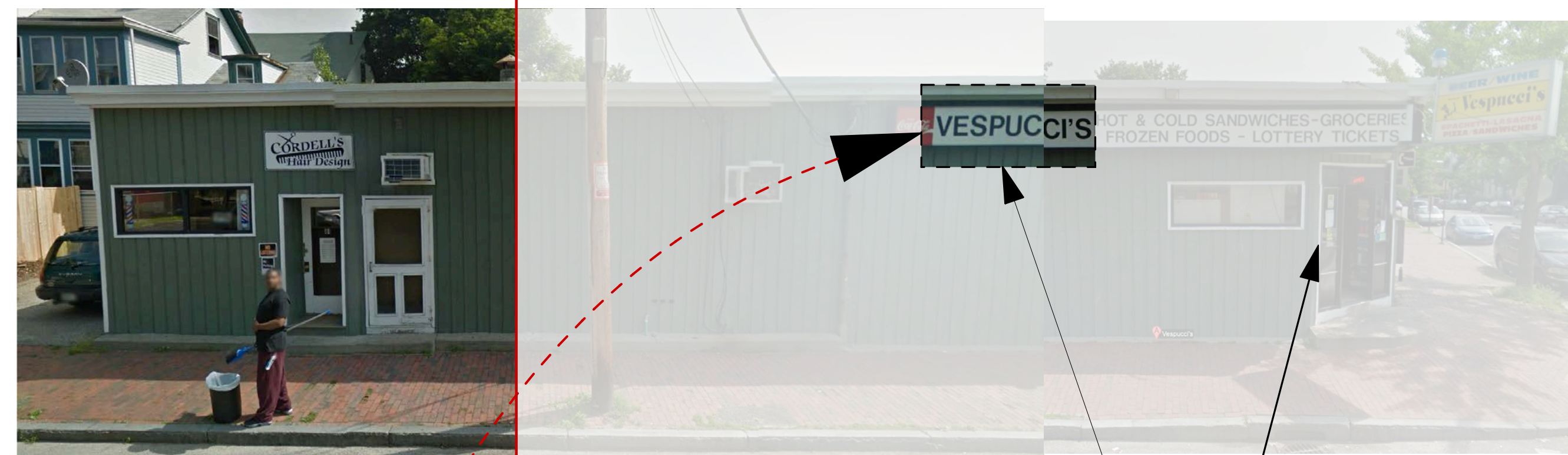


# MERCANTILE RENOVATION PHASE I

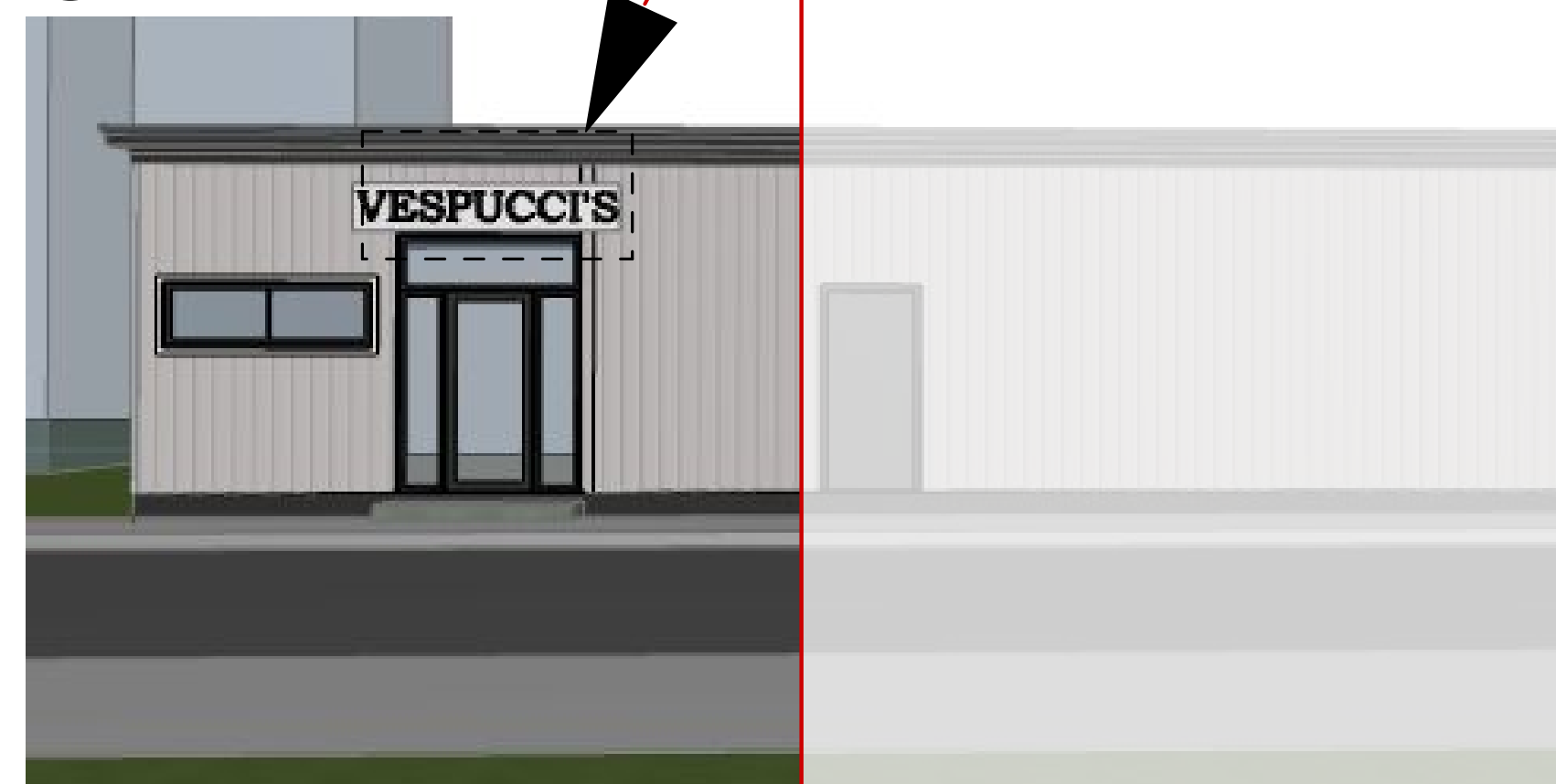
## PROJECT INFORMATION

**Client:** KEITH HICKMAN  
**Architect:** Kaplan Thompson Architects  
 jesse@kaplanthompson.com  
**Contractor:** KEITH HICKMAN  
**Map / Lot:** Map 57, Lot 36, Book 3118 Page 237  
**Project Address:** 211 DANFORTH STREET PORTLAND, ME  
**Zoning:** B1  
**Building Codes:** IBC 2009 , NFPA / 2009  
 Maine Uniform Energy and Building Code, Portland City Code, Chapter 10,  
 Fire Prevention and Protection  
**Site Area:** 3,344 +/- SF , 0.0768 +/- ACRE  
**Occupancy:** MERCANTILE (PHASE 1) ASSEMBLY (PHASE 2)  
**Max Building Height:** 45'-0"

DEMO EXISTING  
BARBER SHOP  
AND MOVE  
LOAD-BEARING  
PARTITION WALL  
**PHASE 1 PHASE 2**



1 EXISTING BUILDING  
SCALE: 1:3.33

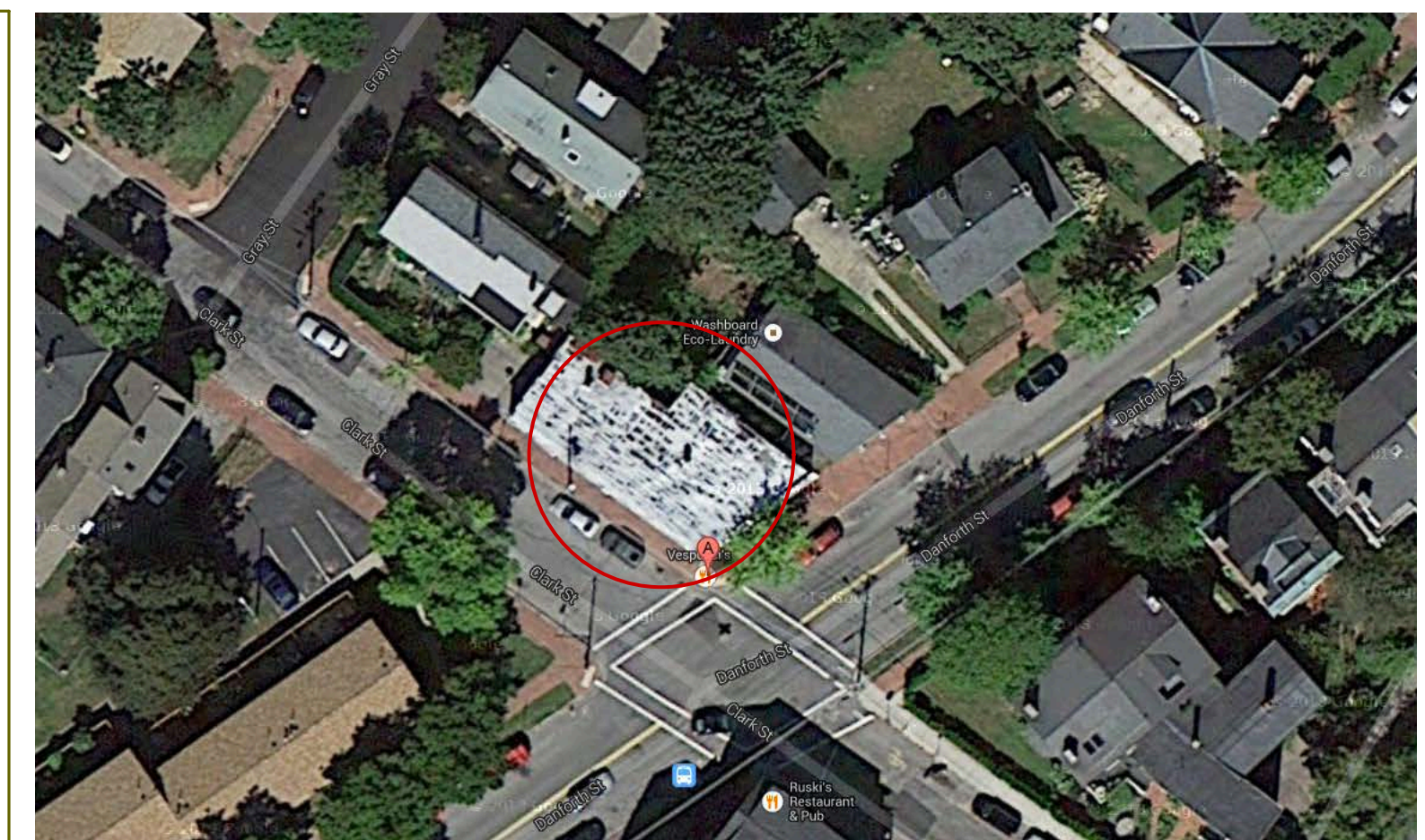


2 PROPOSED RENOVATION  
SCALE: 1:36.92

EXISTING DOOR  
AND SIGN  
TO BE RELOCATED  
AND USED

**PHASE 1 PHASE 2**  
RELOCATE VESPUCCIS STORE  
INTO RENOVATED PORTION

IBC 2009		Code Summary		Kaplan Thompson Architects	
<b>Project address:</b>		211 DANFORTH Street, Portland, Maine		January 9, 2014	
<b>Project type:</b>		Existing Retail - Fit Out for Retail Grocery			
<b>Square foot:</b>		660 gross sf +/- (to be confirmed)			
<b>Applicable Codes:</b>		City of Portland IBC 2009, NFPA 101, Maine Human Rights Commission			
<b>Building code:</b>	IBC 2009	<b>Code Ref</b>		<b>Page</b>	
Occupancy Type:	M (Mercantile)	309.1		34	
Occupancy Load Mercantile:	MAIN LEVEL 660/30 (gross) = 22	1004.1.1		220	
<b>Occupant Load TOTAL</b>	<b>22</b>				
Egress Width	.2 (118) = 23.6", so 36"	1105.1		221	
Egress Door	32" min	108.1.1		224	
Door Swing	can swing inward- < 50 occ.	1008.1.2		224	
Common Path of Egress Travel					
Exit Through Intervening Spaces	Not through kitchens, storage rooms	1014.2.4			
	M Occ stockroom ok	1014.2.4 Exception #2		237	
Common Path of Egress Travel	Not to exceed 75'-0"	1014.3		238	
Exit Passageway	Not less than 44"	1023.2		246	
Exit Access Travel Dist	200' (for non-sprinklered)	1016.1		240	
<b>Fire Resistance Ratings</b>		Table 601			
	<b>Type V A</b>				
	(columns, girders & trusses)	1 hour			
	Bearing Walls - Exterior	1 hour			
	Bearing Walls - Interior	1 hour			
	Nonbearing Walls: Exterior	Table 602			
	Nonbearing Walls: Interior	0 hours			
	(supporting beams & joists)	0 hour			
	(supporting beams & joists)	0 hour			
	floor assembly	1 hour			
	roof assembly	1 hour			
Required Separation of Occ.	M / A occ. Separation	2 hour		table 508.4	
Number of Exits Required	1 if M Occ Load <49	1015.1		239	
	1 if Occ <49 & travel	1021.2		243	
<b>Exterior openings:</b>					
	Unlimited unprotected openings if wall faces a street and has a fire separation distance of more than 15'-0"	705.8.1-1.1			



3 AERIAL VIEW  
NOT TO SCALE

DRAWING INDEX	
	COVER SHEET
C-1.1	SITE PLAN
X-1.1	EXISTING BASEMENT
X-1.2	EXISTING MAIN LEVEL
D-1.1	DEMOLITION PLAN
A-1.1	BASEMENT PLAN
A-1.2	1st FLOOR PLAN
A-2.1	SOUTHWEST ELEVATION
A-2.2	NORTHEAST ELEVATION
S-1.1	FRAMING PLAN

