

Final Report of Special Inspections

Project: *Addition and Renovations*
Location: *214 Danforth Street, Portland, ME*
Owner: *Shalom House, Inc.*
Owner's Address: *106 Gilman Street*
Portland, ME 04102

Architect of Record: *Shields Architecture*
Structural Engineer of Record: *Structural Design Consulting, Inc.*
2696 Lake Shore Road, Unit 130
Gilford, NH 03249

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following:

Comments: *No outstanding issue*

(Attach continuation sheets if required to complete the description of corrections.)

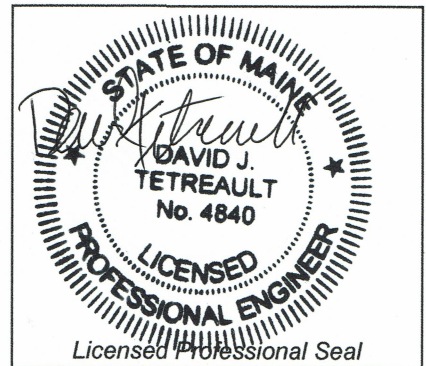
Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector

David J. Tetreault, P.E.
(Type or print name)

David J. Tetreault
Signature

01/28/15
Date





2696 Lake Shore Road, Unit 130
Gilford, NH 03249
Phone: (603) 293-8038

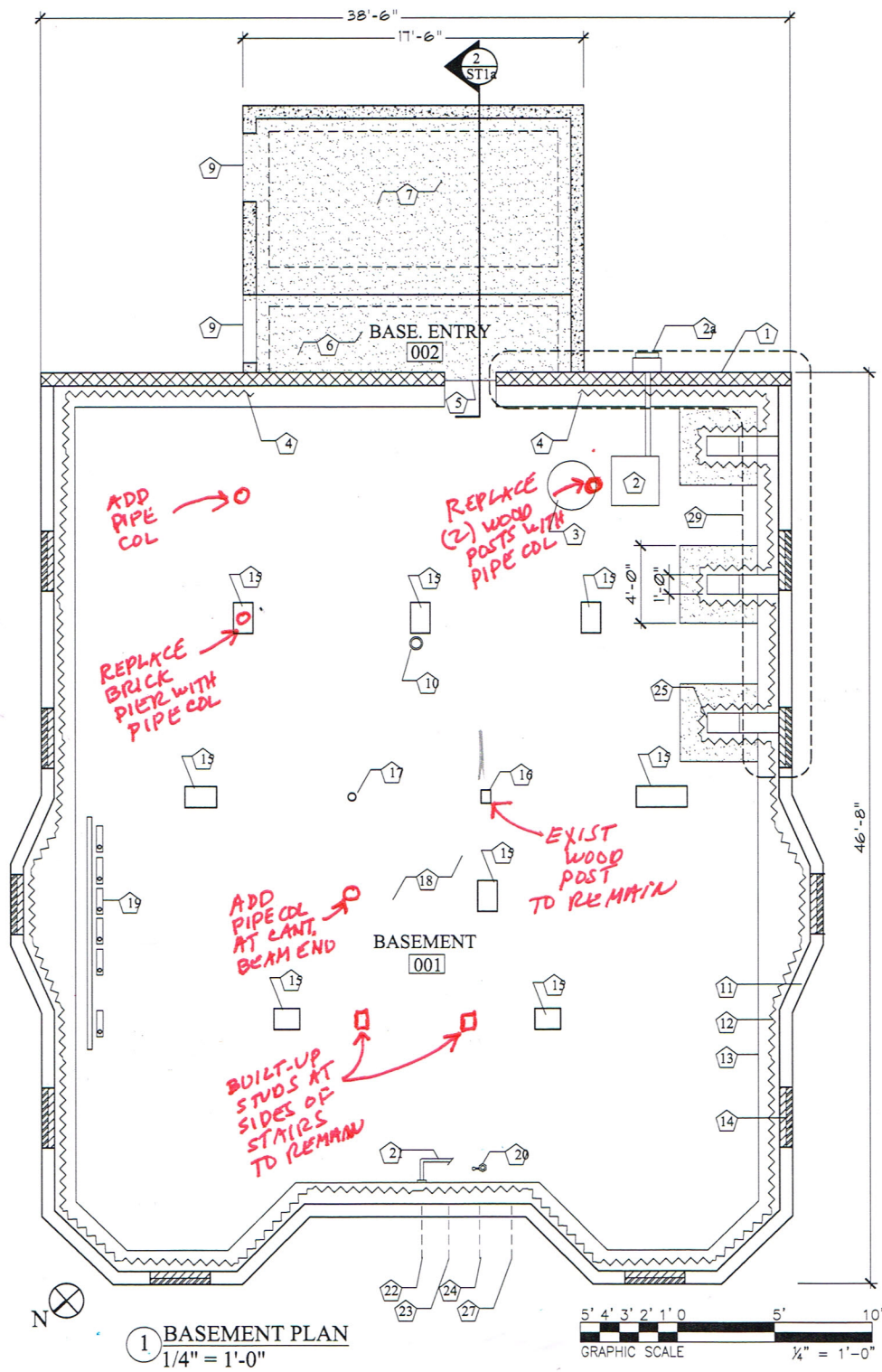
JOB NAME: 214 Danforth Street
JOB NO.: 14005
DATE OF VISIT: Sep 09, 2014
TIME: 1:00 P.M.
WEATHER: 70°, clear
CLIENT: Shalom House
OBSERVERS: David Tetreault, SDC

Demolition of finishes has been substantially completed. Several areas that have been exposed in the basement require revisions from the Contract Documents. See the attached Basement Plan.

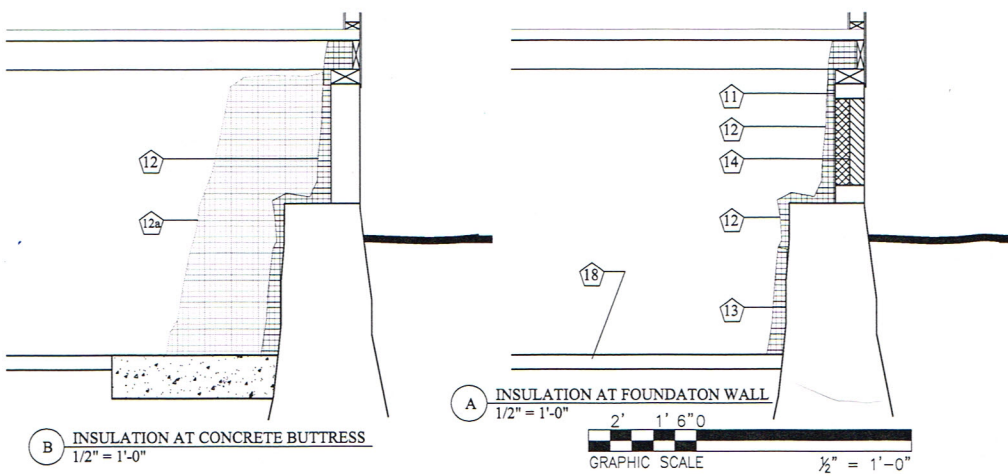
The foundation at the west side has been exposed. Loose bricks and granite pieces must be removed prior to placing concrete for the buttress detailed on sheet ST-1a. A 1st floor beam is supported on the foundation approximately 13 feet south of the rear wall. This beam must be temporarily shored before removing loose brick and granite.

Framing at the bay windows at the west elevation was found to be severely rotted at both the first and second floors. Finishes should be removed to determine the extent of rot. It appears that the bay framing may need substantial reinforcement or reframing.

SIGNATURE: David Tetreault



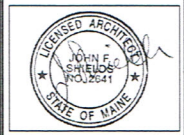
1 BASEMENT PLAN
1/4" = 1'-0"



B INSULATION AT CONCRETE BUTTRESS
1/2" = 1'-0"

A INSULATION AT FOUNDATION WALL
1/2" = 1'-0"

CITY OF PORTLAND



SHIELDS ARCHITECTURE

2 Cumberland, Maine
(207) 776-8926

Architect

Date: 4/14/14
Scale: 1/4" = 1'-0"

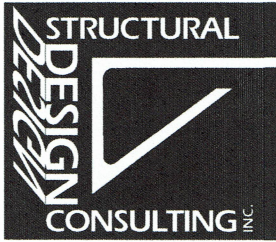
Project: ADDITION & RENOVATIONS

214 DANFORTH STREET
PORTLAND, MAINE

BASEMENT & FIRST
FLOOR PLANS

Drawing

A-2



**2696 Lake Shore Road, Unit 130
Gilford, NH 03249
Phone: (603) 293-8038**

**JOB NAME: 214 Danforth Street
JOB NO.: 14005
DATE OF VISIT: Oct 06, 2014
TIME: 9:00 A.M.
WEATHER: 70°, clear
CLIENT: Shalom House
OBSERVERS: David Tetreault, SDC**

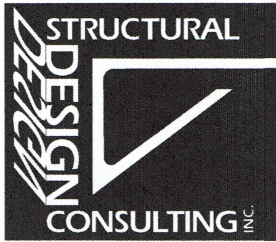
Structural framing in the existing building is substantially completed. Framing hardware has been installed.

The buttress wall footing has been cast and reinforcing for the buttress wall has been placed.

Framing at the bay windows at the 1st and 2nd floor west elevation has been almost entirely replaced due to the rot that was discovered during demolition.

A first floor beam has been found to bear on insufficient corbels at both sides of the chimney at the rear of the building. Steel posts must be added to both sides for support of the beam.

SIGNATURE: _____



**2696 Lake Shore Road, Unit 130
Gilford, NH 03249
Phone: (603) 293-8038**

**JOB NAME: 214 Danforth Street
JOB NO.: 14005
DATE OF VISIT: Dec 17, 2014
TIME: 9:30 P.M.
WEATHER: 40°, cloudy
CLIENT: Shalom House
OBSERVERS: David Tetreault, SDC**

Framing at the existing building and stair addition are completed.
The foundation wall buttress has been completed.
Additional steel post supports for the beam at the rear chimney have been installed.
Structural work has been found to be in conformance with the Contract Documents.
There is no outstanding structural issue.

SIGNATURE: _____

David Tetreault









