

NO.	DATE	DESCRIPTION
1	5/20/15	FOR CITY SUBMITTAL

BRIGGS STREET PROPERTY, LLC  
 55 SALEM ST #B  
 PORTLAND, ME. 04102

SCALE: AS SHOWN  
 DATE: MAY 7, 2015  
 PROJECT: 14184

DRN BY: JDC/RUS  
 DESG BY: TSG  
 CHK BY: TSG

5 BRIGGS STREET  
 PORTLAND, MAINE

**SITE PLAN**

**C1.1**

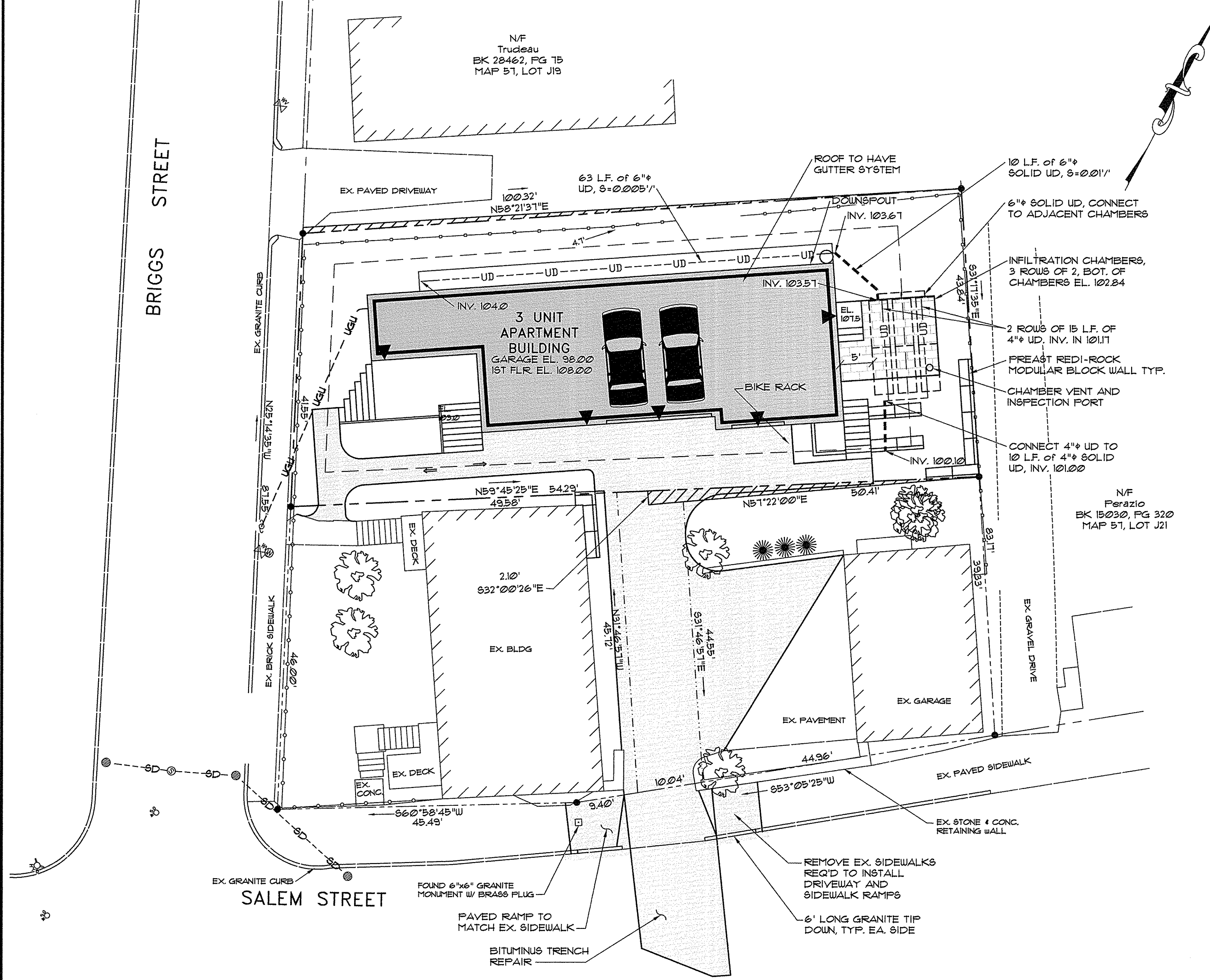
MAP/LOT: 57U/28 & 57U/31

**GENERAL NOTES**

- OWNER: BRIGGS STREET PROPERTY, LLC, PO BOX 1693, PORTLAND MAINE 04112. DEEDS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BK 2895D, PG. 151, DATE SEPTEMBER 9, 2011.
- ENGINEER: PINKHAM & GREER CIVIL ENGINEERS, 28 VANNAH AVENUE, PORTLAND, MAINE, 04103.
- ARCHITECT: WHIPPLE / CALLENDER ARCHITECTS, 136 PLEASANT AVENUE, PORTLAND, MAINE 04103.
- BOUNDARY INFORMATION PROVIDED BY JAMES D. NADEAU, LLC, 918 BRIGHTON AVENUE, PORTLAND, MAINE. REFERENCE IS MADE TO "BOUNDARY SURVEY MADE FOR NICHOLAS BURNETT, SALEM STREET & BRIGGS STREET PORTLAND, MAINE" DATED 1/2/12.
- SOILS MAPPING TAKEN FROM SOIL CONSERVATION STUDY OF CUMBERLAND COUNTY AND CLASSIFIED AS HICKLEY (HLB); GENERALLY SANDY LOAM, 3-8% SLOPES, HYDROLOGICAL GROUP "A".
- ZONE: R-6, RESIDENTIAL, PROPOSED USE: MULTIFAMILY DWELLING
- TAX MAP REFERENCE: MAP 57 / BLOCK J / LOTS 28 & 31.
- TOTAL PARCEL = 0.10 acres
- UNITS TO BE SERVICED BY PUBLIC WATER, SEWER, AND GAS FROM SALEM STREET. THESE SERVICES, INCLUDING HYDRANTS, ARE AS SHOWN ON SHEET C13, GRADING AND UTILITIES PLAN.
- POWER, TELEPHONE AND CABLE SERVICES ARE TO BE UNDERGROUND FROM BRIGGS STREET. THESE SERVICES ARE SHOWN ON SHEET C13, GRADING AND UTILITIES PLAN.
- EXISTING UTILITIES, INCLUDING SIZE AND VERTICAL AND HORIZONTAL LOCATIONS, ARE SHOWN ON SHEET C13, GRADING AND UTILITIES PLAN.
- ALL WORK WITHIN THE RIGHT OF WAY IS TO MEET CITY OF PORTLAND STANDARDS.
- PROPOSED PARKING SPACES: 2 SPACES.
- THE SUBJECT PARCEL SHOWN AS 5 BRIGGS STREET IS SUBJECT TO A CITY OF PORTLAND LEVEL III SITE PLAN AND SUBDIVISION PERMIT.
- DETAILS OF STREET TREES ARE INCLUDED ON THE LANDSCAPE PLAN AS PART OF THE APPROVAL FOR 5 BRIGGS STREET SITE PLAN.
- FLOODPLAIN: THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 230291 0013 B, EFFECTIVE DATE JULY 11, 1986. IT IS NOT IN A SPECIAL FLOOD HAZARD ZONE.
- SNOW REMOVAL REQUIREMENTS ARE AS NOTED ON THIS SHEET UNDER OFFSITE SNOW REMOVAL NOTES.
- NEW PROPERTY PINS TO BE SET AT THE EXPENSE OF THE DEVELOPER AT THE END OF CONSTRUCTION.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPs" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.

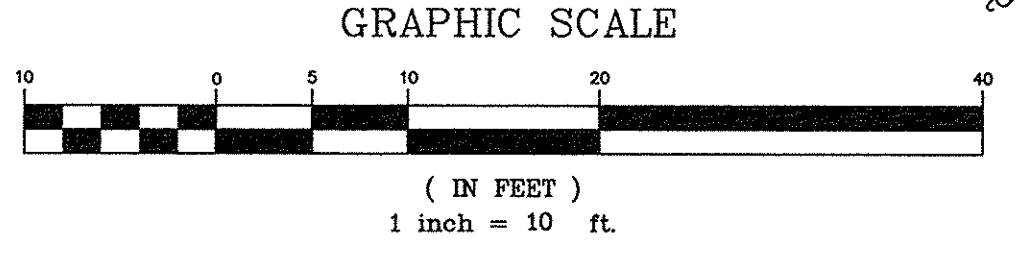
**LEGEND**

EXISTING	
---	PROPERTY LINE
---	BUILDING SETBACK
---	ABUTTERS PROPERTY
---	EASEMENT
---	EDGE OF PAVEMENT
---	CONTOURS
---	BUILDING EDGE OF GRAVEL
---	CURB
---	GAS LINE
---	SANITARY SEWER
---	STORMDRAIN
---	OVERHEAD UTILITY
---	WATER LINE
---	CATCH BASIN
---	SEWER MANHOLE
---	MANHOLE
---	WATER METER
---	UTILITY POLE
---	TREE
---	STOCKADE FENCE
---	CHAINLINK FENCE
---	BENCHMARK
---	FOUND MONUMENT
---	5 STEEL REBAR
---	W/SURVEY CAP #214 SET
---	FIRE HYDRANT
---	WATER SHUTOFF
---	WATER VALVE
---	GAS VALVE
PROPOSED	
---	EDGE OF PAVEMENT
---	BUILDING
---	BUILDING ENTRY/EGRESS
---	BUILDING HATCH



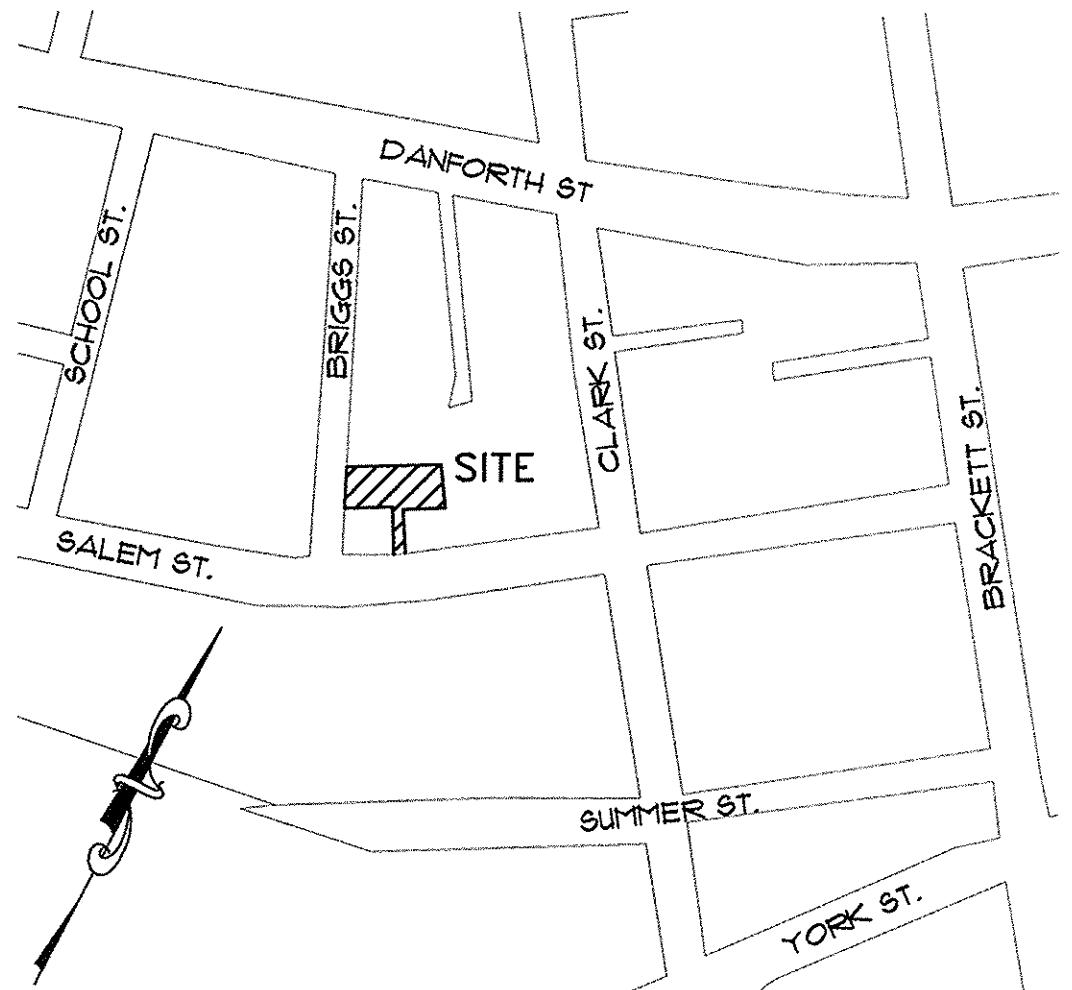
**CITY OF PORTLAND**  
**SITE PLAN AND SUBDIVISION NOTES**

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMP AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs PUBLISHED BY THE BUREAU OF LAND AND QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL, GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.
- SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."



**ZONE INFORMATION**

ZONE: R-6, RESIDENTIAL PERMITTED USE: MULTI-FAMILY DWELLING		
SPACE STANDARDS	REQUIRED	PROVIDED
MINIMUM LOT SIZE	2,000 SQ. FT.	4,366 SQ. FT.
MINIMUM AREA PER DWELLING UNIT	725 SQ. FT.	750 SQ. FT.
MINIMUM STREET FRONTAGE	20 FEET	41.55 FEET
MINIMUM FRONT YARD	5 FEET	5 FEET
MINIMUM REAR YARD	10 FEET	10 FEET
MINIMUM SIDE YARD	5 FEET	5 FEET
MAXIMUM LOT COVERAGE	60%	31%
MINIMUM LOT WIDTH	20 FEET	41 FEET
MAXIMUM BUILDING HEIGHT	45 FEET	35 FEET
OPEN SPACE RATIO	20%	55%
OFF STREET PARKING	0 SPACE PER UNIT	066 PER UNIT



**LOCATION PLAN**  
 SCALE: 1" = 200'