

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

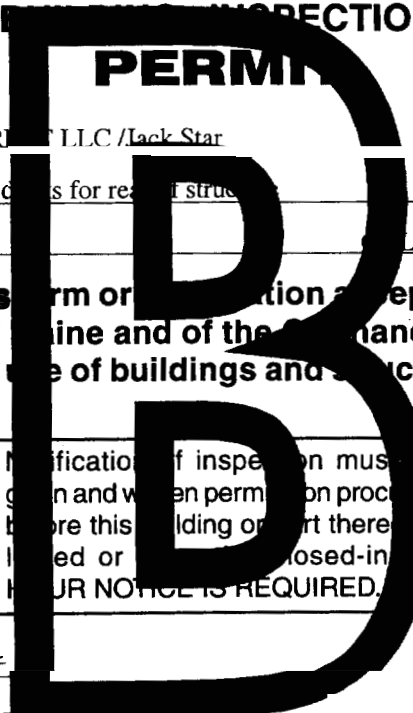
**PERMIT ISSUED**  
Permit Number: 051745  
JAN 18 2006  
**CITY OF PORTLAND**

This is to certify that 250-256 DANFORTH STREET LLC /Lack Star

has permission to interior renovations & new doors for rear of structure

AT 254 DANFORTH ST L 057 G003001

provided that the person or persons firm or person accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is closed or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

Fire Dept. CRE 0 CASE 17-15-05 APPROVALS  
Health Dept \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1745	Issue Date: <b>PERMIT ISSUED</b>	CBL: D57 G003001
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Location of Construction: 254 DANFORTH ST	Owner Name: 250-256 DANFORTH STREET LL	Owner Address: 81 HILLCREST AVE	Phone:
Business Name:	Contractor Name: Jack Star	Contractor Address: 44 Emery Street Biddeford	Phone: 2073325358
		<b>CITY OF PORTLAND</b> Multi-Family	

Past Use: Multi-Family	Proposed Use: Multi-Family- interior renovations & new decks for rear of structure	Permit Fee: \$3,432.00	Cost of Work: \$379,000.00	CEO District: 2
legal use - 6.d.v.		<b>FIRE DEPT:</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Sprinkler + NFPA 101		<b>INSPECTION:</b> Use Group: R2 Type: 5B 1/13/06 Signature: <i>[Signature]</i>
Proposed Project Description: interior renovations & new decks for rear of structure		Signature: <i>[Signature]</i> <b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 12/01/2005	<b>Zoning Approval</b>		
1.	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 12/14/05 <i>ABM</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>	

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	



# General Building Permit Application

If you or the property owner **owes** real estate or personal property taxes or user charges on **any** property within the City, payment arrangements must be made before permits of **any** kind are accepted.

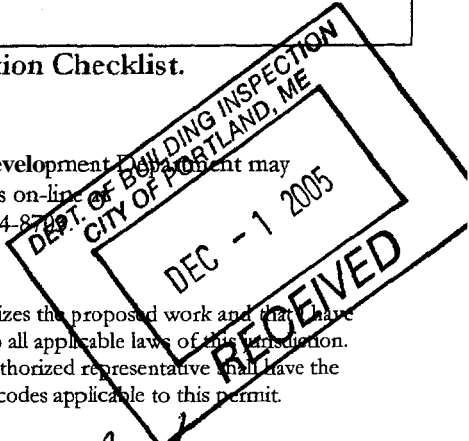
Total Square Footage of Proposed Structure <u>74-256</u>		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>57</u> Block# <u>G</u> Lot# <u>3</u>	Owner: <u>SEA OTTER, LLC</u> <u>LOUISE MURPHY</u>	Telephone: <u>#646-1401</u>	
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>JACK SEAN</u> <u>44 EMEY ST.</u> <u>BIDDEFORD, ME 04405</u> <u>207-332-5356</u>	Cost Of Work: \$ <u>379,000</u>	Fee: \$ <u>3432</u>
Current Specific use: <u>APARTMENTS</u>	Proposed Specific use: <u>APARTMENTS</u>		
Project description: <u>MOVE BATHROOM &amp; KITCHEN LAYOUT -</u> <u>REWIRE &amp; NEW DRYWALL, TRIM -</u> <u>NEW DECKS FOR REMN OF STRUCTURE.</u>			
Contractor's name, address & telephone: <u>JACK SEAN - 44 EMEY ST</u> <u>SEAN CONSTRUCTION - BIDDEFORD ME 04405</u>			
Who should we contact when the permit is ready: <u>JACK SEAN</u>		Mailing address: _____	
		Phone: <u>332-5356</u>	

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8700.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of the jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>12/1/05</u>
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**This is not a permit; you may not commence ANY work until the permit is issued.**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 05-1745	<b>Date Applied For:</b> 12/01/2005	<b>CBL:</b> 057 G003001
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<b>Location of Construction:</b> 254 DANFORTH ST	<b>Owner Name:</b> 250-256 DANFORTH STREET LL	<b>Owner Address:</b> 81 HILLCREST AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Jack Star	<b>Contractor Address:</b> 44 Emery Street Biddeford	<b>Phone:</b> (207) 332-5358
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	

<b>Proposed Use:</b> Multi-Family- interior renovations & new decks for rear of structure	<b>Proposed Project Description:</b> interior renovations & new decks for rear of structure
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**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Cptn Greg Cass      **Approval Date:** 12/15/2005  
**Note:**      **Ok to Issue:**

- 1) All building construction to comply with NFPA 101
- 2) Sprinkler system required. To comply with NFPA 13R 30.3.5.2

**Comments:**

12/5/2005-amachado: Spoke with Jack Star. The plans for the building addition and decks go beyond the allowable lot coverage. The steps of the front porch encroach on the front setback average, and the boundary survey does not have the new proposed side steps, it has the old ones so we need a new site plan. Jack is going to have the architect call me.

12/5/2005-amachado: Talked with Chris Delano (architect) He will redesign the deck to make it conform to lot area coverage. He will also give the new average for the front setback. He is giving us a new site plan showing these things.

12/14/2005-amachado: Got new site plan & new average for the front setback. All set.

12/16/2005-mjn: Sent emailed list of questions to Chris Delano

CHRISTOPHER M. DELANO, architect

**Addendum #2:**

December 22,2005

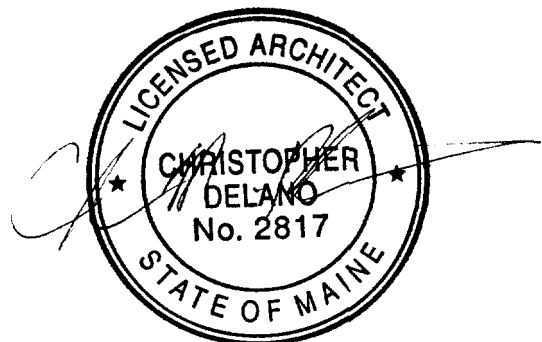
**Project:** 254-256 Danforth Street, Portland, Maine  
Apartment Renovation

The following are revisions to the Architectural Drawing Set dated October 14,2005.

The following notes describe the parts of the revision, with the successive pages indicating the necessary graphic changes within the Drawing Set.

New Drawing Sheet submitted for note # 1: **A5: Rear Deck Plans/Details**  
Resubmitted sheet to address note #3: **E1: Electrical Plans- All levels**

1. The new drawing, **A5** is added to the Permitting Set to describe the construction of the rear decks.
2. The "FD" in the area of the washer/dryers designates a "floor drain" as keyed in the "General Specs". Regarding the venting of this and the ceiling's fire rating, I have noted this under the "Fire Rating Notes" on sheet A1 .
3. **Sheet E1** is being resubmitted to show the location of the smoke detectors.
4. **SK-1** shows the typical foundation drainage for the perimeter foundation wall.
5. **SK-2(a,b,c)** show revisions to the fire-rated wall assemblies in order to meet the I.B.C. required STC rating of 50 required on all walls/ceilings separating tenant spaces from other tenants or public areas/pathways.
6. All windows in the bedrooms are existing. At least one of the existing double hung windows in all the bedrooms has a clear area available which exceeds the required 5.7 sf and the minimum height and width requirements.
7. **SK-3** shows the revision to the interior layout for each of 6 units to include a gas fireplace insert. Venting will be taken care of directly to the outside wall below the rated ceiling assembly.

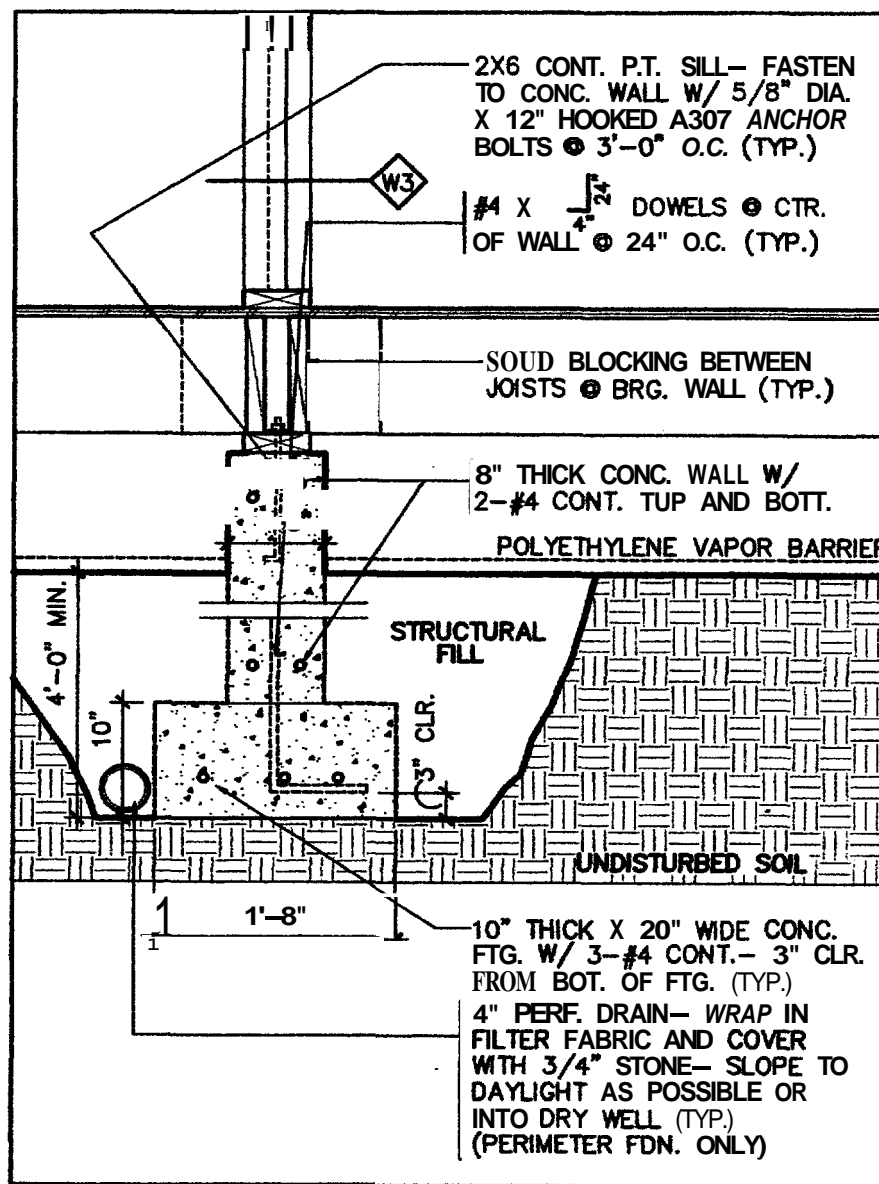


CHRISTOPHER M. DELANO, architect

**ddendum #2: cont'**

December 22, 2005

**Project:** 254-256 Danforth Street, Portland, Maine  
Apartment Renovation

**SK-1: Foundation Drainage Detail**

CHRISTOPHER M. DELANO, architect

**Addendum #2: cont'**

December 22, 2005

**Project:** 254-256 Danforth Street, Portland, Maine  
Apartment Renovation

**SK-2a:** Fire rated wall assembly revisions & STC ratings

<b>CODE INFORMATION</b>	
<b>PORTLAND LAND USE ORDINANCE</b>	
ZONE: R-6	
ZONED HEIGHT LIMIT: 45'	
EXST. BUILDING HT. ABOVE AVG. GRADE: 33'-0"	
EXST. BUILDING SQUARE FOOTAGE: 2,818 SF PER FLOOR	
8,454 TOTAL SF FOR THREE FLOORS	
[70 SF ADDED PER FLOOR	
210 SF TOTAL ADDITIONAL SQ. FT.]	
<b>CURRENT BUILDING CODE: I.B.C.(INTERNATIONAL BUILDING CODE) 2003</b>	
CONSTRUCTION TYPE: SB UNPROTECTED	
USE GROUP CLASSIFICATION: R-2 (MULTI-FAMILY W/ SHARED EGRESS ROUTES)	
MEANS OF EGRESS REQUIREMENTS: STAIRWAY SHAFT	
36" WIDE EGRESS PATHWAYS- STAIRWAY WIDTH (NEW)	
2'-8" WIDE DOORS-MIN.	
1 HR. FIRE SEPARATION FOR SHAFT WALLS   UL #U311: 1 HR. RATED	
1 HR. SMOKE SEPARATION FOR SHAFT WALLS	
[ALL NEW EGRESS WALLS TO BE BUILT ACCORDING TO WALL	
ASSEMBLY SPECIFICATIONS UNDER UL #U309 OR UL #340]	
1 HR. TENANT SEPARATION: WALLS   UL #U309   UL #U311	
1 HR. TENANT SEPARATION: FLOOR-CEILING   UL #U514	
<b>WALL FIRE RATED ASSEMBLY- SHAFT AND TENANT SEPARATION</b>	
UL #U309: 5/8" THICK TYPE 'X' GWB INSTALLED HORIZ. OR VERT., AND NAILED	
TO STUDS AND BRG. PLATES WITH 6d CEMENT-COATED NAILS	
1-7/8" LONG SPACED 7" O.C.	
2X4/2X6 WOOD STUDS @ 16" O.C.	
STUD CAVITIES FIRE BLOCKED AT EACH LEVEL	
<b>WALL FIRE RATED ASSEMBLY- TENANT SEPARATION</b>	
UL #U311: 5/8" THICK TYPE 'X' GWB INSTALLED HORIZ. OR VERT., AND NAILED	
TO STUDS AND BRG. PLATES WITH 6d CEMENT-COATED NAILS	
1-7/8" LONG SPACED 7" O.C.- (ONE SIDE)	
(OTHER SIDE) 5/8" GWB SCREWED TO RESILIENT CHANNELS	
@ 24" O.C. MAX W/ 1-1/4" TYPE S SCREWS	
2X4 OR 2X6 WOOD STUDS @ 16" O.C.	
SOUND ATTENUATION BATTS INSTALLED BETWEEN STUDS	
STUD CAVITIES FIRE BLOCKED AT EACH LEVEL AS NECESSARY	
<b>FLOOR-CEILING FIRE RATED ASSEMBLY</b>	
UL #U514: 5/8" THICK TYPE 'X' GWB INSTALLED LENGTH PERP. TO	
RESILIENT CHANNELS @ 24" O.C. MAX. - USE 1-1/4" TYPE S	
SCREWS TO ATTACH PANELS TO CHANNELS	
3" SOUND ATTENUATION BATTS-MIN.	
FLOOR TO BE 1" NOMINAL WD. SUBFLOOR AND 1X WD. FLOORING	
ADD SOLID BLOCKING AT MIDSPAN	

CHRISTOPHER M. DELANO, architect

**Addendum #2: cont'**

December 22, 2005

**Project:** 254-256 Danforth Street, Portland, Maine  
Apartment Renovation

**SK-2b:** Fire rated wall assembly revisions & STC ratings

**WALL TYPES**

<p><b>W1</b> TYP.</p>	<p>2X4 STUDS @ 16" O.C. POLYETHYLENE VAPOR BARRIER @ INT. SIDE OF EXT. WALLS 5/8" GWB @ INT. SIDES R-13 BATTS MIN. @ EXT. WALLS R-13 BATTS IN ALL PARTITIONS SURROUNDING BATHROOMS MR. SHEETROCK IN BATHROOMS 1/2" CEMENT BD. BEHIND TILE-TYP.</p>	<p><b>W4</b> PLUMBING WALL: 2X6 @ 16" OC. R-13 BATTS FOR SOUND</p>
<p><b>W2</b> 1 HR.</p>	<p>2X4 STUDS @ 16" OC. 1 LAYER 5/8" TYPE 'X' GWB BOTH SIDES <u>UL #J309</u> - SEE A0 FOR DETAILS</p>	
<p style="text-align: right;"><b>2</b></p> <p><u>TENANT DIVIDING WALL:</u> 2X6/2X4 @ 16" O.C. R-13 SOUND ATTENUATION BATTS RESL CHANNEL @ 24" OC. ONE SIDE OF WALL ONLY 5/8" TYPE 'X' ATTACH TO CHANNELS ON ONE SOE AND DIRECTLY TO THE STUDS ON THE OTHER <b><u>UL #J311 STC-50</u></b> SEE FLOOR/CEILING ASSEMBLY UNDER FIRE RATING NOTES</p>		



CHRISTOPHER M. DELANO, architect

**Addendum #2: cont'**

December 22, 2005

**Project:** 254-256 Danforth Street, Portland, Maine  
Apartment Renovation

**SK-2c:** Fire rated wall assembly revisions & STC ratings

**FIRE RATING NOTES**

SEE SHT. A0 FOR NECESSARY RRE RATED ASSEMBLY NOTES.

CEILING FINISH- ALL LEVELS

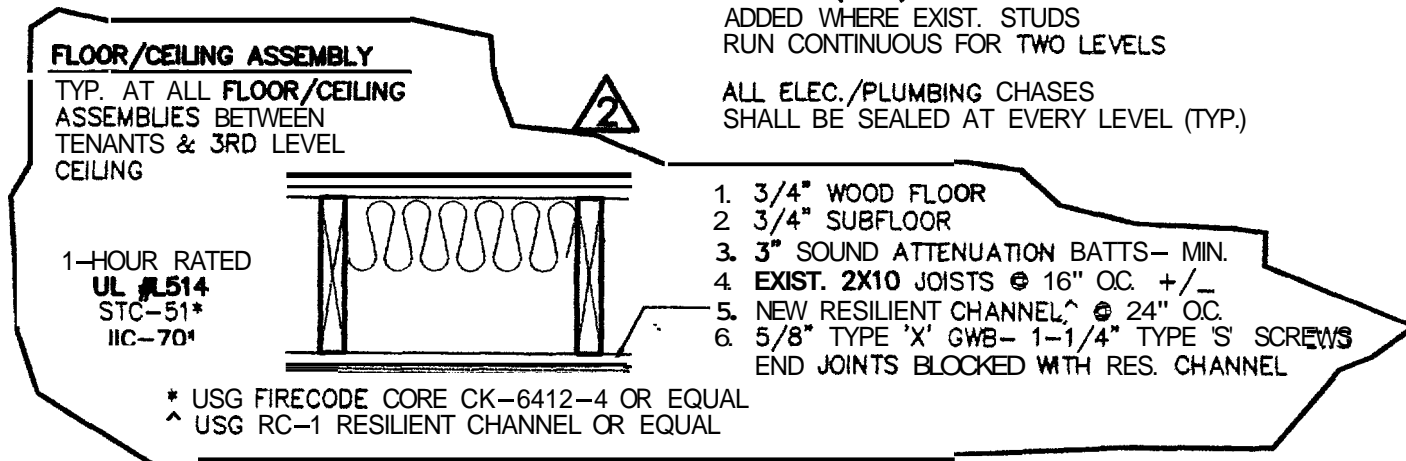
SEE BELOW DETAIL AND SHEET A0 FOR UL LISTING INFORMATION

ALL NEW VENTS (BATH/DRYER/RANGE HOOD) MUST VENT TO **ME** OUTSIDE WALL UNDERNEATH THIS RATED CLG. ASSEMBLY & *SHALL* NOT PENETRATE THROUGH IT.

PENETRATIONS INTO BASEMENT FROM FLOOR ABOVE SHALL BE SEALED WITH A MIN. 5/8" TYPE 'X' AND SEALED AGAINST ADJACENT MATERIAL WITH FIRE CAULK (TYP.)

FIRE BLOCKING IS NECESSARY FOR ALL WALLS AT EACH FLOOR- (TYP.) THIS SHALL BE ADDED WHERE EXIST. STUDS RUN CONTINUOUS FOR TWO LEVELS

ALL ELEC./PLUMBING CHASES SHALL BE SEALED AT EVERY LEVEL (TYP.)



**End of Addendum #2**

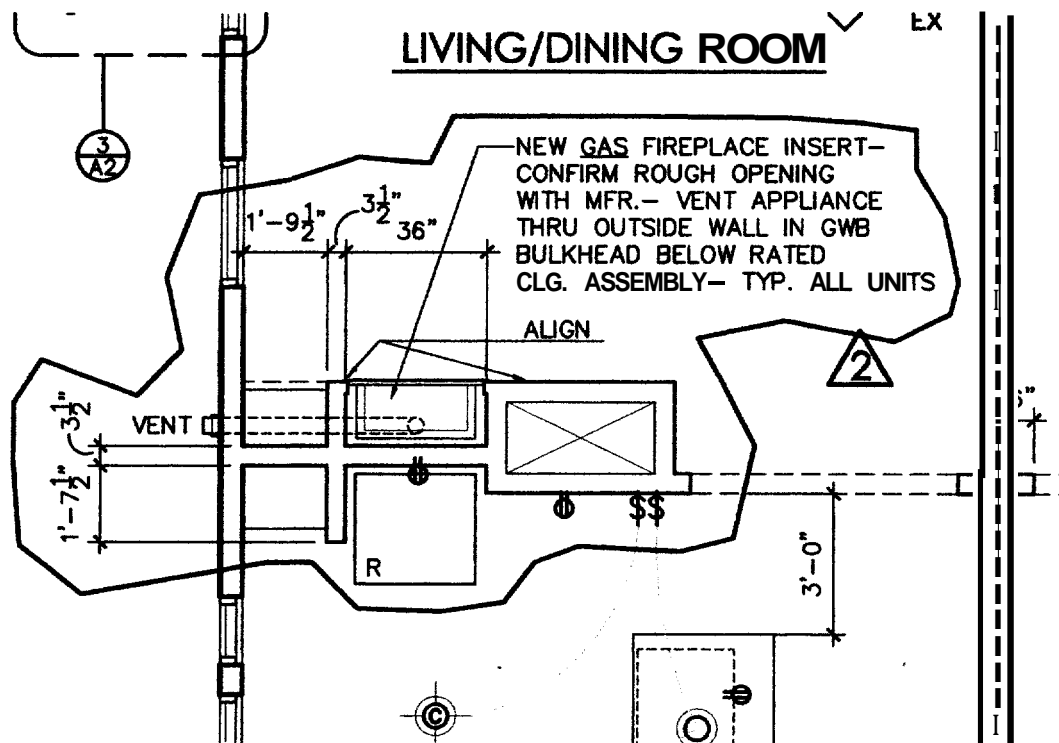
CHRISTOPHER M. DELANO, architect

**Addendum #2: cont'**

December 22, 2005

**Project:** 254-256 Danforth Street, Portland, Maine  
Apartment Renovation

**SK-3:** Interior layout revision for the addition of new **gas** fireplace inserts @ all units.



**End of Addendum #2**

**SEA OTTER; LLC: 254 DANFORTH REMODELING BUDGET**

**PRE-PLANNING**

ARCHITECT	\$4,500.00
ENGINEER	\$3,700.00
SURVEY	\$2,700.00
DEMO OF PLASTER OFF WALLS	\$9,000.00
ASBESTOS ABATEMENT (NEW MEADOWS)	\$12,500.00

**PRE-PERMIT BUDGET \$19,900.00**

**PERMIT REMODELING BUDGET**

ELECTRICIANS (MILES & NICHOLS)	LABOR	\$37,000.00
	MATERIALS	\$7,500.00
PLUMBERS (LECLAIR PLUMBING)	LABOR	\$29,000.00
	MATERIALS	\$8,200.00
FRAME TO FINISH (STAR CONSTRUCTION)	LABOR	\$21,550.00
REAR BUILD OUT & BATH WET WALLS		
DOORS, WINDOWS, LUMBER & VINYL	MATERIALS	\$19,450.00
INSULATION & DRYWALL PREP, STRAPPING & FIRE BLOCKING	LABOR	\$9,500.00
	MATERIALS	\$8,700.00
DRWALL INSTALL	LABOR	\$29,500.00
	MATERIALS	\$12,500.00
PAINTING	LABOR	\$12,000.00
	MATERIALS	\$5,600.00
FINISH TRIM INSTALL & DOORS	LABOR	\$21,500.00
	MATERIALS	\$27,600.00
FLOORING NEW & RESANDED MAPLE	LABOR	\$9,500.00
	MATERIALS	\$6,600.00
FRONT PORTICO REMODEL LABOR & MATERIALS		\$10,000.00
FLOORING CARPET COMMON HALLS		\$5,000.00
GRANITE FLOORING TILES LABOR & MATERIALS		\$14,200.00
LIGHT FIXTURES		\$3,000.00
SECURITY & FIRE ALARM PULL SYSTEM		\$10,000.00
KITCHEN FIXTURES & INSTALL		\$33,000.00
PLUMBING FIXTURES		\$14,000.00
PUNCH LIST & MISC. RESERVE		\$5,000.00

**REMODELING BUDGET TOTAL \$359,900.00**



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: CHRISTOPHER M. DELANO, ARCHITECT

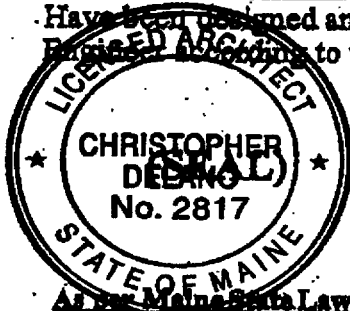
RE: Certificate of Design

DATE: 12/1/05

These plans and / or specifications covering construction work on:

254 - 256 DANFORTH ST. APARTMENT  
RENOVATION

Have been designed and drawn up by the undersigned, a Maine registered Architect /  
Engineer according to the 2003 International Building Code and local amendments.



As per Maine State Law:

\$50,000.00 or more in new construction, repair  
expansion, addition, or modification for  
Building or Structures, shall be prepared by a  
registered design Professional.

Signature: CM Delano

Title: ARCHITECT

Firm: CHRISTOPHER M. DELANO, ARCHITECT

Address: 24 ICE HOUSE RD.  
WINDHAM, ME 04062



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: CHRISTOPHER M. DELANO

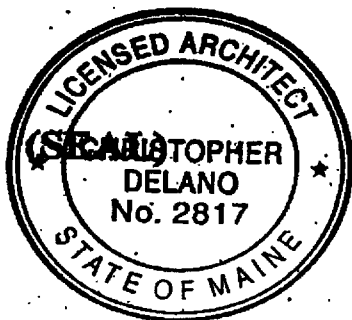
Address of Project: 25A-256 DANFORTH ST.

Nature of Project: 25A-256 DANFORTH ST.

APARTMENT RENOVATION

INTERNAL RENOVATION, NEW FRONT PORCH

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: CM Delano

Title: PRINCIPAL

Firm: CHRISTOPHER M. DELANO ARCHITECT

Address: 2A ICE HOUSE RD  
WINDHAM, ME 04062

Phone: 207 892-1643

**NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.**

**L & L STRUCTURAL  
ENGINEERING SERVICES, INC.**  
Six Q Street  
South Portland, ME 04106  
Phone: (207) 767-4830

Post-It® Fax Note	7671	Date	10/11	# of pages	2
To	Lanny	From	JOE LEASURE		
Co./Dept.		Co.			
Phone #		Phone #			
Fax #		Fax #			

October 31, 2005

Christopher M. Delano, Architect  
24 Ice House Road  
Windham, Maine 04062

Subject: 254-256 Danforth Street, Portland, Maine - ~~Apartment~~ Renovation

Dear Mr. Delano,

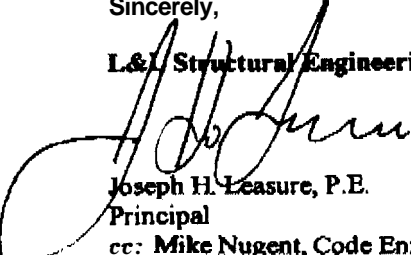
As per your request we have reviewed the final design drawings for the structural renovations to the existing apartment building located at 254-256 Danforth Street in Portland, Maine. The purpose of our review was to insure that the design drawings properly indicated the design and detail for the structural modifications and additions to the aforementioned building. The design review also incorporated a review of the required structural modifications to the existing building to implement a design for a future rooftop deck and the stair enclosure structure necessary to access the future rooftop deck. Christopher M. Delano, Architect prepared the drawings we reviewed dated October 14, 2005.

The existing main building is a three-story structure with a flat roof and a full basement beneath. The structural modifications to the existing building included enclosing the 6'-0" x 12'-0" building indentation for three floors at the rear of the building, a new front porch deck and roof structure, a side stair structure, the structural reinforcement to the existing building required for the future rooftop deck and stair access structure, and the foundation system required to support the future rear decks on three floors. Our analysis and review of the structure was performed utilizing the 2003 International Building Code (IBC) adopted by the City of Portland, Maine. The analysis considered the Building Code Requirements for Wood Construction (NDS-latest edition) published by the National Forest Products Association. The drawings we reviewed sufficiently indicated the design intent and details for the structural modifications and additions to the building as previously described.

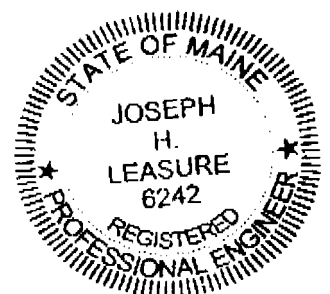
If you have any questions, or require any additional technical assistance, please do not hesitate to call.

Sincerely,

L&L Structural Engineering Services, Inc.

  
Joseph H. Leasure, P.E.  
Principal

cc: Mike Nugent, Code Enforcement Officer for the City of Portland, Maine



FROM DESIGNER: CHRISTOPHER M. DELAND, ARCHITECT

DATE: 10/31/05

Job Name: 254-256 DANFORTH ST, PORTLAND, MAINE - APARTMENT RENOVATION

Address of Construction: 254-256 DANFORTH STREET, PORTLAND, MAINE

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) \_\_\_\_\_

Type of Construction \_\_\_\_\_

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC \_\_\_\_\_

Is the Structure mixed use? \_\_\_\_\_ if yes, separated or non separated (see Section 302.3) \_\_\_\_\_

Supervisory alarm system? \_\_\_\_\_ Geotechnical/Solls report required?( See Section 1802.2) NO

**STRUCTURAL DESIGN CALCULATIONS**

YES Submitted for all structural members (108.1, 108.1.1)

**DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1809)**

Uniformly distributed floor live loads (1803.1.1, 1807)

Floor Area Use	Loads Shown
<u>RESIDENTIAL FLOORS</u>	<u>40 PSF</u>
<u>STAIRS &amp; EXITS</u>	<u>100 PSF</u>
_____	_____
_____	_____
_____	_____

**Wind loads (1809.1.4, 1809)**

1609.6 Design option utilized (1809.1.1, 1809.4)  
100 MPH Basic wind speed (1809.3)  
1.0 Building category and wind importance factor,  $I_w$  (Table 1804.5, 1809.5)  
B Wind exposure category (1809.4)  
+/- 0.18 Internal pressure coefficient (ASCE 7)  
17.2/-18.7 psf Component and cladding pressures (1809.1.1, 1809.8.2.2)  
10.5/15.9 psf Main force wind pressures (1809.1.1, 1809.8.2.1)

**Earthquake design data (1803.1.5, 1814 - 1823)**

SECT 1615/1616 Design option utilized (1814.1)  
I/C Seismic use group ("Category") (Table 1804.5, 1815.2)  
0.31/0.16 Spectral response coefficients,  $S_{DS}$  &  $S_{D1}$  (1815.1)  
D Site class (1815.1.5)

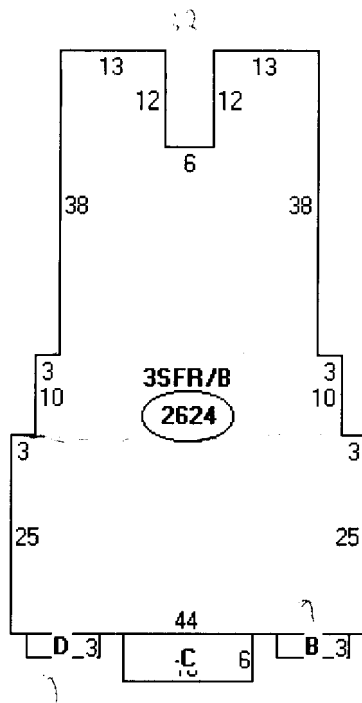
NA Live load reduction (1809.1.1, 1807.8, 1807.10)  
42 PSF Roof live loads (1803.1.2, 1807.11)  
600 PSF Roof snow loads (1803.1.3, 1808)  
42 PSF Ground snow load,  $P_g$  (1808.2)  
1.0 If  $P_g > 10$  psf, flat-roof snow load,  $P_f$  (1808.3)  
1.0 If  $P_g > 10$  psf, snow exposure factor,  $C_e$  (Table 1808.3.1)  
1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$  (Table 1804.5)  
1.0 Roof thermal factor,  $C_t$  (Table 1808.3.2)  
1.0 Sloped roof snowload,  $P_s$  (1808.4)  
C Seismic design category (1815.2)  
K Basic seismic-force-resisting system (Table 1817.8.2)  
0.5/1.4 Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (Table 1817.8.2)  
1616.6 Analysis procedure (1816.6, 1817.5)  
0.5/1.4 Design base shear (1817.4, 1817.5.1)

**Flood loads (1803.1.6, 1812)**  
 \_\_\_\_\_ Flood hazard area (1812.3)  
 \_\_\_\_\_ Elevation of structure

**Other loads**  
NA Concentrated loads (1807.4)  
NA Partition loads (1807.5)  
NA Impact loads (1807.6)  
NA Misc. loads (Table 1807.8, 1807.8.1, 1807.7, 1807.12, 1807.13, 1810, 1811, 1804)







Descriptor/Area

A: 3SFR/B  
2624 sqft

B: 3SFRBAY/B  
27 sqft

C: OFP  
96 sqft

D: 3SFRBAY/B  
27 sqft

**CHRISTOPHER M. DELANO, architect**

project: 254-256 Danforth Street Apartment Renovation  
date of drawings: October 14,2005  
re: **Addendum #1**, December 7,2005

December 12,2005

**City of Portland**  
**Zoning Department**  
attn: Ann Machado  
Marge Smuckel

Following are the requested revisions to the Drawing Set for the above referenced project. Addendum #1 addresses the following items:

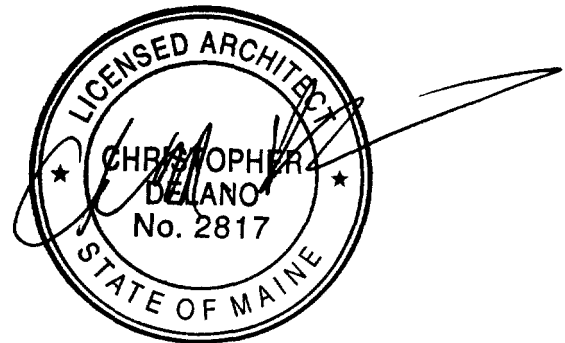
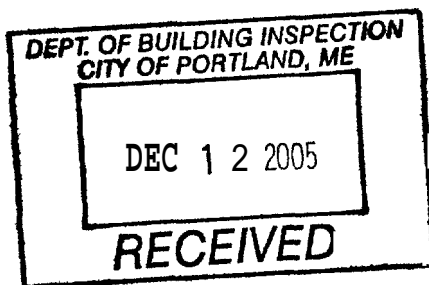
1. Rear/side yard setbacks for the new rear decks
2. Revised zoning information for the new front porch.
3. Square footage calculations of the existing building and new renovations as they pertain to the 50%lot coverage for the R-6 zone.

Please let me know if there are any further questions.

Most Sincerely,



Christopher M. Delano



1

**L & L STRUCTURAL  
ENGINEERING SERVICES, INC.**

Six Q Sheet  
South Portland, ME 04106  
Phone: (207) 767-4830  
Fax: (207) 789-5432

December 22, 2005

Christopher M. Delano, Architect  
24 Ice House Road  
Windham, Maine 04062

Subject: 254-256 Danforth Street, Portland, Maine - Rear Exterior Decks

Dear Mr. Delano,

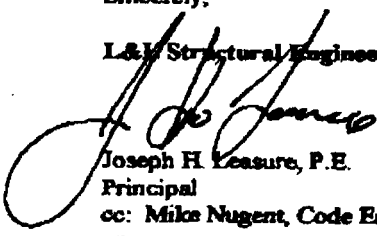
As per your request we have reviewed the final structural design drawings for the proposed exterior rear decks at the apartment building located at 254-256 Danforth Street in Portland, Maine. The purpose of our review was to insure that the design drawings properly indicated the structural design and detail for the rear deck additions to the aforementioned building. Christopher M. Delano, Architect prepared the drawings we reviewed dated December 22, 2005.

The exterior decks consist of 11'-0" x 21'-6" dimensional timber framed platforms at three levels (first, second and third floors) with a roof above the third floor deck. The exterior decks and roof structure are supported at the face of the main building at the interior edge and a concrete frost wall foundation at the exterior edge. The foundation system was previously reviewed and discussed in our prior letter dated October 31, 2005. Our analysis and review of the structure was performed utilizing the 2003 International Building Code (IBC) adopted by the City of Portland, Maine. The analysis considered the Building Code Requirements for Wood Construction (NDS-latest edition) published by the National Forest Products Association. The drawings we reviewed sufficiently indicated the design intent and details for the structural modifications and additions to the building as previously described.

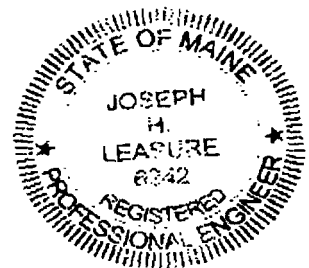
If you have any questions, or require any additional technical assistance, please do not hesitate to call.

Sincerely,

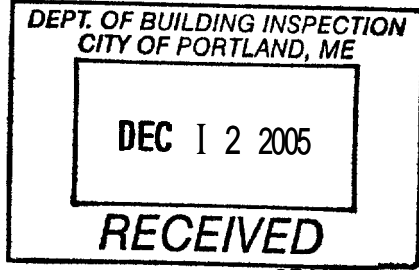
L&L Structural Engineering Services, Inc.



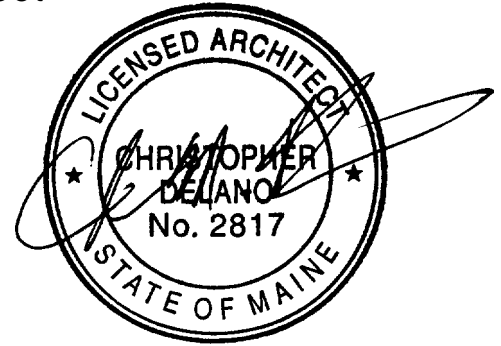
Joseph H. Leasure, P.E.  
Principal  
cc: Mike Nugent, Code Enforcement Officer for the City of Portland, Maine



CHRISTOPHER M. DELANO, architect



**Addendum #1:**  
December 7, 2005



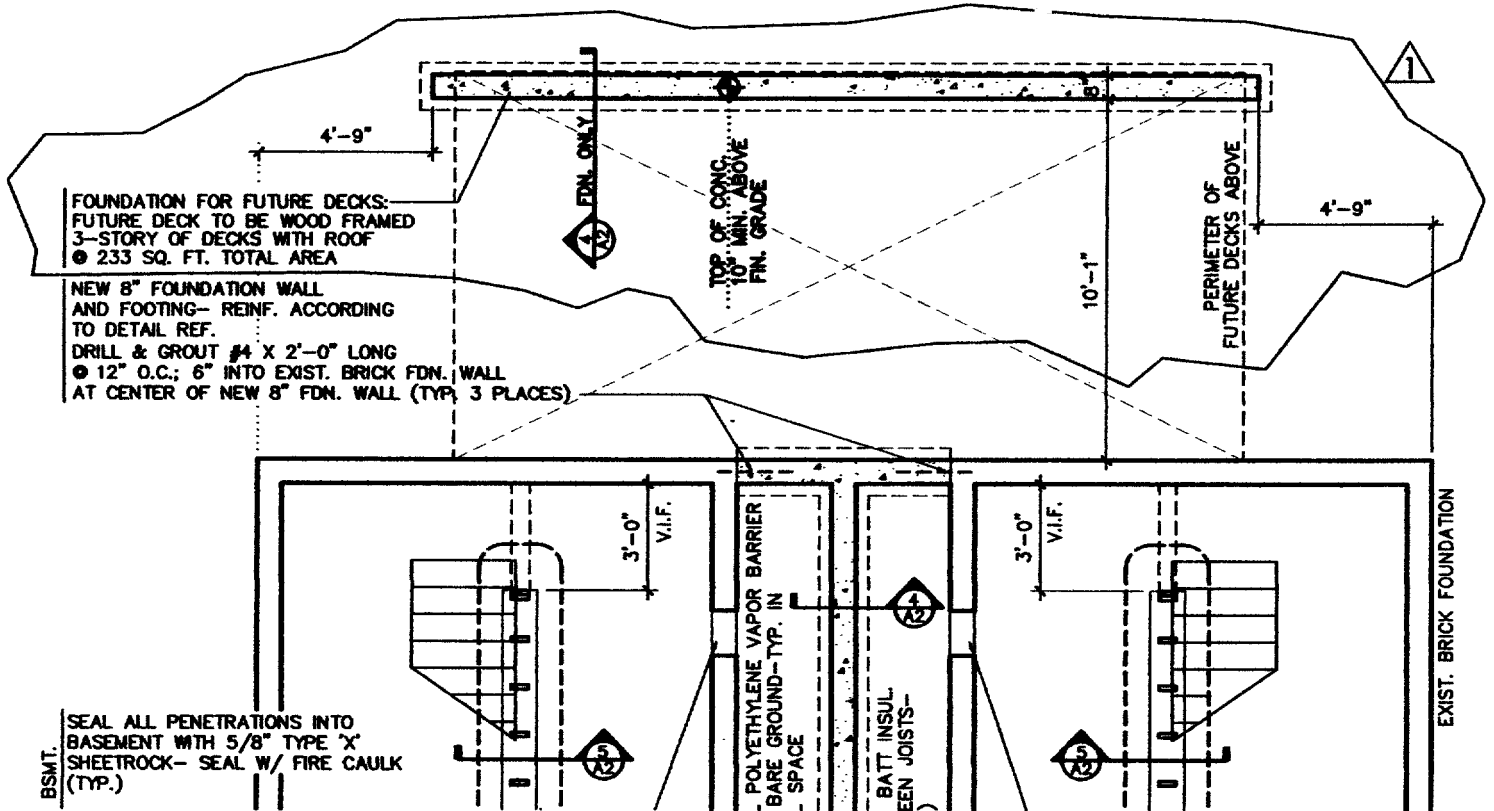
Project: 254-256 Danforth Street, Portland, Maine  
Apartment Renovation

The following are revisions to the Architectural Drawing Set dated October 14, 2005.

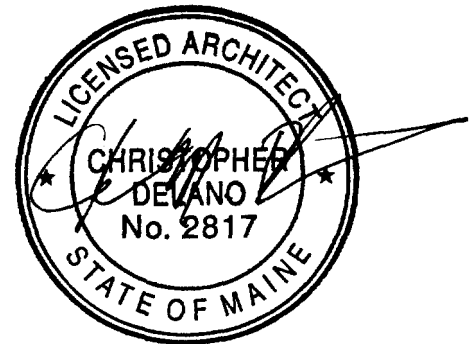
The following notes describe the parts of the revision, with the successive pages indicating the necessary graphic changes within the Drawing Set.

Location of drawing revision note # 1: **Sheet A1: Detail 4 "Proposed Basement Plan"**  
**Sheet L1 "Plot Plan"**

- The scope of the rear foundation wall, built to support 3 stories of wood-framed deck and roof (details will be described in Phase II of the renovation which has not yet been submitted for permit), has changed- see drawing for revised dimensions and height. The area of the future decks is shown as a revision on this plan.  
A new Plot Plan, sheet L-1 will be submitted as a part of this addendum.



CHRISTOPHER M. DELANO, architect

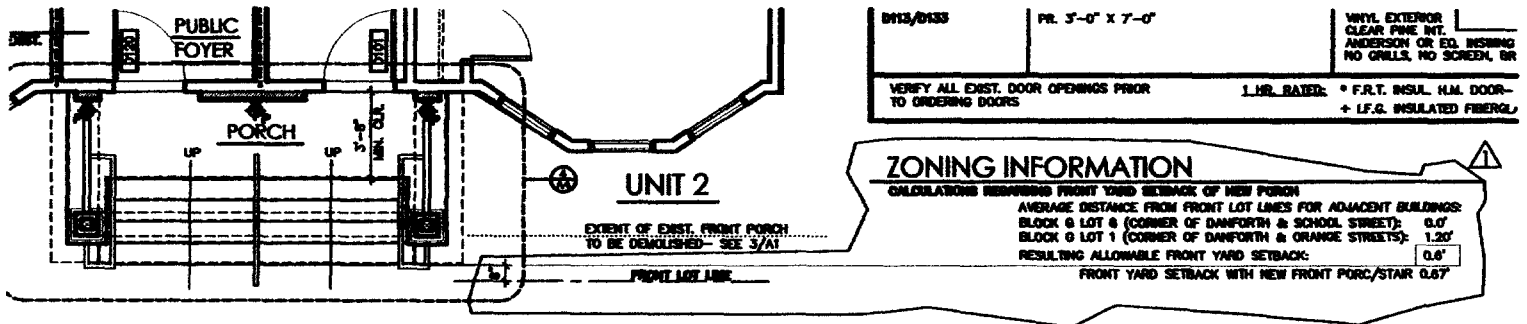


**Addendum #1: cont'**  
December 7, 2005

**Project:** 254-256 Danforth Street, Portland, Maine  
Apartment Renovation

Location of drawing revision note #2: **Sheet A1: Detail 1 "Proposed First Level Plan"**

2 The zoning information has been revised to show that the full extent of the front stair is within the allowable front yard setback. See attached sketch which



*also cond  
poly line*

3. Zoning information necessary for computing conformance to R6 zoning regulations:

Total Lot area (Boundary survey):	6,448 sf
R-6 allows 50% coverage of lot by building:	3,224 sf
Building area computations: (Architectural Plans)	
Gross area of building	2,818.2 sf
Side egress stairs (2@27.25 sf)	54.5 sf
Front porch/stairs	115.0 sf
New Rear decks	233.2 sf
<b>Total area of building</b>	<b>3,220.9 sf</b>

*area 6x17 that  
enclosing = 103 sf*

*2781.5  
2810.5  
1425  
177.5  
272.5  
72.31  
3 feet  
width*

End of Addendum #1