

57-H-5

2004-020

1-3 Orange St.

Condos

Jeanine Sanders

on Spreadsheet

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy

* 101 SALEM STREET?

2004-0120
 Application I. D. Number
 6/10/2004
 Application Date

Jeannine Sanders
 Applicant
 75 Cottage Road, Millinocket, ME 04462
 Applicant's Mailing Address

Condominiums
 Project Name/Description

Consultant/Agent
 Applicant Ph: (207) 723-4412 Agent Fax:
 Applicant or Agent Daytime Telephone, Fax

1-5?
 1 - 3 Orange Street, Portland, Maine
 Address of Proposed Site
 057 H005001
 Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) **Condominiums**

4,608 s.f. Proposed Building square Feet or # of Units Acreage of Site **R6**
 Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$400.00 Subdivision _____ Engineer Review _____ Date 6/16/2004

Planning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 OK to Issue Building Permit _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life ® www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

April 18, 2006

Mr. Steve Sanders
57 Clark Street, Apt. #1
Portland, ME 04012

RE: 1-3 Orange Street, Proposed Condominium Duplex
ID #2004-0120, CBL #057 H005001

Dear Mr. Sanders:

On April 18, 2006 the Planning Authority approved the amended site plan with the following condition:

1. That only fully cut-off lighting fixtures be used on the outside of the building.

If you have any questions regarding the revision please contact Sarah Hopkins at 874-8720.

Sincerely,

Alexander Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Sarah Hopkins, Development Review Services Manager
Kandice Talbot, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Bill Clark, Public Works
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Fire Prevention
Assessor's Office
Approval Letter File

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: <u>1-3 Orange St, Portland, ME</u>		Zone: <u>R6 Small Lot</u>
Total Square Footage of Proposed Structure: <u>3,600</u>	Square Footage of Lot: <u>2,790</u>	
Tax Assessor's Chart, Block & Lot: Chart# Block# Lot# <u>057</u> <u>H</u> <u>005</u>	Property owner's mailing address: <u>3 Orange St. LLC</u>	Telephone #: <u>450-0004</u>
Consultant/Agent, mailing address, phone # & contact person: <u>Stephen Sanders</u> <u>492 Cottage Rd</u> <u>South Portland, ME 04106</u>	Applicant's name, mailing address, telephone #/Fax#/Pager#:	Project name: <u>1-3 Orange St.</u>
Fee For Service Deposit (all applications) \$ (\$200.00)		
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
Major Development (more than 10,000 sq. ft.) <input type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
- Please see next page -		

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

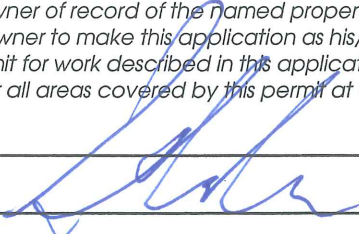
Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: portlandmaine.gov

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 3/20/06
--	----------------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

To all Development Applicants and Consultants:

On July 15, 2005, the Planning Division will implement a **fee-for-service** for City planners and City attorneys involved in development review and zoning amendments. This change was instituted by the City Council as part of the budget process for the upcoming year to ensure that the full cost of development review services is borne by the applicant proposing the development.

We will institute this change for all new and pending projects as of July 15, 2005, for review time expended after that date. For all developments there will be no additional charge for the first four hours of review processing time. We will collect a deposit of \$200.00 at the time of development review and zoning amendment application. Should the planner or attorney combined spend over four hours on the review of a project, the deposit will be drawn down to cover that cost. When the \$200.00 deposit has been expended, the applicant will receive a monthly invoice for reimbursement of review services rendered.

These charges will be billed at an hourly rate based on actual review costs to the City. At present the billing rate for planning services is \$30.00 per hour, and the rate for legal services is \$40.00. These rates and the deposit amount are subject to change on an annual or as-needed basis to reflect then-current cost structures.

As we strive to provide efficient and timely review services, it is necessary to provide a funding mechanism that does not unduly burden the property taxpayer. Nationally, more municipal services are being converted to a user fee basis. We commit to doing our best to provide efficiency in the process in order to keep the costs reasonable, and we will work with you to make the most efficient use of the billable time. (As we implement this fee system, we will be available to describe any invoiced charges.)

As always, we will strive continually to improve the quality of our customer services to the development community.

If you have any questions, please do not hesitate to call us at 874-8720.

Sincerely,

Sarah Hopkins
Development Review Services Manager

Alexander Jaegerman
Planning Division Director



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Development Department

Lee D. Urban, Director

Planning Division

Alexander Jaegerman, Director

To all Development Applicants and Consultants:

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The **Application Fee** covers general administrative processing costs, and is paid at the time of application.

A **Fee for Service Deposit** of \$200.00 is paid at the time of application for all development and zoning proposals. Should the planner or attorney combined spend over four hours on the review of a project, the deposit will be drawn down to cover that cost. When the \$200.00 deposit has been expended, the applicant will receive a monthly invoice for reimbursement of review services rendered. (see attached letter for more detail)

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an **Engineering Review Fee**. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as stormwater management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A **Performance Guarantee** will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit. For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

Alexander Jaegerman, AICP
Planning Division Director



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Public Works Department
Michael J. Bobinsky, Director

Dear Applicant,

The assignment of official street addresses is the sole responsibility of the Department of Public Works. These assignments proceed by a set of guidelines and are done from submitted site plans whenever possible. For Enhanced 9-1-1 purposes, they need to be as accurate as possible and depending on size and site layout, the creation of new street names may be required. Despite addresses listed on such things as the check sheet for site plan approval, building inspection documents or tax maps, it is requested you contact the Department of Public Works for your official address(es). The primary contact is Jessica Hanscom at 874-8849 and the secondary contact is Eric Labelle at 756-8850 in the event I am unavailable.

Sincerely,

Jessica Hanscom
Associate Engineer/Archivist
Portland Dept. of Public Works-Engineering
55 Portland Street, Portland, ME 04101
(207) 874-8849

**CITY OF PORTLAND, MAINE
SITE PLAN CHECKLIST**

Project Name, Address of Project

Application Number

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
_____	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
_____	(2)	Name and address of applicant and name of proposed development	a
_____	(3)	Scale and north points	b
_____	(4)	Boundaries of the site	c
_____	(5)	Total land area of site	d
_____	(6)	Topography - existing and proposed (2 feet intervals or less)	e
_____	(7)	Plans based on the boundary survey including:	2
_____	(8)	Existing soil conditions	a
_____	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
_____	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
_____	(11)	Approx location of buildings or other structures on parcels abutting the site	d
_____	(12)	Location of on-site waste receptacles	e
_____	(13)	Public utilities	e
_____	(14)	Water and sewer mains	e
_____	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
_____	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
_____	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
_____	(18)	Parking areas	g
_____	(19)	Loading facilities	g
_____	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
_____	(21)	Curb and sidewalks	g
_____	(22)	Landscape plan showing:	h
_____	(23)	Location of existing proposed vegetation	h
_____	(24)	Type of vegetation	h
_____	(25)	Quantity of plantings	h
_____	(26)	Size of proposed landscaping	h
_____	(27)	Existing areas to be preserved	h
_____	(28)	Preservation measures to be employed	h
_____	(29)	Details of planting and preservation specifications	h
_____	(30)	Location and dimensions of all fencing and screening	i
_____	(31)	Location and intensity of outdoor lighting system	j
_____	(32)	Location of fire hydrants, existing and proposed	k
_____	(33)	Written statement	c
_____	(34)	Description of proposed uses to be located on site	l
_____	(35)	Quantity and type of residential, if any	l
_____	(36)	Total land area of the site	b2
_____	(37)	Total floor area and ground coverage of each proposed building and structure	b2
_____	(38)	General summary of existing and proposed easements or other burdens	c3
_____	(39)	Method of handling solid waste disposal	4
_____	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
_____	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
_____	(42)	An estimate of the time period required for completion of the development	7
_____	(43)	A list of all state and federal regulatory approvals to which the development may be subject to	8
_____	(44)	The status of any pending applications	8
_____	(45)	Anticipated timeframe for obtaining such permits	h8

(46) A letter of non jurisdiction

h8

(47) Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities;
- erosion and sedimentation controls to be used during construction;
- a parking and/or traffic study;
- and
- a noise study;
- an environmental impact study;
- a sun shadow study;
- a study of particulates and any other noxious emissions;
- a wind impact analysis.

Other comments:

Development Review Fee Schedule (effective July 15, 2005)

• Fee for Service Deposit (all applications)	\$200.00
Planning Services	\$30.00/hour
Legal Services	\$40.00/hour
• Major Site Plan Review (more than 10,000 sq. ft.)	
Under 50,000 sq. ft.	\$500.00
50,000 - 100,000 sq. ft.	\$1,000.00
Parking Lots over 100 spaces	\$1,000.00
100,000 - 200,000 sq. ft.	\$2,000.00
200,000 - 300,000 sq. ft.	\$3,000.00
Over 300,000 sq. ft.	\$5,000.00
• After-the-fact Major Site Plan Review	\$1,000.00 + applicable application fee
• Minor Site Plan Review (less than 10,000 sq. ft.)	\$400.00 (or up to 20,000 in an Industrial zone)
• After-the-fact Minor Site Plan Review	\$1,000.00 + applicable application fee
• Minor-Minor Site Plan Review (Single Families)	\$300.00
• Amendment to Plans	
Planning Board Review	\$500.00
Planning Staff Review	\$250.00
• Subdivision Fee	\$500.00 + \$25.00 per lot
• Section 14-403 Review	\$400.00 + \$25.00 per lot
• Site Location of Development	\$3,000.00
(except for residential projects which shall be \$200.00 per lot)	
• Traffic Movement Permit	\$1,000.00
• Stormwater Quality Permit	\$250.00
• Street Vacation	\$2,000.00

Engineering Fees

- Engineer Review Fee - This fee is assessed by the Engineer
- Inspection Fee - This fee is 2% of the Performance Guarantee or as assessed by Planning or Public Works Engineer with \$300.00 being the minimum.

Zone Change

• Zoning Map Amendments	\$2,000.00
• Text Amendments	\$2,000.00
• Contract/Conditional Rezoning	
Under 5,000 sq. ft.	\$1,000.00
5,000 sq. ft. and over	\$3,000.00
• Conditional Use	\$100.00

Historic Preservation

• Administrative Review	\$50.00
• Minor Projects - Committee Review	\$100.00
• Major Projects - Committee Review	\$500.00
• After-the-fact Review	\$750.00
• HP Special Exception Sign Review	\$35.00

Noticing/Advertisements for Historic Preservation and Planning Board Review

- Legal Advertisement
 Percent of total bill
 (Legal Ads are placed in the newspaper for workshop and public hearing meetings)
- Notices
 .55 cents each
 (Notices are sent to abutters when the application is received in the Planning Division, workshop meeting and public hearing meeting)

A Guide to Holding Neighborhood Meetings

In order to improve communication between development applicants and neighbors, the City of Portland requires such applicants to hold a neighborhood meeting.

What type of development proposal requires a neighborhood meeting?

Neighborhood meetings, organized and hosted by the applicant, are required for the following development proposals:

- proposed zone changes, contract zones and zoning text amendments;
- subdivisions of five or more units or lots; and
- major site plan proposals.

Who must be invited to a neighborhood meeting?

Property owners within 500 feet of the proposed development (1000 feet for proposed industrial development), as well as those people on a list of interested citizens and neighborhood groups, must be invited to a neighborhood meeting.

Upon request, the Planning Division will provide to the applicant mailing labels for the neighborhood meeting invitation. We require at least 48 hours prior notice to generate the mailing labels. A charge of \$1.00 per sheet of labels will be payable upon receipt of the labels.

When and where must the neighborhood meeting be held?

The neighborhood meeting must be held after the first Planning Board workshop but not less than seven days prior to the Planning Board public hearing.

The meeting should be held in the evening, during the week, at a location in the neighborhood. Neighborhood schools are usually available for evening meetings.

When must invitations be sent out?

In order to provide sufficient notice to residents, invitations must be sent out no less than seven days prior to the neighborhood meeting.

What information should the invitation include?

A recommended invitation format is included in this packet of material.

Neighborhood Meeting Handouts

Included with this packet of material is a handout sheet from the Planning Division that must be handed out to meeting attendees. This handout explains the requirement for the meeting and additional information on the review process.

Sign-up Sheets and Meeting Minutes

At the meeting, the applicant must circulate a sign-up sheet for those in attendance. The applicant must also keep accurate minutes of the meeting.

After holding the neighborhood meeting, the applicant must submit the sign-up sheet and meeting minutes to the Planning Division. The meeting minutes and sign-up sheet will be attached to the Planning Board report. A public hearing will not be scheduled until the meeting minutes and sign-up sheet are submitted to the Planning Division.

Certification

Included with this packet is a Certification to be completed and signed by the applicant. The applicant is required to certify when the invitations were sent out.

Please call the Planning Division (874-8720) if you have any questions.

Attachments

1. Neighborhood Meeting Invitation Format
2. Handout to Attendees from the Planning Division
3. Neighborhood Meeting Certification

**** Applicant/Consultant: Please include all of the information listed below in the notice sent to neighbors)**

Neighborhood Meeting Invitation Format

Applicant/Consultant
Letterhead

(Date)

Dear Neighbor:

Please join us for a neighborhood meeting to discuss our plans for a (development proposal) located at (location/street address).

Meeting Location: _____

Meeting Date: _____

Meeting Time: _____

The City code requires that property owners within 500 feet of the proposed development and residents on an "interested parties list" be invited to participate in a neighborhood meeting. A sign-in sheet will be circulated and minutes of the meeting will be taken. Both the sign-in sheet and minutes will be submitted to the Planning Board.

If you have any questions, please call (telephone number of applicant or consultant).

Sincerely,

(Applicant)

Note:
Under Section 14-32(C) of the City Code of Ordinances, an applicant for a major development, subdivision of over five lots/units, or zone change is required to hold a neighborhood meeting at least seven days prior to the Planning Board public hearing on the proposal.



City of Portland, Maine Department of Planning and Development

Dear Neighbor:

Thank you for attending this evening's neighborhood meeting.

Applicants for major developments, zone changes, and subdivisions of more than five units/lots are required to hold a neighborhood meeting prior to the Planning Board's public hearing on the development proposal.

The purpose of these meetings is to improve communication between neighbors and applicants for development. We have found that neighbors raise questions and offer insight that often improve the design or compatibility of a proposed development.

The City code requires that property owners within 500 feet of the proposed development and residents on an "interested parties list" be invited to participate in a neighborhood meeting. A sign-in sheet will be circulated and minutes of the meeting will be taken. Both the sign-in sheet and minutes will be submitted to the Planning Board.

Should you wish to offer additional comments on this proposed development, you may send correspondence to:

Planning Division
Department of Planning and Development
Portland City Hall
389 Congress Street
Portland, ME 04101;

Or email:
sh@portlandmaine.gov;

Or call 874-8720.

Thank you for taking the time to attend tonight's meeting.

Sincerely,

Sarah Hopkins
Development Review Services Manager

Neighborhood Meeting Certification

I, (applicant/consultant) hereby certify that a neighborhood meeting was held on (date) at (location) at (time).

I also certify that on (date at least seven days prior to the neighborhood meeting), invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development and the residents on the "interested parties" list

Signed,

date

Attached to this certification are

1. Copy of the invitation sent
2. Sign-in sheet
3. Meeting minutes

Notice to Developers of New Subdivisions

Effective January 1, 1998, the City of Portland requests that developers of new subdivisions submit information regarding the origin of the name of any new street(s) created within the City limits. This information shall be submitted to the Planning Division with all other related application materials.

In 1997, Portland residents, Norman and Althea Green, presented the City of Portland with a compilation of research which documents the origins of all street names existing in the City as of 1995. The person, event, location, or subject for which each street was named is now recorded for posterity, constituting an important public record for all those interested in the development of Portland. This compilation is on file at the Portland Public Library, the Maine Historical Society, and the library of the Portland Newspapers, as well as in the City Clerk's Office at Portland City Hall.

It is the intent of the City of Portland to continue this documentation for all streets created in the City. As part of the subdivision review process, applicants are required to submit information regarding the person or subject for which all new streets are being named. In the case of a person, the full name should be submitted, as well as their vocation, relationship to the developer or the area, or other pertinent information. Once the street is formally accepted by the City Council, the information will be placed on file at the City Clerk's office and copies will be sent to the other three Portland repositories.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

April 27, 2005

Mr. Steve Sanders
57 Clark Street, Apt. #1
Portland, ME 04012

RE: 1-3 Orange Street, Proposed Condominium Duplex
ID #2004-0120, CBL #057 H005001

Dear Mr. Sanders:

On April 27, 2005 the Portland Planning Authority conditionally approved the above referenced application for minor site plan review based on final plans comprised of (1) site and engineering plans prepared by Sevee & Maher Engineers, dated 2/15/05 and last revised March 30, 2005, (2) building elevations and floor plans prepared by FroMus Consultants, revision date 5/10/05, and (3) a topographic survey prepared by Back Bay Boundary, Inc., dated March 29, 2005.

The approval includes a two unit residential duplex at the 1-3 Orange Street and associated on and off-site improvements in conformance with the City's R6 and Site Plan ordinances. The approval is contingent on successful satisfaction of conditions contained in this letter.

Conditions of Approval:

1. During the construction phase, City streets shall be clean swept daily and the contractor shall avoid tracking earth onto City streets.
2. The applicant shall work with Planning Division staff and the City Arborist on the final street tree species selection and sidewalk/planter details.
3. As per the official determination of the Department of Public Works, Unit #1 shall be addressed *1 Orange Street* and Unit #2 shall be addressed *3 Orange Street*.
4. The applicant will shall not disturb existing trees on the abutting Foley property to the

East.

The approval is based on the submitted site plan referenced above. Once all of the above listed conditions have been met, the applicant must submit a revised site plan for staff review and approval.

Standard Provisions and Requirements:

Please note the following provisions and requirements for all site plan approvals:

1. The applicant shall submit seven (7) complete, full size sets of the final approved plans referenced above.
2. Where submission drawings are available in electronic form, the applicant shall also submit any available electronic Autocad files (*.dwg), release 14 or greater.
3. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date

required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact Ethan Boxer-Macomber, Planner at 756-8083 or ebm@portlandmaine.gov.

Sincerely,



Alexander Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Fire Prevention
Assessor's Office
Approval Letter File

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

July 6, 2004

Mr. Steve Sanders
57 Clark Street, Apt. #1
Portland, ME 04012

RE: 1-3 Orange Street, Proposed Condominium Duplex
ID #2004-0120, CBL #057 H005001

Dear Steve:

It was a pleasure meeting you yesterday and discussing your proposed project on Orange Street. As per our conversation, this letter is to summarize the Planning Division's findings to date and to list additional information / submittals that will be required to complete the review of your application.

Site Plan Review

As an R-6, small lot infill project, the application is subject to minor site plan review by the Planning Authority. Staff has conducted a preliminary review of the site plan application and finds it to be incomplete. In order to make your application complete and advance it through the review process, please provide the following required information and plan revisions:

1. Review the dimensional requirements of the R-6, small residential lot development and provide all necessary information on the plan for the zoning administrator to determine compliance. Proposed distances from building edges to property lines should be indicated as should peak roof heights and setbacks of structures on the abutting Foley and Lawrence properties.
2. The survey identifies a discrepancy as to the actual property line where the site fronts Orange Street. Please either (1) resolve this discrepancy or (2) demonstrate that the project complies with all City standards based on the more stringent `30 Orange Street width as you indicate to have been laid out in June of 1854.
3. Present a separate utility plan showing design and location of all proposed utility connections. The utility plan should also show a fire hydrant within a 500-foot path of travel to any part of the principle structures.

4. Present letters of capacity from utility providers such as Public Works and the Portland Water District.
5. Provide a detailed landscape plan indicating all existing and proposed vegetation including species type and planting details. The plan should also call out all proposed turf areas as well as impervious surfaces such as walks and driveways.
6. Provide an exterior lighting plan in conformance with the City of Portland's technical and design standards for exterior lighting (enclosed).
7. Provide detailed information on the current dimensions, materials, and condition of the existing curb and sidewalk along the site's frontage. Provide also any proposed modifications or improvements.
8. Provide a separate grading and drainage plan with narrative.
9. Provide an erosion control plan consistent with Best Management Practices for the construction phase of the project.
10. Present, on the site plan, any proposed fencing, screening, or retaining walls.
11. Provide a brief waste management / recycling plan, in narrative form, for the construction phase of the project.
12. Provide an estimated construction schedule and timeline.

Design Review

As an R-6, small lot infill project, the proposed project is subject to the R-6 Infill Development Design Principles and Standards (enclosed). Staff has reviewed the proposed site plan and elevations for compliance with these standards and found that several standards are not met by the project as currently proposed.

The following is a list of standards which staff has determined are not met by the currently proposed plans. Under each standard is a brief description of why the standard is not met and/or how what corrections may be made to bring the project in compliance with the standard. Please refer to the enclosed copy of the standards as you read these. Staff's suggestions are intended to be illustrative, not prescriptive. Note that standards not referenced below were found to be met by the project as proposed with no changes required.

Standard A-3

Front porches on Orange Street must be widened slightly in order to be 20% of the overall width of the front façade. Please show dimensions of both porch and overall building widths.

Standard B-1

Windows and doors, as proposed, do not share common horizontal datum lines. Repositioning and or resizing of windows and doors will be necessary to meet this standard.

Standard B-2 & 3

The projects north façade is in full compliance with these standards. The remaining three facades, all of which are readily visible from the public right of way, are not. These facades must be revised so as to achieve the orderly vertical alignment and discernable vertical axis lines of the north façade.

Standard C-1

No window trim detail is shown.

Standard C-2

Multiple window types employed throughout the buildings. You may either (1) revise or (2) present a justification narrative.

Standard C-3

Siding materials not indicated. You have stated that these will be Hardy-Plank (primary walls) and interlocking vinyl panels, which replicate wood shakes (gambrel ends). Please indicate on plans.

Standard C-4

The placement of doors and windows (addressed above) greatly contributes to lack of compliance with standard C-4. Please explore ways to make floor boundaries legible from the exterior.

Standard C-5

Consider widening the lower balcony on the Salem Street elevation slightly so as to move supports far enough to sides to accommodate more orderly window placement below.

Standard D-4

The porch pediments should match the width of the porch below. The whole entry, including door, porch, and pediment, should be designed integrally with local symmetry of elements. As per our conversation, this may require an additional window element. Vertical features such as columns and/or trim may help to integrate the various entry elements together in to a whole.

Standard D-5

Entries are pushed to building's edge creating proportional imbalance.

Standard D-6

D-6 standards appear to be met, however, for confirmation, please provide (1) dimensions of eaves and rakes and (2) window trim detail.

Standard E (1-3)

Please provide context photos of the surrounding neighborhood and a narrative describing how the proposed project meets the spirit of Principle E and Standards E1, 2, and 3.

Principle F

The project, as proposed, features a blank wall at Salem Street, the façade with the greatest influence on the streetscape. In order to meet the spirit and intent of Principle F, please provide appropriate fenestration consistent with the design standards.

Standard F-3

Not currently met, but would be resolved with changed to the design on proportioning of the principle entries as described above under Standard D-4.

Standard G-4

Non-complaint but may be addressed as indicated under Standard C-2 above.

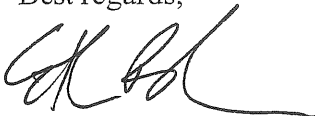
Alternative Design Review Option

Every effort should be made to bring the project into full compliance with all of the above standards. However, if due to the physical or legal constraints of the site this is not possible, but a design that meets the spirit and intent of Principles A-G can be achieved, the Planning Authority may approve such a design under an Alternative Design Review. To pass an Alternative Design Review the project would need to meet the following conditions:

- A. The majority of Standards within each principle are met.
- B. The proposed design is consistent with all of the Principle Statements.
- C. Standard D-6 shall not be modified.
- D. The design plan is prepared and signed by an architect registered in the State of Maine.

Steve, I look forward to seeing your revisions and working with you through the remainder of the review process. If you have any questions, please do not hesitate to contact me by phone at 756-8083 or by email at ebm@portlandmaine.gov.

Best regards,



Ethan Boxer-Macomber
Planner

CC: Sarah Hopkins, Development Review Services Manager

R-6 INFILL DEVELOPMENT DESIGN PRINCIPLES AND STANDARDS
REVIEW SHEET

REVIEW BY:

BILL, RICK, KANDI, ETHERAN

DATE: 7/7/04
PROJECT: I-3 ORANGE ST ADDRESS: _____

PRINCIPLE	STANDARD	ACCEPTABLE	NOT ACCEPTABLE	NOT APPLICABLE	COMMENTS & CONDITIONS
	A-1	A-2	A-3		
Proportion & Scale	A-1	✓			
	A-2	✓			HAVE 12% YES
	A-3		?		PORCHES < 20% A3-1 PLEASE SHOW DIMENSIONS
Balance	B-1				ORANGE ST. ACCENT WINDOWS NOT on Common DATUM.
	B-2		X		ESPECIALLY SALEM & ORANGE
	B-3		X		SEE ABOVE
Articulation	C-1		X		PLEASE ADD/SHOW TRIM ON WINDOWS
	C-2		X		TOO MANY TYPES - SHOW DISTINCTION OR REVISE.
	C-3		X		INDICATE SIDING MATERIAL
	C-4		X		MUST ADDRESS - NONE SHOWN - RESULT IS DRAMATIC
	C-5		X		GOOD FRONTAL - SIDE VIEW SUPPORTS?
Massing	D-1	✓			
	D-2			✓	GAMBREL
	D-3	X			NEED TO DO A SITE VISIT / MIT DAUFURTH
	D-4		X		PORCH PEDIMENT TOO NARROW - SHOULD WIDE LIKE PORCH
	D-5		X		MUOVE DOORS TO VERT AXIS LINE TRIM UP VERTICALLY
	D-6	?	X		FIX WINDOW TRIM + FOLLOW w/ ABOVE WINDOWS
	D-7	✓			SHOW DIMENSIONS
Context	E-1	?			NEIGHBORHOOD VISIT NEEDED
	E-2	?			"
	E-3	?			"
Orientation to the Street	F-1	X			BACK DOOR ON SALEM (NUGENT)
	F-2	✓			
	F-3	✓			BUT SHOULD BE DESIGNED BETTER AS ABOVE.
Materials	G-1	✓			SITE VISIT
	G-2	✓			
	G-3			NA	
	G-4		X		AS ABOVE
	G-5			NA	

→ WHY THE MANSARD FORM?
→ 3-DECKER w/ GAMBREL

1-2:
EAVE:
SHOW DIMENSIONS
WINDOW TRIM?

4-9:
4 ✓
5 ✓
6 ✓
7 ✓
8 ✓
9 ✓

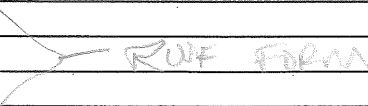
ALTERNATIVE DESIGN REVIEW OPTION

- A.
- B.
- C.
- D.

**R-6 INFILL DEVELOPMENT DESIGN PRINCIPLES AND STANDARDS
REVIEW SHEET**

DATE: 8/12/2004

PROJECT: _____ ADDRESS: _____

PRINCIPLE	STANDARD	ACCEPTABLE	NOT ACCEPTABLE	NOT APPLICABLE	COMMENTS & CONDITIONS
Proportion & Scale	A-1	✓			
	A-2	✓			
	A-3	✓			
Balance	B-1	✓			
	B-2	✓			
	B-3	✓			
Articulation	C-1	✓			DIMENSIONS OF TRIM *
	C-2	✓			AWNING WINDOWS IDEA *
	C-3	✓			
	C-4			X	SKIRT WINDOW TAILER
	C-5	X			
Massing	D-1	✓			N/A - MEETS INTENTS.
	D-2	✓			
	D-3			X	2-BLOCK TEST MAY KILL GAMBREL - GO TO
	D-4			X	SKIRT BASES - CONSIDER OTHER ROOF FORM
	D-5	X			
	D-6	X			
	D-7	X			
Context	E-1				 ROOF FORM
	E-2				
	E-3				
Orientation to the Street	F-1				
	F-2				
	F-3				
Materials	G-1				
	G-2				
	G-3				
	G-4				
	G-5				

GABLE w/ SHED.

ALTERNATIVE DESIGN REVIEW OPTION

- A.
- B.
- C.
- D.

From: "Tom Errico" <terrico@wilbursmith.com>
To: "Ethan Boxer-Macomber" <EBM@portlandmaine.gov>
Date: 1/20/05 10:42:49 AM
Subject: 101 Salem Street

Ethan-

It appears that the applicant has addressed most of my comments contained in my November 18, 2004 email. I would like to note the following:

* I continue to be concerned about grade issues at the proposed driveway on Orange Street. Conditions would seem to indicate that access to the garage may be very difficult for a passenger car. While no specific City standard exists, the general engineering practice would be not to have a 20%(+/-) grade in the area where the driveway meets the road. Again, a suggestion in my November email is to consider other options, such as providing both garages on Salem Street.

Please contact me if you have any questions or need additional information.

Thomas A. Errico, P.E.

Senior Transportation Engineer

Wilbur Smith Associates

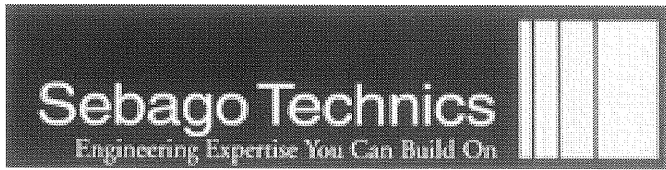
59 Middle Street

Portland, Maine 04043

(207) 871-1785 Phone

(207) 871-5825 Fax

CC: "Katherine Earley" <KAS@portlandmaine.gov>



04P120

TO: Ethan Boxer-Macomber – Planner
FROM: Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.
RE: Proposed Residential Duplex/Condo Building: 1 Orange St/Salem St.
DATE: January 31, 2005

Sebago Technics has reviewed the revised Site Plan application and supporting documentation for the proposed residential development located at Salem and Orange Street in the City of Portland. We respectfully offer the following comments in outline format:

1. Show acceptable sidewalk section with clear labeling on site plan, or pedestrian access measures on Orange Street frontage. Include engineer's detailed cross section at proposed driveway and clearly indicate cross and longitudinal slopes on sidewalk and proposed driveway. The typical detail indicates a constant width with esplanade; however, the plan section indicates a tapered width not placed parallel to curbside.
2. Please clarify the metes and bounds of the property and document the legal R.O.W. or front property line along Orange Street. Note 7 refers to a street line discrepancy, has this been rectified?
3. Driveway slope off of Orange Street has extreme slopes, which will create safety issues, especially in winter (icy) conditions. The cross slope exceeds 24% grade and the approved slope from the street line to the garage slab exceeds 22% grade. Based on past applications, the city has requested a landing area at the garage for 10 feet of not more than 5%, and an approach grade not to exceed 15% at the street line. The cross slope should not exceed 5% as well. These slopes will promote safe access without potential for passenger cars (rubbing or bottoming out) and allow for safe egress and ingress to a driveway/garage. Given the short driveway of 12' in length and the site dimensions of existing street grades, this becomes a very different access. The project's engineer needs to provide detailed sections of the driveway, indicating both pedestrian and vehicular safety is maintained for the movements in and out of the site on Orange Street. Also, the slope issues on Salem Street appear to be exceeding 18% with no leveling transition grades.

DRAINAGE:

1. We have concerns with the offsite contribution of potential runoff impacting the proposed retaining wall. The engineer should address grading/diverting drainage away from the wall and dictate how earth movements/sliding action have been addressed in the wall design since the land elevation climbs at a slope of 36% behind the wall. One end of the wall is off the apparent property into Orange Street.
2. How will drainage be directed from behind the wall and end of the walls? How will roof run-off and yard drainage be directed to Orange Street on the north end of the proposed building? Drainage shall be discouraged from flowing over the driveway.
3. We recommend installation of a yard basin at the bottom of the swale, which travels on the east side of the building. The yard basin could then connect the retaining wall and perimeter-footing basin and tie into the combined sewer in Salem Street. All pipe surges shall be indicated for storm drain and sewer connections.
4. Please submit an erosion control plan showing stabilized entrances, construction schedule and a modification plan for construction storage or lay-down areas.

GENERAL:

- Please indicate electric services proposed.
- Please delineate extent of construction/disturbed areas planned for city streets, for trenching and/or general improvements.
- Please clarify zoning notes (#6). What are the restrictions so noted?
- Please set a site benchmark for project construction.
- Please set proper boundary irons/monuments on all bounding corners along Orange Street.

Overall, it appears that the development could have a positive impact on the surrounding neighborhood, but with the exceptional topography present and limited area the site has many difficult design and engineering issues. More detailed site plan information is required under the Site plan Ordinances. We will leave it to the discretion of the staff to make recommendations for the handling of the approval, if they so choose. We feel that given the access issues and need for an engineer's input and stamp that the necessary revisions should be made prior to granting approvals. Please contact our office if you have any questions.

JRS:jrs

March 3, 2005

05025
050210ebm.doc

Ethan Boxer-Macomber
City of Portland
Planning Department
389 Congress Street
Portland, ME 04101

Subject: 1-3 Orange Street
Proposed Condominium Duplex

Dear Mr. Boxer-Macomber:

Sevee & Maher Engineers, Inc. (SME) is assisting Steve Sanders with his project on the corner of Orange and Salem Streets. He has asked us to address comments in your January 3, 2005 memorandum. Our responses are in the same order as your comments.

January 3, 2005 Letter From City

A. SITE PLAN

1. **Generally, the site plans are completely contained on a single sheet, which results in a confusing presentation. Please separate information onto multiple sheets for clarity (e.g., Site and utility plan, drainage plan, landscaping plan). Also, in this instance staff recommends that the scale be increased in order to improve legibility.**

Response. The plans have been separated into a site plan, a grading plan and a utility plan. The site plan is presented at a scale of 1"=5'.

2. **Despite your January 3, 2005 appeal to the City's Development Review Manager, as per §14-525 (b)(2), the utility, drainage, and site plans must be prepared and stamped by a licensed engineer.**

Response. The appropriate plans are stamped by a professional engineer.

3. **Several required submittals required under section 14-525 (c) have still not been entered into the public record. Please review this section carefully and be sure to submit all required submissions such as evidence of right, title, and interest, letter of water capacity, letter of sewer / stormwater capacity, etc.**

Response. Evidence of title, right and interest, along with letters on water and sewer capacity has been forwarded to you by Mr. Sanders. A stormwater capacity letter has been requested from John Giles. It will be forwarded to you when it is received.

4. **Curb (in granite), sidewalk (in brick), and esplanade, built to City standards, must be provided along the site's entire Orange and Salem Street frontages as per City Code Section 25-96 or a waiver must be requested. The site plan must be amended to demonstrate compliance with this requirement including cross sections and typicals.**

Response. The site plan has been changed. The sidewalks are brick and the curbing is granite. Driveways will also be made of brick. Given the narrow width of Orange Street and the steep grades, the applicant requests a waiver of the requirement for an esplanade. Any esplanade would be very narrow and difficult to maintain. The sidewalk on Salem Street will be 5 feet with a 2-foot esplanade.

B. TRAFFIC CIRCULATION

1. **Neither of the proposed driveways offers adequate space for parking on the apron. The developer and future occupants should be advised that parked cars may not block the City sidewalk.**

Response. The applicant is aware of the parking requirement and a note has been added to the site plan.

2. **City standards require a 20-foot separation between residential driveways. While this separation may not be possible between the proposed Salem Street driveway and the existing Foley driveway, the City's consulting traffic engineer finds the adequate separation can be achieved considering Salem Street's light traffic levels.**

Response. No response required.

3. **The City's consulting traffic engineer has expressed continued concern about grade issues at the proposed driveway on Orange Street. Conditions would seem to indicate that access to the garage may be very difficult for a passenger car. While no specific City standard exists, the general engineering practice would be not to have a 20%(+/-) grade in the area where the driveway meets the road. In the attached January 28, 2005 memo the City's consulting civil engineer echoes these concerns. Staff strongly encourages you to consider other options, such as providing both garages on Salem Street.**

Response. The applicant has investigated options for providing access to the garages. The buildings as designed offer a clean line of separation between the condominiums. Putting the garage of one unit under another would only cause potential problems between neighbors. The revised grades as shown on the plan will provide access to the Orange Street garage that is adequate.

C. ENGINEERING

The City's Development Review Engineer, Jim Seymour P.E., has reviewed the most recent plans dated 12/28/2004 and has submitted response comments in a January 28, 2005 memo which you will find attached. The site plans should be revised so as to satisfy the concerns contained in this memo. If you or members of your design team have any specific questions related to the engineering comments, you may contact Mr. Seymour directly at 856-0277.

Response. See responses to Sebago Technics memorandum below.

D. ZONING

As we have discussed in recent telephone conversations, the zoning administrator has reviewed your plans dated 12/28/04 and has submitted the following requests for additional information:

1. **There remains a question as to which line is the official property line along Orange Street. Neither line will violate the required setbacks. However, our Code Enforcement Officers need to know for their field work.**

Response. For the purpose of this Site Plan, the pins will be set on the 1854 line. The property line on Orange Street is assumed to be the 1854 line.

2. **There is also a question as to the actual size of the buildings. The site plan size is different than the reduced building elevation plan. What actually is being built? It will reflect what we are approving.**

Response. The buildings are 24' x 26'. The site plan and elevations coincide.

3. **We are unable to confirm the rear setback to zoning requirements. The ordinance states that the rear setback shall be 10' or the sum of heights divided by 5, whichever is greater. Please submit calculations as to the height of the adjoining building on Salem Street.**

Response. The ordinance page 14-153 Rear Yard Setback , appears to say that 10' is the minimum distance between buildings. It goes on to say that the distance between buildings is the sum of the heights divided by 5. Then it says that the minimum setback is 4 feet. The height of the building on the adjacent lot is approximately 24 feet.

4. **Please provide finished grades at each corner of the proposed building(s). These grades are averaged for the purpose of determining roof height. Please also provide currently proposed elevations to scale with height clearly dimensioned.**

Response. Finished grades are provided at the corners of the building.

January 31, 2005 Sebago Technics Memo

SITE PLAN

1. **Show acceptable sidewalk section with clear labeling on site plan, or pedestrian access measures on Orange Street frontage. Include engineer's detailed cross section at proposed driveway and clearly indicate cross and longitudinal slopes on sidewalk and proposed driveway. The typical detail indicates a constant width with esplanade; however, the plan section indicates a tapered width not parallel to curbside.**

Response. We are proposing that the sidewalk be on the curb with no esplanade on Orange Street. The required dimensions and details have been added.

2. **Please clarify the metes and bounds of the property and document the legal R.O.W. or front property line along Orange Street. Note 7 refers to a street line discrepancy, has this been rectified?**

Response. The metes and bounds of the property are shown on the existing conditions and topographic survey plans. For the purpose of this Site Plan, the R.O.W. line is assumed to be the 1854 line.

3. **Driveway slope off of Orange Street has extreme slopes, which will create safety issues, especially in winter (icy) conditions. The cross slope exceeds 24% grade and the approved slope from the street line to the garage slab exceeds 22% grade. Based on past applications, the city has requested a landing area at the garage for 10 feet of not more than 5%, and an approach grade not to exceed 15% at the street line. The cross slope should not exceed 5% as well. These slopes will promote safe access without potential for passenger cars (rubbing or bottoming out) and allow for safe egress and ingress to a driveway/garage. Given the short driveway of 12' in length and the site dimensions of existing street grades, this becomes a very different access. The project's engineer needs to provide detailed sections of the driveway, indicating both pedestrian and vehicular safety is maintained for the movements in and out of the site on Orange Street. Also, the slope issues on Salem Street appear to be exceeding 18% with no leveling transition grades.**

Response. The driveway access of Orange Street has been revised. As revised, the driveway provides safe, workable access to the garage.

DRAINAGE

1. **We have concerns with the offsite contribution of potential runoff impacting the proposed retaining wall. The engineer should address grading/diverting drainage away from the wall and dictate how earth movements/sliding action have been addressed in the wall design since the land elevation climbs at a slope of 36% behind the wall. One end of the wall is off the apparent property into Orange Street.**

Response. The retaining wall has been revised and a portion is part of the building foundation. There are also two segments of segmental block retaining wall. The site soils are Hinckley soils which are excessively well drained soils. Given the type of soil and the short walls, sliding is not a concern. Design of the segmental block walls will be done by the block

supplier. Off-site drainage is intercepted above the wall and directed to an inlet basin and through a storm drain.

2. **How will drainage be directed from behind the wall and end of the walls? How will roof run-off and yard drainage be directed to Orange Street on the north end of the proposed building? Drainage shall be discouraged from flowing over the driveway.**

Response. The wall has been changed (see Item 1). Roof runoff will be collected by gutters that connect directly to the footing drain. The only drainage flowing over the driveway is the roof drainage in that area and water that falls on the driveway.

3. **We recommend installation of a yard basin at the bottom of the swale, which travels on the east side of the building. The yard basin could then connect the retaining wall and perimeter-footing basin and tie into the combined sewer in Salem Street. All pipe sizes shall be indicated for storm drain and sewer connections.**

Response. A yard basin will be installed. All pipe sizes have been shown on the utility plan.

4. **Please submit an erosion control plan showing stabilized entrances, construction schedule and a modification plan for construction storage or lay-down areas.**

Response. This site is only 2,700 square feet with 60 percent of it being covered by brick and building. The minimal erosion control required includes silt sacks in catch basins, hay bale barriers and a stabilized construction entrance. These items are covered on the grading and utility plan, along with the requirement to comply with MEDEP's Best Management Practices. Because of the size of the site, storage of construction materials onsite will be minimal until the foundation is complete. After completion of the foundation, storage will be within the foundation.

GENERAL

Please indicate electric services proposed.

Response. Electrical service is shown on the utility plan.

Please delineate extent of construction/disturbed areas planned for city streets, for trenching and/or general improvements.

Response. The extent of disturbance of city streets is shown on the site plan.

Please set a site benchmark for project construction.

Response. A site benchmark is noted.

Please set proper boundary irons/monuments on all bounding corners along Orange Street.

Response. Proper boundary monuments will be set along the Orange Street R.O.W.

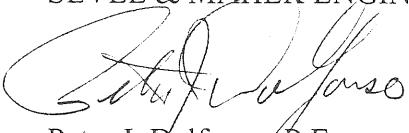
Overall, it appears that the development could have a positive impact on the surrounding neighborhood, but with the exceptional topography present and limited area the site has many difficult design and engineering issues. More detailed site plan information is required under the site plan ordinances. We will leave it to the discretion of the staff to make recommendations for the handling of the approval, if they so choose. We feel that given the access issues and need for an engineer's input and stamp that the necessary revisions should be made prior to granting approvals. Please contact our office if you have any questions.

Response. The plans have been revised by a professional engineer and have been stamped.

Should you have any questions or require further information, please contact us.

Sincerely,

SEVEE & MAHER ENGINEERS, INC.



Peter J. Dalfonso, P.E.
Project Engineer

cc: Steve Sanders



Central Maine Power

March 30, 2004

Ms. Betsy E. Greenlaw
C/O Back Bay Boundary, Inc.
65 Newbury Street
Portland, Maine 04101

RE: Rental Units, Salem Street, Portland

Dear Ms. Greenlaw,

This letter is to advise you that Central Maine Power has sufficient single phase electrical capacity in the area to serve the subject project.

Once the project is accepted by the City of Portland, the owner will need to call our Customer Service Center at 1-800-565-3181 to sign up for a New Account and a Work Request Order so we may start a cost estimate for temporary and permanent power.

To complete the cost estimate I will need the information of what voltage is required, the size of the main disconnect and the kilowatt loads required for the new facility. This information should be provided to me from the electrician or electrical engineering firm.

If you have any questions please feel free to call me at 828-2882.

Sincerely,

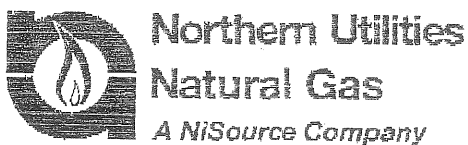
Paul DuPerre
Technical Advisor

An equal opportunity employer

162 Canco Road | Portland, ME 04103

tel (800) 750-4000

www.cmpco.com



April 7, 2004

Back Bay Boundary, Inc.
Betsy Greenlaw
65 Newbury St.
Portland, ME 04101

RE: 101 Salem St., Portland, ME

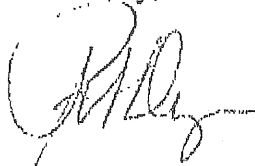
Dear Ms. Greenlaw,

Natural gas service is available to this property off Salem St. However final approval is dependent upon receipt of natural gas equipment sizes and specifications. This is a low-pressure natural gas distribution system and the delivery pressure to the new building will be 7 inches water column. Please inform your installer.

Please forward a utility page of your site plan for the project along with the equipment information for final approval.

If you have any questions, I can be reached at (800) 552-0347, extension #5377.

Sincerely,



Pat Dyer Commercial Sales

14 June 2004

Mrs. Betsy E. Greenlaw, Office Manager,
Back Bay Boundary, Incorporated,
65 Newbury Street,
Portland, Maine 04101

**RE: The Capacity to Handle Anticipated Wastewater Flows,
from 101 Salem Street, Site of a Proposed Duplex.**

Dear Mrs. Greenlaw:

The existing fifteen-inch diameter cement sanitary sewer pipe, located in Salem Street has adequate capacity to **transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to **treat** the anticipated wastewater flows of **360 GPD**, from the proposed duplex.

Anticipated Wastewater Flows from the Proposed Duplex:

Proposed Duplex @ 180 GPD/Unit	= 360 GPD
Total Proposed Increase in Wastewater Flows for this Project	= 360 GPD

The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and the Maine D.E.P., requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects.

If I can be of further assistance, please call me at 874-8832.

Sincerely,
CITY OF PORTLAND

Frank J Brancely, B.A., and M.A.
Senior Engineering Technician

FJB

cc: Alexander Q. Jaegerman, Director, Department of Planning, and Urban Development, City of Portland
Jay Reynolds, Development Review Coordinator, Department of Planning, and Urban Development, City of Portland
Eric Labelle, P.E., City Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
Stephen K. Harris, Assistant Engineer, City of Portland
Jane Ward, Administrative Assistant, City of Portland
Desk file

August 5, 2004

Ethan Boxer-Macomber
Planner
City of Portland
Dept. of Planning and Development
Portland, ME 04101

Stephen Sanders
57 Clark St. Apt. #1
Portland, ME 04102

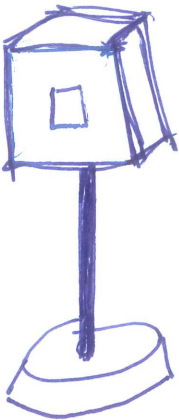
RE: 1-3 Orange Street, Proposed Condominium Duplex
ID #2004-0120, CBL #057 H005001

Dear Ethan:

In this letter and submitted plan revisions I will address the items that were found to be incomplete as they were outlaid in our last meeting and in your July 6 letter. In order to keep this presentation organized I will address each item in the same order as they were outlined in your letter.

Site Plan Review

1. The dimensional requirements for the R6, small residential lot development are met and setbacks can be directly read or extrapolated from the existing information on the site plan. The setback between buildings on the Foley properties is 26 feet with a peak height of the Foley property estimated at 20 feet. The average roof height of the proposed duplex is 43' 11 ³/₄". The setback from the Lawrence property is large enough from empirical evidence that setbacks or height of structures are not relevant.
2. The front yard requirement, "No more than ten (10) feet" is met by considering the more stringent 30' Orange Street width.
3. The utility connections are indicated on the site plan. All connections will be made in compliance of codes and requirements of the individual utilities. I have had discussions with Portland Public Works, Portland Water District, Northern Utilities and Central Maine Power regarding the tapping of utilities in the street and the supply to the building. These connections will be made as shown on the site plan and explained here.
Gas – The gas line will come from the street and cross the property line not closer than 12' from the southeast corner of the lot and two meters will be placed at the southeast corner of the



building, which meets the requirement of no meter placed within 3' of a window or door.

Sewer – The sewer line will come from the street and cross the property line not closer than 12' from either southerly corners of the lot and run along the easterly side of the building where it will tee into each unit.

Water - (2) 2" copper water lines will come from the street and cross the property line not closer than 12' from the southerly corners of the lot and pass under the foundation of the building where they will stubbed into their respective unit.

Electric – As per the letter from Central Maine Power included with this submittal, temporary and permanent power will be supplied once the City of Portland has approved this project.

It is not shown on the site plan, however, a fire hydrant is within a 300-foot path of travel to the building. The hydrant is located at the northeast corner of School and Salem Streets.

4. Letters of capacity are provided in this submittal from Portland Public Works, Northern Utilities and Central Maine Power. I have also had meetings with Jim Penticio of Portland Water District and have had my water supply system designed to his specifications.
5. The site plan indicates all proposed vegetation, walkways and driveways.
6. The site plan indicates that there will (2) 150 watt recessed in the ceiling of the porticos which are shown on the building plans.
7. The site plan indicates the materials of the existing and proposed sidewalks and driveways. Dimensions of these items can be extrapolated from the plan. I propose no changes to the existing features on Salem St. and am proposing (2) new driveways on Orange St., which will require a curb cut.
8. I have designed the building to accommodate the current grade of the lot and to minimize the impact on the site. To increase the livability of the north yard I have proposed a 3'4" masonry block retaining wall. This will provide for a flat yard space and reduce the slope on the northerly end of the lot by 75%. A footer drain will be placed along the north foundation wall and run out to daylight in the southeastern corner of the site.

9. A silt fence, as indicated on the site plan, will be placed in such a manner that it will contain any disturbed soil on the site. Once the foundation is back filled, the slope of the site will be the same as the previous slope and the slope on the northern end of the site will be improved by the retaining wall. Grass is all that will be necessary to stabilize the soil after these improvements are made.
10. This information is provided on the site plan and talked about in Item 8 above.
11. A 10 yd dumpster will be placed on site during the duration of the construction phase of the project.
12. I hope to begin construction as soon as I obtain a building permit from the City of Portland and the construction will be completed within 8 months of commencement.

Design Review

Standard A-3

The front porch dimensions are shown and they were widened to accommodate the new design of the porticos.

Standard B-1

If the building as a whole is looked at instead of treating the complex as two separate buildings, the standard is met. This is probably not the way to interpret this under the intent of the principle, however, I will explain why this standard is difficult to achieve on this project. The slope of this lot is why horizontal symmetry is hard to replicate as shown in the utopian examples of the Design Certification Program. Because of the steepness of the lot it is necessary to enter the units between floor levels. Extending the entry steps all the way to the first floor level would have put the entries too high from the sidewalk to be consistent with the Design Principles. Entering between the floor levels is a time honored, architectural element borrowed from the split-foyer design.

Moving the accent windows, which are in the stairwells of the units, to horizontally align with other windows, would put them at or below a knee level on the stair platform. This would be dangerous as well as unsightly from the interior of the building. Removing the accent windows altogether would disrupt the vertical symmetry of the building.

Because of the challenge presented by the steepness of this lot in conforming to this Design Standard, I ask the staff to consider the front

elevation of the building as one structure and not as two separate buildings.

- **Standard B-2&3**

Windows placements and size were changed in order to meet this standard.

Standard C-1

A 4/4"x4" window and door trim along with a 5/4"x5" header trim is now shown.

Standard C-2

I chose to use a casement window in front of the master suite tub for ease of operation. Casement windows are most commonly used where the ability to operate is compromised by such elements as sinks and tubs. The windows beside them are also casements to keep a balance on the same living level. The accent windows in the stairwells were chosen to keep overall symmetry. Without these accent windows symmetry is lost and larger windows would not fit. I am glad the Design Certification Program allows a justification for not conforming to this most restrictive standard.

Standard C-3

Exterior finishes are shown on the elevations

Standard C-4

This standard was hard to achieve in this design because of the same challenges outlined in my justification for Standard B-1. The top floor is readily discernable because of the change in siding material and cornice trim. The rest of the stories make use of door and window header trim as well as porches to delineate between levels. It is only the bottom two floors on the front elevation that are not as distinguishable, because of the split-foyer design, the door and window headers do not align horizontally. I urge the staff to again consider the structure as a whole and not just the front elevation alone. This building will never be looked at from the street with only one elevation in sight as it is depicted in a two-dimensional building plan. I encourage the staff to view the building as a whole, as it will be viewed when it is erected, and not as it exists on the flat paper on which it is drawn. With this perspective the standard is met.

Standard C-5

This requirement has been met by changes made as per the suggestions made by the staff.

Standard D-4

The changes to the porticos architecturally integrate them into the design of the building with a common gambrel roof design and the increased size better relates them to the scale of the building.

Standard D-5

The changes to the porticos elevate them to the uproots intent of the standard

Standard D-6

The dimensions show that the design meets the criteria of the standard

Standard E-(1-3)

The building reflects the traditional character of the neighborhood. The use of a gambrel roof is prevalent throughout the West End. The triple-decker is also prevalent throughout the neighborhood and I hope the staff appreciates the expense that I have committed in holding this project to the higher design standard of the neighborhood.

Principle F

I disagree with the staff's suggestion of "providing appropriate fenestration consistent with the design standards". Standard F-2 constitutes, "ensure the visual privacy of occupants of dwellings through such means as placing the window sill height at least 48" above the adjoining sidewalk grade;". In order to place the window at that height it would require a different window size than the two already incorporated into the building and thus be in violation of Standard C-2. While Standard C-2 does allow for a design justification, a better solution would be to plant shrubbery along the wall facing Salem St. This would provide "a sense of transition into the private realm of the home", which is the intent of Principle F without violating the mandate of Standard C-2. The shrubbery would also de-emphasize the wall without windows while it would "enhance the pedestrian friendliness and sociability of the streetscape while protecting the privacy of the resident's internal home life." This element is illustrated on the design plan.

Standard G-4

This is addressed in the justification for Standard C-2.

I hope I have addressed the concerns of the staff in an organized and thorough approach. I believe it is evident that I have spent considerable time and money to achieve a design that will meet the Design Principles and Standards and will enhance the traditional character of the neighborhood.

Thank you for your consideration,

Stephen Sanders

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

August 20, 2004

Mr. Steve Sanders
57 Clark Street, Apt. #1
Portland, ME 04012

RE: 1-3 Orange Street, Proposed Condominium Duplex
ID #2004-0120, CBL #057 H005001

Dear Steve:

In early July of this year, planning division staff conducted a design review of your proposed project at 1-3 Orange Street. That design was found to be inconsistent with the principles of the R6 Infill Design Guidelines. In a July 6, 2004 letter to you, staff presented an outline of which standards were not satisfied by the design. Responding to the above referenced letter, on August 9, 2004 you submitted revised plans, which reflected your efforts to satisfy those standards not met in your original submission.

On August 12, 2004 staff reviewed these revised plans and found that, while some additional standards have been better addressed on local levels, the overall massing and articulation are still greatly out of balance. Staff finds the proposed elevations incongruous with the context of the surrounding neighborhood.

Staff's design review findings are summarized below. As you read them you will need to have your copy of the design principles and standards in hand for reference.

Principle A – Proportion and Scale

- Fenestration is disproportionate, illogical, and discordant. See principle A and explanatory note. As a result, the west elevation is not discernable as a primary façade and reads like the rear of the building.

Principle B - Balance

- Balance and alignment of façade elements is not fully achieved on any elevation. Façade elements lack vertical and horizontal alignment and overall balance thereby confusing the viewer.
- Floor boundaries are not discernable.

Principle D - Articulation

- The proposed massing is highly out of character with the neighborhood. The proposal features two stand-alone structures, which, due to the limited size of the building footprints, results in tower-like forms. The gambrel roof form is not traditionally found on buildings of these proportions. Regardless, the gambrel roof form does not exist within 2 blocks of the subject site.
- Front entries appear tacked on, not well integrated architecturally.

Principle E - Context

- The project's facades, proportions, rhythms, and articulation do not reflect the traditional character of the neighborhood.

In our telephone conversation earlier this week you indicated that you would like an opportunity to rework the design and resubmit. Staff is amenable to this request. However, please be advised that staff finds the current design unapprovable on a fundamental level and strongly discourages you from pursuing approval with further minor alterations. The project would best benefit from a complete redesign. Staff strongly encourages you to consult with a professional architect in this endeavor. Please consider meeting together with staff and your architect early in the redesign process to go over the R6 design guidelines and examples and to review some recently approved R6 infill projects.

I look forward to continued work with you on this project. As always, if you have any questions, please do not hesitate to contact me by phone at 756-8083 or by email at ebm@portlandmaine.gov.

Best regards,



Ethan Boxer-Macomber
Planner

CC: Alex Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

September 2, 2004

Mr. Steve Sanders
57 Clark Street, Apt. #1
Portland, ME 04012

RE: 1-3 Orange Street, Proposed Condominium Duplex
ID #2004-0120, CBL #057 H005001

Dear Steve:

Planning staff has reviewed the rough sketch elevation concept for the 1-3 Orange Street project, which you submitted on August 27, 2004. The sketch was submitted in response to staff's August 19, 2004 letter regarding the subject application.

Design Review

The elevations sketch reflects a far greater sensitivity to the R6 infill principles and standards than did earlier iterations. Staff finds this sketch adequate as a starting point toward an approvable design. Staff encourages you to finalize this design in a complete application for administrative design review.

While the new elevation concept has only been presented in rough sketch form, staff has generated some initial responses that you may want to consider as you continue to develop the plans. Each of these responses relate to Principle B of the R6 infill guidelines.

1. Consider bringing both unit entries to a common elevation, perhaps sharing front porch and overhang.
2. Shed roofs over front entries do not appear to cover front porches. Consider covering entire porch with this roof projection and tying that projection to railings porch floor with support members.
3. Window to left of entry on northerly unit creates a clearer more unified sense of entry on that unit. Consider mirroring this form on the southern unit.

Site Plan Review

As an R-6, small lot infill project, the application is subject to minor site plan review by the Planning Authority. Staff has conducted a preliminary review of the site plan

application and finds it to be substantially incomplete. A checklist of required site plan submissions is attached. A more complete list of required submissions can be found in the site plan ordinance of the City Code, which is available online at <http://www.ci.portland.me.us/Chapter014.pdf>. Once the application has been found complete, the site plan review process will begin.

As always, if you have any questions, please do not hesitate to contact me by phone at 756-8083 or by email at ebm@portlandmaine.gov.

Best regards,

A handwritten signature in black ink, appearing to read 'Ethan Boxer-Macomber', with a long horizontal flourish extending to the right.

Ethan Boxer-Macomber
Planner

CC: Sarah Hopkins, Development Review Services Manager

**CITY OF PORTLAND, MAINE
SITE PLAN CHECKLIST**

Project Name, Address of Project _____

Application Number _____

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
_____	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
_____	(2)	Name and address of applicant and name of proposed development	a
_____	(3)	Scale and north points	b
_____	(4)	Boundaries of the site	c
_____	(5)	Total land area of site	d
_____	(6)	Topography - existing and proposed (2 feet intervals or less)	e
_____	(7)	Plans based on the boundary survey including:	2
_____	(8)	Existing soil conditions	a
_____	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
_____	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
_____	(11)	Approx location of buildings or other structures on parcels abutting the site	d
_____	(12)	Location of on-site waste receptacles	e
_____	(13)	Public utilities	e
_____	(14)	Water and sewer mains	e
_____	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
_____	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
_____	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
_____	(18)	Parking areas	g
_____	(19)	Loading facilities	g
_____	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
_____	(21)	Curb and sidewalks	g
_____	(22)	Landscape plan showing:	h
_____	(23)	Location of existing proposed vegetation	h
_____	(24)	Type of vegetation	h
_____	(25)	Quantity of plantings	h
_____	(26)	Size of proposed landscaping	h
_____	(27)	Existing areas to be preserved	h
_____	(28)	Preservation measures to be employed	h
_____	(29)	Details of planting and preservation specifications	h
_____	(30)	Location and dimensions of all fencing and screening	i
_____	(31)	Location and intensity of outdoor lighting system	j
_____	(32)	Location of fire hydrants, existing and proposed	k
_____	(33)	Written statement	c
_____	(34)	Description of proposed uses to be located on site	l
_____	(35)	Quantity and type of residential, if any	l
_____	(36)	Total land area of the site	b2
_____	(37)	Total floor area and ground coverage of each proposed building and structure	b2
_____	(38)	General summery of existing and proposed easements or other burdens	c3
_____	(39)	Method of handling solid waste disposal	4
_____	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
_____	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
_____	(42)	An estimate of the time period required for completion of the development	7
_____	(43)	A list of all state and federal regulatory approvals to which the development may be subject to	8
_____	(44)	The status of any pending applications	8
_____	(45)	Anticipated timeframe for obtaining such permits	h8

(46) A letter of non jurisdiction

h8

(47) Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities;
- erosion and sedimentation controls to be used during construction;
- a parking and/or traffic study;
- and
- a noise study;
- an environmental impact study;
- a sun shadow study;
- a study of particulates and any other noxious emissions;
- a wind impact analysis.

Other comments:



Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

January 3, 2005

Mr. Steve Sanders
57 Clark Street, Apt. #1
Portland, ME 04012

RE: 1-3 Orange Street, Proposed Condominium Duplex
ID #2004-0120, CBL #057 H005001

Dear Steve:

As you are aware, staff has found the proposed architectural design for the above referenced project to be in conformance with the R6 small lot design guidelines. This finding is based on a review of revision #3 of building elevations, dated October 4, 2004.

Planning Division staff continues to review the proposed site plan for conformance with the standards of the site plan ordinance. On September 2, 2004 staff issued you a letter finding the submitted site plan to be incomplete. In response, on October 22, 2004 you submitted a revised site plan. Staff reviewed you October 22, 2004 site plan and identified issues requiring additional information or submittals. On December 28, 2005 you prepared revised plans. This letter is to summarize staff's response to the December 28, 2005 plan set.

A. Site Plan

1. Generally, the site plans are completely contained on a single sheet, which results in a confusing presentation. Please separate information onto multiple sheets for clarity (eg. site and utility plan, drainage plan, landscaping plan). Also, in this instance staff recommends that the scale be increased in order to improve legibility.
2. Despite your January 3, 2005 appeal to the City's Development Review Manager, as per §14-525 (b)(2), the utility, drainage, and site plans must be prepared and stamped by a licensed engineer.

3. Several required submittals required under section 14-525 (c) have still not been entered into the public record. Please review this section carefully and be sure to submit all required submissions such as evidence of right, title, and interest, letter of water capacity, letter of sewer / stormwater capacity, etc.
4. Curb (in granite), sidewalk (in brick), and esplanade, built to City standards, must be provided along the site's entire Orange and Salem Street frontages as per City Code Section 25-96 or a waiver must be requested. The site plan must be amended to demonstrate compliance with this requirement including cross sections and typicals.

B. Traffic and Circulation

1. Neither of the proposed driveways offers adequate space for parking on the apron. The developer and future occupants should be advised that parked cars may not block the City sidewalk.
2. City standards require a 20-foot separation between residential driveways. While this separation may not be possible between the proposed Salem Street driveway and the existing Foley driveway, the City's consulting traffic engineer finds the adequate separation can be achieved considering Salem Street's light traffic levels.
3. The City's consulting traffic engineer has expressed continued concern about grade issues at the proposed driveway on Orange Street. Conditions would seem to indicate that access to the garage may be very difficult for a passenger car. While no specific City standard exists, the general engineering practice would be not to have a 20%(+/-) grade in the area where the driveway meets the road. In the attached January 28, 2005 memo the City's consulting civil engineer echoes these concerns. Staff strongly encourages you to consider other options, such as providing both garages on Salem Street.

C. Engineering

The City's Development Review Engineer, Jim Seymour P.E., has reviewed the most recent plans dated 12/28/2004 and has submitted response comments in a January 28, 2005 memo which you will find attached. The site plans should be revised so as to satisfy the concerns contained in this memo. If you or members of your design team have any specific questions related to the engineering comments, you may contact Mr. Seymour directly at 856-0277.

D. Zoning

As we have discussed in recent telephone conversations, the zoning administrator has reviewed your plans dated 12/28/04 and has submitted the following requests for additional information:

1. There remains a question as to which line is the official property line along Orange Street. Neither line will violate the required setbacks. However, our Code Enforcement Officers need to know for their field work.
2. There is also a question as to the actual size of the buildings. The site plan size is different than the reduced building elevation plan. What actually is being built? It will reflect what we are approving.
3. We are unable to confirm the rear setback to zoning requirements. The ordinance states that the rear setback shall be 10' or the sum of heights divided by 5, whichever is greater. Please submit calculations as to the height of the adjoining building on Salem Street.
4. Please provide finished grades at each corner of the proposed building(s). These grades are averaged for the purpose of determining roof height. Please also provide currently proposed elevations to scale with height clearly dimensioned.

As always, if you have any questions, please do not hesitate to contact me by phone at 756-8083 or by email at ebm@portlandmaine.gov.

Best regards,



Ethan Boxer-Macomber
Planner

CC: Sarah Hopkins, Development Review Services Manager



04P120

TO: Ethan Boxer-Macomber – Planner
FROM: Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.
RE: Proposed Residential Duplex/Condo Building: 1 Orange St/Salem St.
DATE: January 31, 2005

Sebago Technics has reviewed the revised Site Plan application and supporting documentation for the proposed residential development located at Salem and Orange Street in the City of Portland. We respectfully offer the following comments in outline format:

Site Plan:

1. Show acceptable sidewalk section with clear labeling on site plan, or pedestrian access measures on Orange Street frontage. Include engineer's detailed cross section at proposed driveway and clearly indicate cross and longitudinal slopes on sidewalk and proposed driveway. The typical detail indicates a constant width with esplanade; however, the plan section indicates a tapered width not placed parallel to curbside.
2. Please clarify the metes and bounds of the property and document the legal R.O.W. or front property line along Orange Street. Note 7 refers to a street line discrepancy, has this been rectified?
3. Driveway slope off of Orange Street has extreme slopes, which will create safety issues, especially in winter (icy) conditions. The cross slope exceeds 24% grade and the approved slope from the street line to the garage slab exceeds 22% grade. Based on past applications, the city has requested a landing area at the garage for 10 feet of not more than 5%, and an approach grade not to exceed 15% at the street line. The cross slope should not exceed 5% as well. These slopes will promote safe access without potential for passenger cars (rubbing or bottoming out) and allow for safe egress and ingress to a driveway/garage. Given the short driveway of 12' in length and the site dimensions of existing street grades, this becomes a very different access. The project's engineer needs to provide detailed sections of the driveway, indicating both pedestrian and vehicular safety is maintained for the movements in and out of the site on Orange Street. Also, the slope issues on Salem Street appear to be exceeding 18% with no leveling transition grades.

DRAINAGE:

1. We have concerns with the offsite contribution of potential runoff impacting the proposed retaining wall. The engineer should address grading/diverting drainage away from the wall and dictate how earth movements/sliding action have been addressed in the wall design since the land elevation climbs at a slope of 36% behind the wall. One end of the wall is off the apparent property into Orange Street.
2. How will drainage be directed from behind the wall and end of the walls? How will roof run-off and yard drainage be directed to Orange Street on the north end of the proposed building? Drainage shall be discouraged from flowing over the driveway.
3. We recommend installation of a yard basin at the bottom of the swale, which travels on the east side of the building. The yard basin could then connect the retaining wall and perimeter-footing basin and tie into the combined sewer in Salem Street. All pipe surges shall be indicated for storm drain and sewer connections.
4. Please submit an erosion control plan showing stabilized entrances, construction schedule and a modification plan for construction storage or lay-down areas.

GENERAL:

- Please indicate electric services proposed.
- Please delineate extent of construction/disturbed areas planned for city streets, for trenching and/or general improvements.
- Please clarify zoning notes (#6). What are the restrictions so noted?
- Please set a site benchmark for project construction.
- Please set proper boundary irons/monuments on all bounding corners along Orange Street.

Overall, it appears that the development could have a positive impact on the surrounding neighborhood, but with the exceptional topography present and limited area the site has many difficult design and engineering issues. More detailed site plan information is required under the Site plan Ordinances. We will leave it to the discretion of the staff to make recommendations for the handling of the approval, if they so choose. We feel that given the access issues and need for an engineer's input and stamp that the necessary revisions should be made prior to granting approvals. Please contact our office if you have any questions.

JRS:jrs

October 26, 2004

Ethan Boxer-Macomber
Planner
City of Portland
Dept. of Planning and Development
Portland, ME 04101

Stephen Sanders
57 Clark St. Apt. #1
Portland, ME 04102

RE: 1-3 Orange Street, Proposed Condominium Duplex
ID #2004-0120, CBL #57 H005001

Dear Ethan:

This site plan was designed using the new R-6 Small lot development requirements. This updated site plan reflects the changes made to the building, i.e. dimensional width change of 26' and the changed location of the lower unit garage. The plan also shows the location of a retaining wall with footing drainage tied into the building footer drain. Please note the details page showing the design of the retaining wall along with the typicals for curbing and silt fence. I have included an e-mail correspondence with Jim Pandiscio of the Portland Water District pertaining to providing the units with domestic and fire service. I have also included a commitment letter from Northeast Bank demonstrating my financial ability to complete the project. Details of this letter have been edited to protect the proprietary information of Northeast Bank.

Sincerely,



Stephen Sanders

Copper from the main to the curb stop and most people do plastic from the curb stop into the building.

-----Original Message-----

From: Stephen Sanders [mailto:sassanders@hotmail.com]
Sent: Tuesday, October 26, 2004 1:04 PM
To: Jim Pandiscio
Subject: RE: 1-3 Orange St

Jim,

Thanks for the information. Does the 2" fire service have to be copper all the way, or can it be copper to the curb stop and then CST? Also, could you

write me a letter expressing the water district's ability to provide water for this project. I need to submit it along with my site plan.

Thanks,

Steve Sanders

>From: Jim Pandiscio <jpandiscio@pwd.org>
>To: 'Stephen Sanders' <sassanders@hotmail.com>
>Subject: RE: 1-3 Orange St Date: Tue, 26 Oct 2004 12:32:19 -0400
>
>Salem St. has 4"CI water main and the lower end of Orange St. has no
>water main south of Bond St. To do what you have described, you best
>solution is to keep the fire services separate from the domestic water
>services. If you wish to serve the units separately than you would
>need a 1" domestic with a 5/8" meter for each unit and the fire
>service(s) would be separate that way you save money by not having to
>install large meters to service fire and domestic.
>
>It is a little more money up front to do this but the cost savings over
>the long run will add up.
>
>Domestic with a 5/8" meter has a ready serve charge each month of \$
>7.00 plus consumption in HCF. Add to that a 2" fire service flat charge
>of \$ 2.91 for a total of \$ 9.91 per month. If you tried to combine
>both domestic and fire you would need a 2" meter and that ready to
>serve charge is \$ 22.94 plus consumption in HCF.
>
>The consumption is the same no matter what size meter you have, \$ 1.76
>per HCF.
>
>Hope this answers your questions.
>Jim Pandiscio
>Portland water District
>

>-----Original Message-----

>From: Stephen Sanders [mailto:sassanders@hotmail.com]
>Sent: Tuesday, October 26, 2004 7:00 AM
>To: Jim Pandiscio
>Subject: 1-3 Orange St
>

>

>

>Jim,

>

>I have purchased a lot at 1-3 Orange St. in Portland. 101 Salem St. is
>another address for the same parcel. I am going to build a 2-unit
>condominium at this location and want to determine Portland Water
>District's

>

>ability to service the units. Each unit will consist of 3 bedrooms and
>2 baths and contain 1800 sqft. The units will also have sprinklers.
>In my initial discussion you determined that these units would each
>require a 2" tap and a 2" copper tubing water line.
>

>

>Please call with any questions,

October 5, 2004



Stephen A. Sanders
Jeannine W. Sanders
57 Clark Street, Apt. 1
Portland ME 04102

Dear Stephen and Jeannine:

Northeast Bank (hereinafter referred to as the "Bank") is pleased to provide you (hereinafter referred to as "Borrower") a Term Loan of Three Hundred Eighty Thousand Dollars (\$380,000.00) under the terms and conditions provided in this letter, in addition to all other requirements more fully described in the loan documents.

Borrower: Stephen A. Sanders and Jeannine W. Sanders

Amount: Three Hundred Eighty Thousand Dollars (\$380,000.00)

Multiple Advances: This is a closed end loan. The final advance on this loan shall be no later than six months from the date of closing.

Type: Commercial Construction Loan

Purpose: Finance the construction of two 3 bedroom condominiums at 1-3 Orange Street in Portland, Maine.

Repayment Schedule: This loan shall call for monthly interest payments with principal at maturity.

Maturity: Twelve (12) Months

From: Marge Schmuckal
To: Ethan Boxer-Macomber
Date: 3/16/05 9:47:47 AM
Subject: L'Orange St

Ethan,

My memo to you on 1/20/05 outlined what I needed for a complete zoning review. The site plans that I received on 3/9/05 have the revised site plan and an elevation of the adjoining rear building. However, I still have not received any scalable drawings to confirm the maximum building height (with average grade information) and to confirm the permissible rear setback. I can not complete my review without this information.

Marge



City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address of Proposed Development: <u>1-3 Orange St.</u> Zone: <u>R-6</u>		
Total Square Footage of Proposed Structure: <u>4608 sf</u>	Square Footage of Lot: <u>2790 sf</u>	
Tax Assessor's Chart, Block & Lot: Chart# <u>57</u> Block# <u>H</u> Lot# <u>5</u>	Property owner's mailing address: <u>Jeanine Sanders</u> <u>75 Cottage Rd</u> <u>Millinocket, ME 04462</u>	Telephone #: <u>(207) 723-4412</u>
Consultant/Agent, mailing address, phone # & contact person: <u>Stephen Sanders</u> <u>57 Clark St. Apt. #1</u> <u>Portland, ME 04102</u> <u>(207) 450-0004</u>	Applicant's name, mailing address, telephone #/Fax#/Pager#: <u>Stephen Sanders</u> <u>(same)</u>	Project name: <u>1-3 Orange St.</u>
<p>Proposed Development (check all that apply)</p> <p><input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing</p> <p><input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot</p> <p><input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____</p> <p><input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input type="checkbox"/> Other _____</p> <p>Major Development (more than 10,000 sq. ft.)</p> <p><input type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p>Minor Site Plan Review</p> <p><input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p>Plan Amendments</p> <p><input type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p>		
- Please see next page -		

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Stephen Sanders 57 Clark St. Apt. #1 (207) 450-0004
Portland, ME 04102

Submittals shall include (9) separate **folded** packets of the following:

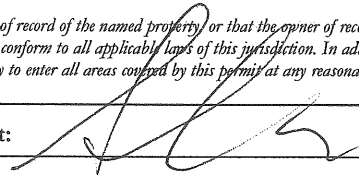
- copy of application
- cover letter stating the nature of the project
- site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date:

6/10/04

This application is for site review **ONLY**, a building Permit application and associated fees will be required prior to construction.

Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The **Application Fee** covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an **Engineering Review Fee**. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A **Performance Guarantee** will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

Project: 1-3 Orange St.

This lot is currently a vacant lot. This site plan was designed using the new R-6 small lot development requirements. The proposed project is to construct two adjoining, townhouse-style condominiums. Each unit will have a one car garage in the street level basement. They will each have three bedrooms and two bathrooms. The downhill unit has two, stacked decks on the second and third stories of the Salem St. elevation. The uphill unit will have a deck on the first story on the rear of the building which will provide access to a yard area on the uphill side of the site. The project is scheduled to begin July 2004 and be concluded by January 2005. A building application is submitted and pending.

Utilities:

Electrical - CMP has advised me that there is sufficient electrical capacity in the area to serve the project. Currently working with them to establish temporary and permanent power. (See attached letter from CMP)

Sewer - Connect to existing sewer line in Salem St.

Water - (2) 2" ID services from Salem St.

Gas - (1) service from Salem St. with (2) meters attached to the SW corner of the building. (See attached letter from Northern Utilities)



Central Maine Power

March 30, 2004

Ms. Betsy E. Greenlaw
C/O Back Bay Boundary, Inc.
65 Newbury Street
Portland, Maine 04101

RE: Rental Units, Salem Street, Portland

Dear Ms. Greenlaw,

This letter is to advise you that Central Maine Power has sufficient single phase electrical capacity in the area to serve the subject project.

Once the project is accepted by the City of Portland, the owner will need to call our Customer Service Center at 1-800-565-3181 to sign up for a New Account and a Work Request Order so we may start a cost estimate for temporary and permanent power.

To complete the cost estimate I will need the information of what voltage is required, the size of the main disconnect and the kilowatt loads required for the new facility. This information should be provided to me from the electrician or electrical engineering firm.

If you have any questions please feel free to call me at 828-2882.

Sincerely,

Paul DuPerre
Technical Advisor

An equal opportunity employer

162 Canco Road | Portland, ME 04103
tel (800) 750-4000

www.cmpco.com



April 7, 2004

Back Bay Boundary, Inc.
Betsy Greenlaw
65 Newbury St.
Portland, ME 04101

RE: 101 Salem St., Portland, ME

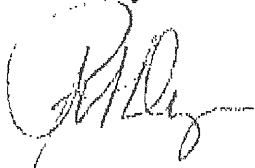
Dear Ms. Greenlaw,

Natural gas service is available to this property off Salem St. However final approval is dependent upon receipt of natural gas equipment sizes and specifications. This is a low-pressure natural gas distribution system and the delivery pressure to the new building will be 7 inches water column. Please inform your installer.

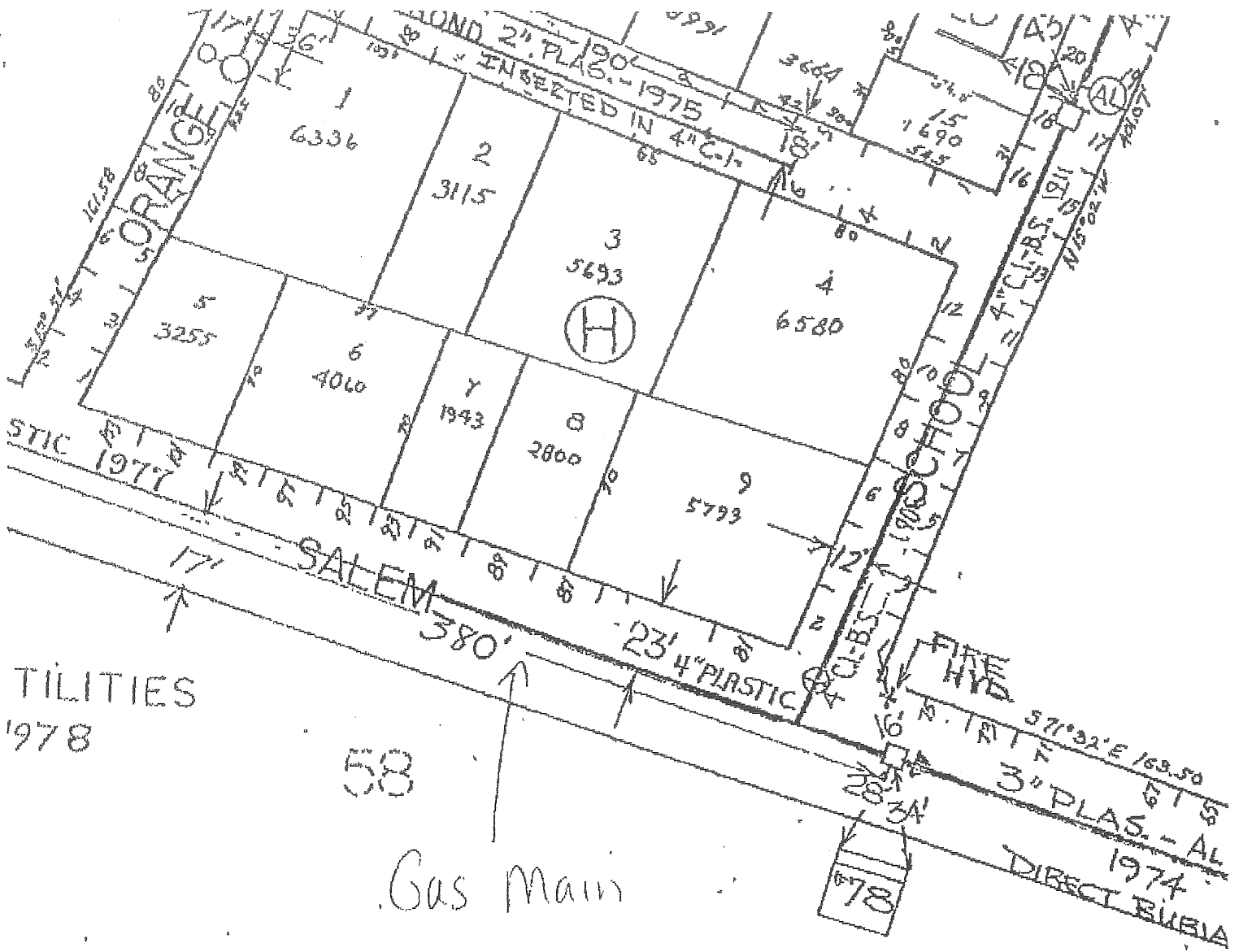
Please forward a utility page of your site plan for the project along with the equipment information for final approval.

If you have any questions, I can be reached at (800) 552-0347, extension #5377.

Sincerely,



Pat Dyer Commercial Sales



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2004-0120

Application I. D. Number

6/10/2004

Application Date

Condominiums

Project Name/Description

Jeannine Sanders

Applicant

75 Cottage Road, Millinocket, ME 04462

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 723-4412 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

1 - 3 Orange Street, Portland, Maine

Address of Proposed Site

057 H005001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) **Condominiums**

4,608 s.f. Proposed Building square Feet or # of Units **R6** Zoning

Proposed Building square Feet or # of Units Acreage of Site

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla **\$400.00** Subdivision _____ Engineer Review _____ Date **6/16/2004**

DRC Approval Status:

Reviewer _____

- Approved** **Approved w/Conditions** See Attached **Denied**

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |



City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address of Proposed Development: <u>1-3 Orange St.</u> Zone: <u>R-6</u>		
Total Square Footage of Proposed Structure: <u>4608 sf</u>		Square Footage of Lot: <u>2790 sf</u>
Tax Assessor's Chart, Block & Lot: Chart# <u>57</u> Block# <u>H</u> Lot# <u>5</u>		Property owner's mailing address: <u>Jeanine Sanders</u> <u>75 Cottage Rd</u> <u>Millinocket, ME 04462</u>
Consultant/Agent, mailing address, phone # & contact person: <u>Stephen Sanders</u> <u>57 Clark St. Apt. #1</u> <u>Portland, ME 04102</u> <u>(207) 450-0004</u>		Telephone #: <u>(207) 723-4412</u>
Applicant's name, mailing address, telephone #/Fax#/Pager#: <u>Stephen Sanders</u> <u>(same)</u>		Project name: <u>1-3 Orange St.</u>
<p>Proposed Development (check all that apply)</p> <p><input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing</p> <p><input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot</p> <p><input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____</p> <p><input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input type="checkbox"/> Other _____</p> <p>Major Development (more than 10,000 sq. ft.)</p> <p><input type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p>Minor Site Plan Review</p> <p><input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p>Plan Amendments</p> <p><input type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p>		
- Please see next page -		

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Stephen Sanchez 57 Clark St. Apt. #1 (207) 450-0004
Portland, ME 04102

Submittals shall include (9) separate **folded** packets of the following:

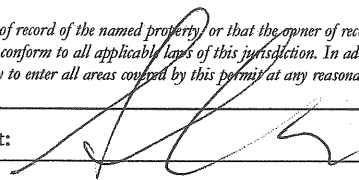
- copy of application
- cover letter stating the nature of the project
- site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date:

6/10/04

This application is for site review **ONLY**, a building Permit application and associated fees will be required prior to construction.

Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The **Application Fee** covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an **Engineering Review Fee**. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A **Performance Guarantee** will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.

Project: 1-3 Orange St.

This lot is currently a vacant lot. This site plan was designed using the new R-6 small lot development requirements. The proposed project is to construct two adjoining, townhouse-style condominiums. Each unit will have a one car garage in the street level basement. They will each have three bedrooms and two bathrooms. The downhill unit has two, stacked decks on the second and third stories of the Salem St. elevation. The uphill unit will have a deck on the first story on the rear of the building which will provide access to a yard area on the uphill side of the site. The project is scheduled to begin July 2004 and be concluded by January 2005. A building application is submitted and pending.

Utilities:

Electrical - CMP has advised me that there is sufficient electrical capacity in the area to serve the project. Currently working with them to establish temporary and permanent power. (See attached letter from CMP)

Sewer - Connect to existing sewer line in Salem St.

Water - (2) 2" ID services from Salem St.

Gas - (1) service from Salem St. with (2) meters attached to the SW corner of the building. (See attached letter from Northern Utilities)



Central Maine Power

March 30, 2004

Ms. Betsy E. Greenlaw
C/O Back Bay Boundary, Inc.
65 Newbury Street
Portland, Maine 04101

RE: Rental Units, Salem Street, Portland

Dear Ms. Greenlaw,

This letter is to advise you that Central Maine Power has sufficient single phase electrical capacity in the area to serve the subject project.

Once the project is accepted by the City of Portland, the owner will need to call our Customer Service Center at 1-800-565-3181 to sign up for a New Account and a Work Request Order so we may start a cost estimate for temporary and permanent power.

To complete the cost estimate I will need the information of what voltage is required, the size of the main disconnect and the kilowatt loads required for the new facility. This information should be provided to me from the electrician or electrical engineering firm.

If you have any questions please feel free to call me at 828-2882.

Sincerely,

Paul DuPerre
Technical Advisor

An equal opportunity employer

162 Canco Road | Portland, ME 04103

tel (800) 750-4000

www.cmpco.com



April 7, 2004

Back Bay Boundary, Inc.
Betsy Greenlaw
65 Newbury St.
Portland, ME 04101

RE: 101 Salem St., Portland, ME

Dear Ms. Greenlaw,

Natural gas service is available to this property off Salem St. However final approval is dependent upon receipt of natural gas equipment sizes and specifications. This is a low-pressure natural gas distribution system and the delivery pressure to the new building will be 7 inches water column. Please inform your installer.

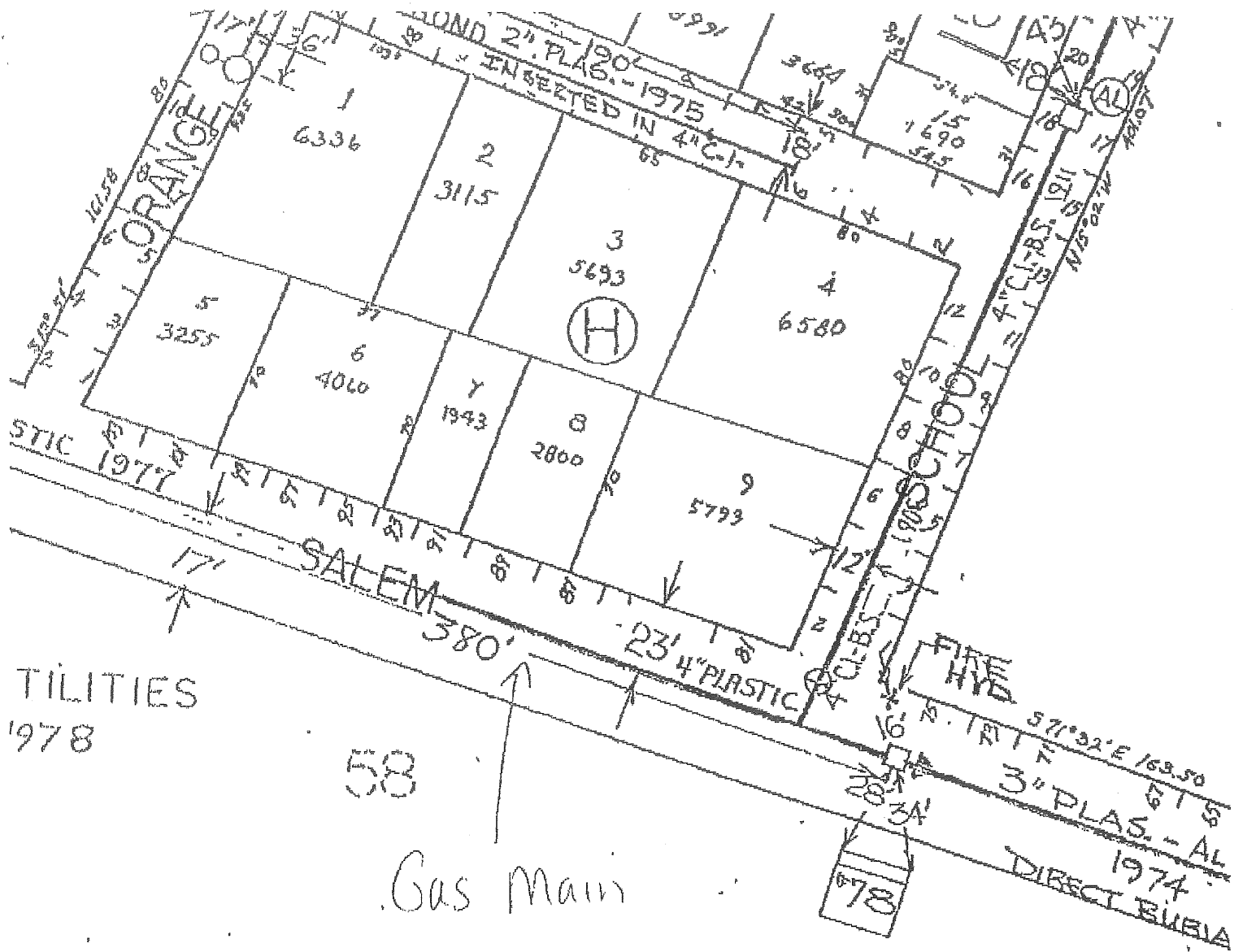
Please forward a utility page of your site plan for the project along with the equipment information for final approval.

If you have any questions, I can be reached at (800) 552-0347, extension #5377.

Sincerely,



Pat Dyer Commercial Sales



SIGNED COPY TO
FOLLOW

February 16, 2005

Steve Sanders
SAS Construction
1-3 Orange St.
Portland, Me. 04102

Re: 1-3 Orange St.-Portland

Steve:

This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed duplex at 1-3 Orange St. in Portland. Checking District records, I find there is a 4" water main in Salem St., a 6" water main in Bond St. and a 6" water main in Orange St. but this main only extends 30' south of Bond St. The nearest water hydrant is located Salem St. at School St.

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the needs of your proposed project.

Hydrant Location: Salem St. @School St.
Hydrant # 358
Static pressure = 64 PSI
Flow = 1186 GPM
Last Tested = 10/30/89

If the District can be of further assistance in this matter, please let us know.

Sincerely,
Portland Water District

Jim Pandiscio
Means Coordinator

QUITCLAIM DEED
With Covenant

MAINE REAL ESTATE TAX PAID

KNOW ALL BY THESE PRESENTS, that I, MATTHEW P. DANA, of Yarmouth, Maine (the "Grantor"), in consideration of One Dollar (\$1.00) and other good and valuable consideration, paid by JEANNINE SANDERS, of Portland, Maine, with a mailing address of 75 Cottage Road, Millinocket, Maine 04462 (the "Grantee"), the receipt whereof I do hereby acknowledge, do hereby REMISE, RELEASE, BARGAIN, SELL and CONVEY, and FOREVER QUITCLAIM unto the Grantee, its successors and assigns forever, the following described property:

A certain lot or parcel of land, situated on the Northwesterly side of Salem Street and the Easterly side of Orange Street in the City of Portland, County of Cumberland and State of Maine, being Lot 13 as shown on Plan of Property in the City of Portland, made by William Anson, Civil Engineer, dated June 1854, and recorded in Cumberland County Registry of Deeds in Plan Book 2, Page 5.

This conveyance is made together with all rights, easements, privileges and appurtenances belonging to the granted estate.

This conveyance is made subject to all utility easements which may serve the premises, zoning and building restrictions, other easements and restrictions of record.

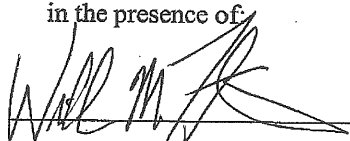
Being the premises conveyed to Matthew P. Dana by J.B. Brown & Sons by Quitclaim Deed dated May 9, 2002 and recorded in said Registry in Book 17620, Page 008.

TO HAVE AND TO HOLD the same, together with all the privileges and appurtenances thereunto belonging, to the Grantee, its successors and assigns forever.

AND I do covenant with the Grantee, its successors and assigns, that I shall and will warrant and defend the premises to the Grantee, its successors and assigns forever, against the lawful claims and demands of all persons claiming by, through, or under me.

IN WITNESS WHEREOF, I, the said MATTHEW P. DANA, have hereunto set my hand this 5th day of the April 2004.

Signed, Sealed and Delivered
in the presence of:



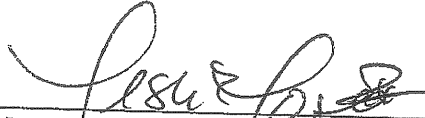

Matthew P. Dana

STATE OF MAINE
COUNTY OF CUMBERLAND

April 5, 2004

Then personally appeared the above-named Matthew P. Dana and acknowledged the foregoing instrument to be his free act and deed.

Before me,



Notary Public/Attorney-at-Law

Print Name: Leslie R. Lacey

My Commission Expires: _____

P:\WFLETCHER\DNA, MATTHEW\DEED(WITHCOVENANT).DOC

Received
Recorded Register of Deeds
Apr 08, 2004 02:45:18P
Cumberland County
John B O'Brien



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life® www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. Steve Sanders
57 Clark Street, Apt. #1
Portland, ME 04012

August 30, 2005

RE: 1-3 Orange Street, Proposed Condominium Duplex
ID #2004-0120, CBL #057 H005001

Dear Mr. Sanders:

At a recent site visit it was noticed that existing site conditions do not match the approved site plan submitted. As a result, it appears that the new curb line, street width, and/or sidewalk width, will not be able to be installed as proposed.

At this time, the City requests that a new plan with current conditions (foundation and step locations in proportion to the street, curb, and sidewalk) which shows how the buildout will be done, be submitted for review and approval.

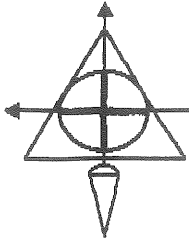
If you have any questions, please contact me at 874-8632.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager
Ethan Boxer-Macomber, Planner
Eric Labelle, City Engineer
Todd Merkle, Public Works Department

O:\plan\devreview\orange1-3\revisionrequest1.doc



BACK BAY BOUNDARY, INC.
LAND SURVEYING

57-4-5

July 14, 2005

Mr. Marland Wing
Certified Code Enforcement Officer
City of Portland
389 Congress Street
Portland, Maine 04101

RE: 2-unit dwelling on the corner of Orange and Sumner Streets Portland, Maine
Steve Sanders.

Dear Marland,

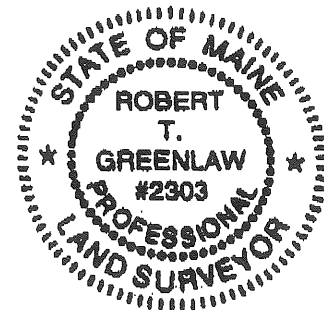
Please accept this letter as certification that on July 13, 2005 Back Bay Boundary, Inc. visited the above project to lay out the foundation corners of the above dwelling.

The foundation footings were already in place when we arrived. Our survey crew established the position of the foundation forms on top of the footings by placing concrete nails at each proposed corner. The final placement was checked and found to be compliance with the setbacks and building placement as was approved by the City Portland and shown on the plans thereof.

Please call or email our office should you require further information.

Sincerely,

Robert T. Greenlaw, PLS



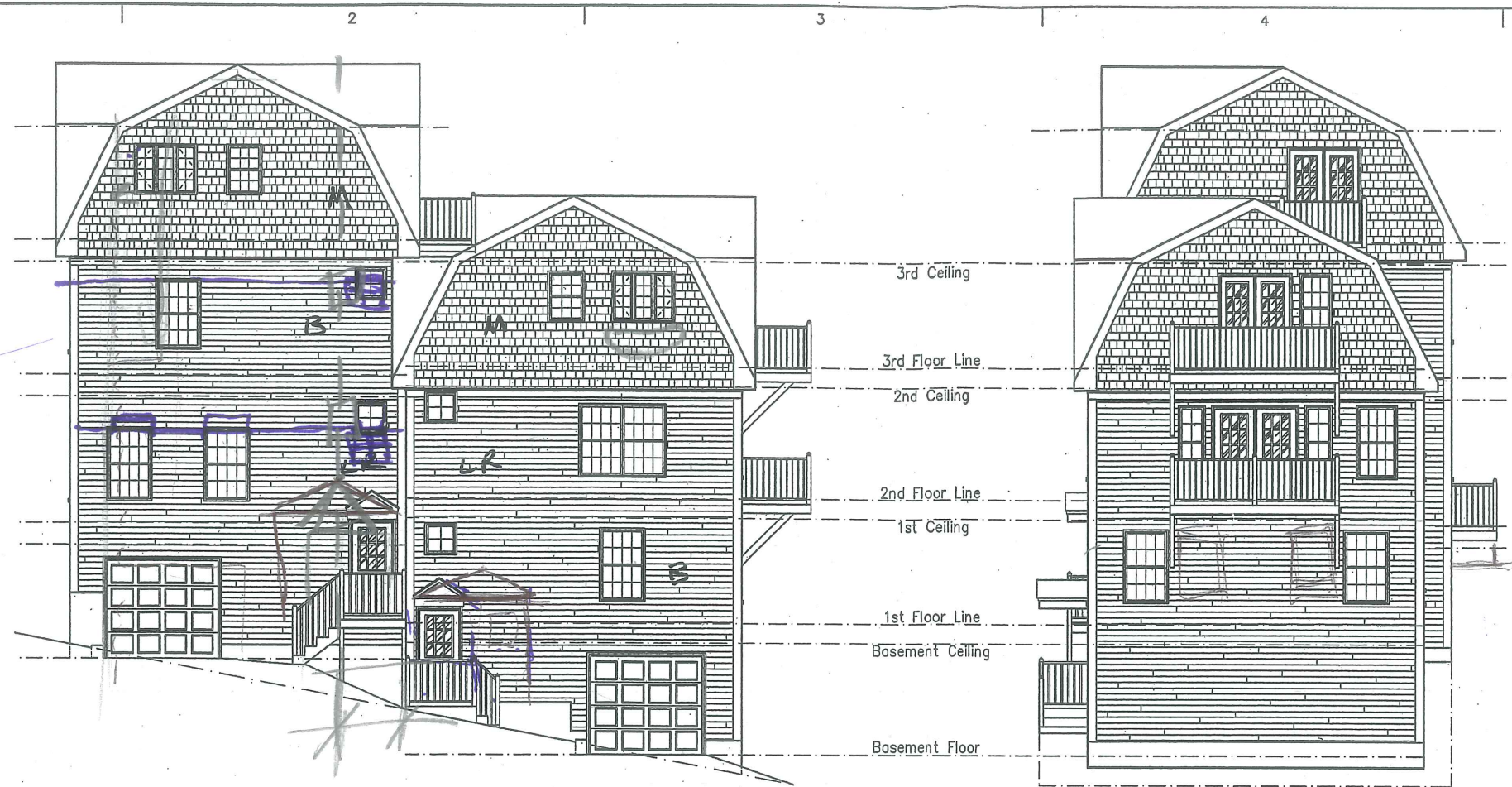
Cc: Steve Sanders

(207) 774-2855

643 Forest Avenue Portland, Maine 04101

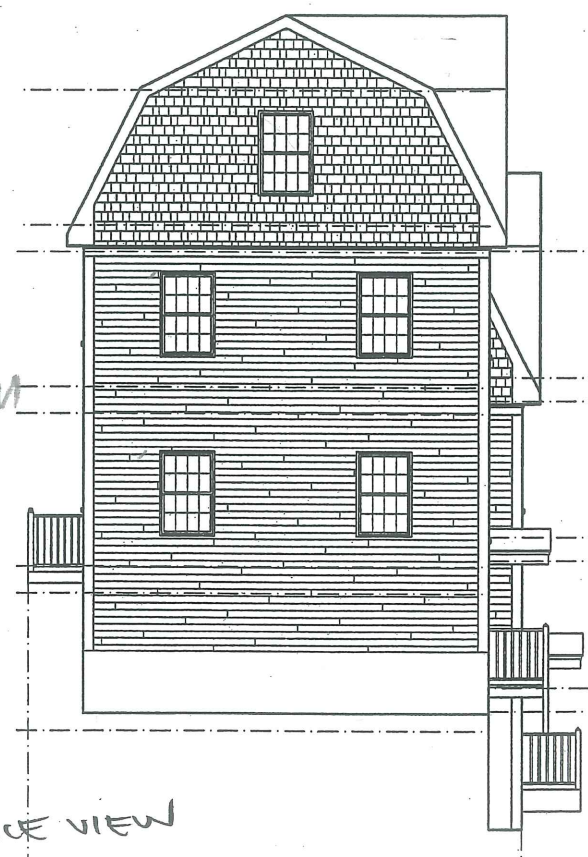
Fax. (207) 347-4346

Email ~Backbayboundary@cs.com
www.backbayboundary.com

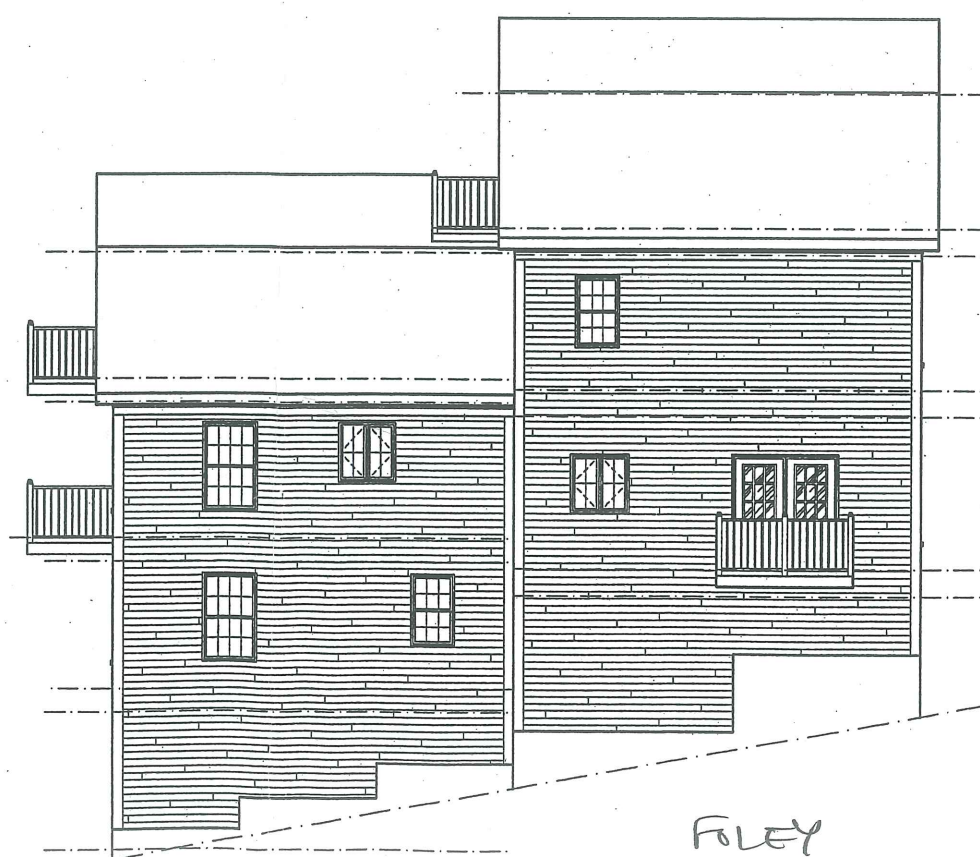


Front Elevation **ORANGE**

Right Elevation **SALEM**



Left Elevation



Rear Elevation

DO NOT SCALE PRINTS
 Documents were prepared by an architectural firm; they have not been reviewed by an architect or engineer. Neither Fromus nor the architect assumes any responsibility for design errors, omissions, dimensions, code compliance and other matters. Dimensions, code compliance and other matters should be reviewed by the purchaser prior to construction. Damages shall be the cost of the plans.

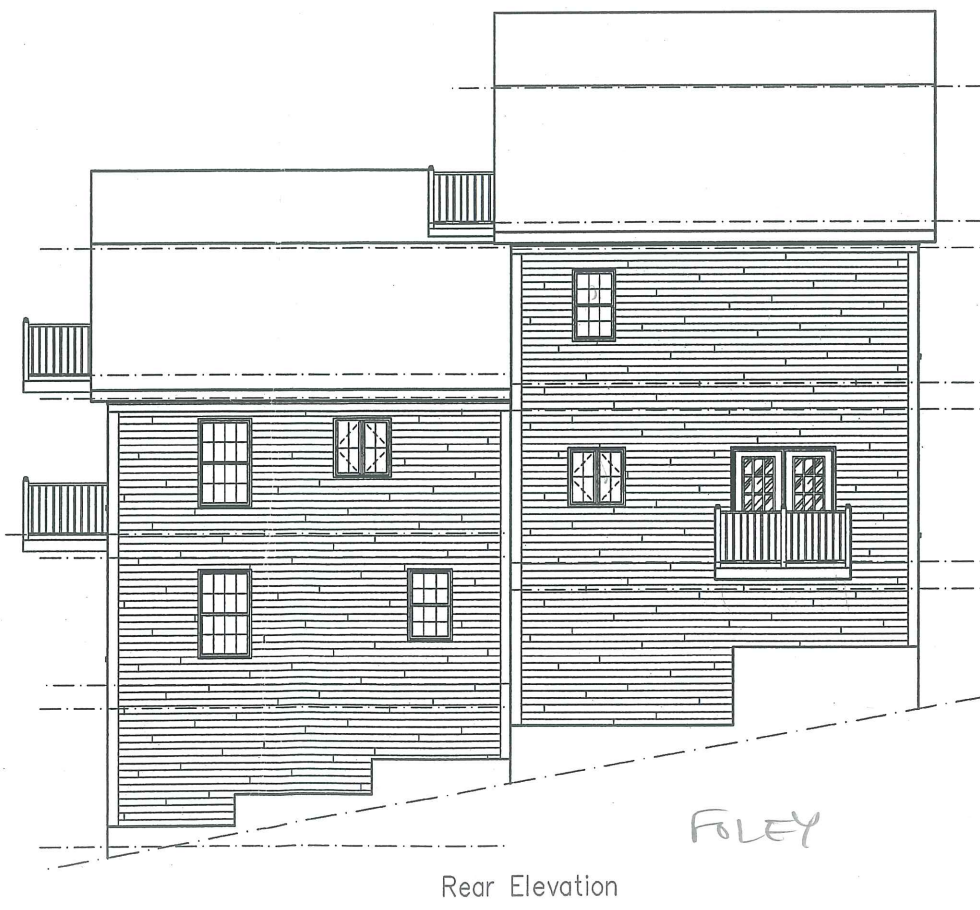
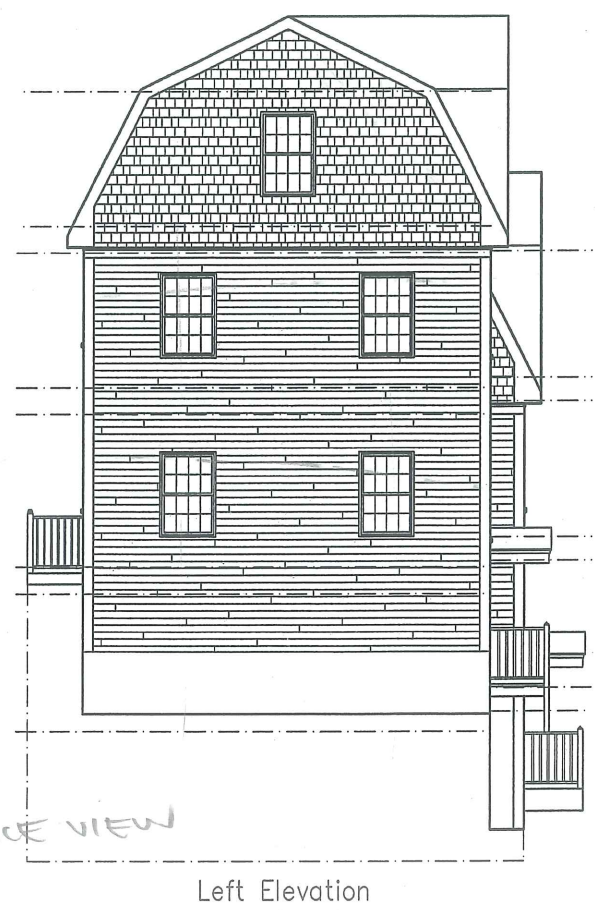
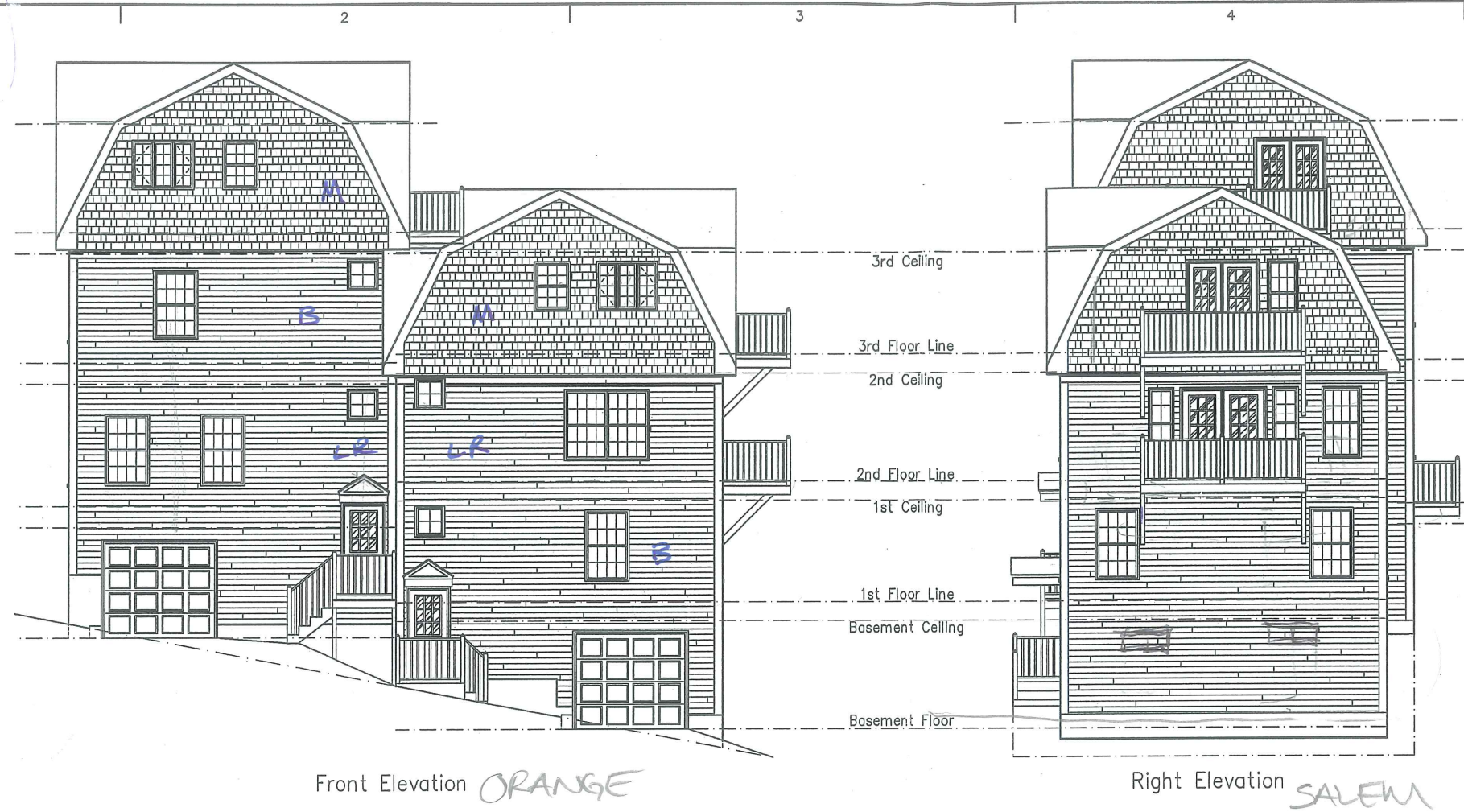
ISSUE DATE	
05/10/04	
DATE	REVISION
6/4/04	Revise to Design Principles & Standards
CAD DWG FILE: CN2448A1	
DRAWN BY: JCT	
CHECKED BY:	

SHEET TITLE
Elevations

24x36 Duplex Condominium for
 Steve Sanders
 1-3 Orange Street
 Portland, Maine

CONSULTANTS

Fromus
 PO Box 11
 Sabattus, Maine 04280
 207-375-4800



DO NOT SCALE PRINTS
 Documents were prepared by an architectural firm; they have not been reviewed by an architect or engineer. Neither Fromus nor the architect assumes any responsibility for design errors. Dimensions, code compliance and other details should be reviewed by the purchaser prior to construction. Damages shall be the cost of the plans.

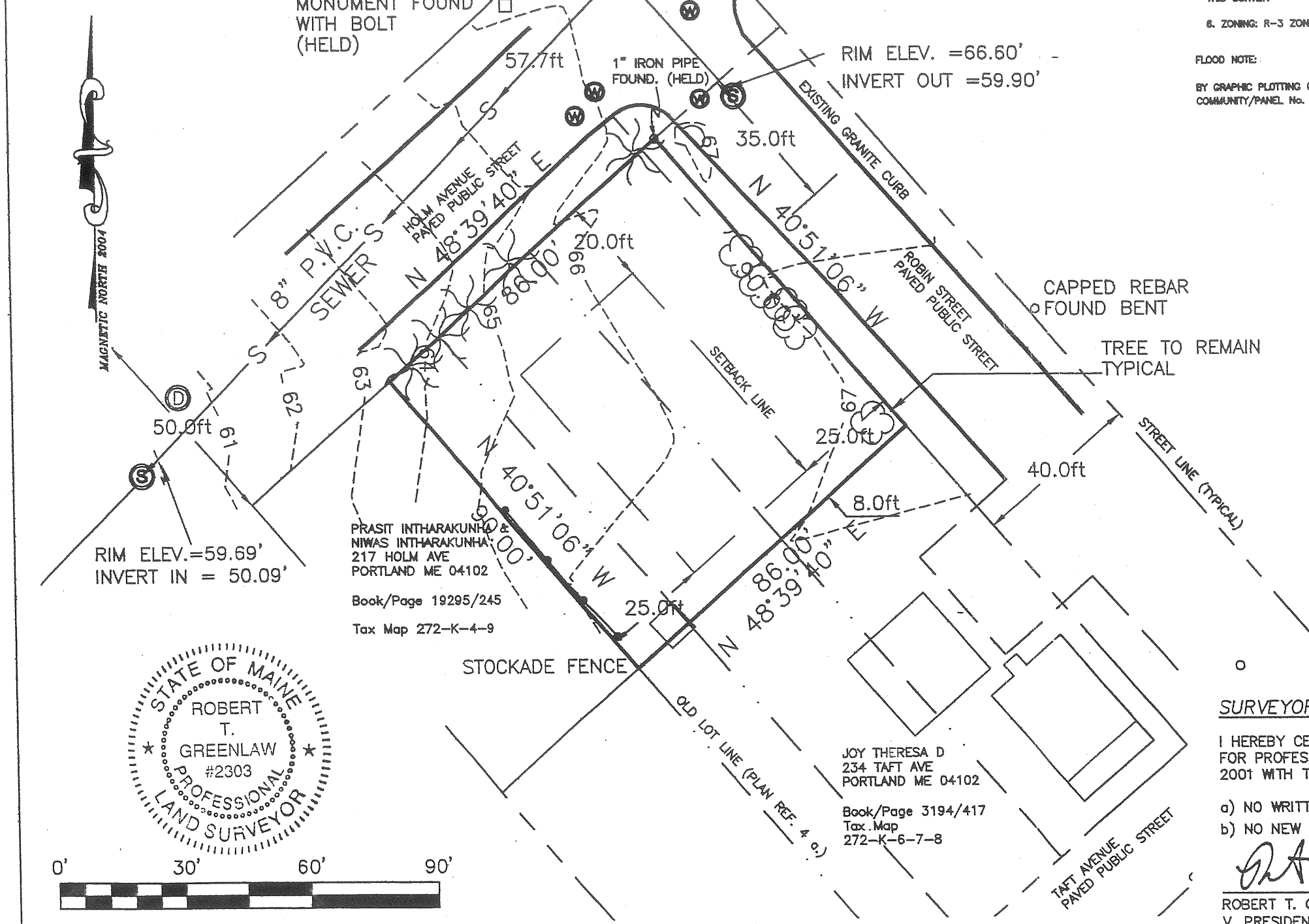
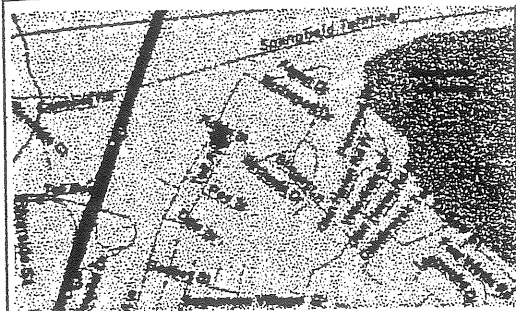
FROMUS
 PO Box 11
 Sabattus, Maine 04280
 207-375-4800

CONSULTANTS

24x36 Duplex Condominium for
 Steve Sanders
 1-3 Orange Street
 Portland, Maine

ISSUE DATE	
05/10/04	
DATE	REVISION
6/4/04	Revise to Design Principles & Standards
CAD DWG FILE: CN2448A1	
DRAWN BY: JCT	
CHECKED BY:	
SHEET TITLE	
Elevations	

SITE LOCATION MAP:



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: JENNIFER L. MCKENNA BOOK 19015 PAGE 013 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, MAGNETIC HAND HELD COMPASS.
3. AREA OF SUBJECT PARCEL: 8600 SQ. FT. 0.20 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) PORTLAND GARDENS, PORTLAND, MAINE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 12 PAGE 23. RECORDED 07-12-1912.
b.) CITY OF PORTLAND TAX MAP 272, LOT SHOWN IN BLOCK K LOTS 1,2 & 3.
c.) STREETLINE PLANS FROM THE CITY OF PORTLAND FOR HOLM, TAFT & ROBIN STREETS.
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
6. ZONING: R-3 ZONE SETBACKS: FRONT 25 FEET, REAR 25 FEET SIDE YARD 8 FEET FOR 1-1/2 STORY DWELLING.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PARCEL APPEARS TO FALL IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP COMMUNITY/PANEL No. 230051 / 6C REVISED DATE DECEMBER 8, 1998, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND

- CRS ⊙ Capped 5/8" Rebar Set PLS 2303.
- IPF ⊙ Iron Pipe Found
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- Z Indicates Ownership in Common
- ⊙ Utility Pole
- Abutter Line
- ==== Property Line
- Street Line
- ==== Edge of traveled way
- Setback Line
- 98 --- Contour Line
- ⊙ Sewer Manhole
- ⊙ Drain Manhole
- ⊙ Catch Basin
- u --- Overhead Utility
- Old Lot Line

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

Robert T. Greenlaw

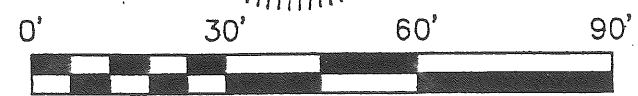
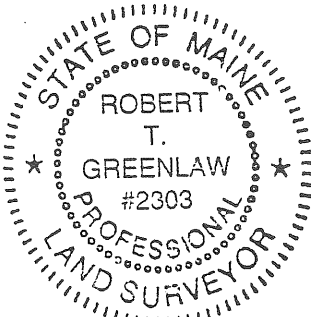
DATE: 09-28-2004

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

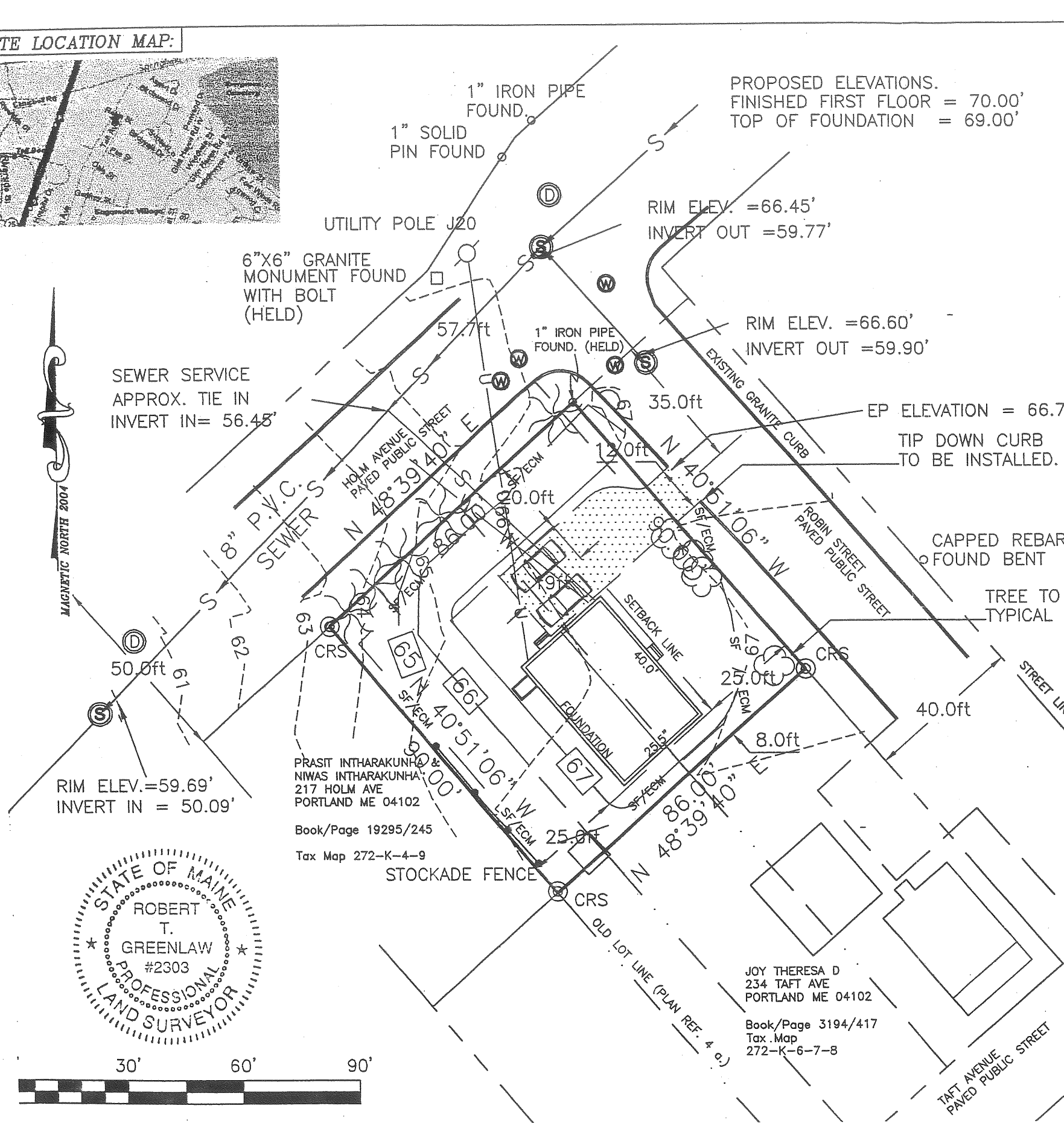
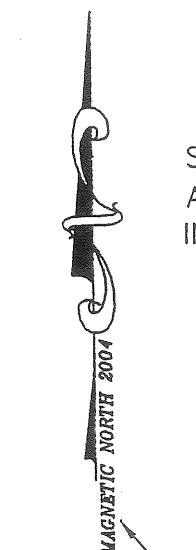
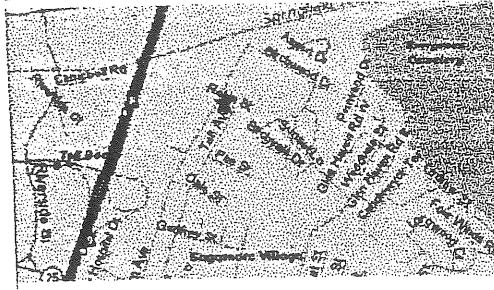
EXISTING CONDITIONS AT
32-36 ROBIN ST. PORTLAND, MAINE
FOR:
JENNIFER L. MCKENNA

DRAWN BY: RTG
CHECKED BY: KCC
SCALE: 1"=30'
DATE OF SURVEY: 09/23/2004
JOB NUMBER: 200412-P.12.7
SHEET: 1 OF 2

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65 NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-761-2010
DRAWER: 2004 NO: 127



SITE LOCATION MAP:



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: JENNIFER L. MCKENNA BOOK 19015 PAGE 013 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, MAGNETIC HAND HELD COMPASS.
3. AREA OF SUBJECT PARCEL: 8600 SQ. FT. 0.20 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) PORTLAND GARDENS, PORTLAND, MAINE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 12 PAGE 23. RECORDED 07-12-1912.
b.) CITY OF PORTLAND TAX MAP 272, LOT SHOWN IN BLOCK K LOTS 1.2 & 3.
c.) STREETLINE PLANS FROM THE CITY OF PORTLAND FOR HOLM, TAFT & ROBIN STREETS.
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
6. ZONING: R-3 ZONE SETBACKS: FRONT 25 FEET, REAR 25 FEET SIDE YARD 8 FEET FOR 1-1/2 STORY DWELLING.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PARCEL APPEARS TO FALL IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP COMMUNITY/PANEL No. 230051 / 8C REVISED DATE DECEMBER 8, 1998, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND

- CRS ⊙ Capped 5/8" Rebar Set PLS 2303
- IPF ⊙ Iron Pipe Found
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- Z Indicates Ownership in Common
- ⊙ Utility Pole
- Abutter Line
- Property Line
- Street Line
- Edge of traveled way
- Setback Line
- 98 --- Contour Line
- ⊙ Sewer Manhole
- ⊙ Drain Manhole
- ⊙ Water Gate
- ⊙ Catch Basin
- u --- Overhead Utility
- Old Lot Line
- SF/ECM Silt Fence/Erosion Control Mix
- 98 --- Proposed Contour Line

SURVEYORS STATEMENT:

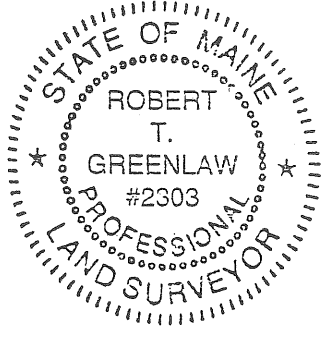
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

Robert T. Greenlaw

DATE: 09-28-2004

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.



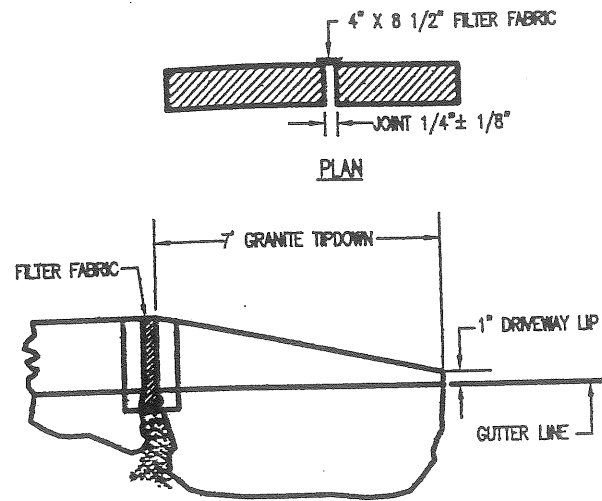
PRASIT INTHARAKUNHA & NIWAS INTHARAKUNHA
217 HOLM AVE
PORTLAND ME 04102
Book/Page 19295/245
Tax Map 272-K-4-9

JOY THERESA D
234 TAFT AVE
PORTLAND ME 04102
Book/Page 3194/417
Tax Map 272-K-6-7-8

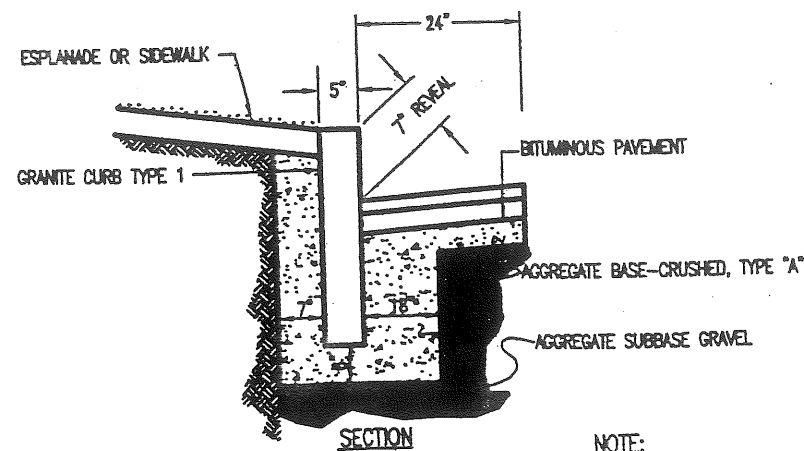
MINOR SITE PLAN FOR A SINGLE FAMILY DWELLING
 32-36 ROBIN ST. PORTLAND, MAINE
 FOR: JENNIFER L. MCKENNA

DRAWN BY: RTG
 CHECKED BY: KCC
 SCALE: 1"=30'
 DATE OF SURVEY: 09/23/2004
 JOB NUMBER: 20041217
 SHEET: 2 OF 2

PREPARED BY:
BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010
 DRAWER: 2004 NO: 442

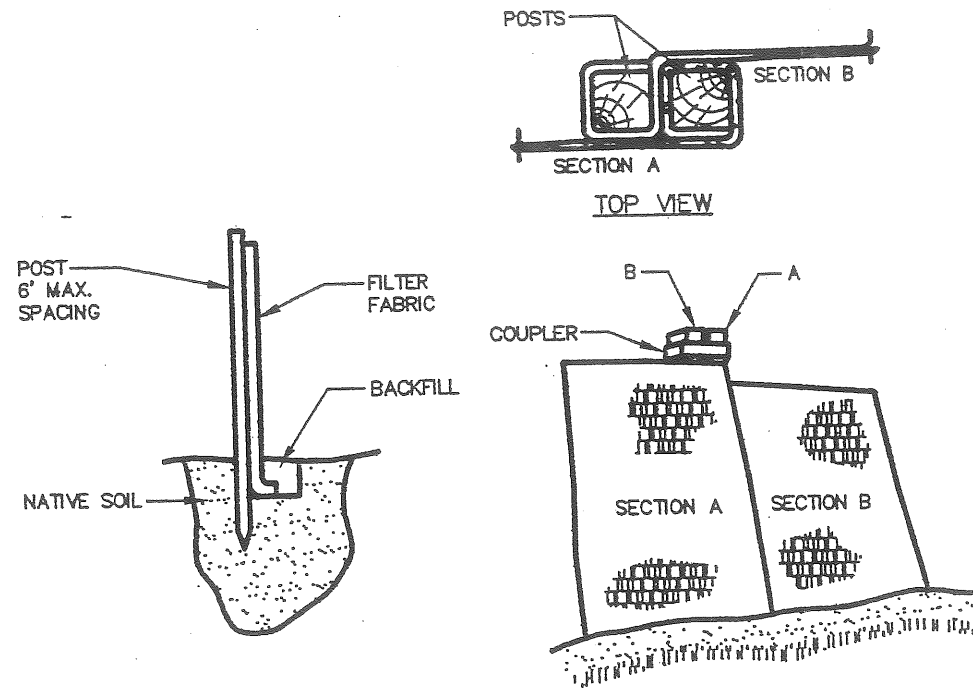


TYPICAL TIPDOWN CURB INSTALLATION
NOT TO SCALE



RESET EXISTING GRANITE CURB DETAIL
NOT TO SCALE

NOTE:
EXCAVATION INCIDENTAL
TO COST OF CURB



INSTALLATION:

1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM. JOIN SECTION AS SHOWN ABOVE.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
5. BARRIER SHALL BE MIRAFI SILT FENCE OR APPROVED EQUAL.

FILTER BARRIER
NOT TO SCALE

NOTE:

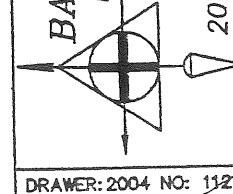
DETAILS PROVIDED BY THE CITY OF PORTLAND'S PUBLIC WORKS ENGINEERING DEPARTMENT.

DETAIL SHEET FOR A SINGLE FAMILY DWELLING
32-36 ROBIN ST. PORTLAND, MAINE

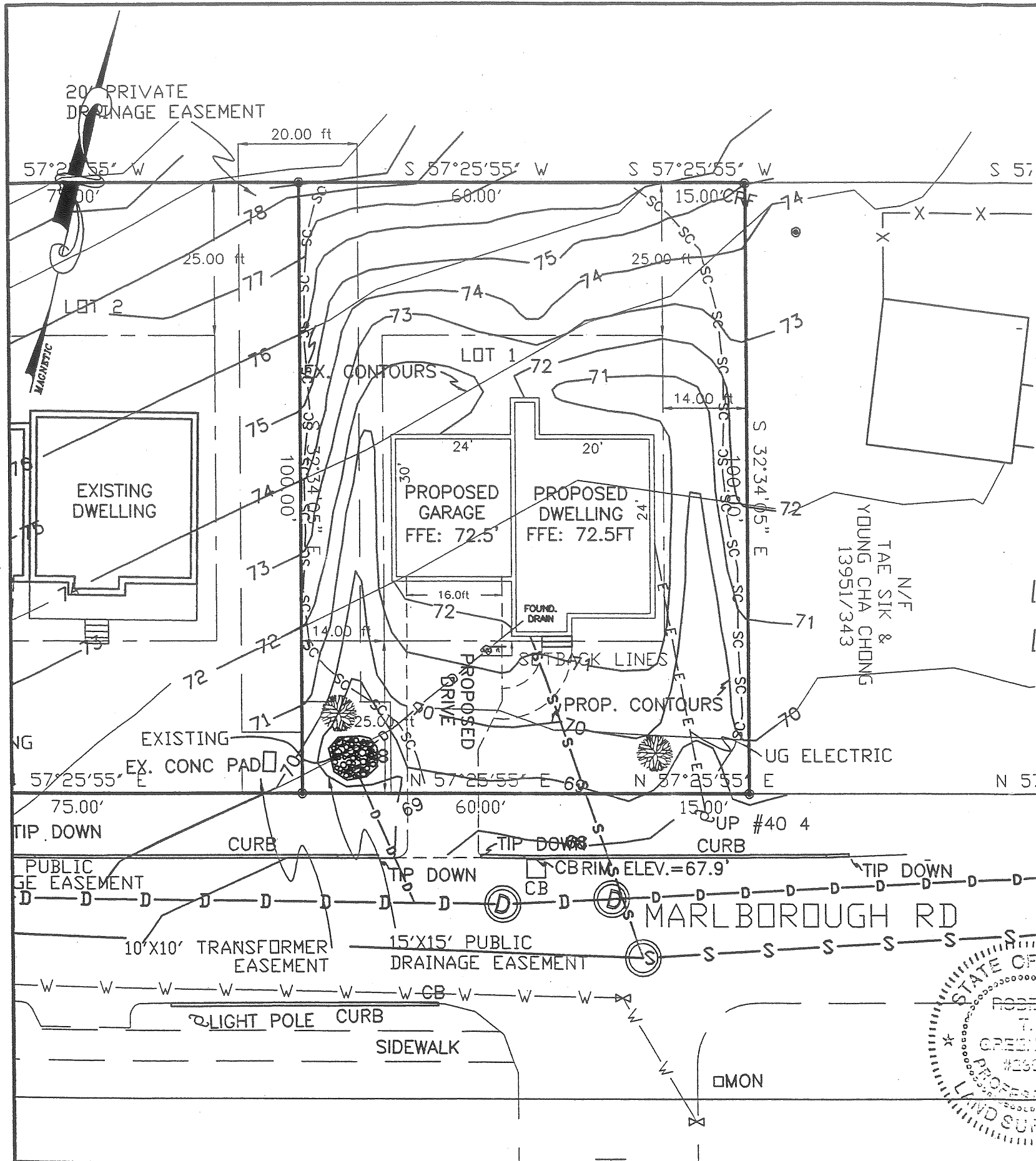
FOR: JENNIFER L. MCKENNA

DRAWN BY: RTG
CHECKED BY: KCC
SCALE: 1"=30'
DATE OF SURVEY: 09/23/2004
JOB NUMBER: 20041212.7
SHEET: 1 OF 1

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65 NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-761-2010



DRAWER: 2004 NO: 112



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: STEPHEN E. MARDIGAN AS DESCRIBED IN BOOK 17062 PAGE 167 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, 12/01/03. PORTLAND CHART 406 BLOCK F LOTS 29-31
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED IN THE MONTH OF DECEMBER BY BACK BAY BOUNDARY, INC. UTILIZING THE FOLLOWING EQUIPMENT:
 - a) LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 24 DATA COLLECTOR
3. AREA OF SUBJECT PARCEL: 7500.00 SQ. FT. 0.17 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a.) RAY GARDENS, PORTLAND, ME., OWNED BY J.W.WILBUR, SEPT. 1, 1914. PORTLAND, MAINE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 12 PAGE 103.
5. ZONING: R-3 ZONE
6. TEMPORARY FILL CURRENTLY PLACED ON LOT 3 TO BE REMOVED. ORIGINAL CONTOURS TO BE RESTORED.
7. ELECTRIC, WATER, AND SEWER LINES TO VERIFIED IN FIELD AND ATTACHED TO EXISTING STUBBED LINES.
8. CONSTRUCTION OF SWALE IN PRIVATE DRAINAGE EASEMENT SHALL BE COORDINATED WITH BOTH PROPERTY OWNERS.

LEGEND

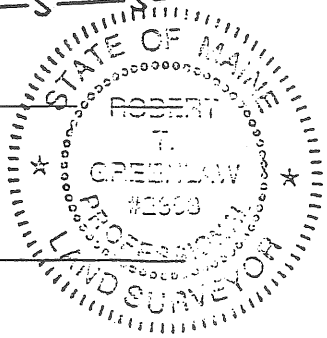
● Capped 5/8" Rebar Found	— u — Overhead Utility
○ Iron Pipe or Solid Pin Found	○ Utility Pole
△ Survey Instrument Point	- - - Edge of traveled way
— Abutter Line	- - - Set Back Line
— Property Line	⊙ Tree Per City Specifications
— Street Line	— Existing Contours
(50.00') Distance from reference plan or deed.	— Proposed Contours
N/F Now Or Formerly	— SILT OR EROSION CONTROL
	— SC — MEASURES PER DEP SPECS

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

Robert T. Greenlaw
 DATE: 02/12/2004

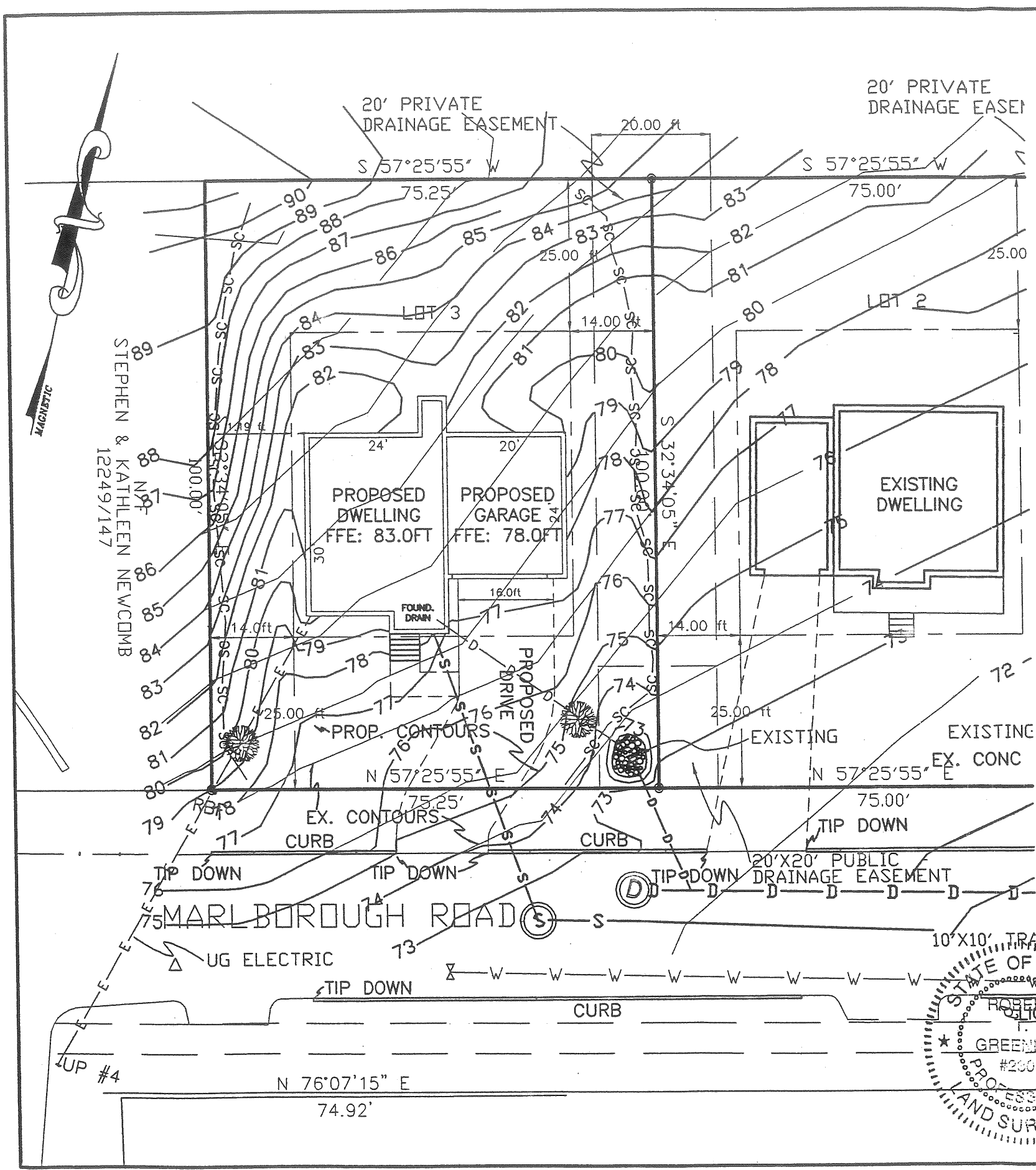


ROBERT T. GREENLAW P.L.S.
 PRESIDENT BACK BAY BOUNDARY, INC.

EXISTING CONDITIONS SITE PLAN
 LOT 1 MARLBOROUGH ROAD PORTLAND, MAINE
 FOR: STEPHEN E. MARDIGAN

DRAWN BY: DMD - FJM
CHECKED BY: GAS
SCALE: 1"=20'
DATE: 10/24/2003
JOB NUMBER: 2003148
SHEET: 1 OF 2

REVISION 1: 02/11/2004 CHANGED DRIVEWAY ALIGNMENTS & CORRECTED CURB CUTS
 PREPARED BY:
BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010
 DRAWER: 2003 NO:148



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: STEPHEN E. MARDIGAN AS DESCRIBED IN BOOK 17062 PAGE 167 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, 12/01/03. PORTLAND CHART 406 BLOCK F LOTS 33-35.
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED IN THE MONTH OF OCTOBER BY BACK BAY BOUNDARY, INC. UTILIZING THE FOLLOWING EQUIPMENT:
a) LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 24 DATA COLLECTOR
3. AREA OF SUBJECT PARCEL: 7525.00 SQ. FT. 0.17 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) RAY GARDENS, PORTLAND, ME., OWNED BY J.W.WILBUR, SEPT. 1, 1914. PORTLAND, MAINE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 12 PAGE 103.
5. ZONING: R-3 ZONE
6. TEMPORARY FILL CURRENTLY PLACED ON LOT 3 TO BE REMOVED. ORIGINAL CONTOURS TO BE RESTORED.
7. ELECTRIC, WATER, AND SEWER LINES TO BE VERIFIED IN FIELD AND ATTACHED TO EXISTING STUBBED LINES.
8. CONSTRUCTION OF SWALE IN PRIVATE DRAINAGE EASEMENT SHALL BE COORDINATED WITH BOTH PROPERTY OWNERS.

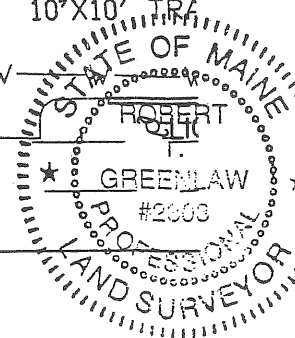
- LEGEND**
- Capped 5/8" Rebar Found
 - Iron Pipe or Solid Pin Found
 - △ Survey Instrument Point
 - Abutter Line
 - Property Line
 - Street Line
 - (50.00') Distance from reference plan or deed.
 - N/F Now Or Formerly
 - u — Overhead Utility
 - Utility Pole
 - - - Edge of traveled way
 - - - Set Back Line
 - Tree Per City Specifications
 - Existing Contours
 - Proposed Contours
 - SILT OR EROSION CONTROL
 - SC- MEASURES PER DEP SPECS

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

Robert T. Greenlaw
 ROBERT T. GREENLAW P.L.S.
 PRESIDENT BACK BAY BOUNDARY, INC.
 DATE: 02/12/2004



EXISTING CONDITIONS SITE PLAN
 LOT 3 MARLBOROUGH ROAD PORTLAND, MAINE
 FOR: STEPHEN E. MARDIGAN

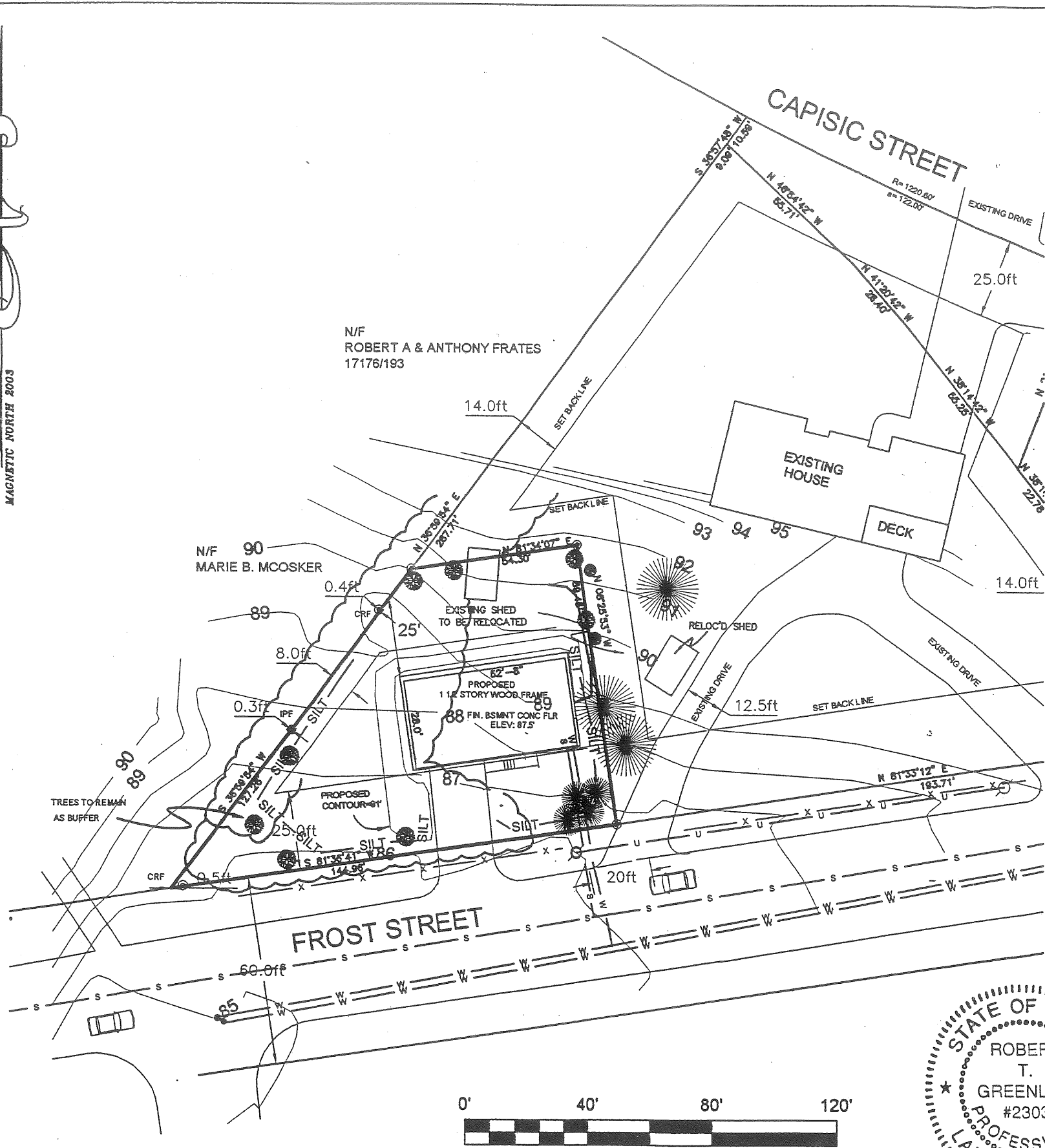
REVISION 1: 02/11/2004 CHANGED DRIVEWAY ALIGNMENTS & CORRECTED CURB CUTS

PREPARED BY: BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010

DRAWN BY: DMD - PJM
 CHECKED BY: GAS
 SCALE: 1"=20'
 DATE: 10/24/2003
 JOB NUMBER: 2003148
 SHEET: 2 OF 2

DRAWER: 2003 NO:148

MAGNETIC NORTH 2003



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: DEAN D. BRYAN BOOK 17935 PAGE 200 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. AREA OF PROPOSED PARCEL: 8895.0 SQ. FT. 0.20 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a.) PLAN OF PROPERTY 68 CAPISIC ST. PORTLAND, MAINE MADE FOR THELMER ASSELYN DATED 11/04/1986 BY R.P. TITCOMB ASSOC. RECOVERED FROM PORTLAND PUBLIC WORKS DEPARTMENT.
 - b.) CITY OF PORTLAND TAX MAP 195 ORIGINAL LOT SHOWN AS BLOCK B, LOT 73.
 - c.) CITY OF PORTLAND STREETLINE SHEETS FOR FROST AND CAPISIC STREETS
5. ZONING: R-3 ZONE
 MINIMUM LOT SIZE: 6500 SQUARE FEET/UNIT = 13000 SQ FT
 MINIMUM FRONT YARD: 25 FEET
 MINIMUM REAR YARD: 25 FEET
 MINIMUM SIDE YARD: 1 STORY = 8 FEET, 2 STORY = 14 FEET.
 MINIMUM LOT WIDTH: 75 FEET
6. MAXIMUM LOT RATIO: 25%
 OF LOT = 2167.63 Sq. Ft.
 PROPOSED = 1995.5 Sq. Ft.
7. TWO STREET TREES TO REMAIN OR BE PLANTED, MIN. SIZE 2-1/2" CALIPER
8. SILT FENCE OR EROSION MIX TO BE INSTALLED PRIOR TO CONSTRUCTION.
9. EXISTING DRIVEWAY TO BE RELOCATED AS SHOWN, 20 FEET FROM NEW DRIVEWAY.

LEGEND

- ⊙ Capped 5/8" Rebar To Be Set With Registration Number 2303
- Iron Pipe or Solid Pin Found
- ⊙ Capped 5/8" Rebar Found
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- u — Overhead Utility
- ⊕ Utility Pole
- Edge of traveled way
- - - - - Set Back Line
- Contour Line
- Minimum of Two Trees to in excess of 2-1/2" to Remain.

SURVEYORS STATEMENT:

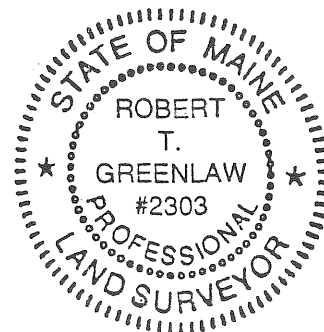
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

Robert T. Greenlaw

DATE: 06-22-2004

ROBERT T. GREENLAW P.L.S. #2303
 PRESIDENT BACK BAY BOUNDARY, INC.



REVISED 06-22-2004: CHANGED BLDG ORIENTATION, RELOCATED DRIVEWAY.
 REVISED 04-21-2004~ ADDED TREE NOTE, SILT FENCE AND MOVED SHED PER CITY.

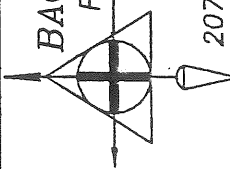
MINOR SITE PLAN
 For: A PROPOSED LOT SPLIT
 71 FROST STREET PORTLAND, MAINE

DEAN D. BRYAN

FOR:

DRAWN BY: DMD	CHECKED BY: GAS	SCALE: 1"=40'	SURVEY DATE: 07/18/03
JOB NUMBER: 200396	SHEET: 1 OF 1		

PREPARED BY:
BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010



DRAWER: 2003 NO: 96C



PROPOSED FINISHED FIRST FLOOR ELEVATION: 103.00'

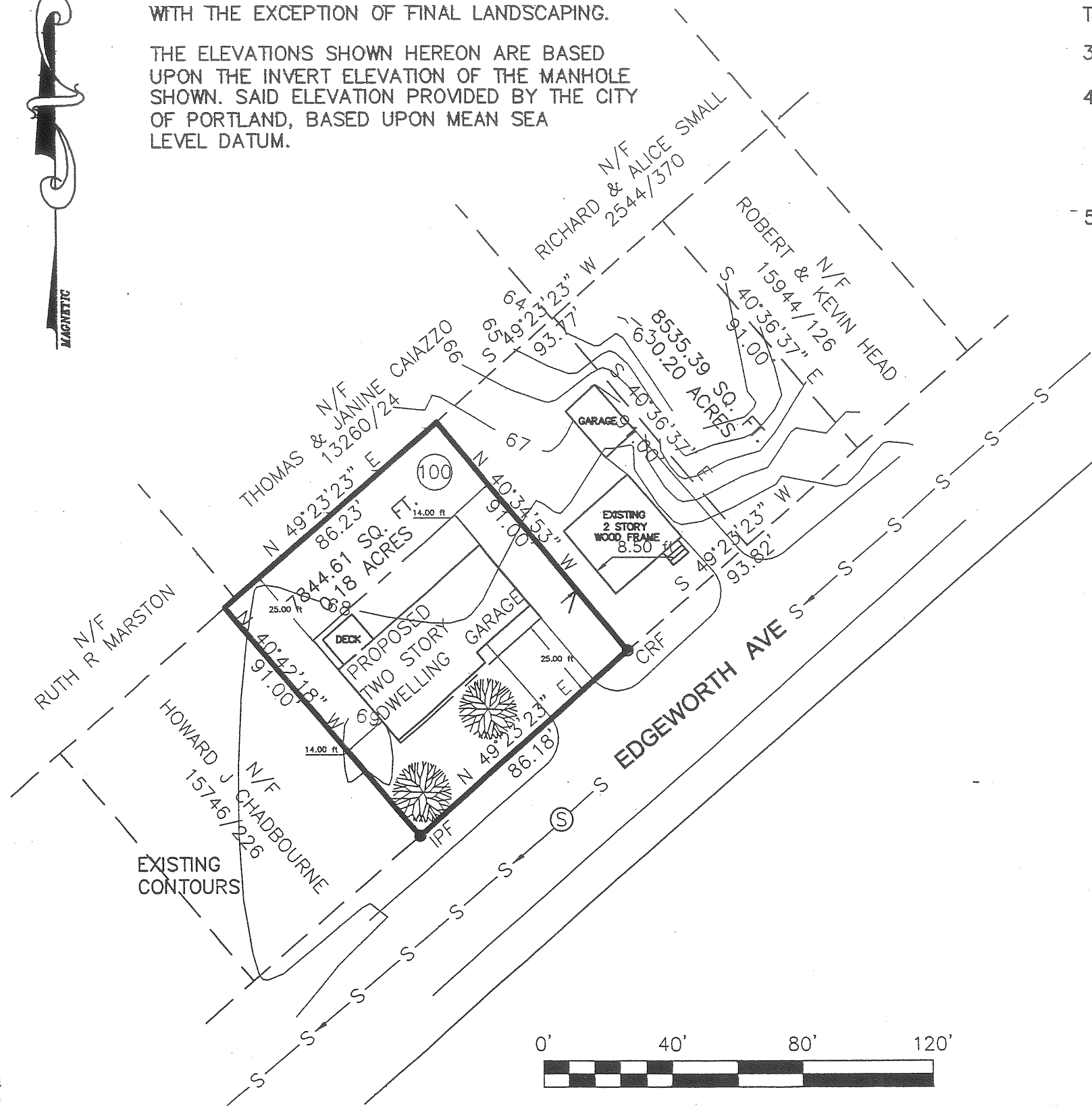
NO CHANGES TO EXISTING CONTOURS PLANNED WITH THE EXCEPTION OF FINAL LANDSCAPING.

THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE INVERT ELEVATION OF THE MANHOLE SHOWN. SAID ELEVATION PROVIDED BY THE CITY OF PORTLAND, BASED UPON MEAN SEA LEVEL DATUM.

GENERAL NOTES:

1. RECORD OWNER OF PARCEL: PAUL FRENCH AS DESCRIBED IN BOOK 14584, PAGE 72 RECORDED IN THE COUNTY REGISTRY OF DEEDS
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. AREA OF SUBJECT PARCEL: 7,844.61 SQUARE FEET OR .18 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a) CITY OF PORTLAND TAX MAP #183, BLOCK B, LOT #25
 - b) EDGEWORTH PARK BY J.A. JONES, ENG. RECORDED IN SAID REGISTRY JUNE 21, 1906 IN PLAN BOOK 11, PAGE 11
5. ZONING
THE SUBJECT PARCEL IS CURRENTLY LOCATED IN RESIDENTIAL ZONE- R-3
MINIMUM FRONT YARD 25 FEET
MINIMUM SIDE YARD 14 FEET - TWO STORY
MINIMUM REAR YARD 25 FEET

BY GRAPHIC PLOTTING ONLY, THIS PARCEL APPEARS TO BE IN ZONE C, FLOOD INSURANCE RATE MAP, COMMUNITY #230051, PANEL 13B WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986. AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



- LEGEND**
- Capped 5/8" Rebar Found
 - Iron Pipe or Solid Pin Found
 - ◁ Survey Instrument Point
 - Abutter Line
 - Property Line
 - Street Line
 - (50.00') Distance from reference plan or deed.
 - N/F Now Or Formerly
 - A.G. Above Grade
 - B.G. Below Grade
 - u — Overhead Utility
 - ⊕ Utility Pole
 - Edge of traveled way
 - ⊕ Man Hole

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S.
PRESIDENT BACK BAY BOUNDARY, INC.

DATE:

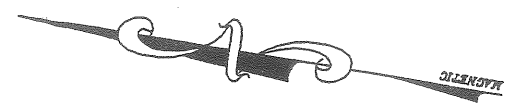
REVISION 1 (02.14.03): LOCATED EXISTING CONTOURS AND UTILITIES

MINOR SITE PLAN / LOT SPLIT
AT 100 EDGEWORTH AVE PORTLAND, MAINE

FOR: PAUL FRENCH

DRAWN BY: DMD	PREPARED BY: BACK BAY BOUNDARY, INC.
CHECKED BY: GAS	PROFESSIONAL LAND SURVEYING
SCALE: 1"=40'	65 NEWBURY STREET
DATE: 02-14-2003	PORTLAND, MAINE
JOB #: 200307	207-774-2855 FAX 207-761-2010
SHEET:	

DRAWER: 2003 NO: 07

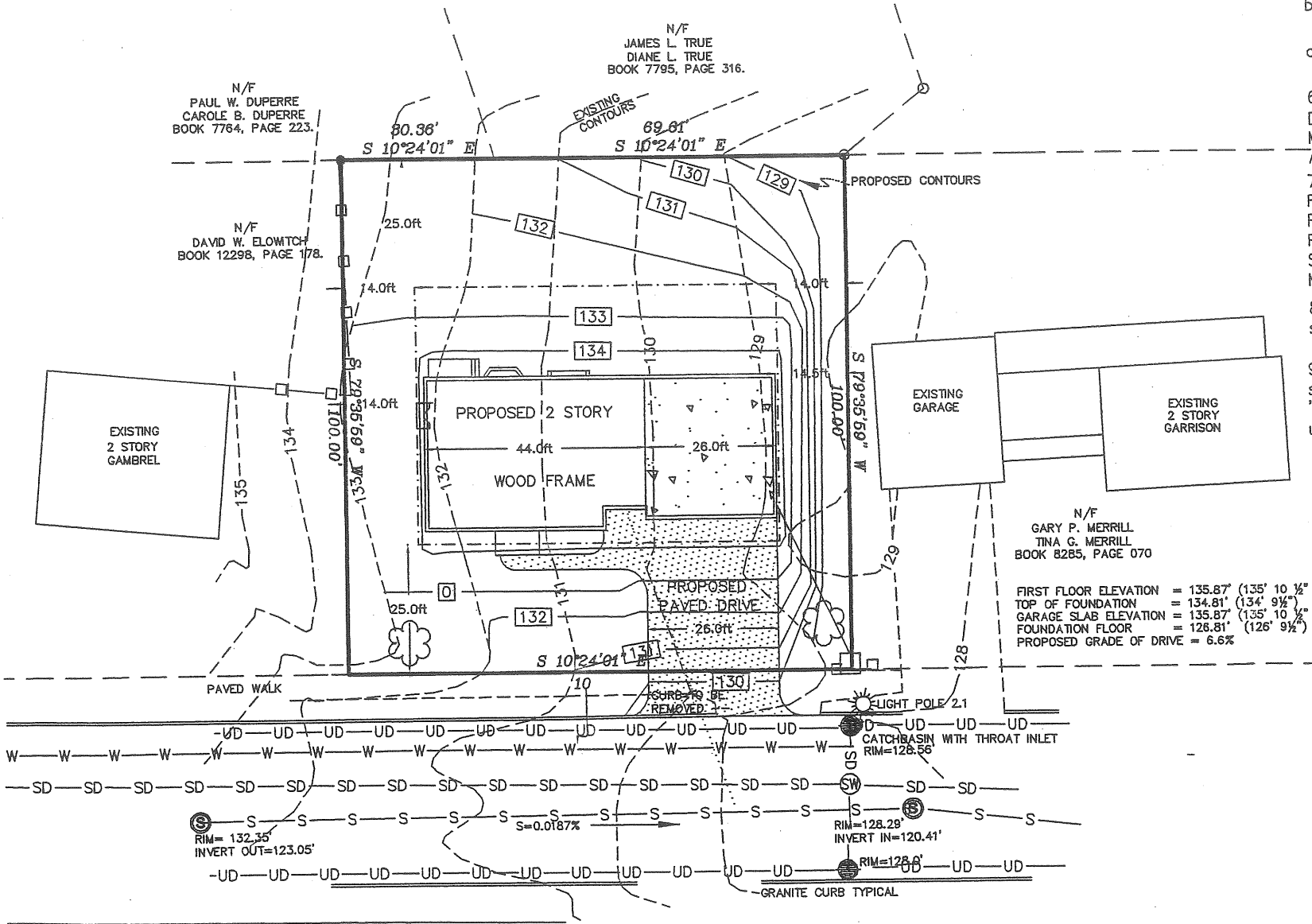


GENERAL NOTES:

1. RECORD OWNER OF PARCEL: GILBERT P. GALLI AND JO-ANN T. GALLI AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 9924, PAGE 19.
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY.
3. AREA OF SUBJECT PARCEL: 10000 SQUARE FEET.
4. A MINIMUM OF 2 TREES SHALL REMAIN IN THE PROPOSED FRONT YARD.
5. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a. RECORDING PLAT-PHASE I, PINELOCH WOODS, PORTLAND, MAINE DATED MARCH 5, 1986 RECORDED IN THE AFOREMENTIONED REGISTRY IN PLAN BOOK 155, PAGE 31.
 - b. "PINELOCH WOODS, ROARING BROOK ROAD STA. (-)0+20 TO STA. 10+50 "DATED 01-31-79 LAST REVISION 09-03-86. RETRIEVED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPT.
 - c. CITY OF PORTLAND ASSESSOR MAP 397, LOT SHOWN AS BLOCK A, LOT 62.
6. ELEVATIONS ARE BASED UPON CITY OF PORTLAND DATUM, ELEVATION 135.25' ON A BRASS BOLT IN THE MONUMENT AT THE NORTHWEST CORNER OF PINELOCH AND ROARING BROOK.
7. ZONING: RESIDENTIAL-2 R-2
FRONT YARD 25 FEET
REAR YARD 25 FEET
SIDE YARD 14 FEET 2 STORY RESIDENCE
MINIMUM AREA 10000 SQUARE FEET
8. Siltfence to be installed prior to excavation, see City of Portland requirements.
9. Before commencing any excavation on this site the responsible contractor shall contact "DIG SAFE" at 1-800-dig safe to have the underground utilities verified.

LEGEND

- Capped 5/8" Rebar To Be Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- △ Survey Instrument Point
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- u - Underground Utility
- ⊙ Manhole
- Edge of traveled way
- UD = 6" TYPE "B" UNDERDRAIN
- W = 8" DUCTILE IRON WATERMAIN
- SD = 21" STORMDRAIN
- S = 8" SANITARY SEWER PVC SDR 35



N/F
GARY P. MERRILL
TINA G. MERRILL
BOOK 8285, PAGE 070

FIRST FLOOR ELEVATION = 135.87' (135' 10 1/2")
TOP OF FOUNDATION = 134.81' (134' 9 1/2")
GARAGE SLAB ELEVATION = 135.87' (135' 10 1/2")
FOUNDATION FLOOR = 128.81' (128' 9 1/2")
PROPOSED GRADE OF DRIVE = 6.6%

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

DATE: APRIL 22, 2002

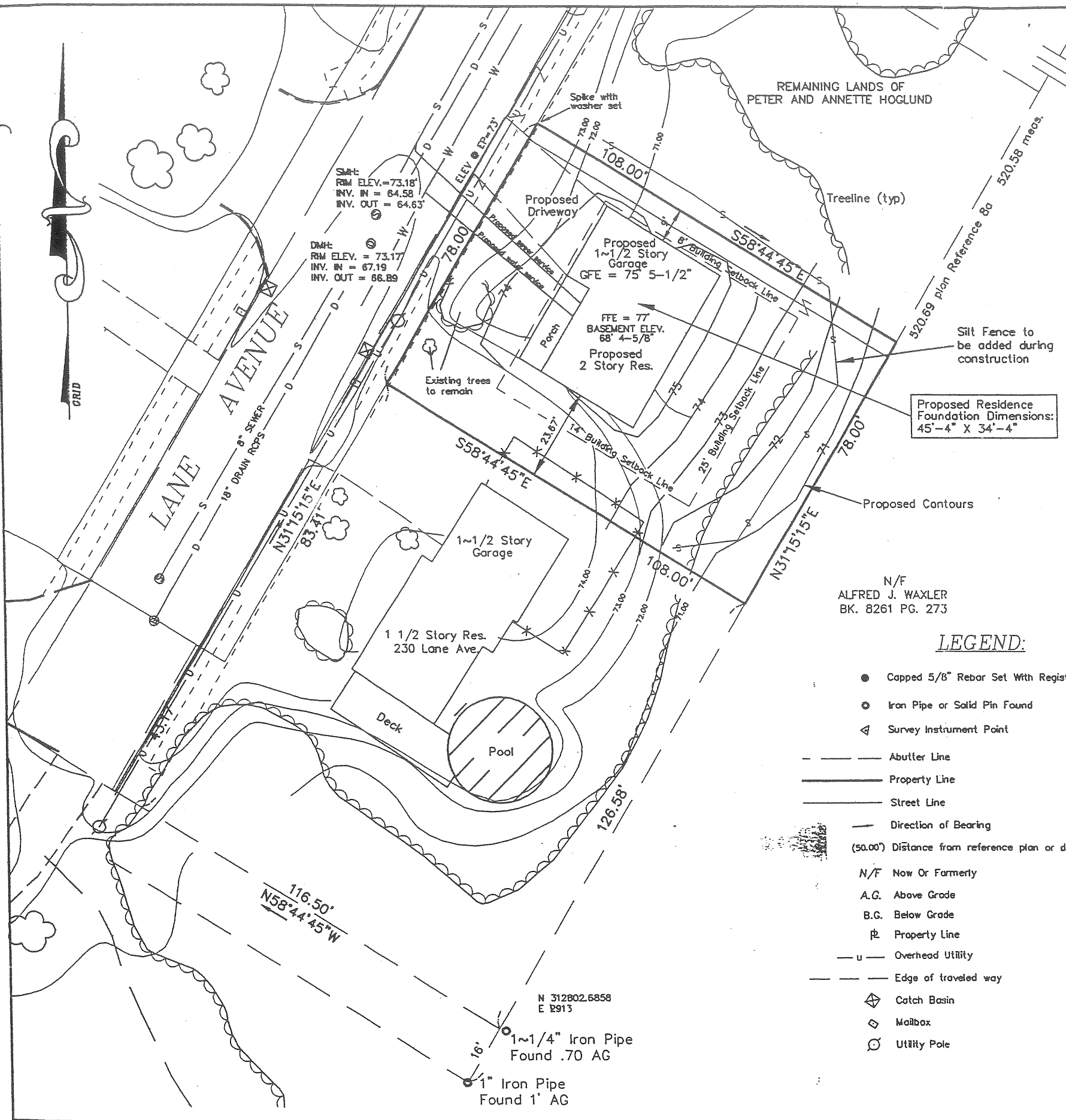
ROBERT T. GREENLAW P.L.S.
PRESIDENT BACK BAY BOUNDARY, INC.

EXISTING CONDITIONS / SITE PLAN
 FOR A PROPOSED 2 STORY RESIDENCE AT:
 #73 ROARING BROOK ROAD, PORTLAND, MAINE
 FOR:
 GILBERT P. GALLI

DRAWN BY: RTG
 CHECKED BY: BEG
 SCALE: 1"=30'
 DATE: APRIL 22, 2002
 JOB NUMBER: 200237-P
 SHEET: 1 of 1

PREPARED BY:
 BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010
 DRAWER: 2002 NO: 37





Capped Rebar Found
PLS No. 1177 (Maxfield)
(Held)

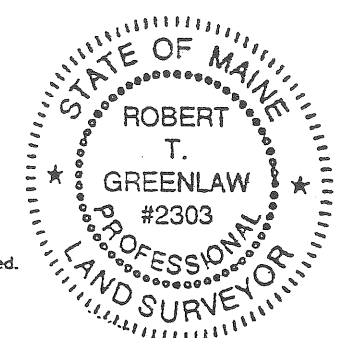
GENERAL NOTES

1. RECORD OWNER OF PARCEL: PETER E. HOGLUND JR. AND NICOLE S. HOGLUND SEE DEED RECORDED IN BOOK 16235 PAGE 138 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. BEARINGS ARE BASED UPON GRID NORTH AS DEFINED BY THE MAINE STATE COORDINATE SYSTEM WEST ZONE AS PROVIDED BY THE CITY OF PORTLAND'S ENGINEERING DEPARTMENTS AERIAL PHOTOGRAPHY DATED 1996.
3. AREA OF PARCEL: 8424 SQUARE FT. OR .19 ACRES.
4. THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY BACK BAY BOUNDARY, INC. DURING APRIL, 2001 UTILIZING THE FOLLOWING EQUIPMENT:
SOKKISHA LIETZ SET 4 ELECTRONIC DISTANCE METER AND LIETZ SDR 24 ELECTRONIC FIELD BOOK
5. ALL DOCUMENTS REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY ARE OF PUBLIC RECORD. THERE MAY EXIST OTHER DOCUMENTS THAT ARE NOT PART OF PUBLIC RECORD WHICH COULD AFFECT THE RESULTS OF THIS SURVEY.
6. THE EXISTING CONTOURS WERE DEVELOPED FROM DIGITAL MAPS DATED 1996, PROVIDED BY THE CITY OF PORTLAND ENGINEERING DEPT. THE CONTOURS WERE CHECKED IN THE FIELD AND FOUND TO BE ACCURATE WITHIN CURRENT NATIONAL MAPPING STANDARDS.
7. VERTICAL IS BASED UPON GENERAL NOTE NUMBER 5 ON PLAN REFERENCE Bg BELOW.
8. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a) PLAN MADE FOR EUCLID AMBLER ASSOCIATES BY D.A. MAXFIELD, JR. DATED FEBRUARY, 1988 AND RECORDED IN SAID REGISTRY IN PLAN BOOK 189 PAGE 30.
 - b) STANDARD BOUNDARY SURVEY OF EUCLID AMBLER ASSOC. BY D.A. MAXFIELD, JR. DATED JANUARY, 1986 AND RECORDED IN SAID REGISTRY.
 - c) PORTLAND WATER DISTRICT INFILTRATION-INFLOW ANALYSIS SHEET DRAWING NO. 1-25 DATED 1988.
 - d) PROPOSED FOUR LOT SUBDIVISION, LANE AVE EXTENSION, BY DELTA REALTY DATED 5-7-1990 AND RECORDED IN SAID REGISTRY IN PLAN BOOK 187 PAGE 20.
 - e) PLAN SHOWING PHASE III OF PINE TREE TERRACE FOR EUCLID AMBLER ASSOC. BY D.A. MAXFIELD, JR. DATED MAY, 1985 AND RECORDED IN SAID REGISTRY IN PLAN BOOK 148 PAGE 34.
 - f) CITY OF PORTLAND ASSESSORS MAP NO. 308 BLOCK B LOT 57.
 - g) MINOR SITE PLAN FOR JAMES M. HOGLUND BY BACK BAY BOUNDARY, INC. DATED 03-05-2001.

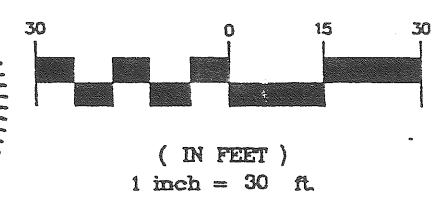
N/F
ALFRED J. WAXLER
BK. 8261 PG. 273

LEGEND:

- Capped 5/8" Rebar Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- ◁ Survey Instrument Point
- - - Abutter Line
- Property Line
- Street Line
- Direction of Bearing
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- ▭ Property Line
- - - Overhead Utility
- - - Edge of traveled way
- ◊ Catch Basin
- ◇ Mailbox
- Utility Pole



GRAPHIC SCALE



SURVEYORS STATEMENT:

I HEREBY CERTIFY TO PETER E. HOGLUND JR. EXCLUSIVELY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT

ROBERT T. GREENLAW PLS
REGISTRATION NO. 2303

DATED: MAY 22, 2001

Revised: May 22, 2001 Changed lot lines lot no. 2 / Corners set lot No. 2

BOUNDARY SURVEY/SITE PLAN
AT 230 LANE AVENUE PORTLAND MAINE

FOR: **PETER E. HOGLUND JR.**

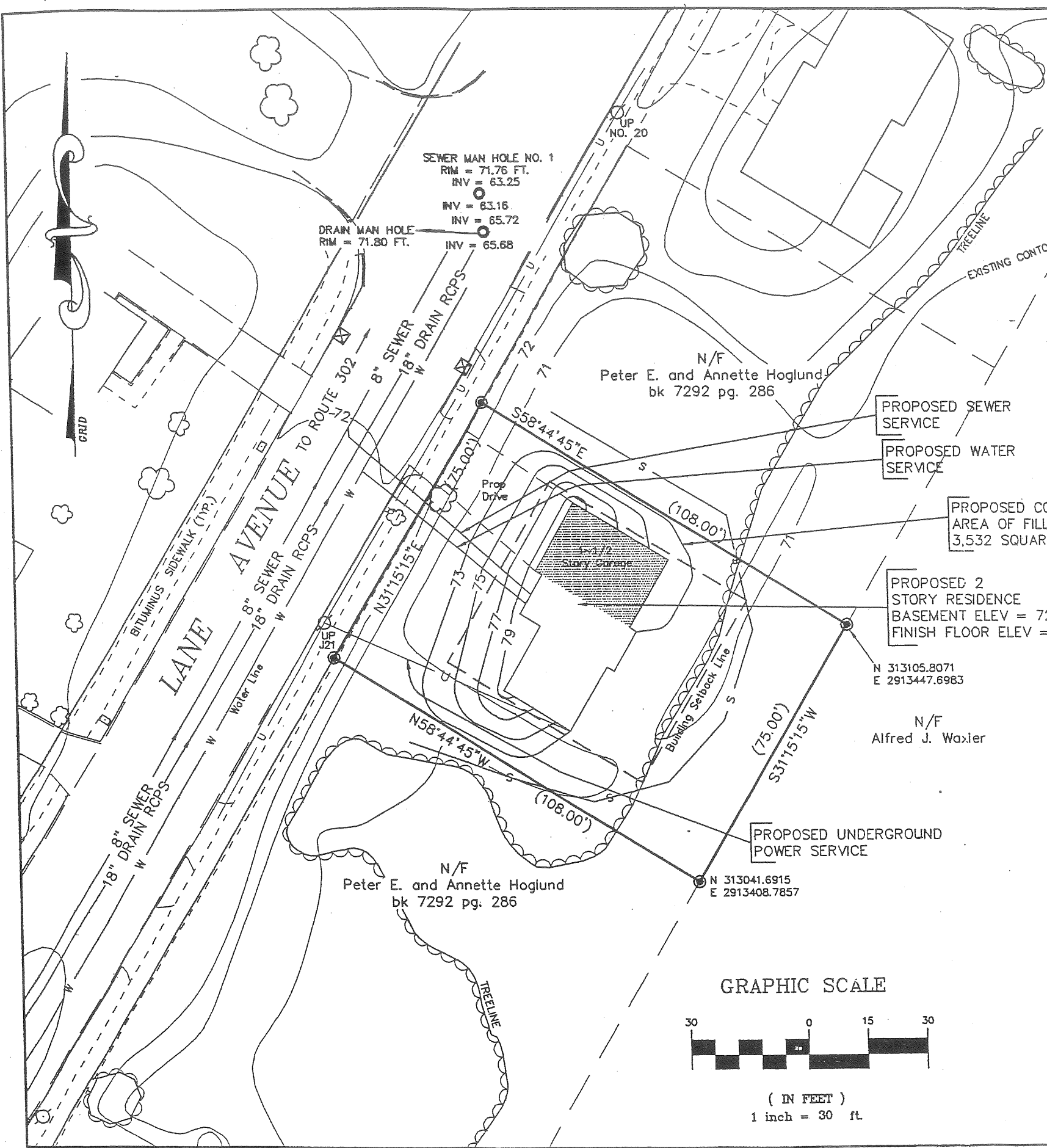
DRAWN BY:	SBB
CHECKED BY:	RTG
SCALE:	1" = 30'
DATE:	04-16-2001
JOB NUMBER:	200109P
SHEET:	2 of 2

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING

65A NEWBURY STREET
PORTLAND, MAINE

207-774-2855 FAX 207-774-4669

DRAWER: NO:



BENT REBAR FND
SHOT @ PLUMB
75.10 MEAS.
(75.00')

CAPPED REBAR FND
REG NO. 1177

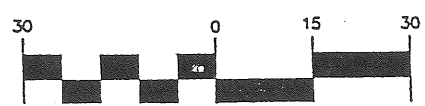
GENERAL NOTES:

1. OWNER OF RECORD: JAMES M. HOGLUND AS RECORDED IN BOOK 15794 PAGE 126 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY BACK BAY BOUNDARY, INC. UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA ELECTRONIC DISTANCE METER.
LIETZ SDR 24 DATA COLLECTOR.
3. BEARINGS ARE BASED UPON MAINE STATE PLANE COORIDNATES SYSTEM (WEST ZONE) NAD 83.
4. AREA OF THE PARCEL: 8,100 SQUARE FT. OR .19 ACRES.
5. VERTICAL DATUM IS BASED UPON THE INVERTS OF SEWER MAN HOLE NO. 1. THE ELEVATION REFERENCE WAS OBTAINED FROM THE PORTLAND WATER DISTRICT INFILTRATION-INFLOW ANALYSIS PLAN DATED 1988 JOB NO. 51039.00.
6. PARCEL FALLS WITHIN THE R-3 AND FH ZONES:
SIDE SETBACK = 14 FT. 2 STORY RES.
FRONT AND REAR SETBACKS = 25 FT.
7. THE GARAGE IS CONSIDERED A 1-1/2 STORY STRUCTURE, THEREFORE THE SETBACK ON THE NORTHEASTERLY SIDELINE IS 8 FT.
8. SILT FENCE TO BE ADDED DURING CONSTRUCTION (SEE ATTACHED).
9. PERIMETER DRAIN TO BE INSTALLED ALONG FOOTINGS OF FOUNDATION.
10. THE EXISTING CONTOURS WERE DEVELOPED FROM DIGITAL MAPS DATED 1996, PROVIDED BY THE CITY OF PORTLAND ENGINEERING DEPT. THE CONTOURS WERE CHECKED IN THE FIELD AND FOUND TO BE ACCURATE WITHIN CURRENT NATIONAL MAPPING STANDARDS.

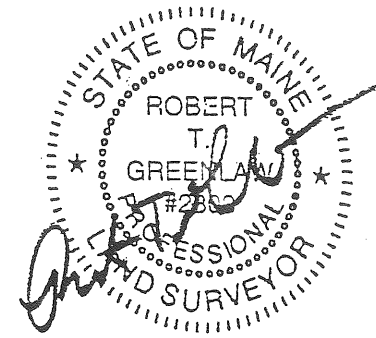
LEGEND

- Capped 5/8" Rebar To Be Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- △ Survey Instrument Point
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- u- Overhead Utility
- Utility Pole
- Edge of traveled way
- s- Silt Fence
- ☒ Catch Basin

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



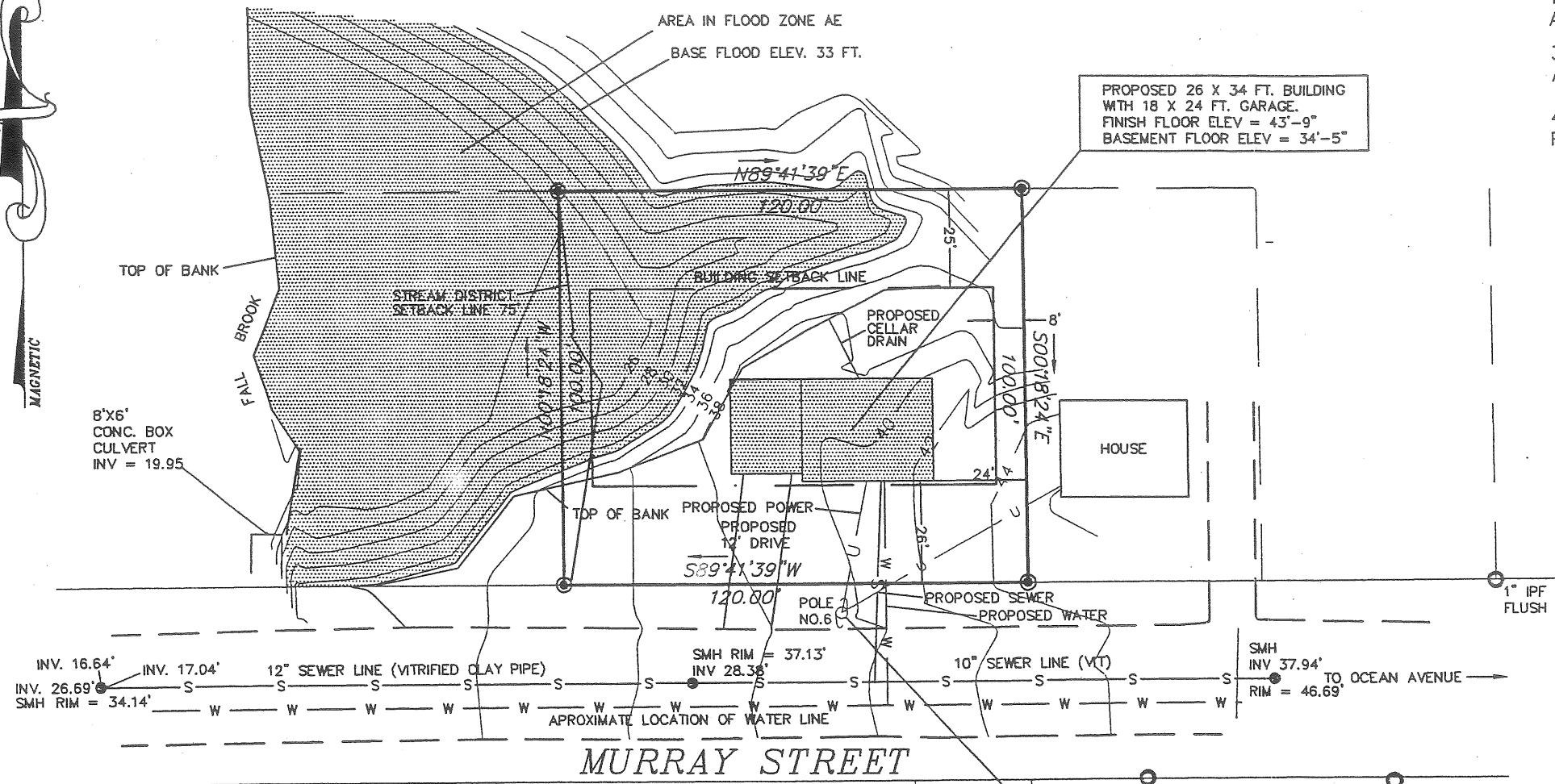
ROBERT T. GREENLAW, P.L.S.
PRESIDENT, BACK BAY BOUNDARY, INC.
REGISTRATION #2303

DATE: 03-15-2001

MINOR SITE PLAN
 SHOWING PROPOSED 2 STORY HOME
 ON LANE AVENUE PORTLAND, MAINE
 FOR: JAMES M. HOGLUND

DRAWN BY: SBB
 CHECKED BY: RTG
 SCALE: 1" = 30'
 DATE: 03-05-2001
 JOB NUMBER: 200107-P
 SHEET: 1 OF 1

PREPARED BY:
BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65A NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-774-4669
 DRAWER: NO:



PROPOSED 26 X 34 FT. BUILDING
WITH 18 X 24 FT. GARAGE.
FINISH FLOOR ELEV = 43'-9"
BASEMENT FLOOR ELEV = 34'-5"

PLAN REFERENCE:

1. FOREST HILLS BY A. H. CHAPMAN LAND CO. DATED JULY 1923 REVISED SEPT. 1923 AND RECORDED IN PLAN BOOK 15 PAGE 41 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. PORTLAND WATER DISTRICT POLLUTION ABATEMENT FACILITIES EAST SIDE COMBINED INTERCEPTOR CROSS COUNTRY STA. 8+85 TO STA. 16+85 BY CAMP DRESSER AND MCKEE INC. DATED AUGUST, 1973.
3. CITY OF PORTLAND BLUE SHEETS FOR MURRAY STREET AND OCEAN AVENUE.
4. PORTLAND WATER DISTRICT INFILTRATION-INFLOW ANALYSIS PLAN STUDY AREA 1

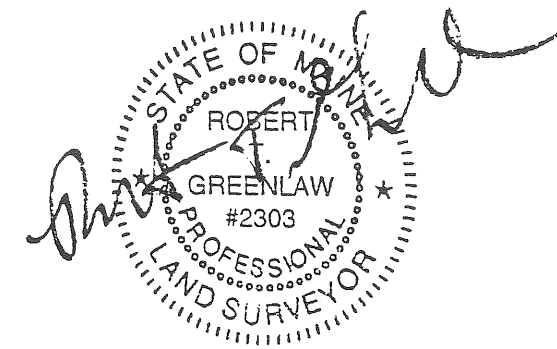
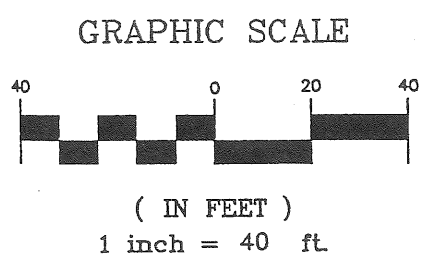
GENERAL NOTES:

1. A PORTION OF THE PARCEL FALLS WITHIN THE FLOOD ZONE AE AS SHOWN ON FLOOD INSURANCE RATE MAP PANEL NO. 230051 0007 C. DATED DEC. 8, 1998
2. BEARINGS ARE BASED ON A MAGNETIC OBSERVATION TAKEN IN THE FIELD BY BACK BAY BOUNDARY IN OCTOBER 1999.
3. A PORTION OF THE PARCEL FALLS WITHIN THE STREAM PROTECTION DISTRICT, 75 FT. SETBACK EITHER SIDE OF STREAM.
4. ALL UTILITIES SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
5. BENCH MARK INFORMATION BASED UPON CITY OF PORTLAND DATUM SEE REFERENCE NO. 2

LEGEND:

- Capped 5/8" Rebar Set With Registration Number 2303.
- Iron Pipe or Solid Pin Found
- △ Survey Instrument Point
- Abutter Line
- Property Line
- Street Line
- Direction of Bearing
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- ⊥ Property Line
- u — Overhead Utility
- ⊙ Utility Pole
- Edge of traveled way

ZONING
SITE IS IN A R3 ZONE
FRONT YARD SETBACK = 25 FT.
REAR YARD SETBACK = 25 FT.
SIDE YARD SETBACK = 8 FT.
MINIMUM STREET FRONTAGE = 50 FT.



ROBERT T. GREENLAW P.L.S.
PRESIDENT BACK BAY BOUNDARY, INC.
REGISTRATION NO. 2303

REBAR FOUND
1.0 AG
5/8"

REBAR FOUND
1.0 AG
5/8"

MINOR SITE PLAN
AT 63 MURRAY STREET PORTLAND, MAINE

WILLIAM DIBIASE

FOR:

REVISED: 12-03-2000 ELEVATION DATUM, PROPERTY CORNERS SET.

DRAWN BY: SBB
CHECKED BY: RTG
SCALE: 1" = 40'
DATE: 10-31-2000

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65A NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-774-4669

JOB NUMBER: 200047-P
SHEET: 1 OF 1

DRAWER: NO: