

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
Permit Number: 051763
DEC - 7 2005
CITY OF PORTLAND

This is to certify that Candlelight Holdings, LLC/S...hen Dal...
has permission to Repair rotted sills, add 4 new...lights &...corner...st replacement
AT 21 Orange St... 057 G009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in.
24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.
Health Dept.
Appeal Board
Other
Department Name

Jeannie Banke 12/7/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

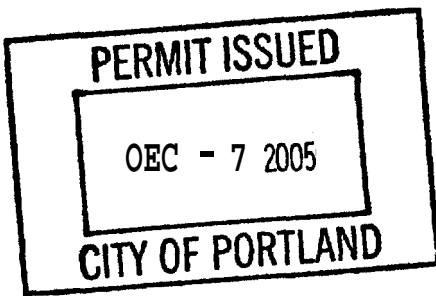
**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit 05-1763	Issue Date: 12/07/2005	CBL: 057 G009001
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<b>Location of Construction:</b> 21 Orange St	<b>Owner Name:</b> Candlelight Holdings, LLC	<b>Owner Address:</b>	<b>Phone:</b> 603-209-6987
<b>Business Name:</b>	<b>Contractor Name:</b> Stephen Dale	<b>Contractor Address:</b>	<b>Phone:</b> 2072427357
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	<b>Zone:</b> R6
<b>Past Use:</b> Single Family	<b>Proposed Use:</b> Single Family w/rotted sill repair, 4 new skylights & 1 comer post replacement	<b>Permit Fee:</b> \$102.00	<b>Cost of Work:</b> \$9,000.00
<b>Proposed Project Description:</b> Repair rotted sills, add 4 new skylights & 1 comer post replacement		<b>CEO District:</b> 2	<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied
		<b>INSPECTION:</b> Use Group: R3 Type: SB IRC-2003 Signature: JMB 12/7/05	
		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature _____ Date _____	
<b>Permit Taken By:</b> imb	<b>Date Applied For:</b> 12/06/2005	<b>Zoning Approval</b>	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>OK</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 12/7/05</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 05-1763	<b>Date Applied For:</b> 12/06/2005	<b>CBL:</b> 057 G009001
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<b>Location of Construction:</b> 21 Orange St	<b>Owner Name:</b> Candlelight Holdings, LLC	<b>Owner Address:</b>	<b>Phone:</b> 603-209-6987
<b>Business Name:</b>	<b>Contractor Name:</b> Steuhen Dale	<b>Contractor Address:</b>	<b>Phone:</b> (207) 242-7357
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> Single Family w/rotted sill repair, 4 new skylights & 1 corner post replacement	<b>Proposed Project Description:</b> Repair rotted sills, add 4 new skylights & 1 corner post replacement
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Jeanine Bourke      **Approval Date:** 12/07/2005  
**Note:**      **Ok to Issue:**

**Dept:** Building      **Status:** Approved      **Reviewer:** Jeanine Bourke      **Approval Date:** 12/07/2005  
**Note:**      **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to **work**.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 21 ORANGE Street		
Total Square Footage of Proposed Structure 900	Square Footage of Lot 2751	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# 9	Owner: CAMPBELL HOLDINGS, LLC	Telephone: 603-701-2000
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: WILLIAM ... 21 ORANGE Street ... 611-... 4300	Cost Of Work: \$9,000.00  Fee: \$ <del>102.00</del> 102.00
Current Specific use: _____	Proposed Specific use: _____	
Project description: Replacement of Sills in kitchen replacement of kitchen cabinets Address 4...		
Contractor's name, address & telephone: ...		
Who should we contact when the permit is ready: ...		
Mailing address: ... Phone: ...		

**Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: _____
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**This is not a permit; you may not commence ANY work until the permit is issued.**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number	1 of 1
Parcel ID	057 0009001
Location	21 ORANGE ST
Land Use	SINGLE FAMILY
Owner Address	THOMPSON NOLAN M 21 ORANGE ST PORTLAND ME 04202
Book/Page	14054/240
Legal	57-6-9 ORANGE ST 21-23  2935 SF

*10/12/06 12/7*  
*Joe*

**Current Assessed Valuation For Fiscal Year 2006**

Land	Building	Total
\$85,700	\$74,560	\$160,260

*#1763*

**Estimated Assessed Valuation For Fiscal Year 2007\***

Land	Building	Total
\$139,900	\$83,900	\$223,800

\* Value subject to change based upon review of property status as of 4/1/06.  
The tax rate will be determined by City Council in May 2006.

**Property Information**

Year Built	Style	Story Height	sq. Ft.	Total Acres	
1863	Old Style	1.5	1589	0.067	
Bedrooms	Pull Baths	Half Baths	Total Rooms	Attic	Basement
4	1		7	None	Full

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
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**Sales Information**

Date	Type	Price	Book/Page
08/01/1998	LAND + BLDING	\$1137333	14054-240

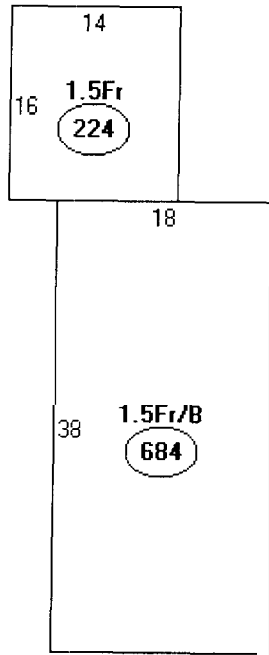
**Picture and Sketch**

Picture	Sketch	Tax Map
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-





Descriptor/Area

A: 1.5Fr/B  
684 sqft

B: 1.5Fr  
224 sqft

Loan No. 0600751518

**QUITCLAIM DEED WITHOUT COVENANT  
CORPORATE GRANTOR  
KNOW ALL BY THESE PRESENTS,**

THAT *Mortgage Electronic Registration Systems, Inc.*, a corporation organized and existing under the laws of the Commonwealth of Pennsylvania, with a principal place of business in Horsham, Pennsylvania, acting pursuant to a Judgment of Foreclosure and Sale entered on May 10, 2005, in District Nine, Division of Southern Cumberland. located in Portland, Maine, Docket No. POR-RE-05-23, under 14 M.R.S.A. §§6321 et seq. for the foreclosure of the Mortgage given by Nolan M. Thompson to Mortgage Electronic Registration Systems, Inc., dated June 5, 2003, and recorded in the Cumberland County Registry of Deeds in Book 19604, Page 1, in consideration of One Dollar (\$1.00) and other valuable consideration paid by Candlelight Holdings, LLC, whose mailing address is P.O. Box 5072, Portland, ME 04101 the receipt whereof it does hereby acknowledge, does hereby remise, release, bargain, sell and convey, and forever quitclaim unto the said Candlelight Holdings, LLC, its successors and assigns forever,

A certain lot or parcel of land with the buildings thereon, situated at 21 Orange Street, Portland, Maine, being more particularly described in the attached Exhibit A.

TO HAVE AND TO HOLD the same, together with all privileges and appurtenances thereunto belonging, to the said Candlelight Holdings, LLC, its successors and assigns forever.

IN WITNESS WHEREOF, Mortgage Electronic Registration Systems, Inc. has caused this instrument to be signed in its corporate name by Marv Taylor, its Assistant Secretary this 19\* day of September, 2005.



# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8699 schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- NA Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- NA ~~Final/Certificate of Occupancy~~: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase. REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]  
Signature of Applicant/Designee

12/7/05.  
Date

[Signature]  
Signature of Inspections Official

12/7/05  
Date

CBL: S7-G-9

Building Permit # 05-1763

## **EXHIBIT A**

A certain lot or parcel of land with the buildings thereon situated on the northeasterly side of Orange Street in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning on the northeasterly side line of said street at the westerly corner of land now or formerly of McQuarrie; thence northeasterly by said McQuarrie land 68 feet to land now or formerly owned by Breslin; thence northwesterly by said Breslin's land about 45 feet to the easterly corner of land now or formerly owned by Wall; thence westerly by said Wall's land and land now or formerly of McClusky and now or formerly of J. B. Brown 70.6 feet to said Orange Street; thence southeasterly by said Orange Street **39.3** feet to the first bound.

For source of title, reference may be had to a deed from William A. Higgins and Donna F. Higgins to Nolan M. Thompson dated August 10, 1998 and recorded in the Cumberland County Registry of Deeds at Book 14052, page 240. Further reference is made to a Judgment of Foreclosure and Sale and Order entered May 10, 2005 and recorded in the Cumberland County Registry of Deeds at Book 22751, page 262.