonds; thence northwesterly by said Symonds land forty (40) feet, more or less, to land formerly of Willis; thence southwesterly by said Willis land fifty-five (55) feet, more or less, to the point of the beginning, together with the right of way to Salem Street ten (10) feet wide as excepted and reserved in said deed to Lesniewski.

Being the same premises conveyed to Ilon Lesniewski by Earl Brand et al by deed dated January 4, 1968 and recorded in the Cumberland County Registry of Deeds, Book 3036, Page 427.

Received
Recorded Register of Deeds
Sep 09, 2011 03:49:41P
Cumberland County
Pamela E. Lovley

RELEASE DEED (LONG FORM)

KNOW ALL BY THESE PRESENTS,

THAT I, ROBERT ADAMS, of Portland, Cumberland County, Maine in consideration of ONE DOLLAR and other valuable consideration paid by NICOLAS S. BURNETT, of Portland, Cumberland County, Maine, and whose mailing address is PO Box 7693, Portland ME 04112, the receipt whereof I do hereby acknowledge, do hereby REMISE, RELEASE and FOREVER QUITCLAIM unto Nicolas S. Burnett, his heirs and assigns forever, the land and buildings in Portland, Cumberland County, Maine, more fully described on Exhibit A attached to this instrument.

TO HAVE AND TO HOLD the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to Nicolas S. Burnett, his heirs and assigns, to him and their use and behoof forever.

IN WITNESS WHEREOF, Robert Adams has hereunto set his hand and seal this

SIGNED, SEALED AND DELIVERED
IN PRESENCE OF:

[Signature]
(Witness)

Robert Adams
ROBERT ADAMS

STATE OF MAINE
CUMBERLAND, ss.

8-31, 2011

Then personally appeared Robert Adams and acknowledged the foregoing instrument to be his free act and deed.

Before me: [Signature]
Notary Public/Attorney at Law

NOTARY PRINT NAME: _____

C. TRENT GRACE
Notary Public, Maine
My Commission Expires February 2, 2015

MAINE REAL ESTATE TAX PAID

511-191C

EXHIBIT A

Property Location: 55 Salem Street, Portland, Cumberland County, Maine

Municipal Assessor's Map 57 Block J Lot 20 *930*

Beginning at a stone monument which marks the intersection of the northerly side line of Salem Street with the easterly side line of Briggs Street, thence northerly by said easterly line of Briggs Street a distance of forty-six (46) feet to a drill hole in the cement sidewalk, thence deflecting to the right by an angle of eighty-five (85) degrees a distance of forty-nine and fifty-eight hundredths (49.58) feet to an iron pipe, thence continuing the same course a distance of fifty-five and fifteen hundredths (55.15) feet to an iron pipe in the line of land now or formerly of one Simonds, thence deflecting to the right by an angle of eighty-eight degrees and fifty-one minutes (88° 51'), and running in a southerly direction by said Simonds land a distance of thirty-nine and twenty-four hundredths (39.24) feet to a stone monument in the northerly side line of Salem Street, thence in a westerly direction and by the northerly line of Salem Street a distance of fifty-five (55) feet to an iron pipe, thence continuing the same course a distance of nine and four tenths (9.4) feet to an angle in said street line, thence deflecting to the right and by said line of Salem Street a distance of forty-five and sixth tenths (45.6) feet to the stone monument at the point of beginning.

Excepting and reserving therefrom a certain right of way to be used in common with others, leading from Salem Street to a lot in the rear of the premises above described. Said right of way to be ten (10) feet wide, and to lie on the easterly side of a line drawn between the two iron pipes mentioned in the second and forth courses of the above description, that is, the northerly pipe is forty-nine and fifty-eight hundredths (49.58) feet from Briggs Street measured along the northerly line of above piece, and the southerly pipe is fifty-five (55) feet from the stone monument at the Simonds corner measured along Salem Street

Being the same premises conveyed to Robert Adams by Deed of Distribution by Personal Representative of Philip L. King, duly appointed and acting personal representative of the Estate of Robert M. Koulovas, deceased (testate), as shown by the probate records of the County of Cumberland, State of Maine, being Docket No. 2006-1460, dated September 20, 2007 and recorded in the Cumberland County Registry of Deeds in Book 25494, Page 237.

Received
Recorded Register of Deeds
Sep 02, 2011 03:51:27P
Cumberland County
Pamela E. Lovley



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Greg Mitchell - Acting Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator

April 3, 2012

James D. Nadeau, P.L.S., C.F.M.
James D. Nadeau, LLC Professional Land Surveyors
918 Brighton Avenue
Portland, Maine 04102

RE: 55 Salem Street – 057-J-20 & 22 (called parcel “A”)
5 Briggs Street – 057-J-29 & 31 (called parcel “B”)

Dear Jim,

I am in receipt of your request for a determination letter concerning the properties located at 55 Salem Street (parcel “A”) and 5 Briggs Street (parcel “B”). Both properties are located in an R-6 residential zone with no other overlay zones.

My determination is based upon a survey prepared by James D. Nadeau of James D. Nadeau, LLC Professional Land Surveyors, sign, sealed and dated 2-13-12. It is important to observe that the Assessors maps have not accurately depicted the deeds in its map rendering. The 10' right-of-way over parcel “A” has been inaccurately shown as separate property and part of parcel “B”. It is my understanding that the underlying ownership of the property of the 10' right-of-way is part of parcel “A”.

The proposal is to convey 53 square foot of property from the owner of parcel “A” to the owner of parcel “B” as shown on the given survey. The proposal does not violate any zoning requirements of either property, including setbacks and lot coverage. Parcel “A” would maintain more than the minimum R-6 lot size at 4,701 square feet after the conveyance of 53 square feet.

Parcel “B” is currently 4,366 square feet in size, essentially vacant with a garage to be demolished. The proposed conveyance would increase the lot size to 4,419 square feet. The R-6 zone has a minimum lot size of 4,500 square feet. Because the current lot is under the minimum lot size, the owner of parcel “B” has two options prior to developing the lot. The owner may prove the property is a lot of record as defined under 14-433 showing this office a chain of title since 1957 and use the dimensional requirements of section 14-139(1). Or the owner of parcel “B” may be able to show compliance with the R-6 “Small residential lot development” requirements of section 14-139(2).

Parcel “A” is considered to be a legal two (2) residential dwelling unit constructed prior to the basis of the current Land Use Zoning Ordinance.

This determination is not permission to begin construction. Separate reviews and permits are required through the Planning and Inspection Services Division prior to any construction.

If there are any questions regarding this matter, please do not hesitate to contact me at (207) 874-8695.

Very truly yours,

A handwritten signature in black ink that reads "Marge Schmuckal". The signature is written in a cursive style with a long horizontal flourish extending to the right.

Marge Schmuckal
Zoning Administrator

COMPLIANCE

ZONING SUMMARY

Chapter 14

| | |
|------------------------|------------------------------------|
| Project Address | 5 Briggs St, Portland, ME 04102 |
| Project type | Multi-family Residential > 3 units |
| City Zone | R-6 |
| Legal ID | 57 J 29 & 31 |
| Lot Area | 4419 SF |
| Permitted Uses | Multiple uses |
| Existing Uses | Garage |
| Proposed Use | Multi-family Residential |
| Guidelines | NA |

R-6 Sect. 14-139 (b) Small residential lot development

| Dimension Requirements | Required/Allowed | Provided |
|-------------------------------|--|---------------------|
| Min. Lot Size | None | 4419 SF |
| Max Lot Size | 10,000 SF | 4419 SF |
| Min Front Yard | Max. 10'-0" | 10'-0" |
| Min Rear Yard | rear or side yard at least 15' | 15" |
| Side Yard | Min 10' set back between buildings | 10' |
| Min Princ Structure Height | 2 Stories above grade | 3 stories |
| Max Princ Structure Height | 45' | <40' |
| Open Space Requirement | Each unit provide deck, porch, patio or balcony; or 10% lot open space | 2 balconies & patio |
| Min Lot Width | none | 40' |
| Min Area per Dwelling Lot | 725 SF | 1473 s.f. |

Other Requirements

| | | |
|----------------------------|----------------------|---|
| Off-street Auto Parking | 1 space per Unit | 3 |
| Off-street Bicycle Parking | 2 spaces per 5 units | 2 |

Building Code and Use Summary

| | |
|---------------------------------|--|
| Applicable Codes | IBC 2009 IECC 2009 R-6 CBL 57 J 29 & 31 NFPA 101/2009 Maine State Internal Plumbing Code (Ref. Uniform Plumbing Code 2009) |
| Building Use | Three-unit residential. Rental Properties |
| Occupancy Classification | IBC R2 NFPA 101: Residential |

Fire Department Technical Standards:

The project will be sprinkled in compliance with NFPA 13R 2010

Hydrant location: Approx. 96' from new structure. (at the corner of Briggs St. and Salem St.)

All details will be reviewed with the Portland Fire Department as required.

Fire Resistant Construction IBC 2009 VB

Sound Transmission

IBC 2009 1207.2 ""assemblies separating dwelling units from each other... shall have an STC of not less than 50"

1207.3 "Floor/ceiling assemblies between dwelling units... shall have an IIC rating of not less than 50"

FINANCIAL AND TECHNICAL CAPACITY

FINANCIAL CAPACITY LETTER
AVAILABLE NEXT WEEK

Technical Capacity

Architect: Whipple Callendar Architects is a leader in Maine in building residences, educational and commercial structures. Whipple Callendar is the lead designer on the project.

Other consultants will be retained in an as-needed basis.

Pinkham and Greer, Civil Engineers is responsible for design of the stormwater drainage system and all civil plans

Solid Waste

The building owner will contract with the City of Portland Public Works Authority for the collection of solid waste and recyclables.

Building tenants will be provided with suitable recycling containers obtained from the Public Works Authority. Tenants will also be instructed to use City of Portland designated biodegradable bags for non-recyclable solid waste.

Construction waste will be sorted on site and either recycled or legally disposed of by the General Contractor.

EVIDENCE OF UTILITY CAPACITY TO SERVE



May 28, 2015, 2015

Re: 5 Briggs Street, Portland Maine

Dear Mr. Burnett:

Thank you for your interest in using natural gas for the above referenced project.

Unitil has natural gas in the vicinity of this project to provide additional gas service. The evaluation to complete the design, costs and determining what the customer contribution may be, if any, can be completed once Unitil receives the completed design and load information.

Unitil welcomes the opportunity for further discussions regarding this project.

If you have any further questions or require additional information, please contact me directly at (207) 541-2536 or at Harmon@unitil.com.

Sincerely,

Bridget L. Harmon
Business Development Representative, Customer Energy Solutions



1075 Forest Ave.

Portland, ME 04103 T 207.541.2536 E mathers@unitil.com www.unitil.com

CUSTOMER ENERGY SOLUTIONS
1075 Forest Ave.
Portland, ME 04103

T 888.486.4845 www.unitil.com



nicholas burnett <nick3ddesign@gmail.com>

CMP New Service Installation - Notif # 10300121038

1 message

cmpservicecoordination@cmpco.com <cmpservicecoordination@cmpco.com>

Wed, May 27, 2015 at 8:17 PM

To: NICK3DDESIGN@gmail.com



www.cmpco.com

DEAR NICHOLAS S BURNETT,

Welcome to CMP! We look forward to serving you throughout your new service installation project.

The notification number referenced in the subject line of this email is unique to your project. Please reference this number when you contact us.

Please view Getting Connected on our internet site. The information contained on the website is designed to help you understand the steps involved in establishing electricity service.

There are forms required for your new service installation. You may print out the necessary forms at the link below:

Simple Service Forms

Throughout this process, the CMP Service Coordination Team will work with you to complete your project. We are available Monday through Friday from 7:30 am to 4:00 pm. Please don't hesitate to e-mail us at cmpservicecoordination@cmpco.com with any questions. We'll keep you informed every step of the way with e-mails sent out as each milestone is completed.

We look forward to meeting your electricity delivery needs!

Sincerely,

Your CMP Service Coordination Team

Contact us at: cmpservicecoordination@cmpco.com

For more information: <http://www.cmpco.com/YourAccount/GetConnected/default.html>





nicholas burnett <nick3ddesign@gmail.com>

5 Briggs Street - Portland - New Water Service Information

3 messages

AMAP Means Email <means@pwd.org>

Tue, May 12, 2015 at 11:10 AM

To: nick3ddesign@gmail.com

Hi Nick,

Attached is a copy of PWD's infrastructure map noting the location and sizes of the public water mains near 5 Briggs Street - Portland. It is possible to make a new service connection into a public main only after proper review and approval by PWD. Below is a description of the general process for having a new service line installed on the public water system.

Pre-Construction Phase

The first step in the process is for the owner to hire a private contractor to install the new service lines at their cost. While PWD does not have any requirements on who may complete the excavation work for a new service line, the actual tap into a main must be completed by a certified contractor. Attached is a listing of contractors who are approved to complete service taps for various pipe sizes.

Service Application Phase

Once a contractor has been selected and the project is ready to go to construction, it will be necessary to again contact PWD's MEANS Division to arrange for an appointment to fill out a service application. We will complete the attached new service application together at the PWD office. To ensure that the eventual utility account will be set up correctly and that all service lines and meters will be properly sized, the following information will be needed at this time:

- 1) Town-assigned street address
- 2) Billing contact information
- 3) Water service diameter
- 4) Expected peak water usage in gallons per minute (not required for a single family home)
- 5) Fixture count tabulation (only required if peak water usage is not known)
- 6) Description of the proposed meter location (if the meter is further than 300 feet from the property line, a meter pit will be required)

PWD will collect the following fees at the time of the service application:

- 1) Application Fee: \$58 per service line
- 2) Inspection Fee: \$181 flat for 2-inch service or smaller (single services only); \$40.00 per hour for services larger than 2-inch*
- 3) Meter Fee: Based on the meter size (typically between \$200 and \$500, but may be higher for some uses)

- 4) Meter Installation Fee: \$63 flat for meters 2-inch and smaller; \$40.00 per hour for meters larger than 2-inch*
- 5) Water Quality Sample: \$161 for domestic services 2-inch and larger
- 6) Highway Opening Fee: Varies (only applicable for connections made into some State Highways)
- 7) Meter Pit Inspection, Fire Service Activation and Private Hydrant Inspection where applicable estimated at \$40.00 per hour

*Time is estimated based on the project scope. The depositor will receive a credit or a bill at project completion based on actual PWD charges.

An exact fee structure will be developed for this project after all design items have been determined.

Construction Phase

PWD is required to provide inspection of all water service work within the public way. After the applicable fees have been collected and the application accepted, your contractor is advised to contact PWD's Scheduler, Thomas Whitney, at 774-5961 x3037 to arrange for a time for a PWD inspector to witness the water service installation work. Please contact us 3-5 days in advance of your desired construction date to ensure that we will have an inspector available.

If at any time during this process you would like to meet to discuss your project further, please contact the MEANS Division to schedule an appointment with a PWD representative.

Have a great day,

Brian

MEANS Group

Main Extensions and New Services

Portland Water District

225 Douglass Street

Portland, ME 04104-3553

P:(207)774-5961 Ext. 3199

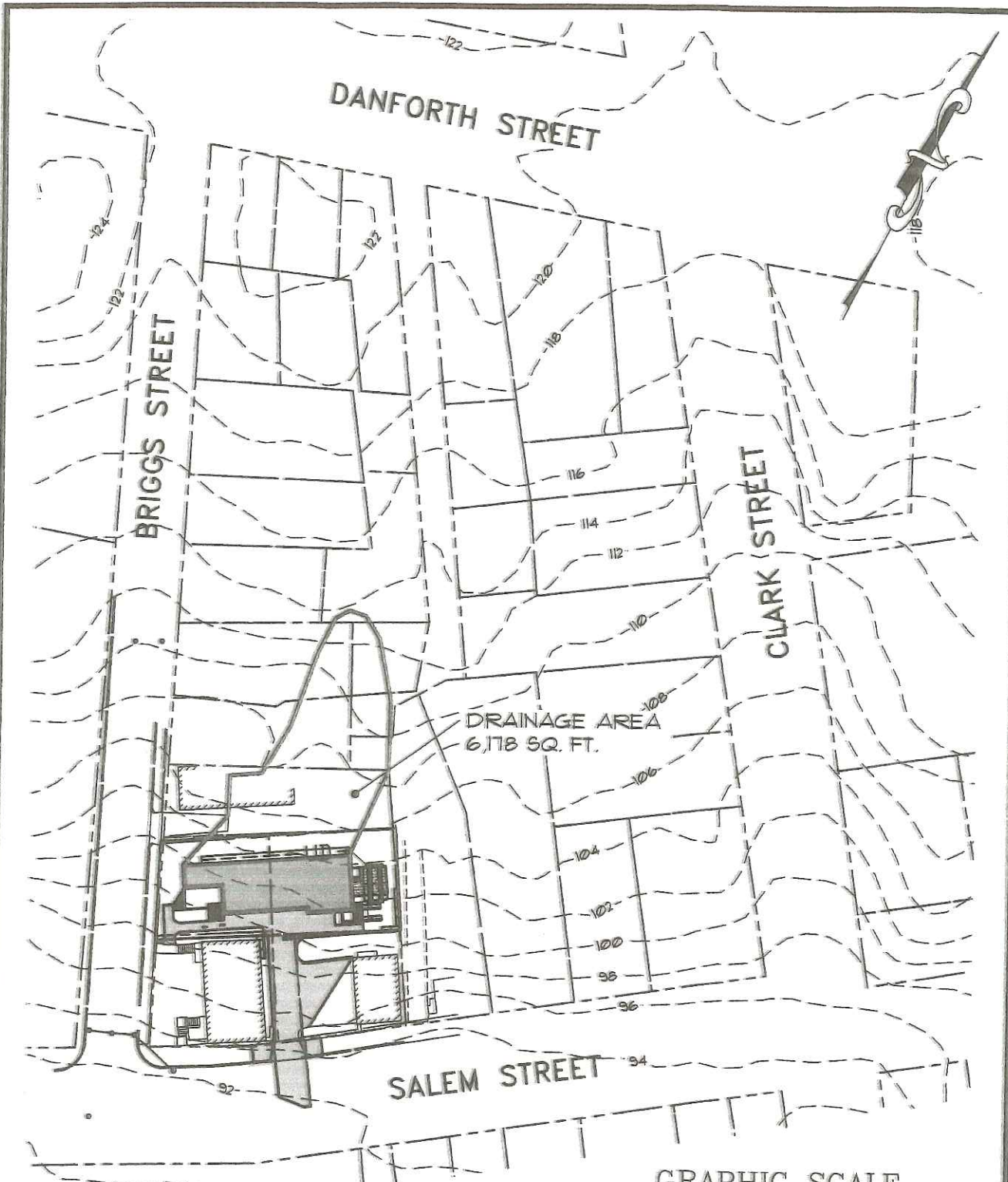
F:(207)761-8307

MEANS@pwd.org

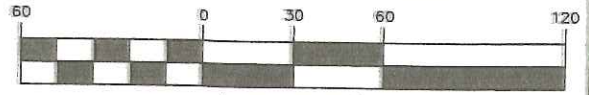
3 attachments

 **PO - 5 Briggs St - Infrastructure Map - 2015.pdf**
590K

STORMWATER MANAGEMENT



GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

DRAINAGE ANALYSIS

PINKHAM & GREER
CIVIL ENGINEERS

BRIGGS STREET PROPERTY, LLC
5 BRIGGS STREET
PORTLAND, MAINE

D1.0

28 VANNAH AVE. PORTLAND, ME. 04103

SCALE: AS SHOWN DATE: MAY 20, 2015

CHK BY: TSG

PROJECT: 14164

HOUSEKEEPNG REPORT

5 BRIGGS STREET
PORTLAND, MAINE

May 20, 2015

Housekeeping:

This project is located in a stream watershed. Protection of the groundwater quality is ensured by having good housekeeping practices and maintenance of the stormwater systems. Spill prevention must be incorporated into the plan. The project should follow the following steps:

1. Homeowners should be made aware of possible groundwater and surface water contamination based on their actions. The spilling of products such as small engine fuel, cleaning products and paints need to be cleaned up. The use of fertilizers and pesticides should be done cautiously and in accordance with manufacturers recommendations.

The maintenance of the landscaping and parking lots should include the sweeping of the parking lots and removal of the materials that may cause dust.

During construction follow the erosion control measures outlined on the plans.

During construction, develop a waste handling program that identified potential contaminates that could be introduced to the aquifer. Follow hazardous waste rules if any items used are considered a hazardous waste. It is critical to the site that uncontrolled releases be prevented.

Oil absorbent pads should be used while refueling equipment.

This site may require dewatering of trenches. During construction, monitor stormwater runoff from the equipment and ground areas to minimize contamination of groundwater.

**PINKHAM & GREER
CIVIL ENGINEERS**

28 VANNAH AVE. PORTLAND, ME. 04103
Tel: 207.781.5242 Fax: 207.781.4245

JOB 5 Briggs St. 14/64
SHEET NO. 1 OF 1
CALCULATED BY TSC DATE 5/20/15
CHECKED BY _____ DATE _____
SCALE _____

THIS PROJECTS HAS 1,276 SQ FT OF EXISTING IMPERVIOUS COVER. THE DEVELOPED PROJECT WILL HAVE 2,444 SQ FT OF IMPVIOUS COVER. THE ADDITIONAL 1,276 SQ FT REQUIRES TREATMENT. TO MEET THIS STANDARD, AN UNOCDRAINED SOIL FILTER WILL BE USED TO TREAT THE RUN OFF FROM THE ROOF.

REQUIRED TREATMENT VOLUME

$$1,276 \times \frac{1''}{12''} = 106 \text{ CF}$$

VOLUME OF THE STORAGE OVER THE FILTER MEDIA

$$15' \times 14' \times \frac{22''}{12} \times .35 = 134 \text{ CF}$$

134 > 106 STANDARDS ARE MET.

**STORMWATER DRAINAGE SYSTEM
MAINTENANCE AGREEMENT**

For SUBDIVISIONS

IN CONSIDERATION OF the site plan and subdivision approval granted by the Planning Board of the City of Portland to the proposed 5 Briggs Street shown on the Subdivision Recording Plat (Exhibit A) recorded in Cumberland Registry of Deeds in Plan Book ____, Page ____ submitted by Briggs Street Property, LLC, and associated Grading & Utilities Plan (Exhibit B) prepared by Pinkham & Greer, Civil Engineers of 28 Vannah Avenue, Portland, Maine 04103 dated May 7, 2015 and pursuant to a condition thereof, Briggs Street Property, LLC, a Maine limited liability company with a principal place of business in Portland, Maine, and having a mailing address of 55 Salem Street #B, Portland, Maine, 04102, the owner of the subject premises, does hereby agree, for itself, its successors and assigns (the "Owner"), as follows:

Maintenance Agreement

That it, its successors and assigns, will, at its own cost and expense and at all times in perpetuity, maintain in good repair and in proper working order the underdrained soil filter, (hereinafter collectively referred to as the "stormwater system"), as shown on the Grading & Utilities Plan in Exhibit B and in strict compliance with the approved Inspection and Maintenance of Stormwater Management Facilities, prepared for the Owner by Pinkham & Greer, Civil Engineers attached in Exhibit C and Chapter 32 of the Portland City Code.

Owner of the subject premises further agrees, at its own cost, to keep a Stormwater Maintenance Log. Such log shall be made available for inspection by the City of Portland upon reasonable notice and request.

Said agreement is for the benefit of the said City of Portland and all persons in lawful possession of said premises and abutters thereto; further, that the said City of Portland and said persons in lawful possession may enforce this Agreement by an action at law or in equity in any court of competent jurisdiction; further, that after giving the Owner written notice and a stated time to perform, the said City of Portland, by its authorized agents or representatives, may, but is not obligated to, enter upon said premises to maintain, repair, or replace said stormwater system in the event of any failure or neglect thereof, the cost and expense thereof to be reimbursed in full to the said City of Portland by the Owner upon written demand. Any funds owed to the City under this paragraph shall be secured by a lien on the property.

This Agreement shall also not be construed to allow any change or deviation from the requirements of the subdivision and/or site plan most recently and formally approved by the Planning Board of the City of Portland.

This agreement shall bind the undersigned only so long as it retains any interest in said premises, and shall run with the land and be binding upon the Owner's successors and assigns as their interests may from time to time appear.

The Owner agrees to record a copy of this Agreement in the Cumberland County Registry of Deeds within thirty (30) days of final execution of this Agreement. The Owner further agrees to provide a copy of this Agreement to any successor or assign and to forward to the City an Addendum signed by any successor or assign in which the successor or assign states that the successor or assign has read the Agreement, agrees to all its terms and conditions and the successor or assign will obtain and forward to the City's Department of Public Services and Department of Planning and Urban Development a similar Addendum from any other successor or assign.

For the purpose of this agreement and release "Owner" is any person or entity who is a successor or assign and has a legal interest in part, or all, of the real estate and any building. The real estate shown by chart, block and lot number in the records on file in the City Assessor's office shall constitute "the property" that may be entered by the City and liened if the City is not paid all of its costs and charges following the mailing of a written demand for payment to the owner pursuant to the process and with the same force and effect as that established by 36 M.R.S.A. §§ 942 and 943 for real estate tax liens.

Any written notices or demands required by the agreement shall be complete on the date the notice is attached to one or more doors providing entry to any buildings and mailed by certified mail, return receipt requested or ordinary mail or both to the owner of record as shown on the tax roles on file in the City Assessor's Office.

If the property has more than one owner on the tax rolls, service shall be complete by mailing it to only the first listed owner. The failure to receive any written notice required by this agreement shall not prevent the City from entering the property and performing maintenance or repairs on the stormwater system, or any component thereof, or liening it or create a cause of action against the City.

Dated at Portland, Maine this _____ day of _____, 2015.

Briggs Street Property, LLC

Nicholas Burnett

STATE OF MAINE
CUMBERLAND, ss.

Date: _____

Personally appeared the above-named _____ (*name and title*), and acknowledged the foregoing instrument to be his free act and deed in his said capacity.

Before me,

Notary Public/Attorney at Law

Print name: _____

Exhibit A: Subdivision Recording Plat as recorded (C1.0)

Exhibit B: Approved Grading & Utilities Plan (C1.3)

Exhibit C: Approved Inspection and Maintenance of Stormwater Management Facilities

**5 Briggs Street
PORTLAND, MAINE**

May 20, 2015

**INSPECTION AND MAINTENANCE
OF STORMWATER MANAGEMENT FACILITIES**

The project developer is Briggs Street Property, LLC, 55 Salem St. #B, Portland, ME 04102. The developer will be responsible for the inspection and maintenance of all stormwater management facilities, the establishment of any contract services required to implement the program, and the keeping of records and maintenance log book as described herein. At a minimum, the appropriate and relevant activities for each of the stormwater management facilities should be performed on the prescribed schedule. Periodic inspection and maintenance of these site features and devices is necessary to prevent erosion and remove pollutants from stormwater runoff.

SWALES, DITCHES AND PAVED SURFACES:

Swales, ditches and paved surfaces are easily inspected during a site walk or even a ride-by. Since visual inspection is easy, their condition should be assessed during and/or after significant rainfall events such as thundershowers and periods of heavy or extended rainfall and during periods of significant snowmelt. Any damage or unusual condition such as sedimentation of a ditch, erosion, damaged pavement or dying vegetation should be recorded, dated and initialed by the inspector when observed. Even if there is no damage, the inspector should make record of these inspections at least twice annually.

Paved surfaces should be visually inspected monthly during the winter. The inspector should pay particular attention to the build up of ice and sand along the edge of the road and remove accumulations that block the free flow of surface runoff to the catch basins. Paved areas should be swept at least once annually. The date and initials of the inspector should be recorded on the forms provided as well as a notation of any cleanup effort that was made.

DRAIN PIPES:

Drain pipes connect catch basins and field inlets. Inspect drain pipes when inspecting other stormwater maintenance facilities. At least annually make a visual inspection of the pipe. During the daylight you should be able to see light through most pipes as they have been laid to a straight line and grade. In some cases (e.g. pipe runs to a catch basin, or is blocked) you will need a light to inspect pipes.

Clean pipes as necessary. Record inspections on the forms provided noting condition of pipe and any maintenance procedures implemented.

UNDERDRAINED SOIL FILTERS:

There is an underdrained soil filter located under the patio on the east end of the building. It consists of an underdrain layer of sand with sand media over it. There are plastic chambers in stone over that with insulation and the patio on top. It is connected to the roof drain and drip strip

Soil Filter Inspection: The soil filter should be inspected after every major storm in the first few months to ensure proper function. Thereafter, the filter should be inspected at least once every six months to ensure that it is draining within 48 hours; and that, after storms that fill the system to overflow, it drains in no less than 24 hours. If the system drains too fast, the orifice on the underdrain outlet may need to be modified. An inspection port is provided for this use.

Soil Filter Replacement: The top several inches of the filter shall be replaced with fresh material when water ponds on the surface of the bed for more than 72 hours. The removed sediments should be disposed in an acceptable manner.

Sediment Removal: Check the roof gutter system to ensure debris is not reaching the filter.

Record all maintenance on forms provided.

**STORMWATER MANAGEMENT SYSTEM
MAINTENANCE PROGRAM
SUMMARY CHECKLIST**

| Item | Commentary | Frequency | | | |
|--|--|------------------|--------------------|----------|-----------|
| | | Month | Semi-Annual | Annual | Long-Term |
| Open Swale, Ditches & Inlet Structures | Inspect for debris accumulation, erosion and excessive vegetation. Mow monthly, remove debris, repair and revegetate any area of erosion | X Mow | | X | |
| Pavement | Review for damage and buildup of debris and sand. | X | X Sweep | | |
| Pipelines | Inspect for sediment build-up in pipe. Flush and remove as required. | | | X | |
| Underdrain Soil Filter | Review Inspection Port | | X | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

HVAC

All HVAC equipment in this project will meet all applicable state and federal emissions requirements.

The HVAC equipment will meet the requirements of ASHRAE 90.1-2007 Energy Efficiency Standard and the IECC 2009.

Primary HVAC equipment will be located in each unit. A condenser for each unit will be located on the NW building elevation. The equipment will be screened from view by the property fence.

Noise levels generated by site equipment will not exceed City standards,

Construction Management Plan

Temporary fencing will be erected on the west side of the property where existing fence is located. The opening of the right of way onto Salem Street will also have temporary fencing.

When sidewalks on Briggs or Salem Street are removed or under construction then signage will be placed at the head of Briggs St., at the junction of Salem and Briggs and to the east on Salem St., directing pedestrians to use the sidewalk on the opposite side of the streets. Barriers and warning tapes will also be utilized. Additional signage and barriers will be employed to direct traffic when utility work requires excavation and repaving of Salem Street.

All work shall conform to applicable city codes and ordinances.

The contractor shall clean and remove debris and sediment, or other public waste due to construction, deposited on public streets, sidewalks and adjacent areas.

No holes, trenches or structures shall be left open overnight in any excavation accessible to the public or in a public right of way.

Construction waste will be sorted on site and will either be recycled or legally disposed of by the general contractor.