

4 DANFORTH STREET Place

SHAW-WALKER
#9203-1B

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

February 5, 1968

Floyd Rutherford
166 Harriet St.
South Portland Maine

Dear Sir: (Contractor-Richard T Scribner)
18 Albee St. City

With relation to permit applied for to demolish a building or
portion of building at 74 Danforth Place it is unlawful
to commence demolition work until a permit has been issued from this
department.

Section 6 of the Ordinance for rodent and vermin control provides:
"It shall be unlawful to demolish any building or structure unless
provision is made for rodent and vermin eradication. No permit for the
demolition of a building or structure shall be issued by the Building
Inspection Department until and unless provisions for rodent and vermin
eradication have been carried out under supervision of a pest control
operator registered with the Health Department.

The building permit for demolition cannot be issued until the
provisions of this section have been satisfied. It is the obligation
of owner or demolition contractor or both to take up with the Health
Department the matter of complying with this section, being prepared
to inform that department what registered pest control operator is to
be employed.

Very truly yours,

Gerald E. Mayberry

Gerald E. Mayberry
Director of Building & Inspection

h

Eradication of this building has been completed.

2-6-68

Paul Mathieu

Paul Mathieu, ED

RECEIVED
FEB - 6 1968
DEPT. OF BLDG. INSP.
CITY OF PORTLAND



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class, Demolition
Portland, Maine, February 5, 1968

PERMIT 15501
92

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE.

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 4 Danforth Place Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Floyd L. Therford, 166 Harriet Street, South Portland, Maine Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Richard T. Scribner, 18 Alba Street Telephone 773-7352
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building _____ No. families _____
 Last use Dwelling No. families 1
 Material _____ No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 5.00

General Description of New Work

To demolish existing 1 1/2 story frame dwelling.

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Dept. of Public Works of the City of Portland? Yes.

What will land be used for? Land to remain vacant.

SENT TO HEALTH DEPT. 2/5/68
REC'D FROM HEALTH DEPT. 2/6/68

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO Contractor**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:
[Signature]

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in character of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes.

CS 301

INSPECTION COPY

By: Richard T. Scribner

Signature of owner

[Signature]

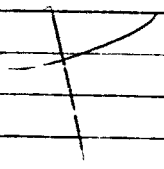
KC.

Permit No. 68192
Location 4000 1st Ave
Owner Wesley Wickham
Date of permit 12/7/68
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____
Sinking Out Notice _____
Form Check Notice _____

NOTES

3-27-68 Removed

RL



87-5-9

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Mr. Albert J. Sears, Building Inspector DATE: April 21, 1965
FROM: Mr. Neal E. McDowell, Chief Sanitarian
SUBJECT: 66-Clark Street

4 Portland Place
Sanitarians of this department have made several inspections of the property at *4 Portland Place* 66-Clark Street and found that there are old abandoned automobiles in the yard.

We are requesting your assistance in eliminating this nuisance.

4/22/65-CAA

Please inspect and report

Neal E. McDowell
29 Franklin St.
Portland, Maine

RECEIVED
APR 22 1965
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Plt 65/17 - 4 Danforth Place

May 5, 1965

Floyd R. & Beverly A. Rutherford,
29 Lowell Street
South Portland, Maine

cc: Ronald Striker
4 Danforth Place

Dear Mr. & Mrs. Rutherford:

An inspector from this department reports that there is a junk car on property at the above named location, of which you are reported to be the owners. Such a use of premises is unlawful under the Zoning Ordinance in the R-6 Residence Zone in which the property is located.

It is therefore necessary that you proceed at once to correct this violation by having it removed from the premises. We hope that we may have your cooperation toward this end so that further action by this department may not become necessary.

Very truly yours,

Albert J. Sears
Director of Building Inspection

AJS/h

PERMIT TO INSTALL PLUMBING

13025

PERMIT NUMBER

Date Issued: 7-16-63
 PORTLAND PLUMBING INSPECTOR

By: J. F. Welch

Address: 4 Danforth Place
 Installation For: Floyd Rutherford
 Owner of Bldg: Floyd Rutherford
 Owner's Address: 29 Lowell Street

Plumber: Ralph W. Blake Date: 7-16-63

APPROVED FIRST INSPECTION

Date: July 17, 1963
 JOSEPH E. WELCH

APPROVED FINAL INSPECTION

Date: July 22, 1963
 JOSEPH E. WELCH

- TYPE OF BUILDING
- COMMERCIAL
 - RESIDENTIAL
 - SINGLE
 - MULTI FAMILY
 - NEW CONSTRUCTION
 - REMODELING

NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	SEE
1		SINKS	1	\$ 2.00
1		LAVATORIES	1	2.00
1		TOILETS	1	2.00
1		BATH TUBS	1	2.00
		SHOWERS		
		DRAINS		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (Conn. to house drain)		

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

TOTAL ▶ \$ 8.00

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

March 22, 1963

Floyd Rutherford
27 Lowell St.
South Portland Maine

Dear Sir:

(all on right hand side of building)

With relation to permit applied for to demolish a ~~building~~
portion of building at # 4 Danforth Place it is unlawful to
commence demolition work until a permit has been issued from this
department.

Section 6 of the ordinance for rodent and vermin control pro-
vides: "It shall be unlawful to demolish any building or structure
unless provision is made for rodent and vermin eradication. No permit
for the demolition of a building or structure shall be issued by the
Building Inspector until and unless provisions for rodent and vermin
eradication have been carried out under supervision of a pest control
operator registered with the Health Department.

The building permit for demolition cannot be issued until the
provisions of this section have been satisfied. It is the obligation
of owner or demolition contractor or both to take up with the Health
Department the matter of complying with this section, being prepared to
inform that department what registered pest control operator is to be
employed.

Very truly yours,

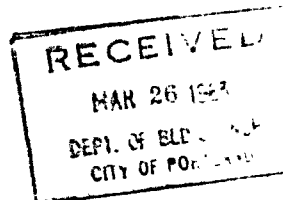
Albert J. Sears

Albert J. Sears
Inspector of Buildings

AJS/H

Eradication of this building has been completed.

[Signature]
3-25-63





RESIDENCE ZONE BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, March 22, 1963

PERMIT ISSUED
00241
MAR 22 1963
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Danforth Place Within Fire Limits? Dist. No.
Owner's name and address Floyd Rutherford, 29 Lowell St. So. Portland Telephone
Lessee's name and address Telephone
Contractor's name and address George Rutherford, 176 Leering Ave. Telephone L-5244
Architect Specifications Plans No. of sheets
Proposed use of building Dwelling No. families 2
Last use No. families 1
Material Frame No. stories 2 Heat Style of r Roofing
Other buildings on same lot
Estimated cost \$ 60.00 Fee \$ 2.00

General Description of New Work

To demolish existing side ell of building approx. 10' x 18'.
To clapboard up where ell was removed.

Examiner's letter dated 3-22-63

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof.
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated.
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

OK-3/26/63-ags

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Floyd Rutherford
George Rutherford

CS 301

INSPECTION COPY

Signature of owner

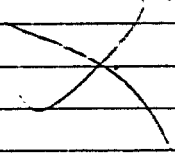
by:

Geo. Rutherford

FM

NOTES

1-9-63 Down partly
 close Horsa jacket
 5-1-63 Down to 2nd floor
 5-20-63 Same *SD*
 9-16-63 Vouts *SD*



1213
 10-16

Permit No. 63/244
 Location 44 Randolph Place
 Owner Henry J. [unclear]
 Date of permit 12/27/63
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Perm. Check Notice



13/

APPLICATION FOR PERMIT

PERMIT NO. 1010
MAR 27 1963
CITY OF PORTLAND

Class of Building or Type of Structure Third Class

PORTLAND, MAINE, March 27, 1963

To the INSPECTOR OF BUILDINGS, Portland, Me.

The undersigned hereby applies for a permit to repair or renew roof covering of the following described building in accordance with the laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 4 Sanforth Place

Owner's name and address Floyd Rutherford, 29 Lowell St., Portland Telephone _____

Contractor's name and address George Rutherford, 170 Beoria Ave. Telephone _____

Use of building—Present Dwelling Proposed Dwelling

No. of Stories 2 Style of roof _____ Type of present roof covering Asphalt

Type and Grade of roofing to be used Asphalt Class C Mod. Lab. No. pieces _____

GENERAL DESCRIPTION OF NEW WORK

To shingle entire roof.

Fee \$.50

INSPECTION COPY

Signature of Owner by: Geo H Rutherford

CITY OF PORTLAND
HEALTH DEPARTMENT
HOUSING DIVISION



John Krascinski
7 School Street
Portland, Maine

February 25, 1953

Loc. 4 Danforth Place
Loc w/i S S
Bldg X Fire X Elec X Other
Issued February 25, 1953
Expires March 28, 1953

Dear Sir:

On January 21, 1953

at 4 Danforth Place an examination was made of the premises located

Non-compliance with the ordinances relating to housing conditions was found as detailed below.
In accordance with the provisions of the above ordinance, you are hereby ordered to correct these defects according to specifications within the time limits allowed. Failure to comply with this notice will necessitate legal action.

Some repairs or improvements required will necessitate permits which are to be obtained from the Building Inspector, Health, Fire or other City Departments. These must be obtained before the work is started. If any additional information is desired, visit or telephone the Housing Supervisor at this Office, telephone 4-1431, extension 226. kindly notify this office as soon as all corrections have been completed.

Very truly yours,
Edward W. Colby, M.D.
Health Director

By _____
Housing Supervisor

VIOLATIONS & SPECIFICATIONS

Responsibility of Owner or Agent ** Responsibility of Occupant

Plumbing

Check and have repaired all defective plumbing and plumbing fixtures throughout the structure.

- a) Provide bathing facilities for the first and second floor apartments by installing a private bath or shower conveniently located within each dwelling unit or arrange for the occupants to share a bath or shower conveniently located within the structure and accessible to the occupants without passing through another dwelling unit.
- b) Repair or replace the leaking flush in the second floor toilet.

Heating

- a) Clean the chimney by removing and properly disposing of all the soot.
- b) Repair or replace the loose or missing bricks on the rear chimney.

Structural Repairs

Repair and put in good order all dilapidated and hazardous parts of the structure as follows:

- a) Tighten the loose window pane and replace the missing window cord in the kitchen of the second floor apartment.
- b) Install a door in the toilet room in the second floor apartment.
- c) Repair or replace the loose or missing clapboards on the front of the structure.
- d) Determine the reason and remedy the condition which is causing the roof to leak.
- e) Repair or replace the loose, dilapidated or missing parts of the gutter.

** Nuisances and Sanitary Conditions

Provide yourself with suitable, sufficient, water-tight, tightly covered metal garbage and rubbish containers to receive the accumulations of garbage and rubbish and other waste materials during the intervals between collections.

The above mentioned conditions are in violation of the City Ordinances (COPR)

To: Housing Division, Health Department
From _____

Date _____

This is to inform you that deficiencies of which this Department has been notified, have been corrected to our satisfaction.

Remarks: _____

Loc. 4 Danforth Place
Loc w/i S S
Bldg X Fire X Elec X Other
Issued February 25, 1953
Expires March 28, 1953

Signature _____

(Please return to Housing Division of Health Department when corrections have been COMPLETED)

"Garbage and Rubbish Containers" -
"Minimum Standards for Continued Occupancy" and "Authority to Vacate Buildings"
and must be corrected on or before March 28, 1953.

We suggest that you have the building painted so as to protect the
clayboards from rapid deterioration and also to protect your investment
in the building.

This is not an order because painting is not required under the
Housing Ordinances, but is a friendly gesture.

