

City of Portland
Development Review Application
Planning Division Transmittal Form

Application Number: 2014-149 **Application Date:** 08/11/2014
CBL: 057 C023001 **Application Type:** Level III Site Plan Under 50,000 sq f
Applicant: MAY STREET 7-9 LLC /Alex Waters
Project Name: 3 Unit townhouse
Address: 7 MAY ST
Project Description: New Construction of a 3 unit townhouse located at 7 - 9 May Street in the West End
Zoning: B1/R6

Other Required Reviews:

<input type="checkbox"/> Traffic Movement	<input type="checkbox"/> 14-403 Streets	<input type="checkbox"/> Housing Replacement
<input type="checkbox"/> Storm Water	# Units _____	<input type="checkbox"/> Historic Preservation
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Flood Plain	<input type="checkbox"/> Other:
# Lots _____	<input type="checkbox"/> Shoreland	
<input type="checkbox"/> Site Location	<input type="checkbox"/> Design Review	
# Unit _____		

Distribution List:

Planner	Barbara Barhydt	Parking	John Peverada
Zoning	Marge Schmuckal	Design Review	Alex Jaegerman
Traffic Engineer	Tom Errico	Corporation Counsel	Nennifer Thompson
Civil Engineer	David Sensus	Sanitary Sewer	John Emerson
Fire Department	Chris Pirone	Inspections	Tammy Munson
City Arborist	Jeff Tarling	Historic Preservation	Deb Andrews
Engineering	David Margolis-Pineo	DRC Coordinator	Phil DiPierro
		Outside Agency	

Comments needed by 8/19/2014

**7-9 MAY STREET
PORTLAND, MAINE**

**Application For:
Preliminary Site Plan Level III Review**

Submitted by:
Kaplan Thompson Architects
254 Fore Street
Portland, Maine 04101

For:
Alex Waters
6 Pond Ridge Ln.
Norwalk, CT 06853

Date:
August 11, 2014

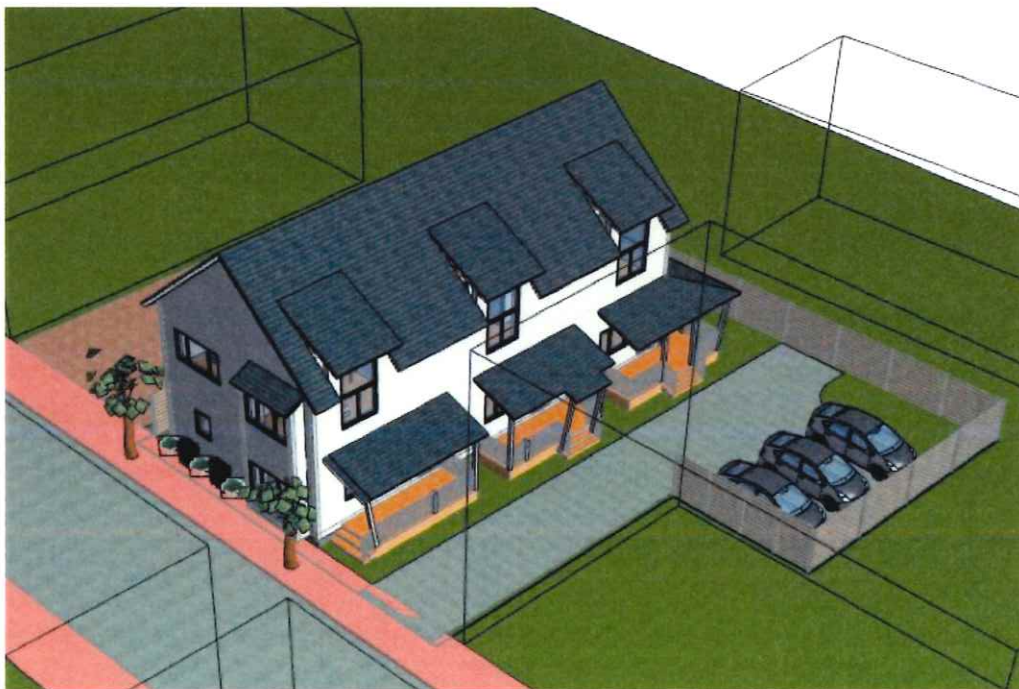


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A-1.1	Site Plan
A-2.1	Plans
C-1.1	Elevations
	Survey

DEVELOPMENT REVIEW APPLICATION



Jeff Levine, AICP, Director
Planning & Urban Development Department

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no Site Plan or Historic Preservation Applications can be reviewed until payment of appropriate application fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:



Within 24-48 hours, once my complete application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.



Within 24-48 hours, once my application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.



I intend to deliver a payment method through the U.S. Postal Service mail once my application paperwork has been electronically delivered.


Applicant Signature:

8-7-2014

Date:

8-11-2014

Date:

I have provided digital copies and sent them on:

NOTE:

All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means i.e. a thumb drive or CD to the Inspections Office, City Hall, 3rd Floor, Room 315.

PROJECT NAME: 7-9 May Street

PROPOSED DEVELOPMENT ADDRESS:

7-9 May Street

PROJECT DESCRIPTION:

New construction of a 3 unit townhouse located at 7-9 May St. in the West End.

CHART/BLOCK/LOT: 057 C023001

PRELIMINARY PLAN 2014-08-07 (date)
FINAL PLAN _____ (date)

CONTACT INFORMATION:

Applicant – must be owner, Lessee or Buyer Name: Alex Waters Business Name, if applicable: May Street 7-9 LLC Address: 6 Pond Ridge Ln. City/State : Norwalk, CT Zip Code: 06853	Applicant Contact Information Work # Home# (203) 642-3744 Cell # (203) 9129055 Fax# e-mail: alex.c.waters@gmail.com
Owner – (if different from Applicant) Name: same as applicant Address: City/State : Zip Code:	Owner Contact Information Work # Home# Cell # Fax# e-mail:
Agent/ Representative Name: Jesse Thompson Address: 424 Fore Street City/State : Portland, ME Zip Code: 04101	Agent/Representative Contact information Work # 207-842-2888 Cell # e-mail: jesse@kaplanthompson.com
Billing Information Name: Address: City/State : Zip Code:	Billing Information Work # Cell # Fax# e-mail:

Engineer Name: Address: City/State : Zip Code:	Engineer Contact Information Work # Cell # Fax# e-mail:
Surveyor Name: Address: City/State : Zip Code:	Surveyor Contact Information Work # Cell # Fax# e-mail:
Architect Jesse Thompson Name: Kaplan Thompson Architects Address: 424 Fore Street City/State : Portland, ME Zip Code: 04101	Architect Contact Information Work # 207-842-2888 Cell # Fax# e-mail: jesse@kaplanthompson.com
Attorney Name: Address: City/State : Zip Code:	Attorney Contact Information Work # Cell # Fax# e-mail:

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Credit Card, Cash or Check payable to the City of Portland.)

Level III Development (check applicable reviews) <input checked="" type="checkbox"/> Less than 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000) <input type="checkbox"/> 100,000 – 200,000 sq. ft. (\$2,000) <input type="checkbox"/> 200,000 – 300,000 sq. ft. (\$3,000) <input type="checkbox"/> over \$300,00 sq. ft. (\$5,000) <input type="checkbox"/> Parking lots over 11 spaces (\$1,000) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee) Plan Amendments (check applicable reviews) <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500) The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review fees are assessed separately. Any outside reviews or analysis requested from the Applicant as part of the development review, are the responsibility of the Applicant and are separate from any application or invoice fees.	Other Reviews (check applicable reviews) <input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Subdivisions (\$500 + \$25/lot) # of Lots ___ x \$25/lot = _____ <input type="checkbox"/> Site Location (\$3,000, except for residential projects which shall be \$200/lot) # of Lots ___ x \$200/lot = _____ <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation
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APPLICATION SUBMISSION:

1. All site plans and written application materials must be submitted electronically on a CD or thumb drive with each plan submitted as separate files, with individual file which can be found on the **Electronic Plan and Document Submittal** page of the City's website at <http://me-portland.civicplus.com/764/Electronic-Plan-and-Document-Submittal>
2. In addition, one (1) paper set of the plans (full size), one (1) paper set of plans (11 x 17), paper copy of written materials, and the application fee must be submitted to the Building Inspections Office to start the review process.

The application must be complete, including but not limited to the contact information, project data, application checklists, wastewater capacity, plan for fire department review, and applicant signature. The submissions shall include one (1) paper packet with folded plans containing the following materials:

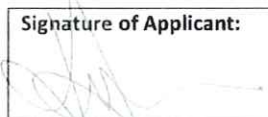
1. One (1) full size site plans that must be folded.
2. One (1) copy of all written materials or as follows, unless otherwise noted:
 - a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
3. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
4. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
5. One (1) set of plans reduced to 11 x 17.

Please refer to the application checklist (attached) for a detailed list of submission requirements.

APPLICANT SIGNATURE:

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: 8-07-2014
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PROJECT DATA

The following information is required where applicable, in order to complete the application.

Total Area of Site	4,898	sq. ft.
Proposed Total Disturbed Area of the Site	4,898	sq. ft.
If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland.		
Impervious Surface Area		
Impervious Area (Total Existing)	-	sq. ft.
Impervious Area (Total Proposed)	3,596	sq. ft.
Building Ground Floor Area and Total Floor Area		
Building Footprint (Total Existing)		sq. ft.
Building Footprint (Total Proposed)	1,678	sq. ft.
Building Floor Area (Total Existing)	-	sq. ft.
Building Floor Area (Total Proposed)	3,356	sq. ft.
Zoning		
Existing	R-6 & R-6 Small Lot Residential, B1 Neighborhood Business	
Proposed, if applicable	R-6 Small Lot	
Land Use		
Existing	Vacant	
Proposed	Residential	
Residential, If applicable		
# of Residential Units (Total Existing)	-	
# of Residential Units (Total Proposed)	3	
# of Lots (Total Proposed)	1	
# of Affordable Housing Units (Total Proposed)	-	
Proposed Bedroom Mix		
# of Efficiency Units (Total Proposed)	-	
# of One-Bedroom Units (Total Proposed)	-	
# of Two-Bedroom Units (Total Proposed)	3	
# of Three-Bedroom Units (Total Proposed)	-	
Parking Spaces		
# of Parking Spaces (Total Existing)	-	
# of Parking Spaces (Total Proposed)	3	
# of Handicapped Spaces (Total Proposed)	-	
Bicycle Parking Spaces		
# of Bicycle Spaces (Total Existing)	-	
# of Bicycle Spaces (Total Proposed)	2	
Estimated Cost of Project	\$450,000.00	



**PORTLAND FIRE DEPARTMENT
SITE REVIEW
FIRE DEPARTMENT CHECKLIST**



A separate drawing[s] shall be provided as part of the site plan application for the Portland Fire Department's review.

1. Name, address, telephone number of applicant
2. Alex Waters | 6 Pond Ridge Ln. Norwalk, CT 06853 | (203) 642-3744
3. Name address, telephone number of architect
Jesse Thompson | 424 Fore St. Portland, ME 04101 | (207) 842-2888
4. Proposed uses of any structures [NFPA and IBC classification]
- 5.
6. Square footage of all structures [total and per story]
1,678 per story | 5,034 total (including unconditioned basement)
7. Elevation of all structures
8. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
9. Hydrant locations
Approx. 110'-0 from new structure. Located at corner of May St. and Danforth St.
10. Water main[s] size and location
11. Access to all structures [min. 2 sides]
12. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.

Some structures may require Fire flows using annex H of NFPA 1

Project Description

7-9 May Street Project is the proposed new construction of a 3-unit townhouse building located in the West End. Each unit will be two-stories high with living space on the first floor and 2-bedrooms each on the upper floors.

The architectural features of the building will fit very well into the neighborhood. The structure will have ample porches easily visible from the street. A gabled roof with three separate dormers will help break up the main façade of the building and an expansive bay window will provide interest to the front façade. At two stories high, the scale of this townhouse will nicely complement the neighborhood.

The site is minimally sloped therefore, thus requiring very little additional grading. However, basic grading will be done to help divert stormwater onto the rain garden located at the back of the property. In addition to minimal grading, trench drains will divert storm water from the roof, and the site into the rain garden.

Three parking spots and two bicycle parking spots will be provided on site. The parking areas are tucked-away in a corner of the site and not very visible from the main road. A designated area for snow removal will be located adjacent to parking.

RIGHT, TITLE AND INTEREST

1302185 K-1

**QUITCLAIM DEED
With Covenant
Statutory Short Form**

KNOW ALL PERSONS BY THESE PRESENTS, that **Todd M. Alexander**, of Portland, County of Cumberland and State of Maine, for consideration paid, the receipt whereof is hereby acknowledged, does hereby **REMISE, RELEASE AND CONVEY**, to **May Street 7-9 LLC**, having a mailing address of 6 Pond Ridge Lane Norwalk CT 06853, **WITH QUITCLAIM COVENANT**, the following described real estate located in Portland, Maine:

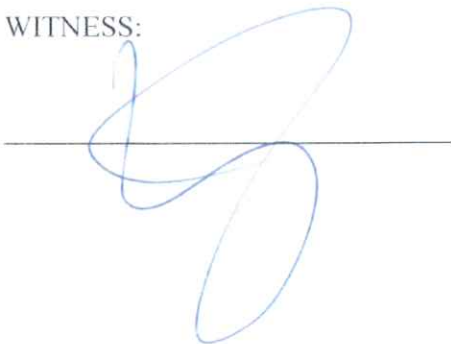
A certain lot or parcel of land situated in the city of Portland, County of Cumberland and the state of Maine, bounded and described as follows: Beginning on the northeasterly side of May Street at an iron set in the ground at a point which is sixty-five and twenty-five hundredths (65.25) feet thereon from the intersection of the northeasterly side line of May Street and the northwesterly side of Danforth Street; thence by May Street northwesterly fifty-three and seventy-four hundredths (53.74) feet to an iron and land conveyed by Exchange Realty Co. to Peter Sitschew; thence northeasterly making and included angle of 89° 40', by said Sitschew land seventy-six and forty-five hundredths (76.45) feet to land formerly of one Bartol; thence southeasterly by said Bartol land seventy-three and ninety-one hundredths (73.91) feet to an iron set in the ground and land now or formerly of one Pistaki; thence southwesterly by said Pistaki land thirty-eight and five tenths (38.5) feet to a point; thence northwesterly at right angles to the last course twenty and fifty-eight hundredths (20.58) feet to a point; thence southwesterly at right angles to the last course forty (40) feet to the point of beginning.

MAINE REAL ESTATE TAX PAID

Reference is made to a deed from Robert C. Hains to Todd M. Alexander dated November 30, 2012, recorded in the Cumberland County registry of deeds in Book 30174, Page 347.

IN WITNESS WHEREOF, the said Todd M. Alexander has set his hand and seal on December 9, 2013.

WITNESS:




Todd M. Alexander

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

November 9, 2013

Then personally appeared the above-named Todd M. Alexander and
acknowledged the foregoing instrument to be his free act and deed.



Before me,

Notary Public/Attorney-at-Law

Print name:

Michelle Supry

Return to:
Alex and Kelly Waters
6 Pond Ridge Lane
Norwalk, CT 06853

Received
Recorded Register of Deeds
Dec 11, 2013 03:20:28P
Cumberland County
Pamela E. Lovley

COMPLIANCE WITH ZONING REQUIREMENTS

Chapter 14

Zoning Summary

Kaplan Thompson Architects

May 16, 2014

Project address 7 - 9 May St, Portland, ME, 04101
Project type Multi-family Residential, >2 Units

City Zone R-6 & R-6 Small Lot Residential, B1 Neighborhood Business
Legal ID
Permitted Uses Multiple Uses Allowed
Existing Uses Vacant Land
Proposed Use Multi-family Residential
Guidelines R-6 Small Lot, Abutting Historic District

R-6 SMALL LOT

Vacant as of Jan 1, 2005

Dimensional Requirements	Required / Allowed	Provided
Min Lot Size	0 SF	4,898 SF
Max Lot Size	10,000 SF	
Min Area per Dwelling Unit	725 SF per Unit	6 unit max, 4,350 SF land min
Min Street Frontage	40'-0"	53.75'
Min Front Yard	---	
Max Front Yard	10'-0"	
Min Rear Yard	10'-0" between buildings or 2 bldg heights Div by 5 (1 rear or side 15-0 Min)	
Min Side Yard	10'-0" between buildings or 2 bldg heights Div by 5 (1 rear or side 15-0 Min)	
Max Lot Coverage	50%	
Min Lot Width	0'-0"	
Min Building Height	2 Stories above grade	
Max Building Height	45'-0"	
Open Space Ratio	10% min	

FINANCIAL AND TECHNICAL CAPACITY



9800 Fredericksburg Road
San Antonio, Texas 78288

August 5, 2014

Alexander C D Waters
6 Pond Ridge Ln
Norwalk, CT 06853 -1541

Dear Mr. Waters:

This letter is to confirm that you have active USAA Investment accounts. This letter also confirms that as of August 4, 2014, your total market value exceeded \$500,000.00. As owner of these accounts, you have full access to these funds.

Please do not hesitate to contact a USAA Member Service Representative at 800-531-8722 if we can be of any further assistance.

Thank you,

USAA

Technical Capacity

Architect: Kaplan Thompson Architects is a leader in Maine and the nation in building super-efficient residences at attainable costs. Kaplan Thompson is the lead designer on the project.

Other Consultants will be retained in an as-needed basis.

7-9 MAY STREET



PROJECT INFORMATION

Client: Alex Waters
Architect: Kaplan Thompson Architects
Contractor: TBD
Map / Lot: 057 C023001
Project Address: 7-9 May Street
 PORTLAND, MAINE
Zoning:
Building Codes: IRC 2009
 NFPA 101 / 2009
Site Area: 4,898 +/- SF
 0.11 +/- ACRE
Occupancy: Townhouse - Residential
Max Building Height: 45'-0"

DRAWING INDEX

	COVER SHEET
A-0.0	SITE PLAN
A-1.1	PLANS
A-2.1	ELEVATIONS

- EXISTING CONTOURS
- PROPOSED CONTOURS
- x-x-x FENCE
- [Pattern] CRUSHED GRAVEL
- [Blank] LAWN
- [Pattern] RAIN GARDEN MIX
- [Pattern] BIT. CONC. PAVING
- DRAIN LINE
- FRENCH DRAIN
- [Pattern] ORNAMENTAL PLANTINGS
- [Tree Symbol] NEW TREE
- [Plant Symbol] FRONTAGE MIX

PLANT LIST

RAIN GARDEN MIX:
 LITTLE BLUESTEM (ANDROPOGON SCOPARIUS)
 TUFTED HAIR GRASS (DESCHAMPSIA CESPITOSA)
 ARTIC FIRE DOGWOOD (CORNUS SERICEA 'FARROW')
 Highbush BLUEBERRY (VACCINIUM CORYBOSUM)
 BLUE FLAG IRIS (IRIS VERSICOLOR)
 NEW ENGLAND ASTER (ASTER NOVAE-ANGLIAE)
 JOE PYE WEED (EUPATORIUM FISTULOSUM)
 BLACK-EYED SUSAN (RUDBECKIA FULGIDA)
 PURPLE CONEFLOWER (ECHINACEA PURPUREA)

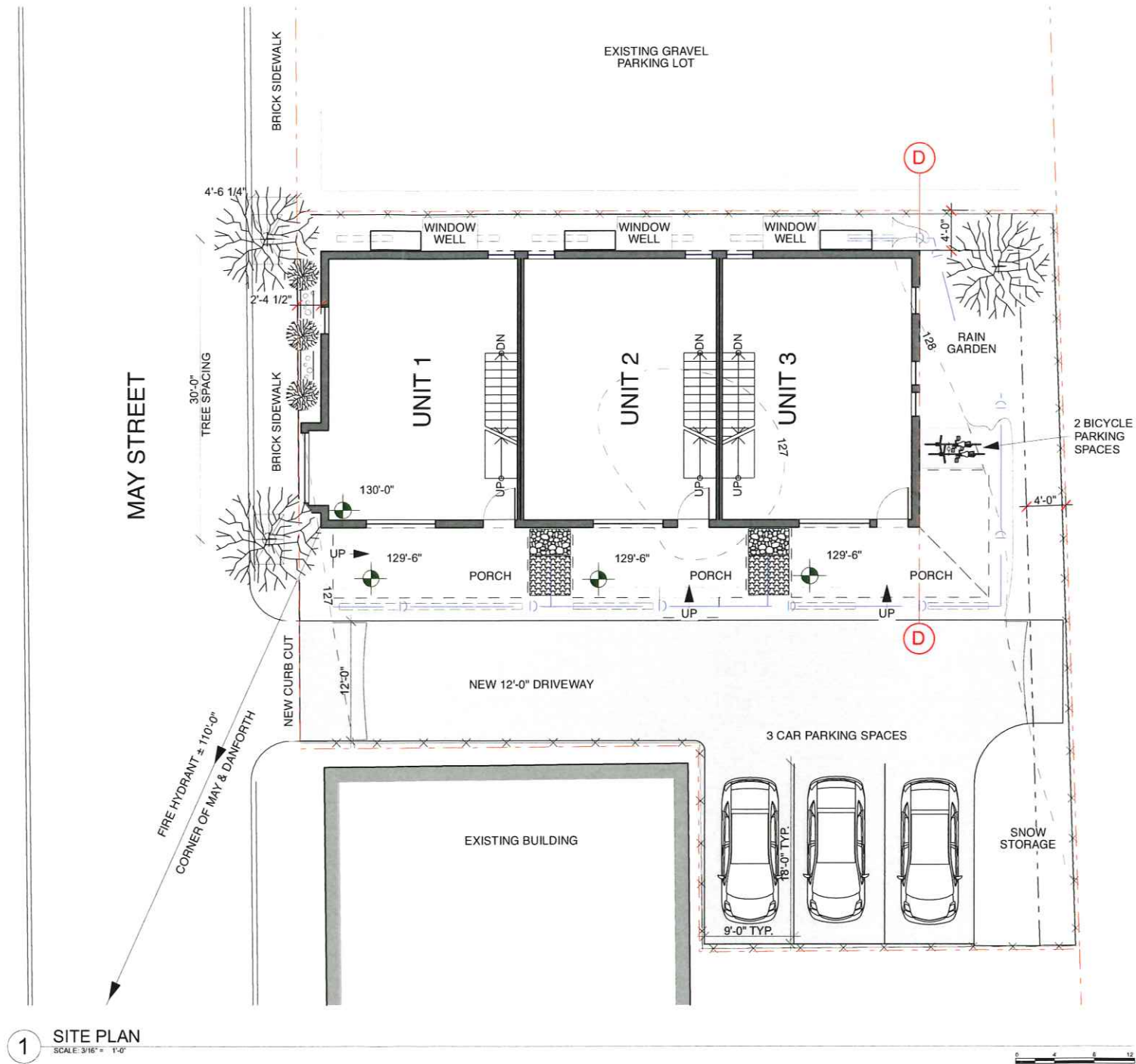
GRASS:
 TO BE SELECTED FROM THE FOLLOWING SPECIES:
 KENTUCKY BLUEGRASS (POA PRATENSIS)
 RED FESCUE (FESTUCA RUBRA)
 TALL FESCUE (FESTUCA ARUNDINACEA) OR
 PERENNIAL RYEGRASS (LOLIUM PERENNE L.)

FRONTAGE MIX:
 SWEETFERN (COMPTONIA PEREGRINA)
 OBEDEIENT PLANT (PHYSOSTEGIA VIRGINIANA)
 BEE BALM (MONARDA DIDYMA)

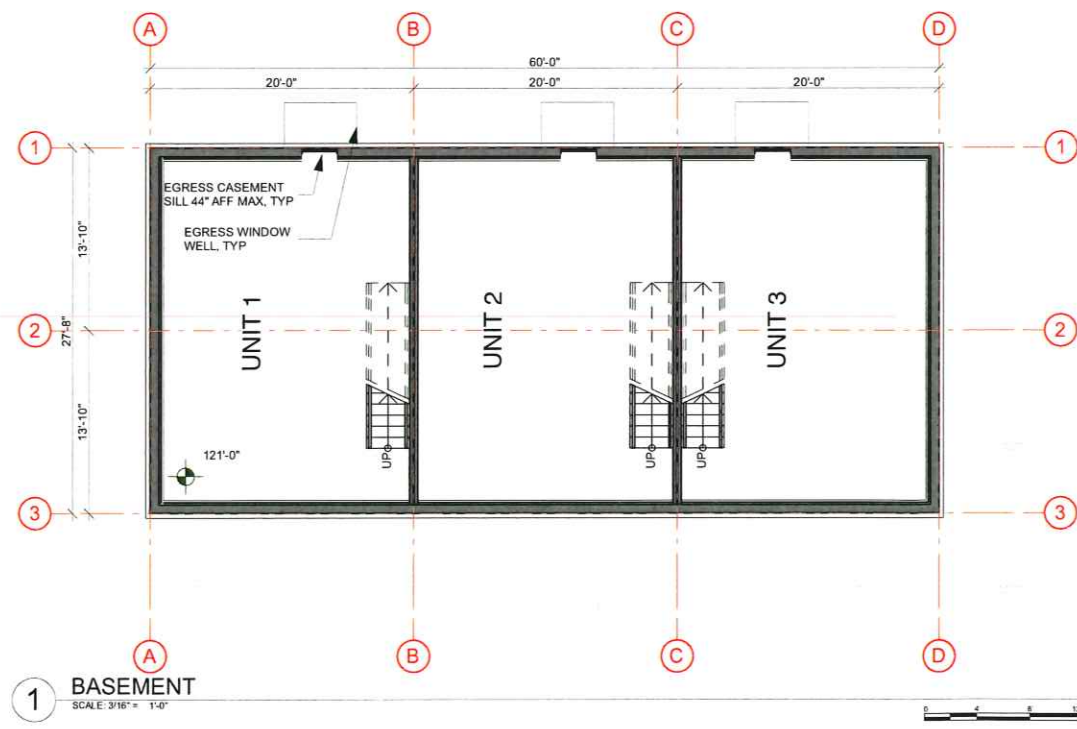
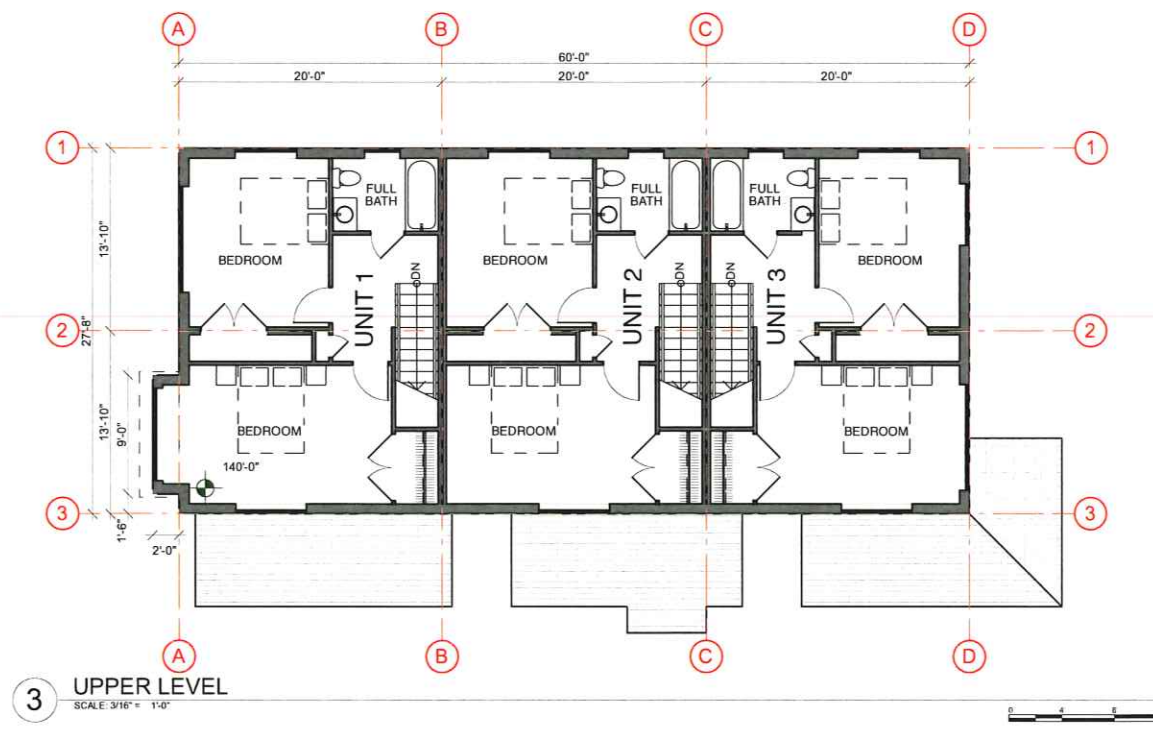
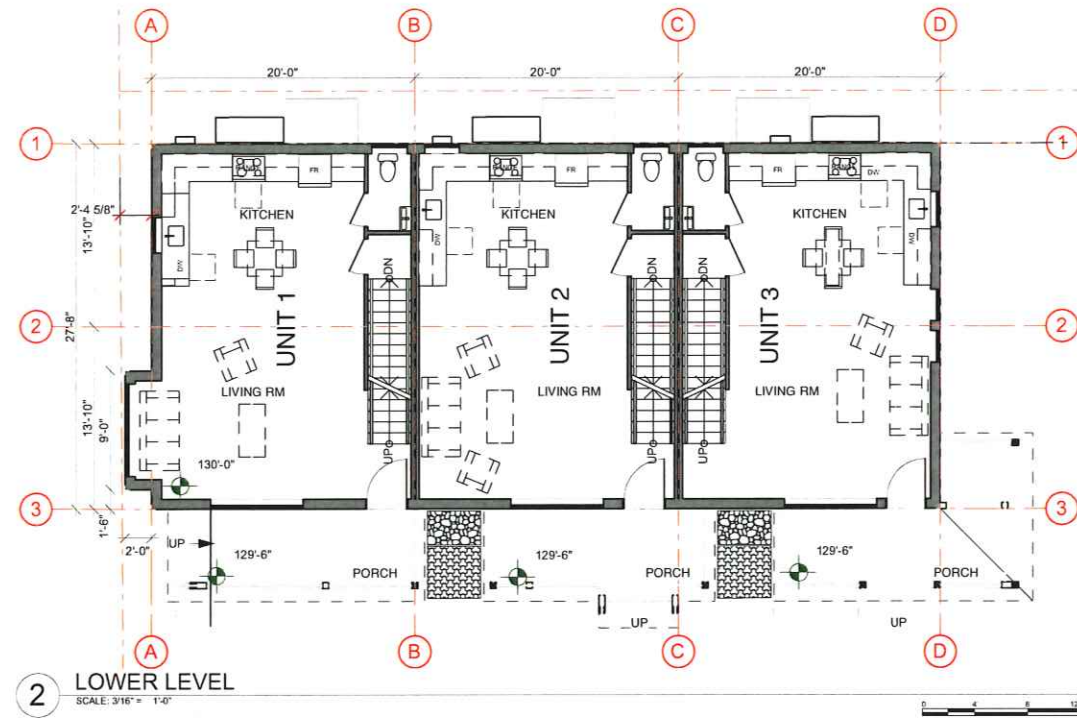
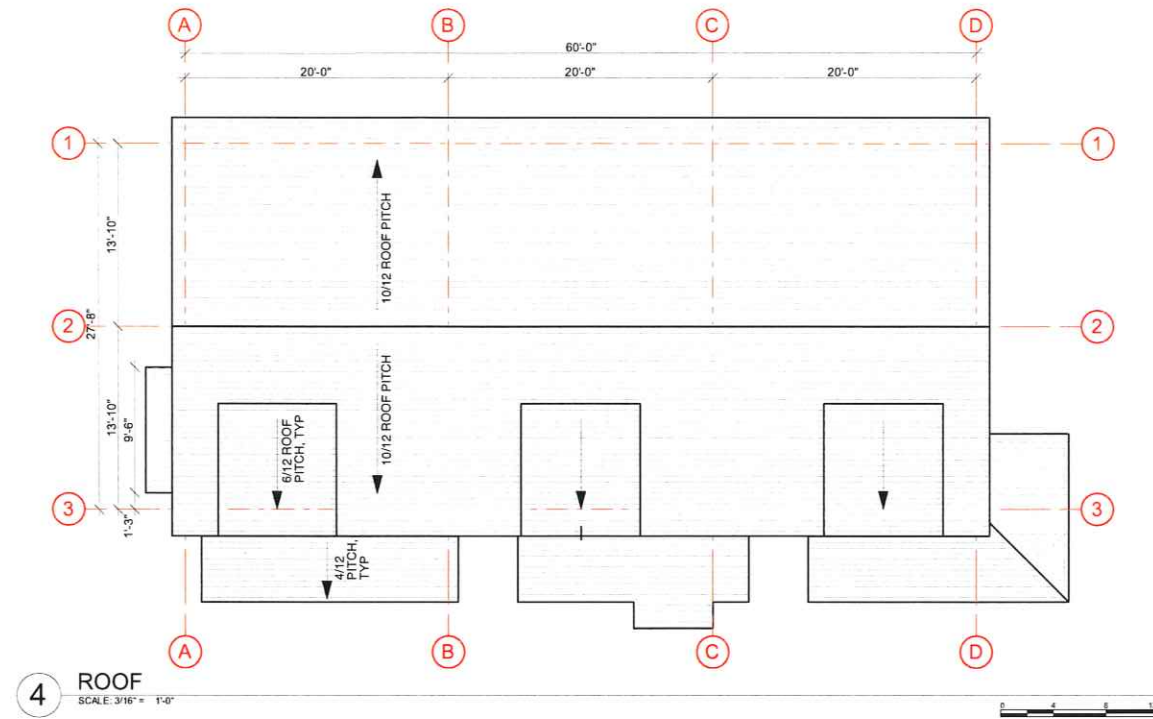
TREES:
 SERVICEBERRY (AMELARCHIER X GRANDFLORA)
 'AUTUMN BRILLIANCE)

STORMWATER NOTES

1. ROOF WATER TO FALL ON CRUSHED STONE FRENCH DRAIN AT BUILDING EDGE
2. TRENCH DRAIN WILL BE PIPED TO RAIN GARDEN AT REAR OF LOT
3. STORMWATER PIPING AND WASTE WATER PIPING TO BE SEPARATED AT PROPERTY BOUNDARY BEFORE CONNECTION TO CITY UTILITIES



1 SITE PLAN
SCALE: 3/16" = 1'-0"



NOT FOR CONSTRUCTION
LEVEL III SITE PLAN

PROJECT:
7-9 MAY STREET
ALEX WATERS
7-9 MAY STREET
PORTLAND, MAINE

DRAWING: PLANS

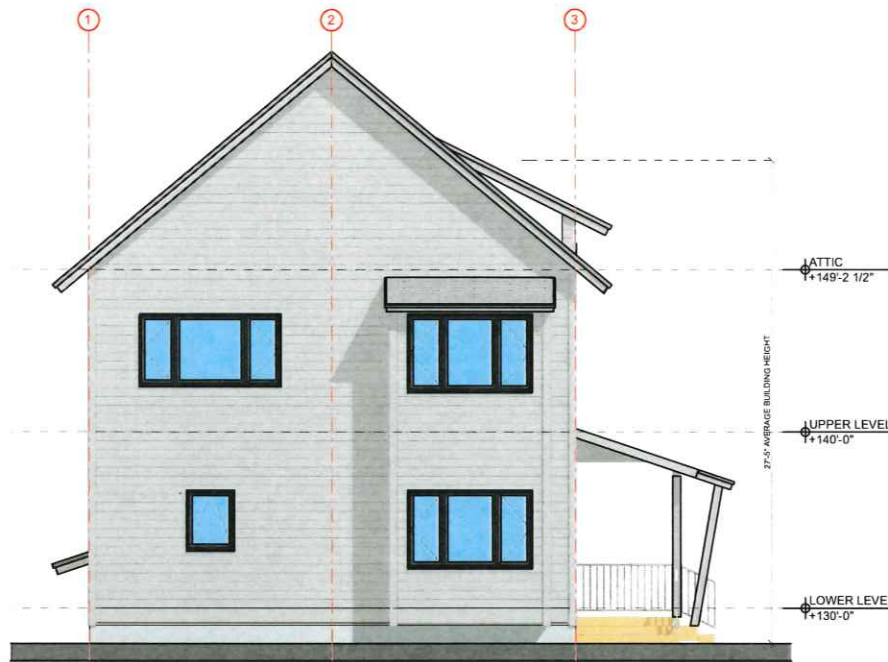
SCALE:

DATE: JULY 1, 2014

DRAWN BY: JB

REVISED:

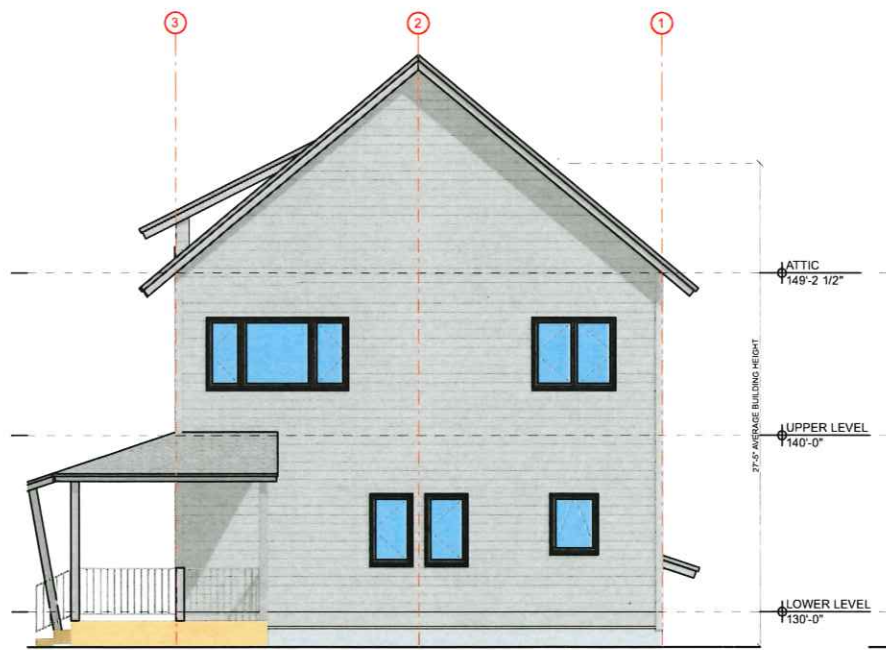
A-1.1



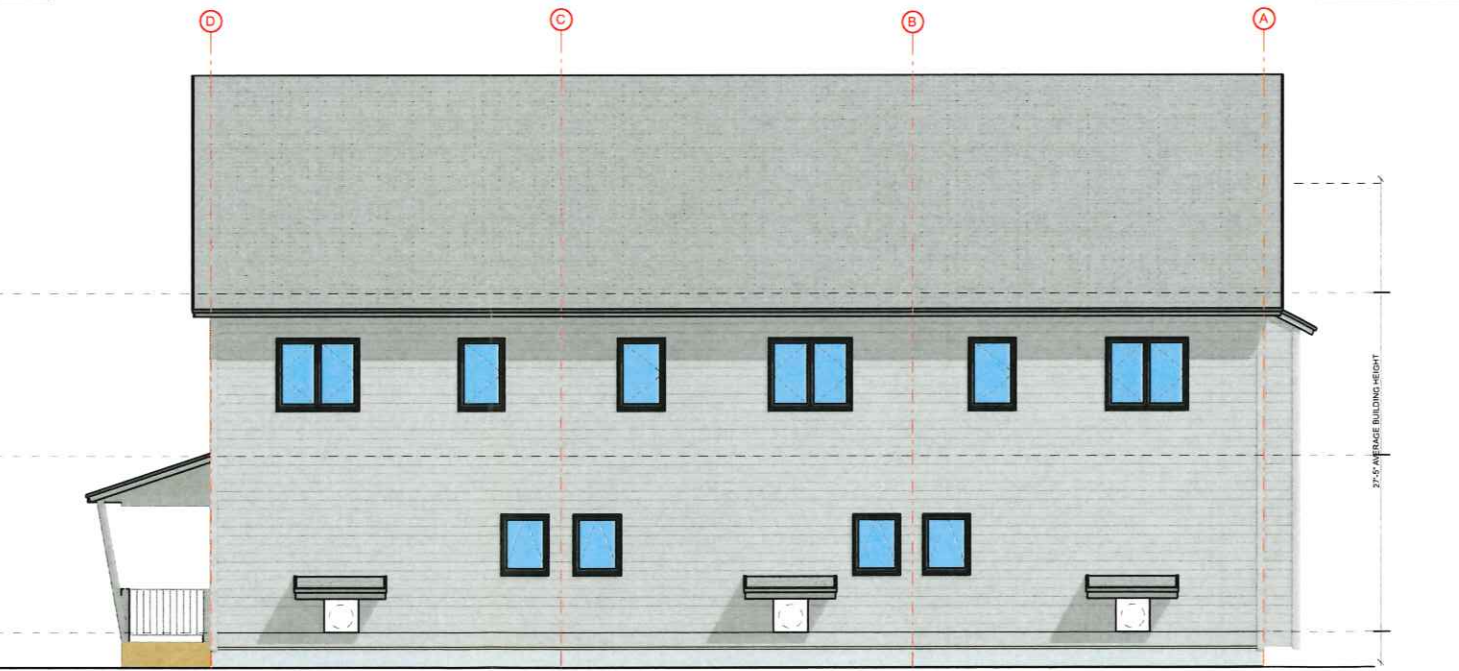
4 SW ELEVATION: MAY ST
SCALE: 1/4" = 1'-0"



3 SE ELEVATION: ENTRY
SCALE: 1/4" = 1'-0"



2 NE ELEVATION: REAR
SCALE: 1/4" = 1'-0"



1 NW ELEVATION
SCALE: 1/4" = 1'-0"

LOCAT ON SKETCH



LOCAL DEED REFERENCE
 CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD)
 BOOK 30174 PAGE 347

PLAN REFERENCES

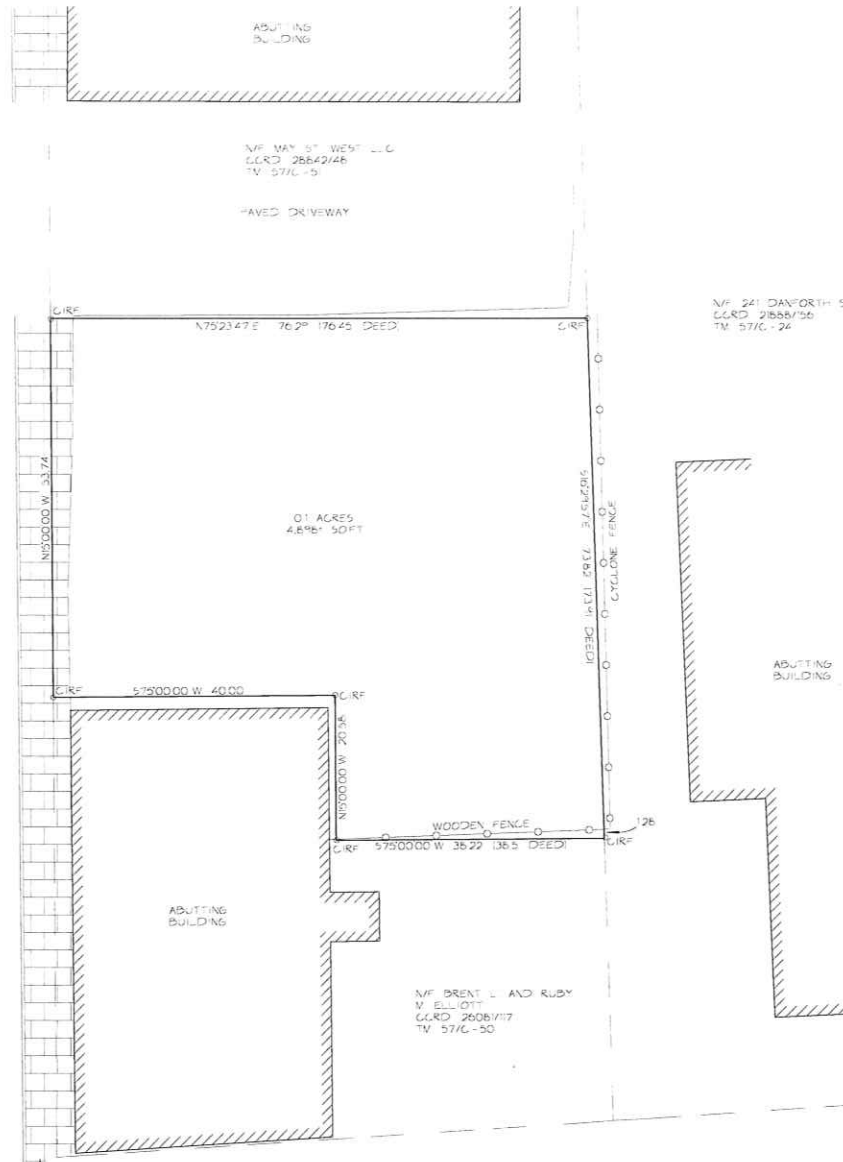
1. CONDOMINIUM PLAN ON DANFORTH STREET AND
 MAY STREET IN PORTLAND CUMBERLAND COUNTY,
 MAINE DATED MARCH 2, 2000 AND RECORDED IN
 THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN
 PLAN BOOK 200, PAGE 224

LEGEND

N/F - NOW OR FORMERLY
 T/M - TAX MAP
 C.I.R.F. - CAPPED IRON ROD FOUND
 M/VN - MONUMENT

MAY STREET

DANFORTH STREET



REVISION NO	DATE	REVISION PURPOSE



PLAN OF LAND AT
 7-9 MAY STREET, PORTLAND, MAINE
 MADE FOR
 7-9 MAY STREET LLC

LIVINGSTON-HUGHES
 PROFESSIONAL LAND SURVEYING CORPORATION
 88 GUINEA ROAD KENNEBUNKPORT, MAINE 04046

**7-9 MAY STREET
PORTLAND, MAINE**

**Application For:
Preliminary Site Plan Level III Review**

Submitted by:
Kaplan Thompson Architects
424 Fore Street
Portland, Maine 04101

For:
Alex Waters
6 Pond Ridge Ln.
Norwalk, CT 06853

Resubmission Date:
November 24, 2014

Original Submission Date:
August 11, 2014



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DEVELOPMENT REVIEW APPLICATION



Jeff Levine, AICP, Director
Planning & Urban Development Department

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

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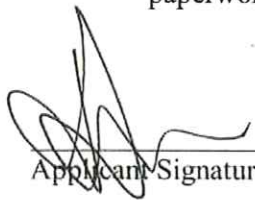


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Applicant Signature:

Nov 24, 2014
Date:

I have provided digital copies and sent them on:

Nov 25, 2014
Date:

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means i.e. a thumb drive or CD to the Inspections Office, City Hall, 3rd Floor, Room 315.



Level III – Preliminary and Final Site Plans Development Review Application Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level III: Preliminary or Final Site Plan. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits.

Level III: Site Plan Development includes:

- New structures with a total floor area of 10,000 sq. ft. or more except in Industrial Zones.
- New structures with a total floor area of 20,000 sq. ft. or more in Industrial Zones.
- New temporary or permanent parking area(s) or paving of existing unpaved parking areas for more than 75 vehicles.
- Building addition(s) with a total floor area of 10,000 sq. ft. or more (cumulatively within a 3 year period) except in Industrial Zones.
- Building addition(s) with a total floor area of 20,000 sq. ft. or more in Industrial Zones.
- A change in the use of a total floor area of 20,000 sq. ft. or more in any existing building (cumulatively within a 3 year period).
- Multiple family development (3 or more dwelling units) or the addition of any additional dwelling unit if subject to subdivision review.
- Any new major or minor auto business in the B-2 or B-5 Zone, or the construction of any new major or minor auto business greater than 10,000 sq. ft. of building area in any other permitted zone.
- Correctional prerelease facilities.
- Park improvements: New structures greater than 10,000 sq. ft. and/or facilities encompassing 20,000 sq. ft. or more (excludes rehabilitation or replacement of existing facilities); new nighttime outdoor lighting of sports, athletic or recreation facilities not previously illuminated.
- Land disturbance of 3 acres or more (includes stripping, grading, grubbing, filling or excavation).

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14) which is available on our website:

Land Use Code: <http://me-portland.civicplus.com/DocumentCenter/Home/View/1080>

Design Manual: <http://me-portland.civicplus.com/DocumentCenter/View/2355>

Technical Manual: <http://me-portland.civicplus.com/DocumentCenter/View/2356>

Planning Division

Fourth Floor, City Hall
389 Congress Street
(207) 874-8719

Office Hours

Monday thru Friday
8:00 a.m. – 4:30 p.m.

PROJECT NAME: 7-9 May Street

PROPOSED DEVELOPMENT ADDRESS:

7-9 May Street

PROJECT DESCRIPTION:

New construction of a 3 unit townhouse located at 7-9 May St. in the West End.

CHART/BLOCK/LOT: 057 C023001

PRELIMINARY PLAN Nov. 24, 2014 (date)

FINAL PLAN _____ (date)

CONTACT INFORMATION:

Applicant – must be owner, Lessee or Buyer Name: Alex Waters Business Name, if applicable: May Street 7-9 LLC Address: 6 Pond Ridge Ln. City/State : Norwalk, CT Zip Code: 06853	Applicant Contact Information Work # Home# (203) 642-3744 Cell # (203) 9129055 Fax# e-mail: alex.c.waters@gmail.com
Owner – (if different from Applicant) Name: same as applicant Address: City/State : Zip Code:	Owner Contact Information Work # Home# Cell # Fax# e-mail:
Agent/ Representative Name: Jesse Thompson Address: 424 Fore Street City/State : Portland, ME Zip Code: 04101	Agent/Representative Contact information Work # 207-842-2888 Cell # e-mail: jesse@kaplanthompson.com
Billing Information Name: Address: City/State : Zip Code:	Billing Information Work # Cell # Fax# e-mail:

Engineer Name: Address: City/State : Zip Code:	Engineer Contact Information Work # Cell # Fax# e-mail:
Surveyor Name: Address: City/State : Zip Code:	Surveyor Contact Information Work # Cell # Fax# e-mail:
Architect Jesse Thompson Name: Kaplan Thompson Architects Address: 424 Fore Street City/State : Portland, ME Zip Code: 04101	Architect Contact Information Work # 207-842-2888 Cell # Fax# e-mail: jesse@kaplanthompson.com
Attorney Name: Address: City/State : Zip Code:	Attorney Contact Information Work # Cell # Fax# e-mail:

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Credit Card, Cash or Check payable to the City of Portland.)

Level III Development (check applicable reviews) <input checked="" type="checkbox"/> Less than 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000) <input type="checkbox"/> over \$300,00 sq. ft. (\$5,000) <input type="checkbox"/> Parking lots over 11 spaces (\$1,000) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee) Plan Amendments (check applicable reviews) <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500) The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review fees are assessed separately. Any outside reviews or analysis requested from the Applicant as part of the development review, are the responsibility of the Applicant and are separate from any application or invoice fees.	Other Reviews (check applicable reviews) <input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Subdivisions (\$500 + \$25/lot) # of Lots ___ x \$25/lot = _____ <input type="checkbox"/> Site Location (\$3,000, except for residential projects which shall be \$200/lot) # of Lots ___ x \$200/lot = _____ <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation
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APPLICATION SUBMISSION:

1. All site plans and written application materials must be submitted electronically on a CD or thumb drive with each plan submitted as separate files, with individual file which can be found on the **Electronic Plan and Document Submittal** page of the City's website at <http://me-portland.civicplus.com/764/Electronic-Plan-and-Document-Submittal>
2. In addition, one (1) paper set of the plans (full size), one (1) paper set of plans (11 x 17), paper copy of written materials, and the application fee must be submitted to the Building Inspections Office to start the review process.

The application must be complete, including but not limited to the contact information, project data, application checklists, wastewater capacity, plan for fire department review, and applicant signature. The submissions shall include one (1) paper packet with folded plans containing the following materials:

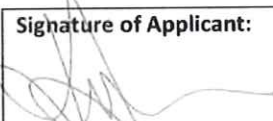
1. One (1) full size site plans that must be folded.
2. One (1) copy of all written materials or as follows, unless otherwise noted:
 - a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
3. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
4. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
5. One (1) set of plans reduced to 11 x 17.

Please refer to the application checklist (attached) for a detailed list of submission requirements.

APPLICANT SIGNATURE:

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: Nov 24, 2014
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PROJECT DATA

The following information is required where applicable, in order to complete the application.

Total Area of Site	4,898 sq. ft.
Proposed Total Disturbed Area of the Site	4,898 sq. ft.
If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland.	
Impervious Surface Area	
Impervious Area (Total Existing)	- sq. ft.
Impervious Area (Total Proposed)	3,596 sq. ft.
Building Ground Floor Area and Total Floor Area	
Building Footprint (Total Existing)	- sq. ft.
Building Footprint (Total Proposed)	1,678 sq. ft.
Building Floor Area (Total Existing)	- sq. ft.
Building Floor Area (Total Proposed)	3,356 sq. ft. (plus 1,678 sq.ft. unfinished basement)
Zoning	
Existing	R-6 Residential, B1 Neighborhood Business
Proposed, if applicable	B1 Neighborhood Business
Land Use	
Existing	Vacant
Proposed	Residential
Residential, If applicable	
# of Residential Units (Total Existing)	-
# of Residential Units (Total Proposed)	3
# of Lots (Total Proposed)	1
# of Affordable Housing Units (Total Proposed)	-
Proposed Bedroom Mix	
# of Efficiency Units (Total Proposed)	-
# of One-Bedroom Units (Total Proposed)	-
# of Two-Bedroom Units (Total Proposed)	3
# of Three-Bedroom Units (Total Proposed)	-
Parking Spaces	
# of Parking Spaces (Total Existing)	-
# of Parking Spaces (Total Proposed)	3
# of Handicapped Spaces (Total Proposed)	-
Bicycle Parking Spaces	
# of Bicycle Spaces (Total Existing)	-
# of Bicycle Spaces (Total Proposed)	2
Estimated Cost of Project	\$450,000.00

PRELIMINARY PLAN (Optional) - Level III Site Plan

Applicant Checklist	Planner Checklist	# of Copies	GENERAL WRITTEN SUBMISSIONS CHECKLIST
X		1	Completed Application form
X		1	Application fees (Resubmission only - original app+fees submitted 08/11/2014)
X		1	Written description of project
X		1	Evidence of right, title and interest
N/A		1	Evidence of state and/or federal approvals, if applicable
X		1	Written assessment of proposed project's compliance with applicable zoning requirements
N/A		1	Summary of existing and/or proposed easement, covenants, public or private rights-of-way, or other burdens on the site
N/A		1	Written requests for waivers from site plan or technical standards, if applicable.
X		1	Evidence of financial and technical capacity
N/A		1	Traffic Analysis (may be preliminary, in nature, during the preliminary plan phase)
Applicant Checklist	Planner Checklist	# of Copies	SITE PLAN SUBMISSIONS CHECKLIST
X		1	Boundary Survey meeting the requirements of Section 13 of the City of Portland's Technical Manual
X		1	Preliminary Site Plan including the following: (information provided may be preliminary in nature during preliminary plan phase)
X			Proposed grading and contours;
N/A			Existing structures with distances from property line;
X			Proposed site layout and dimensions for all proposed structures (including piers, docks or wharves in Shoreland Zone), paved areas, and pedestrian and vehicle access ways;
X			Preliminary design of proposed stormwater management system in accordance with Section 5 of the Technical Manual (note that Portland has a separate applicability section);
N/A			Preliminary infrastructure improvements;
X			Preliminary Landscape Plan in accordance with Section 4 of the Technical Manual;
N/A			Location of significant natural features (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features) located on the site as defined in Section 14-526 (b) (1);
N/A			Proposed buffers and preservation measures for significant natural features, as defined in Section 14-526 (b) (1);
N/A			Location , dimensions and ownership of easements, public or private rights of way, both existing and proposed;
X			Exterior building elevations.

FINAL PLAN - Level III Site Plan

GENERAL WRITTEN SUBMISSIONS CHECKLIST			
Applicant Checklist	Planner Checklist	# of Copies	(* If applicant chooses to submit a Preliminary Plan, then the * items were submitted for that phase and only updates are required)
		1	* Completed Application form
		1	* Application fees
		1	* Written description of project
		1	* Evidence of right, title and interest
		1	* Evidence of state and/or federal permits
		1	* Written assessment of proposed project's specific compliance with applicable Zoning requirements
		1	* Summary of existing and/or proposed easements, covenants, public or private rights-of-way, or other burdens on the site
		1	* Evidence of financial and technical capacity
		1	Construction Management Plan
		1	A traffic study and other applicable transportation plans in accordance with Section 1 of the technical Manual, where applicable.
		1	Written summary of significant natural features located on the site (Section 14-526 (b) (a))
		1	Stormwater management plan and stormwater calculations
		1	Written summary of project's consistency with related city master plans
		1	Evidence of utility capacity to serve
		1	Written summary of solid waste generation and proposed management of solid waste
		1	A code summary referencing NFPA 1 and all Fire Department technical standards
		1	Where applicable, an assessment of the development's consistency with any applicable design standards contained in Section 14-526 and in City of Portland Design Manual
		1	Manufacturer's verification that all proposed HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

Applicant Checklist	Planner Checklist	# of Copies	SITE PLAN SUBMISSIONS CHECKLIST (* If applicant chooses to submit a Preliminary Plan, then the * items were submitted for that phase and only updates are required)
		1	* Boundary Survey meeting the requirements of Section 13 of the City of Portland's Technical Manual
		1	Final Site Plans including the following:
			Existing and proposed structures, as applicable, and distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone);
			Existing and proposed structures on parcels abutting site;
			All streets and intersections adjacent to the site and any proposed geometric modifications to those streets or intersections;
			Location, dimensions and materials of all existing and proposed driveways, vehicle and pedestrian access ways, and bicycle access ways, with corresponding curb lines;
			Engineered construction specifications and cross-sectional drawings for all proposed driveways, paved areas, sidewalks;
			Location and dimensions of all proposed loading areas including turning templates for applicable design delivery vehicles;
			Existing and proposed public transit infrastructure with applicable dimensions and engineering specifications;
			Location of existing and proposed vehicle and bicycle parking spaces with applicable dimensional and engineering information;
			Location of all snow storage areas and/or a snow removal plan;
			A traffic control plan as detailed in Section 1 of the Technical Manual;
			Proposed buffers and preservation measures for significant natural features, where applicable, as defined in Section 14-526(b)(1);
			Location and proposed alteration to any watercourse;
			A delineation of wetlands boundaries prepared by a qualified professional as detailed in Section 8 of the Technical Manual;
			Proposed buffers and preservation measures for wetlands;
			Existing soil conditions and location of test pits and test borings;
			Existing vegetation to be preserved, proposed site landscaping, screening and proposed street trees, as applicable;
			A stormwater management and drainage plan, in accordance with Section 5 of the Technical Manual;
			Grading plan;
			Ground water protection measures;
			Existing and proposed sewer mains and connections;

- Continued on next page -

		Location of all existing and proposed fire hydrants and a life safety plan in accordance with Section 3 of the Technical Manual;
		Location, sizing, and directional flows of all existing and proposed utilities within the project site and on all abutting streets;
		Location and dimensions of off-premises public or publicly accessible infrastructure immediately adjacent to the site;
		Location and size of all on site solid waste receptacles, including on site storage containers for recyclable materials for any commercial or industrial property;
		Plans showing the location, ground floor area, floor plans and grade elevations for all buildings;
		A shadow analysis as described in Section 11 of the Technical Manual, if applicable;
		A note on the plan identifying the Historic Preservation designation and a copy of the Application for Certificate of Appropriateness, if applicable, as specified in Section Article IX, the Historic Preservation Ordinance;
		Location and dimensions of all existing and proposed HVAC and mechanical equipment and all proposed screening, where applicable;
		An exterior lighting plan in accordance with Section 12 of the Technical Manual;
		A signage plan showing the location, dimensions, height and setback of all existing and proposed signs;
		Location, dimensions and ownership of easements, public or private rights of way, both existing and proposed.



**PORTLAND FIRE DEPARTMENT
SITE REVIEW
FIRE DEPARTMENT CHECKLIST**



A separate drawing[s] shall be provided as part of the site plan application for the Portland Fire Department's review.

1. Name, address, telephone number of applicant
Alex Waters | 6 Pond Ridge Ln. Norwalk, CT 06853 | (203) 642-3744
2. Name address, telephone number of architect
Jesse Thompson | 424 Fore St. Portland, ME 04101 | (207) 842-2888
3. Proposed uses of any structures [NFPA and IBC classification]
- 4.
5. Square footage of all structures [total and per story]
1,678 per story | 5,034 total (including unconditioned basement)
6. Elevation of all structures
7. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
8. Hydrant locations
Approx. 110'-0 from new structure. Located at corner of May St. and Danforth St.
9. Water main[s] size and location
10. Access to all structures [min. 2 sides]
11. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.
- 12.

Some structures may require Fire flows using annex H of NFPA 1

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2991



Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: _____

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: _____ Chart Block Lot Number: _____

Proposed Use: _____

Previous Use: _____

Existing Sanitary Flows: _____ GPD

Existing Process Flows: _____ GPD

Description and location of City sewer that is to receive the proposed building sewer lateral.

Site Category	Commercial <i>(see part 4 below)</i>	
	Industrial <i>(complete part 5 below)</i>	
	Governmental	
	Residential	
	Other <i>(specify)</i>	

(Clearly, indicate the proposed connections, on the submitted plans)

2. Please, Submit Contact Information.

City Planner's Name: _____ Phone: _____

Owner/Developer Name: _____

Owner/Developer Address: _____

Phone: _____ Fax: _____ E-mail: _____

Engineering Consultant Name: _____

Engineering Consultant Address: _____

Phone: _____ Fax: _____ E-mail: _____

(Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review)

3. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: _____ GPD

Peaking Factor/ Peak Times: _____

Specify the source of design guidelines: *(i.e. "Handbook of Subsurface Wastewater Disposal in Maine,"*
"Plumbers and Pipe Fitters Calculation Manual," *Portland Water District Records,* *Other (specify)*

(Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet)

4. Please, Submit External Grease Interceptor Calculations.

Total Drainage Fixture Unit (DFU) Values: _____
Size of External Grease Interceptor: _____
Retention Time: _____
Peaking Factor/ Peak Times: _____

(Note: In determining your restaurant process water flows, and the size of your external grease interceptor, please use The Uniform Plumbing Code. Note: In determining the retention time, sixty (60) minutes is the minimum retention time. Note: Please submit detailed calculations showing the derivation of your restaurant process water design flows, and please submit detailed calculations showing the derivation of the size of your external grease interceptor, either in the space provided below, or attached, as a separate sheet)

5. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: _____ GPD
Do you currently hold Federal or State discharge permits? Yes _____ No _____
Is the process wastewater termed categorical under CFR 40? Yes _____ No _____
OSHA Standard Industrial Code (SIC): <http://www.osha.gov/oshstats/sicser.html>
Peaking Factor/Peak Process Times: _____

(Note: On the submitted plans, please show where the building's domestic sanitary sewer laterals, as well as the building's industrial-commercial process wastewater sewer laterals exits the facility. Also, show where these building sewer laterals enter the city's sewer. Finally, show the location of the wet wells, control manholes, or other access points; and, the locations of filters, strainers, or grease traps)

(Note: Please submit detailed calculations showing the derivation of your design flows, either in the space provided below, or attached, as a separate sheet)

Notes, Comments or Calculation

PROJECT DESCRIPTION

Project Description

7-9 May Street Project is the proposed new construction of a 3-unit townhouse building located in the West End. Each unit will be two-stories high with living space on the first floor and 2-bedrooms each on the upper floors.

The architectural features of the building will fit very well into the neighborhood. The structure will have ample porches easily visible from the street. A gabled roof with three separate dormers will help break up the main façade of the building and an expansive bay window will provide interest to the front façade. At two stories high, the scale of this townhouse will nicely complement the neighborhood.

The site is minimally sloped therefore, thus requiring very little additional grading. However, basic grading will be done to help divert stormwater onto the rain garden located at the back of the property. In addition to minimal grading, trench drains will divert storm water from the roof, and the site into the rain garden.

Three parking spots and two bicycle parking spots will be provided on site. The parking areas are tucked-away in a corner of the site and not very visible from the main road. A designated area for snow removal will be located adjacent to parking.

RIGHT, TITLE AND INTEREST

**QUITCLAIM DEED
With Covenant
Statutory Short Form**

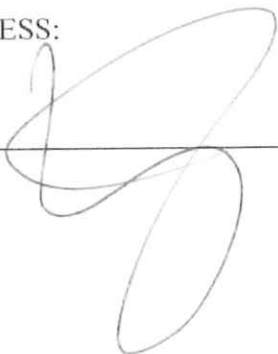
KNOW ALL PERSONS BY THESE PRESENTS, that **Todd M. Alexander**, of Portland, County of Cumberland and State of Maine, for consideration paid, the receipt whereof is hereby acknowledged, does hereby **REMISE, RELEASE AND CONVEY**, to **May Street 7-9 LLC**, having a mailing address of 6 Pond Ridge Lane Norwalk CT 06853, **WITH QUITCLAIM COVENANT**, the following described real estate located in Portland, Maine:

A certain lot or parcel of land situated in the city of Portland, County of Cumberland and the state of Maine, bounded and described as follows: Beginning on the northeasterly side of May Street at an iron set in the ground at a point which is sixty-five and twenty-five hundredths (65.25) feet thereon from the intersection of the northeasterly side line of May Street and the northwesterly side of Danforth Street; thence by May Street northwesterly fifty-three and seventy-four hundredths (53.74) feet to an iron and land conveyed by Exchange Realty Co. to Peter Sitschew; thence northeasterly making and included angle of 89° 40', by said Sitschew land seventy-six and forty-five hundredths (76.45) feet to land formerly of one Bartol; thence southeasterly by said Bartol land seventy-three and ninety-one hundredths (73.91) feet to an iron set in the ground and land now or formerly of one Pistaki; thence southwesterly by said Pistaki land thirty-eight and five tenths (38.5) feet to a point; thence northwesterly at right angles to the last course twenty and fifty-eight hundredths (20.58) feet to a point; thence southwesterly at right angles to the last course forty (40) feet to the point of beginning.

Reference is made to a deed from Robert C. Hains to Todd M. Alexander dated November 30, 2012, recorded in the Cumberland County registry of deeds in Book 30174, Page 347.

IN WITNESS WHEREOF, the said Todd M. Alexander has set his hand and seal on December 9, 2013.

WITNESS:





Todd M. Alexander

MAINE REAL ESTATE TAX PAID

1312085K1

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

November 9, 2013

Then personally appeared the above-named Todd M. Alexander and acknowledged the foregoing instrument to be his free act and deed.



Before me,

Notary Public/Attorney-at-Law

Print name:

[Handwritten signature of Michelle Supry]

Return to:
Alex and Kelly Waters
6 Pond Ridge Lane
Norwalk, CT 06853

Received
Recorded Register of Deeds
Dec 11, 2013 03:20:28P
Cumberland County
Pamela E. Lovley

COMPLIANCE WITH ZONING REQUIREMENTS

Zoning Summary

Chapter 14

Kaplan Thompson Architects

November 24, 2014

Project address	7 - 9 May St, Portland, ME, 04101
Project type	Multi-family Residential, >2 Units
City Zone	B1 & R-6 (Mostly B1)
Legal ID	CBL 057 C023
Lot Area	4,898 SF
Permitted Uses	Multiple Uses Allowed
Existing Uses	Vacant Land
Proposed Use	Multi-family Residential
Guidelines	NA

B-1

Dimensional Requirements	Required / Allowed	Provided
Min Lot Size:	None	4,898 SF
Min Area per Dwelling Unit:	435 SF per Unit	1,663 SF / unit
Min Street Frontage:	20'-0"	53.75'
Min Front Yard	None	
Max Front Yard:	10'-0" or average depth of nearest lots if less than 10'-0"	0'-6"
Min Rear Yard:	10'-0" if abutting a residential zone	±14'-0" provided where abutting residential zone. None elsewhere
Min Side Yard:	5'-0" if abutting residential zone	5'-0"
Max Side Yard on Side Street:	10'-0"	n/a
Max Structure Height	45'-0"	< 40'-0"
Min Lot Width:	None	53.75'
Max Building Height:	45'-0"	27'-5"
Max Impervious Area:	90%	75%
Floor Area:	---	1,678 SF
Other Requirements		
Off-street Auto Parking	1 Space per Unit (300-0 max dist) > 50-0 from street line	3 (1 space per unit) > 50'-0" from street line
Front Yard Parking	None allowed except driveway	none
Off-street Bicycle Parking	2 spaces per 5 units	2

FINANCIAL AND TECHNICAL CAPACITY



9800 Fredericksburg Road
San Antonio, Texas 78288

August 5, 2014

Alexander C D Waters
6 Pond Ridge Ln
Norwalk, CT 06853 -1541

Dear Mr. Waters:

This letter is to confirm that you have active USAA Investment accounts. This letter also confirms that as of August 4, 2014, your total market value exceeded \$500,000.00. As owner of these accounts, you have full access to these funds.

Please do not hesitate to contact a USAA Member Service Representative at 800-531-8722 if we can be of any further assistance.

Thank you,

USAA

Technical Capacity

Architect: Kaplan Thompson Architects is a leader in Maine and the nation in building super-efficient residences at attainable costs. Kaplan Thompson is the lead designer on the project.

Other Consultants will be retained in an as-needed basis.

DRAWINGS

7-9 MAY STREET



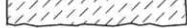



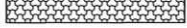
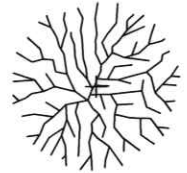



PROJECT INFORMATION

Client: Alex Waters
Architect: Kaplan Thompson Architects
Contractor: TBD
Map / Lot: 057 C023001
Project Address: 7-9 May Street
 PORTLAND, MAINE
Zoning: PORTLAND CITY CODE
Building Codes: IRC 2009
 NFPA 101 / 2009
Site Area: 4,898 +/- SF
 0.11 +/- ACRE
Occupancy: Townhouse - Residential
Max Building Height: 45'-0"

DRAWING INDEX

	COVER SHEET
A-0.0	SITE PLAN
A-1.1	PLANS
A-2.1	ELEVATIONS
L-1.0	SURVEY

- EXISTING CONTOURS
- PROPOSED CONTOURS
- × × × FENCE
-  CRUSHED GRAVEL
-  LAWN
-  RAIN GARDEN MIX
-  BIT. CONC. PAVING
-  DRAIN LINE
-  FRENCH DRAIN
-  ORNAMENTAL PLANTINGS
-  NEW TREE
-  FRONTAGE MIX

PLANT LIST

RAIN GARDEN MIX:

- LITTLE BLUESTEM (ANDROPOGON SCOPARIUS)
- TUFTED HAIR GRASS (DESCHAMPSIA CESPITOSA)
- ARTIC FIRE DOGWOOD (CORNUS SERICEA 'FARROW')
- HIGHBUSH BLUEBERRY (VACCINIUM CORYBOSUM)
- BLUE FLAG IRIS (IRIS VERSICOLOR)
- NEW ENGLAND ASTER (ASTER NOVAE-ANGLIAE)
- JOE PYE WEED (EUPATORIUM FISTULOSUM)
- BLACK-EYED SUSAN (RUDBECKIA FULGIDA)
- PURPLE CONEFLOWER (ECHINACEA PURPUREA)

GRASS:

- TO BE SELECTED FROM THE FOLLOWING SPECIES:
- KENTUCKY BLUEGRASS (POA PRATENSIS)
- RED FESCUE (FESTUCA RUBRA)
- TALL FESCUE (FESTUCA ARUNDINACEA) OR
- PERENNIAL RYEGRASS (LOLIUM PERENNE L.)

FRONTAGE MIX:

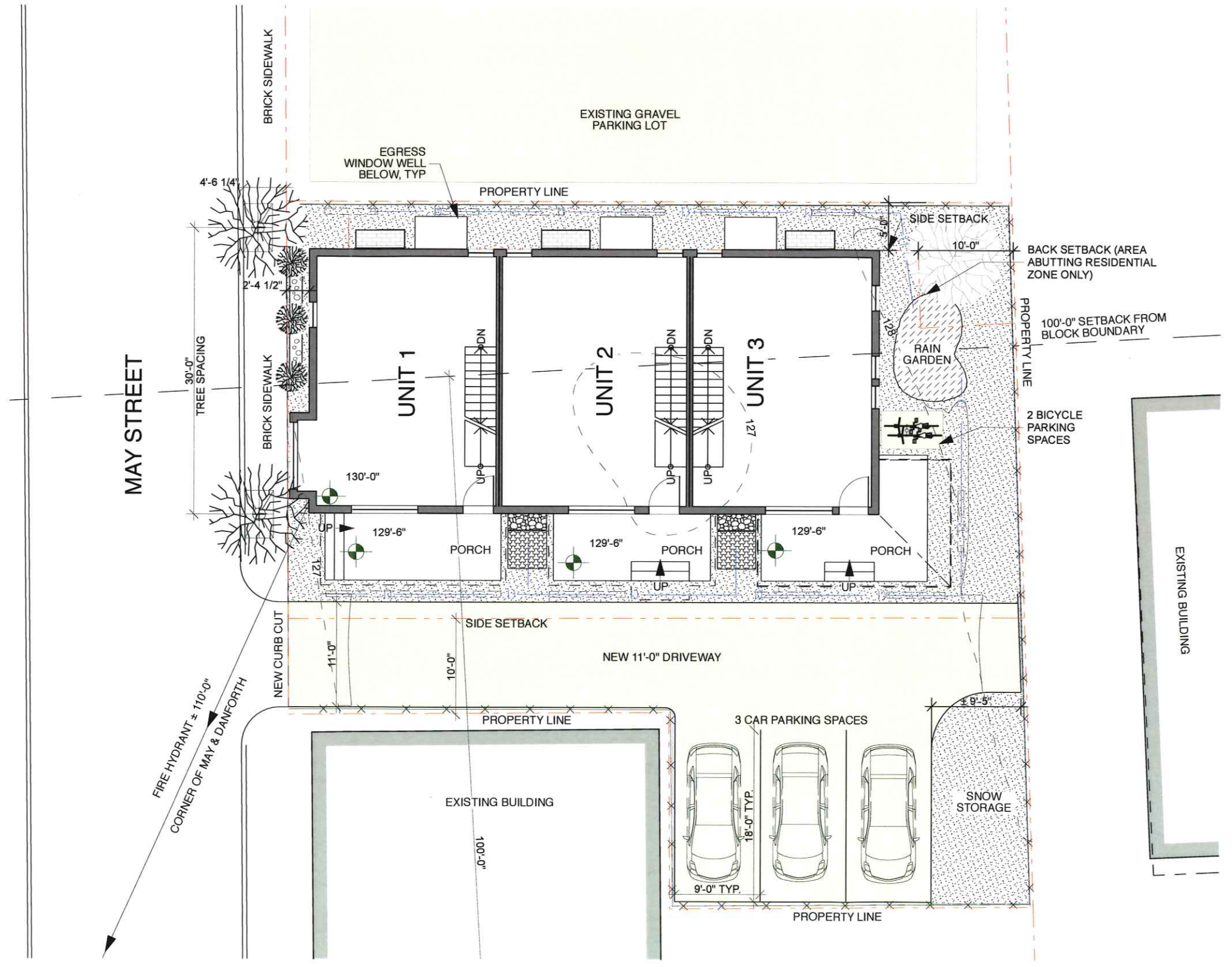
- SWEETFERN (COMPTONIA PEREGRINA)
- OBEDIENT PLANT (PHYSOSTEGIA VIRGINIANA)
- BEE BALM (MONARDA DIDYMA)

TREES:

- SERVICEBERRY (AMELARCHIER X GRANDFLORA 'AUTUMN BRILLIANCE')

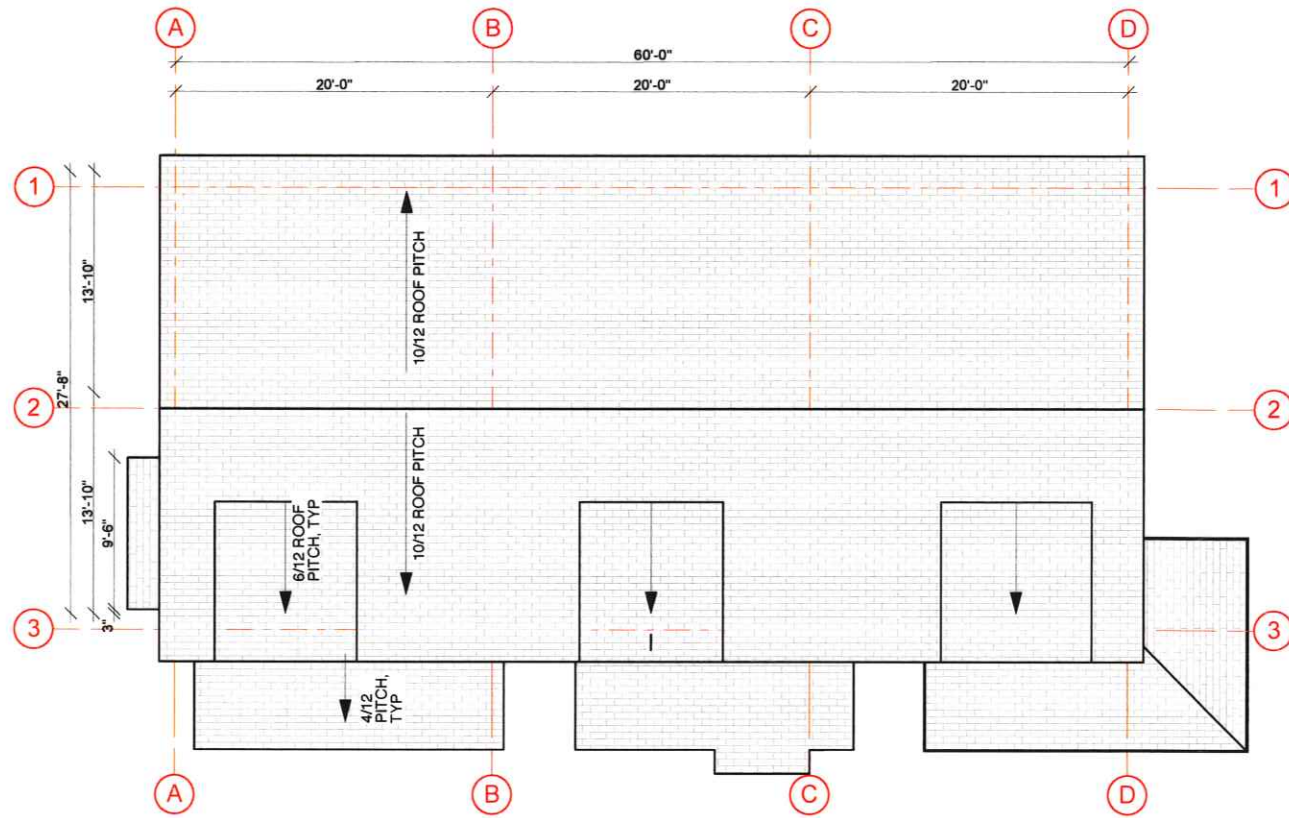
STORMWATER NOTES

1. ROOF WATER TO FALL ON CRUSHED STONE FRENCH DRAIN AT BUILDING EDGE
2. TRENCH DRAIN WILL BE PIPED TO RAIN GARDEN AT REAR OF LOT
3. STORMWATER PIPING AND WASTE WATER PIPING TO BE SEPARATED AT PROPERTY BOUNDARY BEFORE CONNECTION TO CITY UTILITIES

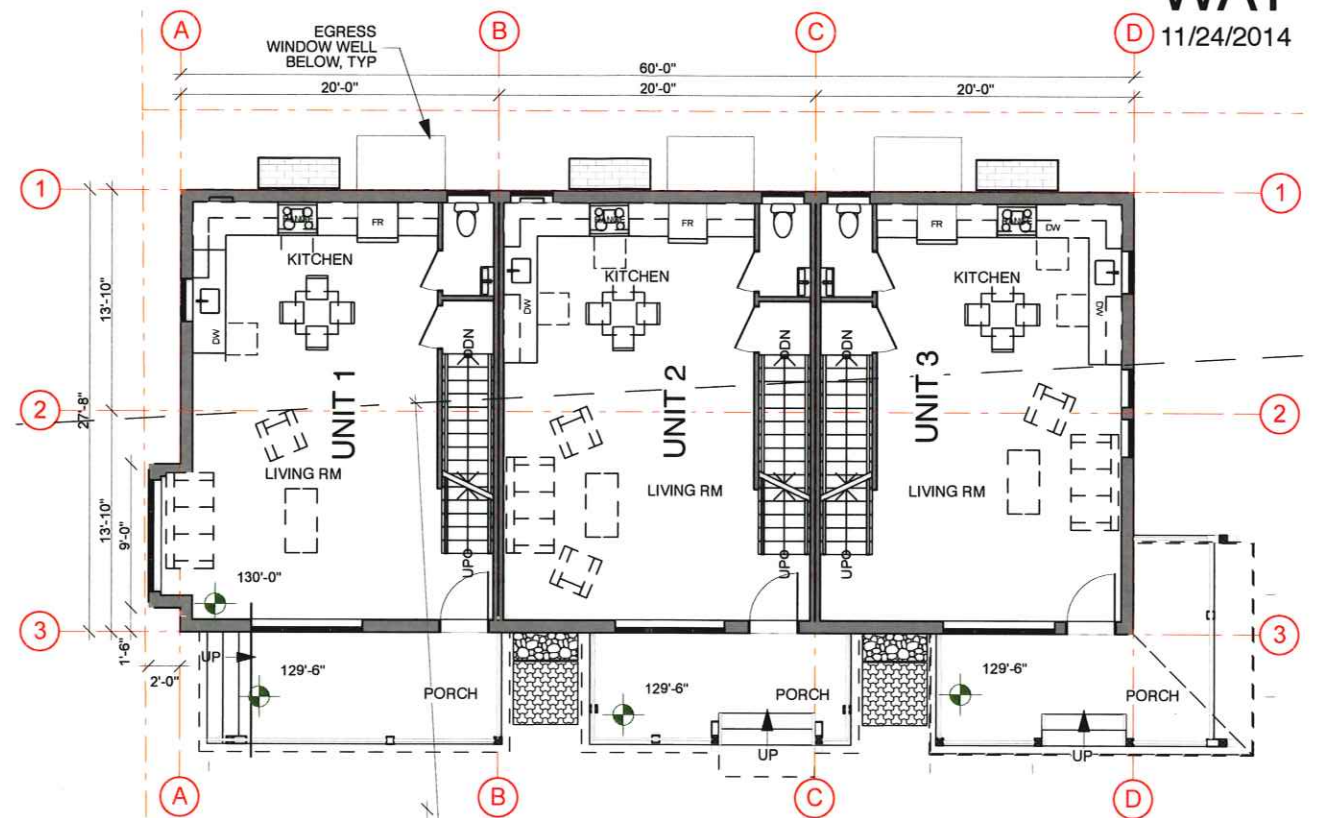


1 SITE PLAN
SCALE: 3/16" = 1'-0"

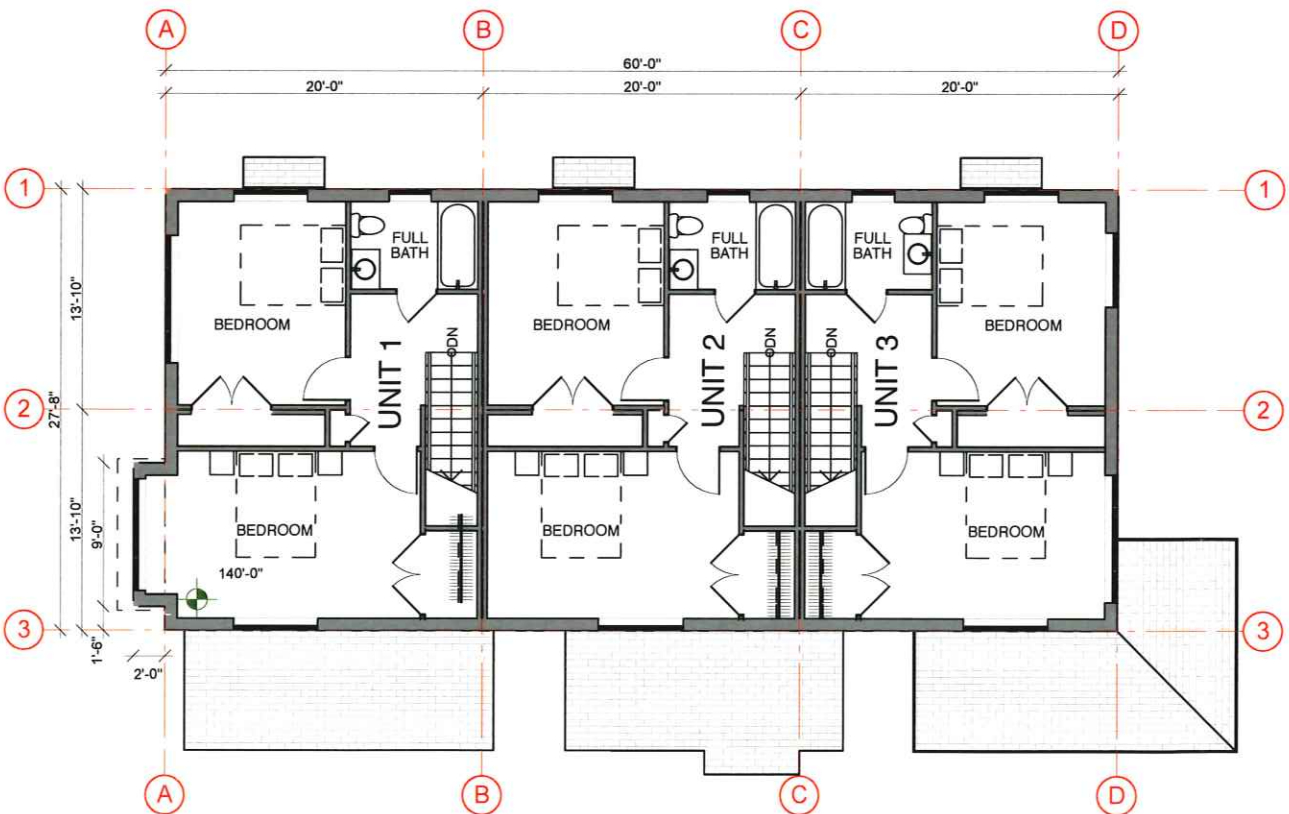




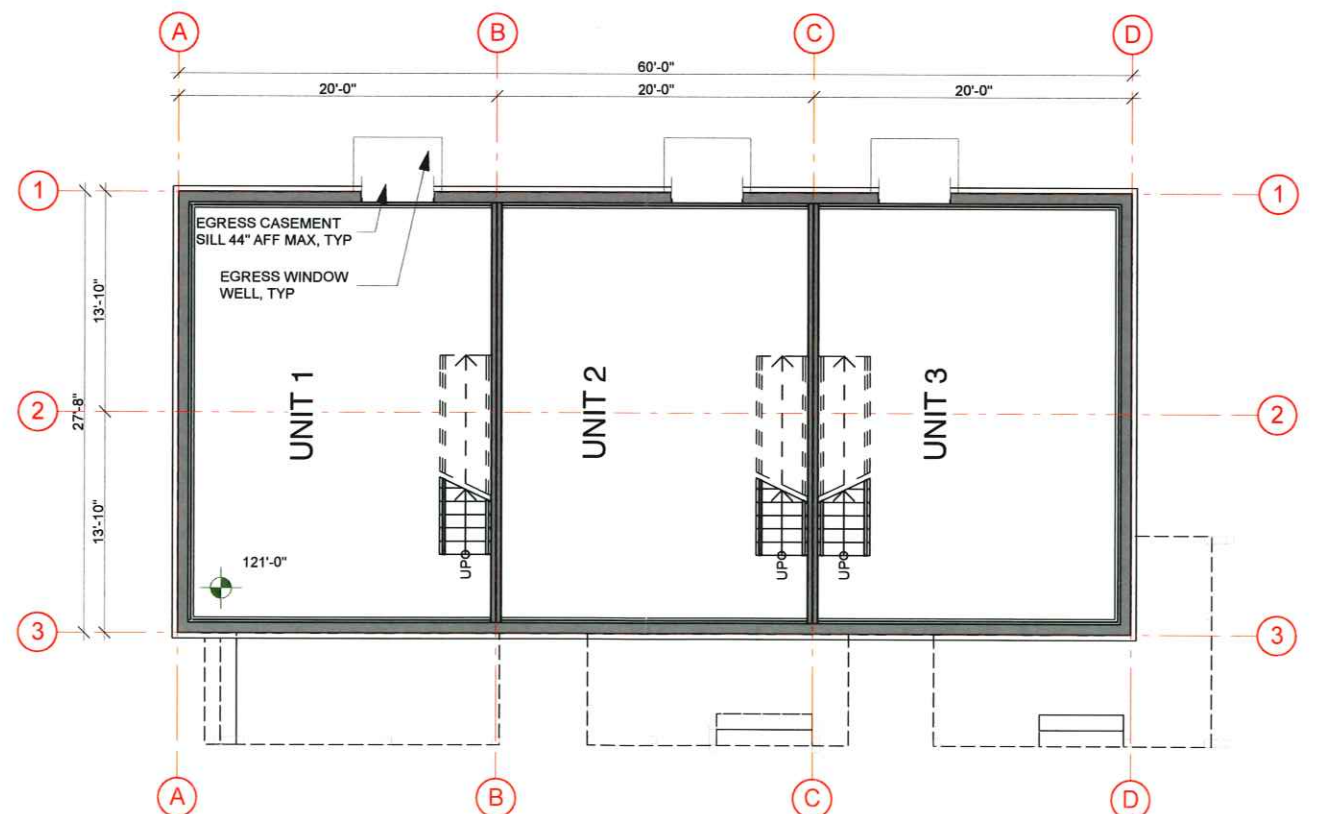
4 ROOF
SCALE: 3/16" = 1'-0"



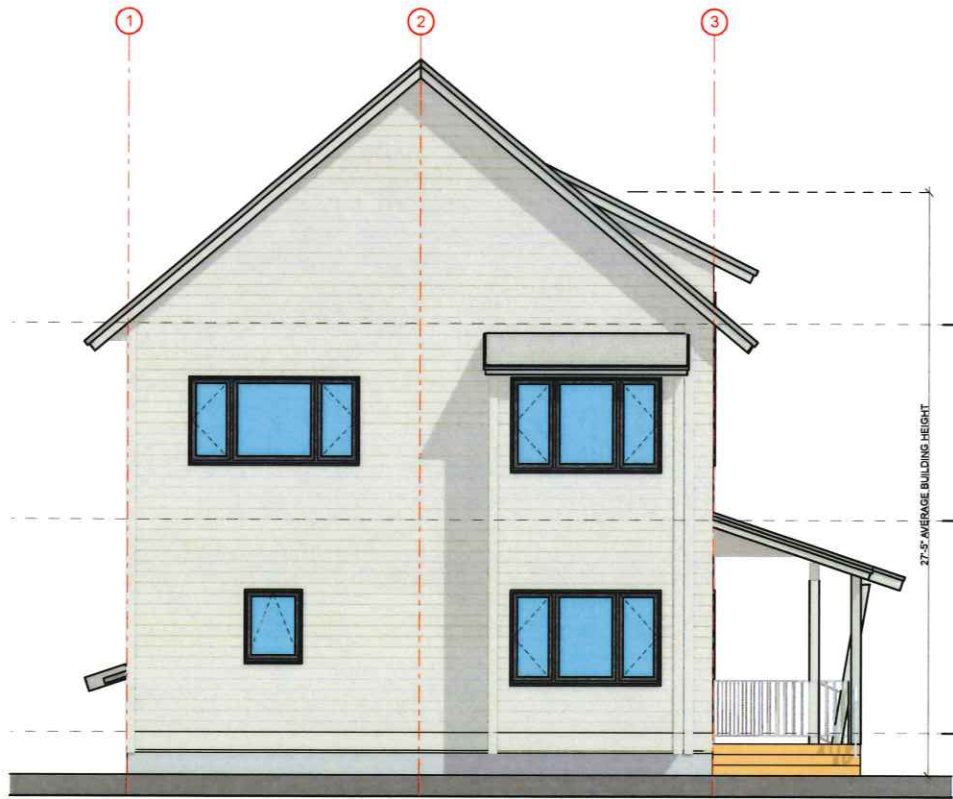
2 LOWER LEVEL
SCALE: 3/16" = 1'-0"



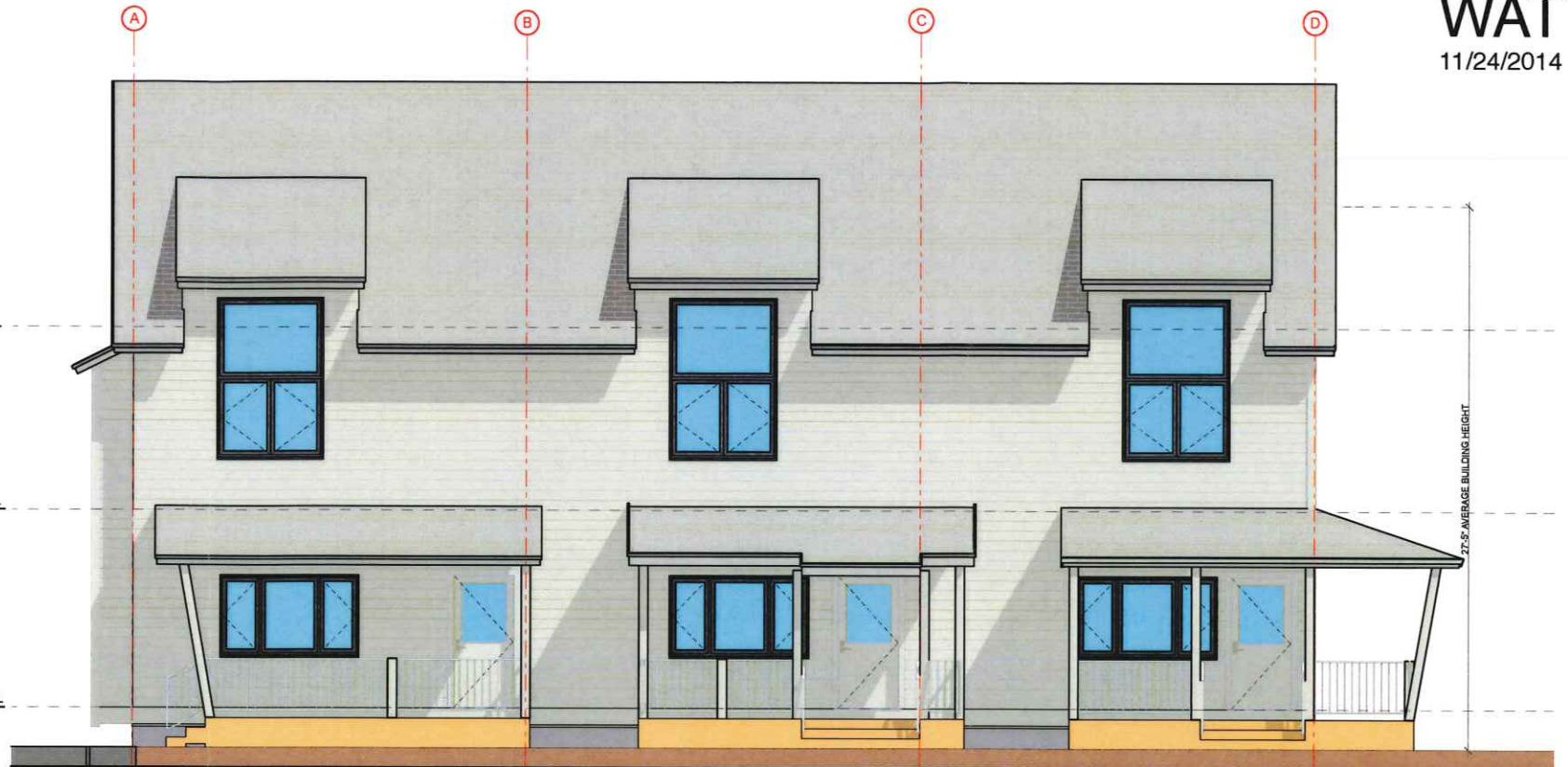
3 UPPER LEVEL
SCALE: 3/16" = 1'-0"



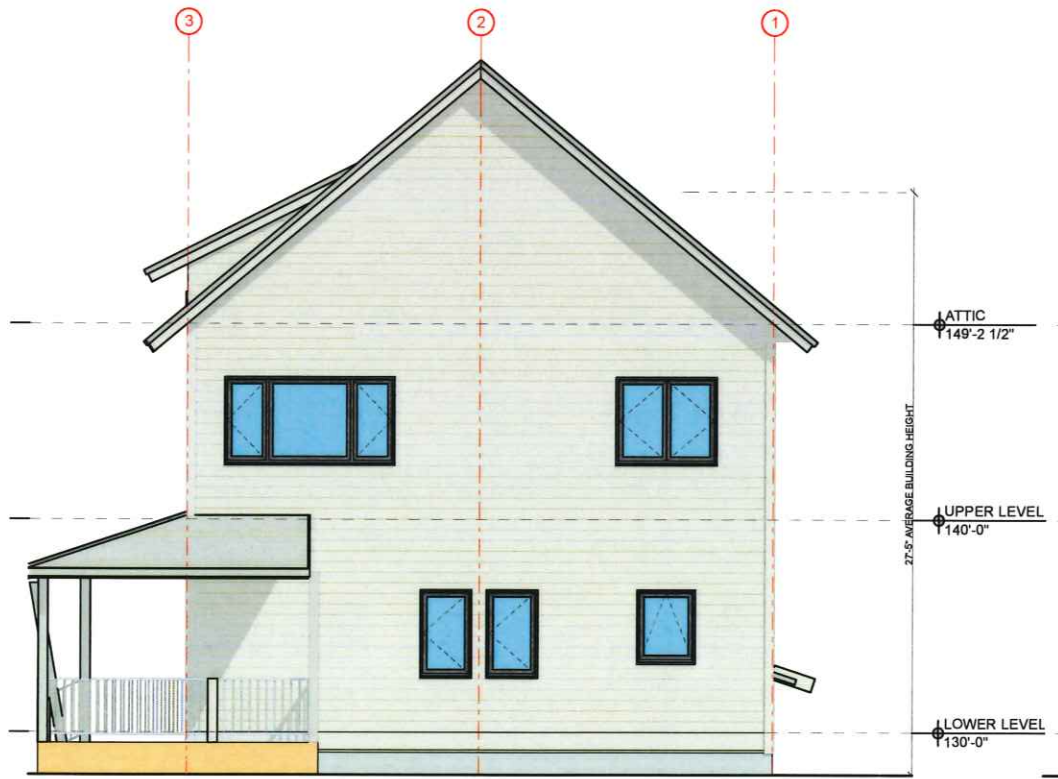
1 BASEMENT
SCALE: 3/16" = 1'-0"



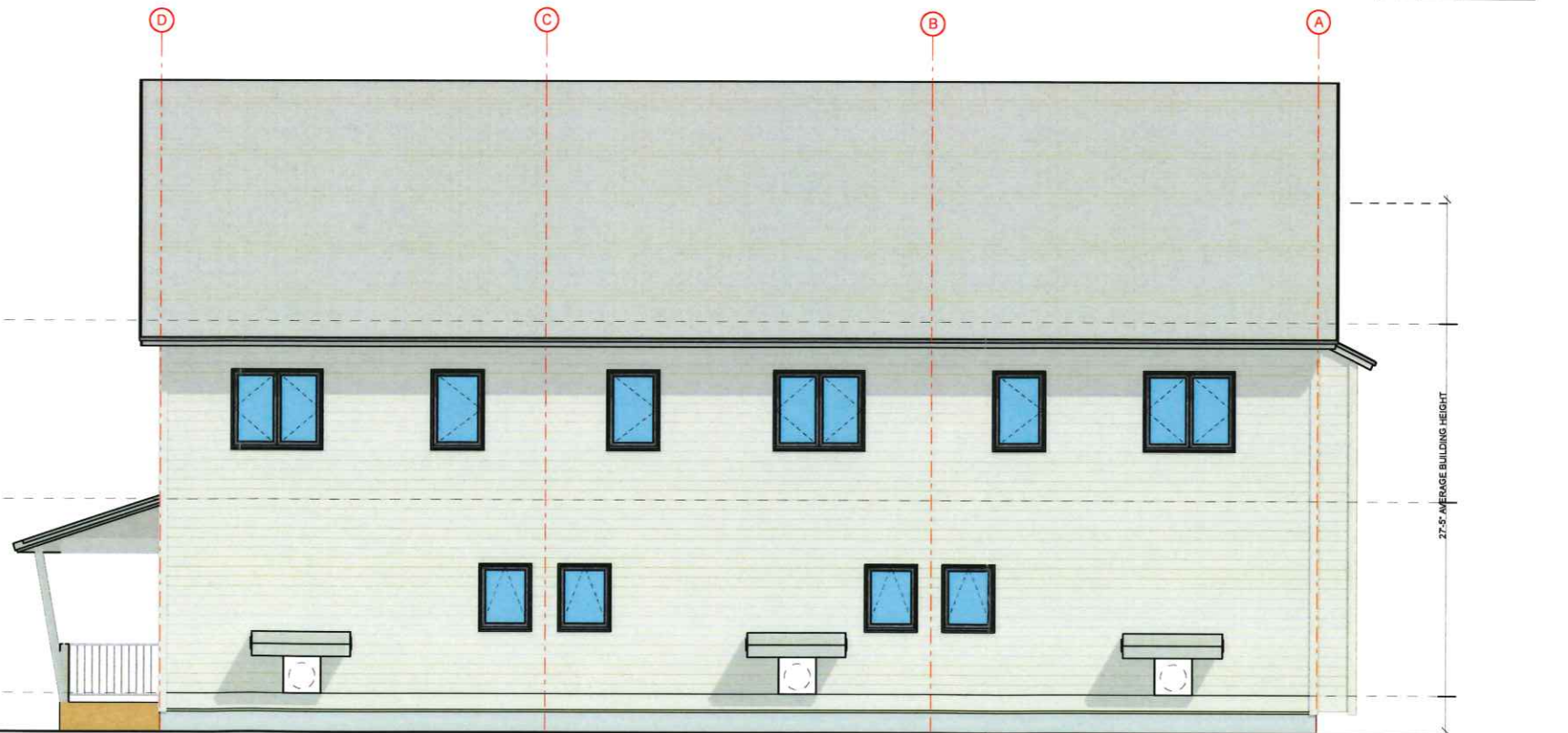
4 SW ELEVATION: MAY ST
SCALE: 1/4" = 1'-0"



3 SE ELEVATION: ENTRY
SCALE: 1/4" = 1'-0"



2 NE ELEVATION: REAR
SCALE: 1/4" = 1'-0"



1 NW ELEVATION
SCALE: 1/4" = 1'-0"

LOCATION SKETCH



LOCUS DEED REFERENCE

CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD)
BOOK 30174 PAGE 347

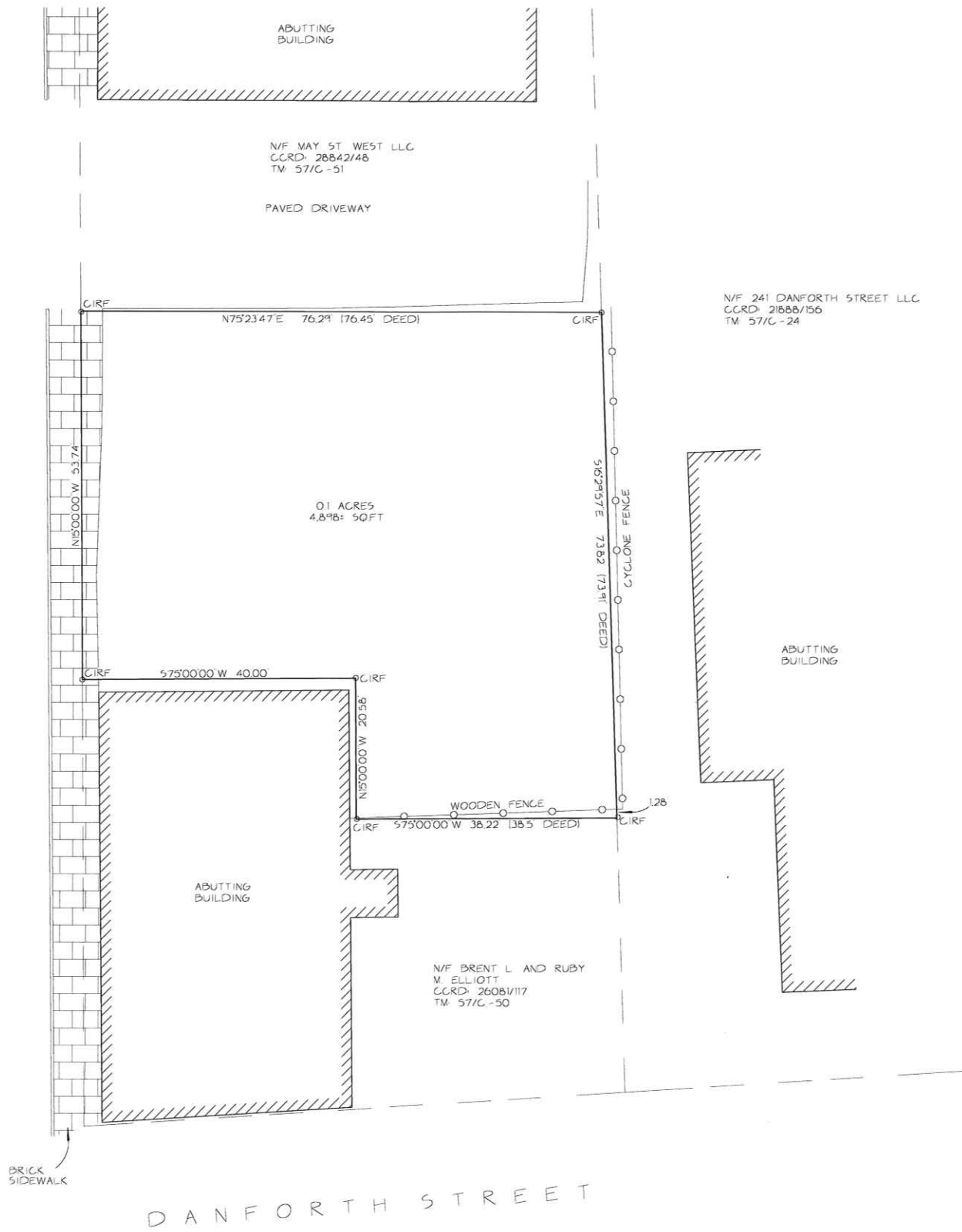
PLAN REFERENCES

1. CONDOMINIUM PLAT ON DANFORTH STREET AND MAY STREET IN PORTLAND, CUMBERLAND COUNTY, MAINE, DATED MARCH 2, 2000 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 200, PAGE 224.

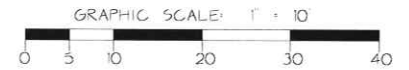
LEGEND

N/F - NOW OR FORMERLY
TM - TAX MAP
CIRF - CAPPED IRON ROD FOUND
MON - MONUMENT

MAY STREET



DANFORTH STREET



REVISION NO.	DATE	REVISION PURPOSE

PLAN OF LAND AT
7-9 MAY STREET, PORTLAND, MAINE
MADE FOR
7-9 MAY STREET LLC

LIVINGSTON-HUGHES
PROFESSIONAL LAND SURVEYING CORPORATION
88 GUINEA ROAD, KENNEBUNKPORT, MAINE 04046

**7-9 MAY STREET
PORTLAND, MAINE**

**Application For:
Final Site Plan Level III Review**

Submitted by:
Kaplan Thompson Architects
424 Fore Street
Portland, Maine 04101

For:
May Street 7-9 LLC
6 Pond Ridge Ln.
Norwalk, CT 06853

Submission Date:
February 20, 2015



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	Boundary Survey
	Recording Plat
	Subdivision Plan
C1	Drainage and Utility Plan
C2	Civil Details
C3	ESC Details and Notes
A-0.0	Site Plan
A-0.1	Construction Management Plan
A-1.1	Plans
A-2.1	Elevations

DEVELOPMENT REVIEW APPLICATION



Jeff Levine, AICP, Director
Planning & Urban Development Department

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no Site Plan or Historic Preservation Applications can be reviewed until payment of appropriate application fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:




Within 24-48 hours, once my complete application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.



Within 24-48 hours, once my application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.



I intend to deliver a payment method through the U.S. Postal Service mail once my application paperwork has been electronically delivered.


Applicant Signature: _____

Feb. 20, 2015

Date: _____

Feb. 20, 2015

Date: _____

I have provided digital copies and sent them on: _____

NOTE:

All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means i.e. a thumb drive or CD to the Inspections Office, City Hall, 3rd Floor, Room 315.



Level III – Preliminary and Final Site Plans Development Review Application Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level III: Preliminary or Final Site Plan. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits.

Level III: Site Plan Development includes:

- New structures with a total floor area of 10,000 sq. ft. or more except in Industrial Zones.
- New structures with a total floor area of 20,000 sq. ft. or more in Industrial Zones.
- New temporary or permanent parking area(s) or paving of existing unpaved parking areas for more than 75 vehicles.
- Building addition(s) with a total floor area of 10,000 sq. ft. or more (cumulatively within a 3 year period) except in Industrial Zones.
- Building addition(s) with a total floor area of 20,000 sq. ft. or more in Industrial Zones.
- A change in the use of a total floor area of 20,000 sq. ft. or more in any existing building (cumulatively within a 3 year period).
- Multiple family development (3 or more dwelling units) or the addition of any additional dwelling unit if subject to subdivision review.
- Any new major or minor auto business in the B-2 or B-5 Zone, or the construction of any new major or minor auto business greater than 10,000 sq. ft. of building area in any other permitted zone.
- Correctional prerelease facilities.
- Park improvements: New structures greater than 10,000 sq. ft. and/or facilities encompassing 20,000 sq. ft. or more (excludes rehabilitation or replacement of existing facilities); new nighttime outdoor lighting of sports, athletic or recreation facilities not previously illuminated.
- Land disturbance of 3 acres or more (includes stripping, grading, grubbing, filling or excavation).

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14) which is available on our website:

Land Use Code: <http://me-portland.civicplus.com/DocumentCenter/Home/View/1080>

Design Manual: <http://me-portland.civicplus.com/DocumentCenter/View/2355>

Technical Manual: <http://me-portland.civicplus.com/DocumentCenter/View/2356>

Planning Division
Fourth Floor, City Hall
389 Congress Street
(207) 874-8719

Office Hours
Monday thru Friday
8:00 a.m. – 4:30 p.m.

PROJECT NAME: 7-9 May Street

PROPOSED DEVELOPMENT ADDRESS:

7-9 May Street

PROJECT DESCRIPTION:

New construction of a 3 unit townhouse located at 7-9 May St. in the West End.

CHART/BLOCK/LOT: 057 C023001

PRELIMINARY PLAN

Nov. 24, 2014 (date)

FINAL PLAN

Feb. 20, 2015 (date)

CONTACT INFORMATION:

Applicant – must be owner, Lessee or Buyer Name: Alex Waters Business Name, if applicable: May Street 7-9 LLC Address: 6 Pond Ridge Ln. City/State : Norwalk, CT Zip Code: 06853	Applicant Contact Information Work # Home# (203) 642-3744 Cell # (203) 9129055 Fax# e-mail: alex.c.waters@gmail.com
Owner – (if different from Applicant) Name: same as applicant Address: City/State : Zip Code:	Owner Contact Information Work # Home# Cell # Fax# e-mail:
Agent/ Representative Name: Jesse Thompson Address: 424 Fore Street City/State : Portland, ME Zip Code: 04101	Agent/Representative Contact information Work # 207-842-2888 Cell # e-mail: jesse@kaplanthompson.com
Billing Information Name: Address: City/State : Zip Code:	Billing Information Work # Cell # Fax# e-mail:

Engineer Name: Address: City/State : Zip Code:	Engineer Contact Information Work # Cell # Fax# e-mail:
Surveyor Name: Address: City/State : Zip Code:	Surveyor Contact Information Work # Cell # Fax# e-mail:
Architect Jesse Thompson Name: Kaplan Thompson Architects Address: 424 Fore Street City/State : Portland, ME Zip Code: 04101	Architect Contact Information Work # 207-842-2888 Cell # Fax# e-mail: jesse@kaplanthompson.com
Attorney Name: Address: City/State : Zip Code:	Attorney Contact Information Work # Cell # Fax# e-mail:

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Credit Card, Cash or Check payable to the City of Portland.)

Level III Development (check applicable reviews) <input checked="" type="checkbox"/> Less than 50,000 sq. ft. (\$500.00) paid w/preliminary app <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000) <input type="checkbox"/> 100,000 – 200,000 sq. ft. (\$2,000) <input type="checkbox"/> 200,000 – 300,000 sq. ft. (\$3,000) <input type="checkbox"/> over \$300,00 sq. ft. (\$5,000) <input type="checkbox"/> Parking lots over 11 spaces (\$1,000) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee) Plan Amendments (check applicable reviews) <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500) The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review fees are assessed separately. Any outside reviews or analysis requested from the Applicant as part of the development review, are the responsibility of the Applicant and are separate from any application or invoice fees.	Other Reviews (check applicable reviews) <input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input checked="" type="checkbox"/> Subdivisions (\$500 + \$25/lot) # of Lots <u>3</u> x \$25/lot = <u>\$75</u> <input type="checkbox"/> Site Location (\$3,000, except for residential projects which shall be \$200/lot) # of Lots <u> </u> x \$200/lot = <u> </u> <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation
---	--

APPLICATION SUBMISSION:

1. All site plans and written application materials must be submitted electronically on a CD or thumb drive with each plan submitted as separate files, with individual file which can be found on the **Electronic Plan and Document Submittal** page of the City's website at <http://me-portland.civicplus.com/764/Electronic-Plan-and-Document-Submittal>
2. In addition, one (1) paper set of the plans (full size), one (1) paper set of plans (11 x 17), paper copy of written materials, and the application fee must be submitted to the Building Inspections Office to start the review process.

The application must be complete, including but not limited to the contact information, project data, application checklists, wastewater capacity, plan for fire department review, and applicant signature. The submissions shall include one (1) paper packet with folded plans containing the following materials:


1. One (1) full size site plans that must be folded.
2. One (1) copy of all written materials or as follows, unless otherwise noted:
 - a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
3. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
4. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
5. One (1) set of plans reduced to 11 x 17.

Please refer to the application checklist (attached) for a detailed list of submission requirements.

APPLICANT SIGNATURE:

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: February 20, 2015
--	--------------------------------

PROJECT DATA

The following information is required where applicable, in order to complete the application.

Total Area of Site	4,898 sq. ft.
Proposed Total Disturbed Area of the Site	4,898 sq. ft.
If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland.	
Impervious Surface Area	
Impervious Area (Total Existing)	- sq. ft.
Impervious Area (Total Proposed)	3,643 sq. ft.
Building Ground Floor Area and Total Floor Area	
Building Footprint (Total Existing)	sq. ft.
Building Footprint (Total Proposed)	1,678 sq. ft.
Building Floor Area (Total Existing)	- sq. ft.
Building Floor Area (Total Proposed)	3,356 sq. ft.
	(plus 1,678 sq.ft. unfinished basement)
Zoning	
Existing	R-6 Residential, B1 Neighborhood Business
Proposed, if applicable	B1 Neighborhood Business
Land Use	
Existing	Vacant
Proposed	Residential
Residential, If applicable	
# of Residential Units (Total Existing)	-
# of Residential Units (Total Proposed)	3
# of Lots (Total Proposed)	1
# of Affordable Housing Units (Total Proposed)	-
Proposed Bedroom Mix	
# of Efficiency Units (Total Proposed)	-
# of One-Bedroom Units (Total Proposed)	-
# of Two-Bedroom Units (Total Proposed)	3
# of Three-Bedroom Units (Total Proposed)	-
Parking Spaces	
# of Parking Spaces (Total Existing)	-
# of Parking Spaces (Total Proposed)	3
# of Handicapped Spaces (Total Proposed)	-
Bicycle Parking Spaces	
# of Bicycle Spaces (Total Existing)	-
# of Bicycle Spaces (Total Proposed)	2
Estimated Cost of Project	\$450,000.00

PRELIMINARY PLAN (Optional) - Level III Site Plan			
Applicant Checklist	Planner Checklist	# of Copies	GENERAL WRITTEN SUBMISSIONS CHECKLIST
		1	Completed Application form
		1	Application fees
		1	Written description of project
		1	Evidence of right, title and interest
		1	Evidence of state and/or federal approvals, if applicable
		1	Written assessment of proposed project's compliance with applicable zoning requirements
		1	Summary of existing and/or proposed easement, covenants, public or private rights-of-way, or other burdens on the site
		1	Written requests for waivers from site plan or technical standards, if applicable.
		1	Evidence of financial and technical capacity
		1	Traffic Analysis (may be preliminary, in nature, during the preliminary plan phase)
Applicant Checklist	Planner Checklist	# of Copies	SITE PLAN SUBMISSIONS CHECKLIST
		1	Boundary Survey meeting the requirements of Section 13 of the City of Portland's Technical Manual
		1	Preliminary Site Plan including the following: (information provided may be preliminary in nature during preliminary plan phase)
			Proposed grading and contours;
			Existing structures with distances from property line;
			Proposed site layout and dimensions for all proposed structures (including piers, docks or wharves in Shoreland Zone), paved areas, and pedestrian and vehicle access ways;
			Preliminary design of proposed stormwater management system in accordance with Section 5 of the Technical Manual (note that Portland has a separate applicability section);
			Preliminary infrastructure improvements;
			Preliminary Landscape Plan in accordance with Section 4 of the Technical Manual;
			Location of significant natural features (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features) located on the site as defined in Section 14-526 (b) (1);
			Proposed buffers and preservation measures for significant natural features, as defined in Section 14-526 (b) (1);
			Location , dimensions and ownership of easements, public or private rights of way, both existing and proposed;
			Exterior building elevations.

FINAL PLAN - Level III Site Plan			
Applicant Checklist	Planner Checklist	# of Copies	GENERAL WRITTEN SUBMISSIONS CHECKLIST (* If applicant chooses to submit a Preliminary Plan, then the * items were submitted for that phase and only updates are required)
X		1	* Completed Application form
X		1	* Application fees
X		1	* Written description of project
X		1	* Evidence of right, title and interest
N/A		1	* Evidence of state and/or federal permits
X		1	* Written assessment of proposed project's specific compliance with applicable Zoning requirements
N/A		1	* Summary of existing and/or proposed easements, covenants, public or private rights-of-way, or other burdens on the site
X		1	* Evidence of financial and technical capacity
X		1	Construction Management Plan
N/A		1	A traffic study and other applicable transportation plans in accordance with Section 1 of the technical Manual, where applicable.
X		1	Written summary of significant natural features located on the site (Section 14-526 (b) (a))
X		1	Stormwater management plan and stormwater calculations
X		1	Written summary of project's consistency with related city master plans
X		1	Evidence of utility capacity to serve
X		1	Written summary of solid waste generation and proposed management of solid waste
X		1	A code summary referencing NFPA 1 and all Fire Department technical standards
X		1	Where applicable, an assessment of the development's consistency with any applicable design standards contained in Section 14-526 and in City of Portland Design Manual
X		1	Manufacturer's verification that all proposed HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

Applicant Checklist	Planner Checklist	# of Copies	SITE PLAN SUBMISSIONS CHECKLIST (* If applicant chooses to submit a Preliminary Plan, then the * items were submitted for that phase and only updates are required)
X		1	* Boundary Survey meeting the requirements of Section 13 of the City of Portland's Technical Manual
X		1	Final Site Plans including the following:
X			Existing and proposed structures, as applicable, and distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone);
X			Existing and proposed structures on parcels abutting site;
X			All streets and intersections adjacent to the site and any proposed geometric modifications to those streets or intersections;
X			Location, dimensions and materials of all existing and proposed driveways, vehicle and pedestrian access ways, and bicycle access ways, with corresponding curb lines;
X			Engineered construction specifications and cross-sectional drawings for all proposed driveways, paved areas, sidewalks;
N/A			Location and dimensions of all proposed loading areas including turning templates for applicable design delivery vehicles;
N/A			Existing and proposed public transit infrastructure with applicable dimensions and engineering specifications;
X			Location of existing and proposed vehicle and bicycle parking spaces with applicable dimensional and engineering information;
X			Location of all snow storage areas and/or a snow removal plan;
N/A			A traffic control plan as detailed in Section 1 of the Technical Manual;
N/A			Proposed buffers and preservation measures for significant natural features, where applicable, as defined in Section 14-526(b)(1);
N/A			Location and proposed alteration to any watercourse;
N/A			A delineation of wetlands boundaries prepared by a qualified professional as detailed in Section 8 of the Technical Manual;
N/A			Proposed buffers and preservation measures for wetlands;
X			Existing soil conditions and location of test pits and test borings;
X			Existing vegetation to be preserved, proposed site landscaping, screening and proposed street trees, as applicable;
X			A stormwater management and drainage plan, in accordance with Section 5 of the Technical Manual;
X			Grading plan;
X			Ground water protection measures;
X			Existing and proposed sewer mains and connections;

- Continued on next page -

X		Location of all existing and proposed fire hydrants and a life safety plan in accordance with Section 3 of the Technical Manual;
X		Location, sizing, and directional flows of all existing and proposed utilities within the project site and on all abutting streets;
X		Location and dimensions of off-premises public or publicly accessible infrastructure immediately adjacent to the site;
N/A		Location and size of all on site solid waste receptacles, including on site storage containers for recyclable materials for any commercial or industrial property;
X		Plans showing the location, ground floor area, floor plans and grade elevations for all buildings;
N/A		A shadow analysis as described in Section 11 of the Technical Manual, if applicable;
N/A		A note on the plan identifying the Historic Preservation designation and a copy of the Application for Certificate of Appropriateness, if applicable, as specified in Section Article IX, the Historic Preservation Ordinance;
X		Location and dimensions of all existing and proposed HVAC and mechanical equipment and all proposed screening, where applicable;
X		An exterior lighting plan in accordance with Section 12 of the Technical Manual;
N/A		A signage plan showing the location, dimensions, height and setback of all existing and proposed signs;
X		Location, dimensions and ownership of easements, public or private rights of way, both existing and proposed.



**PORTLAND FIRE DEPARTMENT
SITE REVIEW
FIRE DEPARTMENT CHECKLIST**



A separate drawing[s] shall be provided as part of the site plan application for the Portland Fire Department's review.

1. Name, address, telephone number of applicant
2. Alex Waters | 6 Pond Ridge Ln. Norwalk, CT 06853 | (203) 642-3744
3. Name address, telephone number of architect
Jesse Thompson | 424 Fore St. Portland, ME 04101 | (207) 842-2888
4. Proposed uses of any structures [NFPA and IBC classification]
5. NFPA:Single Family Residential. IRC:
6. Square footage of all structures [total and per story]
1,678 per story | 5,034 total (including unconditioned basement)
7. Elevation of all structures
+/- 35'-0"
8. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
9. Hydrant locations
Approx. 120'-0" from the structure. Located at corner of May St. and Danforth St.
10. Water main[s] size and location
Please refer to the existing conditions survey.
11. Access to all structures [min. 2 sides]Yes, primary access at South and West sides of the building.
South (entrance side): 14'-1". West: Right-of-way plus 2'-0". Limited access (5' and 7'-8") available at North/East.
12. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards. Enclosed.

Some structures may require Fire flows using annex H of NFPA 1

PROJECT DESCRIPTION

Project Description

Existing:

7-9 May Street is currently a vacant lot in the West End. There are no existing easements, covenants, rights-of-way or other burdens on the property.

Proposed:

7-9 May Street Project is the proposed new construction of a 3-unit townhouse building located in the West End. Each unit will be two-stories high with living space on the first floor and 2-bedrooms each on the upper floors.

The architectural features of the building will fit very well into the neighborhood. The structure will have ample porches easily visible from the street. A gabled roof with three separate dormers will help break up the main façade of the building and an expansive bay window will provide interest to the front façade. At two stories high, the scale of this townhouse will nicely complement the neighborhood.

The site is minimally sloped therefore, thus requiring very little additional grading. However, basic grading will be done to help divert stormwater onto the rain garden located at the back of the property. In addition to minimal grading, trench drains will divert storm water from the roof, and the site into the rain garden.

Three parking spots and two bicycle parking spots will be provided on site. The parking areas are tucked-away in a corner of the site and not very visible from the main road. A designated area for snow removal will be located adjacent to parking.

Consistency with City Master Plans

7-9 May Street is consistent with the City's Comprehensive Plan Housing Goal to provide a sufficient supply of quality housing, "support Portland's continued economic development, insure the safety of its citizens, and maintain a stable neighborhoods".

This project will add three residential units to an otherwise vacant lot. This new development will help increase adjacent property values and help better maintain a stable neighborhood. The project is also consistent with its recent primarily B-1 zoning designation, which encourages high residential density among other uses.

Natural Features Summary

There are no significant natural features on the site. The site is minimally sloped. There are no significant trees and there are only overgrown grasses and weeds.

Site Lighting

Tall exterior site lighting including lighting of building entrances will be cutoff with no light emitted above the horizontal plane or spilled onto adjacent properties or streets.

Illumination levels will be adequate but not excessive for the safety, comfort and convenience of occupants and user of the site and will conform to all applicable standards of Section 12 of the Technical Manual.

RESPONSE TO STAFF COMMENTS



Response to Staff Comments

Below are responses to the outstanding questions and comments received to from the Portland Staff Review of the Preliminary Plan Submission. City of Portland Staff Comments are dated 12/5/2014 and 12/15/2014. These comments have been copied below for reference. Responses follow after each comment in blue.

Comments Submitted by: Shukria Wiar/Planning on 12/11/2014

1. Are these condos or rentals. If condos, we will need condo docs for review and approval by the Legal Department.
2. Please submit a subdivision plat for review.
3. Submit a construction Management Plan for review
4. Evidence of utility capacity to serve letter.
5. The owner will have to enter a stormwater agreement with the City for the drainage system on site. Please see attached documents.
6. How would solid waste be handled?
7. Any HVAC and/or manufacturing equipment being proposed.
8. The plans will need to show engineered construction specification drawings for all proposed driveway.
9. Please show a grading plan for the site.
10. All plans will need to be stamped by a professional.
11. Show all existing and proposed utility connections.

Response:

1. These will be rental units.
2. Subdivision plat is submitted as part of this Final Submission.
3. A construction management plan is submitted as part of this Final Submission.
4. The wastewater capacity application is enclosed.
5. Documents are attached
6. HVAC equipment is being proposed and will meet all applicable state and federal emissions requirements. See HVAC Statement.
7. Engineered construction specification drawings for the proposed driveway are enclosed.
8. Grading plan is enclosed.
9. All plans included in this submission are stamped by a professional.
10. All existing and proposed utility connections are included as part of this submission.

Comments Submitted by: David Petruccelli/Fire on 12/12/2014

The Fire Department review is pending and comments will be forwarded when available.

Response:

Fire Department preliminary comments have not yet been received.

Comments Submitted by: David Margolis-Pineo/Engineering DPS on 12/11/2014

December 1, 2014

Memo To: Shukria Wiar Barbara Barhydt
From: David Margolis-Pineo
Re: Review Comments for 7-9 May Street – Three Unit

1. Wastewater Capacity Application needs to be completed.
2. Survey plan requires Professional stamp. Applicant should review submittal requirements for full survey parameters.
3. Where will the water go if drainage to the rain garden exceeds the garden capacity?
4. More detail is needed on utilities to site which are required to be underground from the street right of way.
5. Driveway cut should be shown using seven foot granite tipdowns. Since the driveway width is proposed at 11', the end of tipdown to end of tipdown distance can be up to 15'.
6. Please add note that all work within the road right of way shall meet City of Portland Technical Manual standards.

Response:

1. Wastewater Capacity Application has been completed and is part of this submission.
2. Please see memo responses by Ransom Consulting.
3. Please see memo responses by Ransom Consulting.
4. Please see memo responses by Ransom Consulting.
5. Please see memo responses by Ransom Consulting.
6. Please see memo responses by Ransom Consulting. All work within the road right of way shall meet City of Portland Technical Manual Standards. Notes have been added to the plans to that effect.

Comments Submitted by: Tom Errico/Traffic on 12/8/2014

- The project proposes a 12-foot driveway that meets City standards.
- The proposed project driveway will have adequate driveway separation, to the adjacent property, and therefore I find it to be acceptable.
- The project will require changes to the on-street parking regulations and may need City Council action as part of changes to the Traffic Schedule.
- It appears that parking maneuvers on-site will be difficult and I would request that a vehicle turning template graphic be provided illustrating how vehicles will enter and exit on-site parking spaces. Specifically, the applicant should note if backing maneuvers onto May Street will be required.

Response:

Please see memo responses by Ransom Consulting.

1. Yes, backing maneuvers onto May Street will be required. May Street is a very low traffic street and we don't anticipate problems with this arrangement. Please refer to memo responses by Ransom Consulting for more information.

Comments Submitted by: Ann Machado/Zoning on 12/2/2014

The proposed project is to build a two story, three unit townhouse with each unit being two stories. The property is located predominantly in the B-1 Neighborhood Business Zone with about nineteen feet of the north end of the lot located in the R-6 Residential Zone. Section 14-51 allows the less restricted zone (B-1) to extend up to thirty feet into the more restrictive zone (R-6) since the B-1 zone has at least twenty feet of street frontage. Since the B-1 zone can extend thirty feet into the R-6 zone, as stated by Marge Schmuckal (former Zoning Administrator) in an email dated 8/21/2014, "Section 14-51 allows the B-1 zone to encompass the entire lot".

The proposed three unit townhouse is a permitted use in the B-1 zone since the lot abuts the R-6 zone which allows multi-family dwellings. Under the B-1 zone all of the dimensional requirements are being met. For off street parking, Division 20 requires one parking space per unit for residential uses on the peninsula. Three parking spaces are shown. Under external effects, section 14-167(b), the maximum noise requirement of 55 decibels at lot boundaries shall be maintained.

Response:

The maximum noise level of 55 decibels at lot boundaries will be maintained.

Comments Submitted by: Jeff Tarling/City Arborist on 12/12/2014

The City Arborist review is pending and comments will be forwarded when available.

Response:

City Arborist preliminary comments have not yet been received.

Comments Submitted by: David Senus/Civil Engineering on 12/11/2014

1) The application is preliminary. As such, additional documents will need to be submitted for the final application, including letters from utilities confirming capacity to serve the proposed development, a utility plan, detailed grading / drainage / erosion control plan, construction details, stormwater design calculations and a Construction Management Plan. Woodard & Curran will perform a review of the Final Application upon receipt of those documents.

2) In accordance with Section 5 of the City of Portland Technical Manual, a Level III development project is required to submit a stormwater management plan pursuant to the regulations of MaineDEP Chapter 500 Stormwater Management Rules, including conformance with the Basic, General, and Flooding Standards. We offer the following comments:

a) Basic Standards: Plans, notes, and details should be provided to address erosion and sediment control requirements, inspection and maintenance requirements, and good housekeeping practices in general accordance with Appendix A, B, & C of MaineDEP Chapter 500.

b) General Standards: The project will result in an increase in impervious area of approximately 3,600 square feet. As such, the project is required to include specific stormwater management features for stormwater quality control. The Applicant proposes a rain garden to manage stormwater quality on the site. Additional design details and calculations should be provided with the future Final Site Plan submittal demonstrating compliance with the General Standards (refer to Chapter 7.2 of Volume III of the MaineDEP Stormwater BMP Manual for rain garden design requirements).

c) Flooding Standard: The project will result in an increase in impervious area of approximately 3,600 square feet. As such, the project is required to include specific stormwater management features to control the rate of stormwater runoff from the site. As part of the final Site Plan submittal, the Applicant should address whether the proposal will meet the flooding standard, or should request a waiver from the Flooding Standard accompanied by an engineering justification (i.e. –confirm adequate capacity to convey additional stormwater flow in drainage system, minor increase in flow, etc).

3)The Stormwater Management Plan should include a stormwater inspection and maintenance plan developed in accordance with and in reference to MaineDEP Chapter 500 guidelines and Chapter 32 of the City of Portland Code of Ordinances.

4)Final site plans must be stamped by a professional engineer (Section 14-527, sub-section (f) of the City of Portland Land Use Ordinance).

5)Per Section 13 of the City's Technical Manual, the Applicant is required to submit a Boundary Survey that has been Stamped by a Maine Licensed Professional Surveyor.

6)The final plan set should include construction details. Details for work within the City Right-of-Way should comply with the City of Portland Technical Manual.

7)The Applicant has noted that basic grading will be required to divert stormwater to the proposed rain garden; however, it does not appear that any proposed grading is shown at this time. Final plans should include proposed grading and drainage collection/conveyance systems (pipes, structures, etc).

Response:

Ransom Consulting has addressed these comments in the enclosed stormwater narrative.

Subject: B-1 Design Review – 7-9 May Street

Written by: Caitlin Cameron, Urban Designer

Date of Review: Friday, December 5, 2014

On Friday, December 5, a design review according to the *City of Portland Design Manual Standards* was performed for the resubmission of the proposed new construction of three townhouses at 7-9 May Street. The review was performed by Caitlin Cameron, Urban Designer, Christine Grimando, Senior Planner, and Shukria Wiar, Planner, all within the Planning Division of the Department of Planning & Urban Development. The project was reviewed against the *B-1 and B-1b Neighborhood Business Zones Standards and the Two-Family, Special Needs Independent Living Units, Multiple-Family, Lodging Houses, Bed and Breakfasts, and Emergency Shelters Standards* (Sections (d) and (l), and Appendix 2 of the Design Manual).

Findings of the Design Review:

There remain some outstanding questions and comments to be addressed – please refer to comments below.

Design Review Comments (red text denotes questions or comments):

B-1 and B-1b Neighborhood Business

Standard a Urban Street Wall – Met – Well-sited at street and in line with neighboring buildings. *Standard b Mixed Uses* – Not applicable

Standard c Building Entrances – Doors are visible due to the porches, and in some cases, directly accessible from street. **However, in order to make the entrances truly**

accessible, we recommend a paving surface such as brick leading between the sidewalk/driveway to each entry (rather than lawn as shown).

Response: The paving surface directly in front of each entryway has been updated to brick paving. This brick paving will be the same as that used on the sidewalk and will meet City of Portland Standards.

Standard d Windows – Almost universally, gable-ended buildings in this neighborhood context have windows on the third floor/attic level under the gable. The review panel felt the street façade would benefit from additional fenestration to be compatible with existing patterns and to balance the façade composition. On the Rear Elevation, the panel questioned the choice to provide two smaller windows in the ground floor living space rather than one larger window or a clerestory window shifted south.

Response:

Street-facing façade:

A structural roof truss will preclude us from adding a window under the gable at the attic level. We have added a louvered access panel of a size compatible with adjacent fenestration.

Rear façade:

Two smaller windows have been provided in the ground floor living space rather than a larger one due to modular construction capabilities/efficiencies. The two windows in question are located at the juncture of two prefabricated boxes. A continuous trim and sill will be provided to create the illusion of a larger window unit.

Standard e Façade Character – As stated above, please provide additional visual interest to street-facing façade. *Standard f Building Design* – There are four different roof pitches in this design. The primary roof pitch is similar to and compatible with the predominant neighborhood character. Alterations to the porch and/or dormer roof are suggested – is it possible to have these two roof lines use the same pitch? Dormer roof pitches are typically shallower and have a taller profile.

Response: The following strategies have been undertaken to provide additional visual interest to street-facing façade:

1. The gable end siding material at the attic level has been changed. See elevations.
2. The bay window siding material has been changed. See elevations.

Roof Pitches:

The dormer, porch, and bay window roof slopes have been modified to a 5/12 pitch to be more compatible with the neighborhood character.

Roof profiles of bays are typically flat/parapet without a sloped roof – the inclusion of the small sloped roof line here is out of character. Additionally, the review panel saw the angled porch posts applied inconsistently. While the angled posts in the front two unit porches support roof extensions over the steps, the third one appears incongruous and

superfluous.

Response: We agree that the roof profiles of bay windows in the area are typically flat/parapet. However, the street-facing façade projection in this project is different in nature and the change in roof pitch is justified. Most of the neighboring structures have polygonal bay windows with very few square examples. Most of these bay windows have glazing on all surfaces whereas the projection at 7-9 May Street would only have glazing on its front surface. Another key difference in surrounding bay window projections is that each floor level is typically expressed with trim/molding. The building projection at 7-9 May Street is rather expressed (from the exterior) as one 2-story volume.

Standard g Building Materials – **What are the proposed materials?** *Standard h Building Scale* – Met *Standard i Landscaping and Buffers* – Met – The project sites parking from view behind an existing building and uses a fence around the perimeter.

Response: Enclosed elevations have been updated to reflect proposed materials.

Two-Family, Special Needs Independent Living Units, Multiple-family, Lodging Houses, Bed And Breakfasts, and Emergency Shelters: *Standard 1* – See comments above. *Standard 2* – Met – Well-sited at street and in line with neighboring buildings.

Standard 3 – Met – Landscape buffer and street trees at front, and tree and lawn in back. **Consider adding an additional tree in the snow storage area.** *Standard 4* – Met *Standard 5* – Met – Parking is hidden and screened by fence

Response: An additional tree has been added in the snow storage area.

Standard 6 – Not applicable

Appendix 2: Development in the B-1, B-1b, B-2, B-2b

Standard 1 Building Location and Form – Met, see previous comments *Standard 2 Building Function* – Not applicable *Standard 3 Orientation of Buildings and their Entrances to the Street* – Met, see previous comments *Standard 4 Windows* – See comments above regarding windows. *Standard 5 Building Character, Detail, Scale, and Graphic Qualities* – See comments above regarding Building Design and Windows *Standard 6 Signage and Building Entrances* – Met, see comments above *Standard 7 Development Relationship to Street* – Met, see previous comments *Standard 8 Parking Lots* – Met, see previous comments

Date: February 18, 2015
Subject: Application ID: 2014-149

Comments Submitted by: Shukria Wiar/Planning on 12/11/2014

1. Are these condos or rentals. If condos, we will need condo docs for review and approval by the Legal Department.
2. Please submit a subdivision plat for review.
3. Submit a construction Management Plan for Review.
4. Evidence of utility capacity to serve letter.
Response: See the attached letter sent to the Portland Water District. We are waiting on a response.
5. The owner will have to enter stormwater agreement with the city for the drainage system on site. Please see attached documents.
Response: The documents are attached.
6. How would solid waste be handled?
7. Any HVAC and/or manufacturing equipment being processed.
8. The plans will need to show engineered construction specification drawings for all proposed driveway.
Response: Driveway construction details are shown on Sheet C2
9. Please show a grading plan for the site.
Response: Proposed grading is shown on Sheet C1.
10. All plans will need to be stamped by a professional
11. Show all existing and proposed utility connections
Response: Proposed utility connections and existing utilities are shown on Sheet C1.

Comments Submitted by: David Petruccelli/Fire on 12/12/2014

The Fire Department review is pending and comments will be forwarded when available.

Comments Submitted by: David Margolis-Pineo/Engineering DPS on 12/11/14

December 1, 2014

Memo To: Shukria Wiar Barbara Barhydt

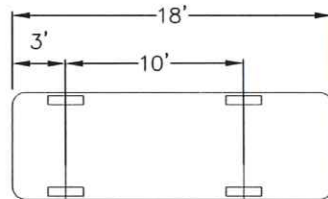
From: David Margolis-Pineo

Re: Review Comments for 7-9 May Street-Three Unit

1. Wastewater Capacity Application needs to be completed.
Response: The Wastewater Capacity Application is attached.
2. Survey plan requires Professional stamp. Applicant should review submittal requirements for full survey parameters.
3. Where will the water go if drainage to the rain garden exceeds the garden capacity?
Response: Overflow from the rain garden areas will discharge over the surface to the May Street gutter through the proposed driveway.
4. More detail is needed on utilities to site which are required to be underground from the street right of way.
Response: All utilities are proposed to be underground. Additional detail is provided on sheets C1 and C2.
5. Driveway cut should be shown using seven foot granite tipdowns . Since the driveway width is proposed at 11', the end of tipdown to end of tipdown distance can be up to 15'.
Response: Based on the City's technical manual (1.7.1. Residential development with nine (9) parking spaces or less) the minimum driveway width is 10'. We are proposing a 10' wide driveway with a 2' flair on each side, which results on a 14' wide (end of tipdown to end of tipdown) curb cut as shown on Sheet C1.
6. Please add note that all work within the road right of way shall meet City of Portland Technical Manual standards.
Response: A note has been added to sheet C1.

Comments Submitted by: Tom Errico/Traffic on 12/8/2014

1. The project proposes a 12-foot driveway that meets City standards.
Response: Based on the City's technical manual (1.7.1. Residential development with nine (9) parking spaces or less) the minimum driveway width is 10 feet. We are proposing a 10 foot wide driveway with a 2-foot flair on each side resulting in a 14' wide curb cut (end of tipdown to end of tipdown) as shown on Sheet C1.
2. The proposed project driveway will have adequate driveway separation, to the adjacent property, and therefore I find to be acceptable.
3. The project will require changes to the on-street parking regulations and may need City Council action as part of changes to the Traffic Schedule.
4. It appears that parking maneuvers on-site will be difficult and I would request that a vehicle turning template graphic be provided, illustrating how vehicles will enter and exit on-site parking spaces. Specifically, the applicant should note if backing maneuvers onto May Street will be required.
Response: The parking layout has been revised such that the head-in parking is now 70 deg. angled parking. Three 9' wide by 18' long spaces are provided as shown on Sheet C1. Ransom conducted a turning template analysis using the passenger design vehicle template shown below. Vehicles will pull into the stalls forward and then back out onto May Street. The adjustment to angled parking results in a substantial improvement in operations over the previously shown head-in parking. It is our opinion that parking operations at this site will be typical of parking operations at other multi unit-sites in the West End.



MIN CENTERLINE RADIUS=21'
BLOCK NAME - "CAR"

PASSENGER CAR (Pm)

Comments Submitted by: by Dave Senus on 12/11/2014 are addressed in the following Stormwater Narrative.

RIGHT, TITLE AND INTEREST

13028521

**QUITCLAIM DEED
With Covenant
Statutory Short Form**

KNOW ALL PERSONS BY THESE PRESENTS, that **Todd M. Alexander**, of Portland, County of Cumberland and State of Maine, for consideration paid, the receipt whereof is hereby acknowledged, does hereby **REMISE, RELEASE AND CONVEY**, to **May Street 7-9 LLC**, having a mailing address of 6 Pond Ridge Lane Norwalk CT 06853, **WITH QUITCLAIM COVENANT**, the following described real estate located in Portland, Maine:


A certain lot or parcel of land situated in the city of Portland, County of Cumberland and the state of Maine, bounded and described as follows: Beginning on the northeasterly side of May Street at an iron set in the ground at a point which is sixty-five and twenty-five hundredths (65.25) feet thereon from the intersection of the northeasterly side line of May Street and the northwesterly side of Danforth Street; thence by May Street northwesterly fifty-three and seventy-four hundredths (53.74) feet to an iron and land conveyed by Exchange Realty Co. to Peter Sitschew; thence northeasterly making and included angle of 89° 40', by said Sitschew land seventy-six and forty-five hundredths (76.45) feet to land formerly of one Bartol; thence southeasterly by said Bartol land seventy-three and ninety-one hundredths (73.91) feet to an iron set in the ground and land now or formerly of one Pistaki; thence southwesterly by said Pistaki land thirty-eight and five tenths (38.5) feet to a point; thence northwesterly at right angles to the last course twenty and fifty-eight hundredths (20.58) feet to a point; thence southwesterly at right angles to the last course forty (40) feet to the point of beginning.

MAINE REAL ESTATE TAX PAID

Reference is made to a deed from Robert C. Hains to Todd M. Alexander dated November 30, 2012, recorded in the Cumberland County registry of deeds in Book 30174, Page 347.

IN WITNESS WHEREOF, the said Todd M. Alexander has set his hand and seal on December 9, 2013.

WITNESS:





Todd M. Alexander

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

November 9, 2013

Then personally appeared the above-named Todd M. Alexander and
acknowledged the foregoing instrument to be his free act and deed.



Before me,

Notary Public/Attorney-at-Law

Print name:

Michelle Supry

Return to:
Alex and Kelly Waters
6 Pond Ridge Lane
Norwalk, CT 06853

Received
Recorded Register of Deeds
Dec 11, 2013 03:20:28P
Cumberland County
Pamela E. Lovley

COMPLIANCE

FINANCIAL AND TECHNICAL CAPACITY

Zoning Summary

Chapter 14

Kaplan Thompson Architects

Project address	7 - 9 May St, Portland, ME, 04101
Project type	Multi-family Residential, >2 Units
City Zone	B1 & R-6 (Mostly B1)
Legal ID	CBL 057 C023
Lot Area	4,898 SF
Permitted Uses	Multiple Uses Allowed
Existing Uses	Vacant Land
Proposed Use	Multi-family Residential
Guidelines	NA

B-1

Dimensional Requirements	Required / Allowed	Provided
Min Lot Size:	None	4,898 SF
Min Area per Dwelling Unit:	435 SF per Unit	1,663 SF / unit
Min Street Frontage:	20'-0"	53.75'
Min Front Yard	None	
Max Front Yard:	10'-0" or average depth of nearest lots if less than 10'-0"	0'-6"
Min Rear Yard:	10'-0" if abutting a residential zone	±14'-0" provided where abutting residential zone. None elsewhere
Min Side Yard:	5'-0" if abutting residential zone	5'-0"
Max Side Yard on Side Street:	10'-0"	n/a
Max Structure Height	45'-0"	< 40'-0"
Min Lot Width:	None	53.75'
Max Building Height:	45'-0"	27'-5"
Max Impervious Area:	90%	75%
Floor Area:	---	1,678 SF
Other Requirements		
Off-street Auto Parking	1 Space per Unit (300-0 max dist) > 50-0 from street line	3 (1 space per unit) > 50'-0" from street line
Front Yard Parking	None allowed except driveway	none
Off-street Bicycle Parking	2 spaces per 5 units	2

Applicable Codes

IBC 2009
 IECC 2009
 B1 & R-6 (Mostly B1)
 CBL 057 C023
 NFPA 101/2009
 Maine State Internal Plumbing Code (Ref. Uniform Plumbing Code 2009)

Building Use

Three-unit residential. Rental properties.

Occupancy Classification

IRC 2009 Uses: Townhouse
 NFPA 101: Residential (One

NFPA 1 | Fire Department Technical Standards:

The project will be sprinkled in compliance with NFPA 13

Hydrant location: approx. 110'-0' from new structure (at the corner of May St. and Danforth St.

All details will be reviewed with the Portland Fire Department as required

Fire Resistant Construction

IRC 2009 R302.2 "Townhouses. "Each townhouse shall be considered a separate building and shall be separated by fire resistance rated wall assemblies meeting the requirements of Section R-302.1 for exterior walls."

"Exception: A common 1-hour fire-resistance-rated wall...is permitted for townhouses if such walls do not contain plumbing or mechanical equipment, ducts or vents in the cavity of the common wall. The wall shall be rated for fire exposure from both sides and shall extend to and be tight against exterior walls and the underside of the roof sheathing."

IRC 2009 Table R302.1 (abbreviated)

Fire-Resistance-Rated	Min. Fire Separation Distance	
Walls:	1 hr	< 5 ft.
Projections:	1hr	≥ 2ft
Openings:		< 3ft.
Not allowed:	N/A	3ft.
25% max wall area:	0 hrs	5ft.
Unlimited:	R302.4	< 5ft.

IRC 2009 R302.2.4 Structural Independence.

“Each individual *townhouse* shall be structurally independent.”

“Exceptions:

1. Foundations supporting exterior walls or common walls.
2. Structural roof and wall sheathing from each unit may fasten to the common wall framing.

Sound Transmission

IRC 2009 AK101.1 General. “Wall and floor-ceiling assemblies separating dwelling units including those separating adjacent townhouse units shall provide air-borne sound insulation for walls, and both air-borne and impact sound insulation for floor-ceiling assemblies.”

IRC 2009 AK102.1 General. “Air borne sound insulation for wall and floor-ceiling assemblies shall meet a Sound Transmission Class (STC) rating of 45...”

IRC 2009 AK103.1 General. “Floor/ceiling assemblies between dwelling units...shall have an Impact Insulation Class (IIC) rating of not less than 45...”



9800 Fredericksburg Road
San Antonio, Texas 78288

August 5, 2014

Alexander C D Waters
6 Pond Ridge Ln
Norwalk, CT 06853 -1541

Dear Mr. Waters:

This letter is to confirm that you have active USAA Investment accounts. This letter also confirms that as of August 4, 2014, your total market value exceeded \$500,000.00. As owner of these accounts, you have full access to these funds.

Please do not hesitate to contact a USAA Member Service Representative at 800-531-8722 if we can be of any further assistance.

Thank you,

USAA

Technical Capacity

Architect: Kaplan Thompson Architects is a leader in Maine and the nation in building super-efficient residences at attainable costs. Kaplan Thompson is the lead designer on the project.

Other Consultants will be retained in an as-needed basis.

SOLID WASTE

Solid Waste

The building owner will contract with the City of Portland Public Works Authority for the collection of solid waste and recyclables.

Building tenants will be provided with suitable recycling containers obtained from the Public Works Authority. Tenants will also be instructed to use City of Portland designated biodegradable bags for non-recyclable solid waste.

Construction waste will be sorted on site and either recycled or legally disposed of by the General Contractor.

EVIDENCE OF UTILITY CAPACITY TO SERVE



Consulting
Engineers
and Scientists

February 10, 2015

Project 151.06001

Brian Johnson
Asset Management Technician
Portland Water District
225 Douglass Street
PO Box 3553
Portland, Maine 04104-3553

RE: Capacity to Serve
3 Unit Development
7-9 May Street
Portland, Maine

Dear Brian:

This letter is requesting a determination of whether the Portland Water District has the capacity to serve a residential development proposed at 7-9 May Street in Portland. The development will consist of 3 new residential apartment units with 2 bedrooms each. Based on the Maine State Plumbing Code, we anticipate a total demand of 540 GPD for domestic service.

Enclosed is a utilities plan C-1. We are not aware of any existing water services along the site's frontage. We are proposing a new 2" domestic copper service will be tapped off the May Street 8" watermain. If necessary for the building's fire protection needs, we will also be installing a 4" ductile iron fire protection service. The fire protection needs of the building will be determined during final design.

Thanks for your help on this project to date. Please respond to me at the address below (or by email) at your earliest convenience. If you have any questions, please feel free to call me at (207) 772-2891.

Sincerely,

A handwritten signature in black ink that reads "John Mahoney". The signature is written in a cursive, flowing style.

John Mahoney, P.E.
Project Engineer

Enclosure: Plans for 7-9 May Street development

400 Commercial Street, Suite 404, Portland, Maine 04101, Tel (207) 772-2891, Fax (207) 772-3248
Pease International Tradeport, 112 Corporate Drive, Portsmouth, New Hampshire 03801, Tel (603) 436-1490
12 Kent Way, Suite 100, Byfield, Massachusetts 01922, Tel (978) 465-1822
2127 Hamilton Avenue, Hamilton, New Jersey 08619, Tel (609) 584-0090
60 Valley Street, Building F, Suite 106, Providence, Rhode Island 02909, Tel (401) 433-2160

www.ransomenv.com

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2991



Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: 2/9/15

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: 7-9 May Street

Chart Block Lot Number: 057 C023001
(57-C-23)

Proposed Use: Residential

Previous Use: Vacant

Existing Sanitary Flows: 0 GPD

Existing Process Flows: 0 GPD

Description and location of City sewer that is to receive the proposed building sewer lateral.
Existing gravity line in May St.

Site Category	Commercial (see part 4 below)	<input type="checkbox"/>
	Industrial (complete part 5 below)	<input type="checkbox"/>
	Governmental	<input type="checkbox"/>
	Residential	<input checked="" type="checkbox"/>
	Other (specify)	<input type="checkbox"/>

(Clearly, indicate the proposed connections, on the submitted plans)

2. Please, Submit Contact Information.

City Planner's Name: Shukria Wiar Phone: 756-8083

Owner/Developer Name: May Street 7-9 LLC

Owner/Developer Address: Go Pond Ridge Lane

Phone: 203-912-9055 Fax: E-mail: alex.c.waters@gmail.com

Engineering Consultant Name: Ransom Consulting

Engineering Consultant Address: 400 Commercial Street Portland, ME 04101

Phone: 772-2981 Fax: E-mail:

(Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review)

3. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: 540 GPD

Peaking Factor/ Peak Times:

Specify the source of design guidelines: (i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify)

(Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet)

4. Please, Submit External Grease Interceptor Calculations.

N/A

Total Drainage Fixture Unit (DFU) Values: _____

Size of External Grease Interceptor: _____

Retention Time: _____

Peaking Factor/ Peak Times: _____

(Note: In determining your restaurant process water flows, and the size of your external grease interceptor, please use The Uniform Plumbing Code. Note: In determining the retention time, sixty (60) minutes is the minimum retention time. Note: Please submit detailed calculations showing the derivation of your restaurant process water design flows, and please submit detailed calculations showing the derivation of the size of your external grease interceptor, either in the space provided below, or attached, as a separate sheet)

5. Please, Submit Industrial Process Wastewater Flow Calculations

N/A

Estimated Industrial Process Wastewater Flows Generated: _____ GPD

Do you currently hold Federal or State discharge permits? Yes _____ No _____

Is the process wastewater termed categorical under CFR 40? Yes _____ No _____

OSHA Standard Industrial Code (SIC): _____

<http://www.osha.gov/oshstats/sicser.html>

Peaking Factor/Peak Process Times: _____

(Note: On the submitted plans, please show where the building's domestic sanitary sewer laterals, as well as the building's industrial-commercial process wastewater sewer laterals exits the facility. Also, show where these building sewer laterals enter the city's sewer. Finally, show the location of the wet wells, control manholes, or other access points; and, the locations of filters, strainers, or grease traps)

(Note: Please submit detailed calculations showing the derivation of your design flows, either in the space provided below, or attached, as a separate sheet)

Notes, Comments or Calculation

3 2-Bedroom Units

$$3 \times 180 \frac{\text{GPD}}{\text{apt.}} = 540 \text{ GPD Total}$$

STORMWATER MANAGEMENT



7-9 May Street Stormwater Management Narrative

Date: February 18, 2015
From: John Mahoney, P.E.
Peer Review: Stephen J. Bradstreet, P.E.
Location: 7-9 May Street, Portland, Maine

Existing Conditions:

The site is a 4,898 SF (.11 acres) acre parcel on May Street just north of Danforth Street. The property is primarily covered by what appears to be gravel that has become vegetated over the years. The site is quite flat with only approximately one foot of elevation difference from a high point in the northern corner to the May Street Sidewalk.

Stormwater runoff from the site drains to May Street and enters the City's combined sewer system through a catch basin at the corner of Danforth and May Streets. There is no separated stormdrain system in this area.

Based on the Cumberland County USDA soil survey GIS data, the existing soils on this site are hydrological group A, excessively drained.

Proposed Development:

The owner proposes to construct a 3-unit residential apartment building in a townhouse style. The proposed development and parking will result in a site that is primarily impervious.

Stormwater Management – Basic Standards:

Erosion and sedimentation control measures are drawn, detailed and described on Sheets C1 and C3. Good housekeeping practices in accordance with Maine DEP Chapter 500 are described in the notes on Sheet C3. A post construction stormwater management plan and a stormwater BMP inspection and maintenance log are included with this submission.

The entire site will be surrounded with a mulch berm, with the exception of the vehicular access point where there will be a crushed stone temporary construction entrance. Crushed stone check dams will be installed along the May Street gutter line down-gradient from the site and the downstream catch basin will be protected as indicated on Sheets C1 and C3.

Stormwater Management - Quality:

Because stormwater runoff leaving this site will enter into the City's combined sewer system (where it will be mixed with sanitary sewerage) we are proposing to focus our stormwater management design on infiltration, retention and reducing the peak runoff rates at which stormwater will leave the site. We suggest that focusing on treatment would not meet the end goal of water quality because treated runoff would be mixed with raw sewerage and conveyed to the WWTF where it would be treated a second time. Rather, focusing on reducing the volume and rates of runoff has the potential to mitigate combined sewer overflows by reducing loads on the plant and pump stations.

We are proposing 4 rain garden areas 2" to 3" deep for a total area of approximately 240 square feet. These rain gardens are arranged in a series such that overflow from the highest elevation rain garden (behind the building) will flow into the next highest elevation rain garden (along the driveway furthest from May Street). Overflow from this rain garden will flow along the edge of the driveway into the next rain garden and so on until discharging to May Street. Approximately 90% of the runoff will flow into at least one rain garden and much of the runoff from this site will flow through multiple rain gardens before discharging to May Street.

We are not proposing to pipe stormwater runoff water into the combined sewer system. Stormwater runoff will leave the site over the surface only. However because we are encouraging infiltration of stormwater in close proximity to the building (which may, in the future, have a finished basement) we believe it would be prudent to have a foundation drain. Because there is no other practical option, we propose to connect this drain to the combined sewer as shown on Sheet C1.

Stormwater Management - Quantity:

In our opinion, the proposed rain gardens will help to reduce peak runoff rates during typical rainfall events in the ½" to 1" range, which will, in turn, reduce CSO discharges resulting in a benefit to the water quality of Casco Bay. However, the proposed rain gardens will not meet the City's flooding standard for large flooding events such as a 25-year frequency storm event. In order meet the City's flooding standard, underground storage with a direct, piped connection to the combined sewer would be required.

We are requesting a waiver to the City's flooding standard for the following reasons.

- Any increases in peak flow rates will be minor when compared to the capacity of the existing 24" sanitary sewer in Danforth Street, which receives runoff from this site.
- The proposed rain gardens are the most practical option to mitigate peak runoff rates without piping stormwater runoff directly into the combined sewer.

7-9 May Street Stormwater Management Narrative
February 18, 2015

- The ground surface of the site appears to be gravel, which may mean that the site has a history as a surface parking area or perhaps a former building.

7-9 May Street
STORMWATER DRAINAGE SYSTEM
MAINTENANCE AGREEMENT

IN CONSIDERATION OF the site plan approval granted by the Planning Board/Planning Authority of the City of Portland to the proposed **3-Unit Residential Development at 7-9 May Street**, and the associated Grading, Drainage & Erosion Control Plans **Sheets C1, C2 and C3** (Exhibit A) submitted by **Kaplan Thompson Architects**, prepared by **Ransom Consulting, Inc** (*engineer*) of **400 Commercial Street, Suite 404, Portland, Maine**, dated **February 19, 2015**, and pursuant to a condition thereof, **May Street 7-9 LLC** (*name of owner*) a Maine limited liability company with a principal place of business in **Norwalk, CT**, and having a mailing address of **6 Pond Ridge Lane**, the owner of the subject premises, does hereby agree, for itself, its successors and assigns (the "Owner"), as follows:

Maintenance Agreement

That it, its successors and assigns, will, at its own cost and expense and at all times in perpetuity, maintain in good repair and in proper working order the **rain garden areas (shallow depressions with plantings) intended to facilitate infiltration and slow/reduce the flow of stormwater runoff from the site** (hereinafter collectively referred to as the "stormwater system"), as shown on the Plan in Exhibit A and in strict compliance with the approved **Post Construction Stormwater Management Plan** prepared for the owner by **Ransom Consulting, Inc** (copy attached at Exhibit B) and Chapter 32 of the Portland City Code.

Owner of the subject premises further agrees, at its own cost, to keep a Stormwater Maintenance Log. Such log shall be made available for inspection by the City of Portland upon reasonable notice and request.

Said agreement is for the benefit of the said City of Portland and all persons in lawful possession of said premises and abutters thereto; further, that the said City of Portland and said persons in lawful possession may enforce this Agreement by an action at law or in equity in any court of competent jurisdiction; further, that after giving the Owner written notice and a stated time to perform, the said City of Portland, by its authorized agents or representatives, may, but is not obligated to, enter upon said premises to maintain, repair, or replace said stormwater system in the event of any failure or neglect thereof, the cost and expense thereof to be reimbursed in full to the said City of Portland by the Owner upon written demand. Any funds owed to the City under this paragraph shall be secured by a lien on the property.

This Agreement shall also not be construed to allow any change or deviation from the requirements of the site plan most recently and formally approved by the Planning Board/Planning Authority of the City of Portland.

This agreement shall bind the undersigned only so long as it retains any interest in said premises, and shall run with the land and be binding upon the Owner's successors and assigns as their interests may from time to time appear.

The Owner agrees to record a copy of this Agreement in the Cumberland County Registry of Deeds within thirty (30) days of final execution of this Agreement. The Owner further agrees to provide a copy of this Agreement to any Condominium Association or management company, and to any successor or assign and to forward to the City an Addendum signed by any successor or assign in which the successor or assign states that the successor or assign has read the Agreement, agrees to all its terms and conditions and the successor or assign will obtain and forward to the City's Department of Public Services and Department of Planning and Urban Development a similar Addendum from any other successor or assign.

For the purpose of this agreement and release "Owner" is any person or entity who is a successor or assign and has a legal interest in part, or all, of the real estate and any building. The real estate shown by chart, block and lot number in the records on file in the City Assessor's office shall constitute "the property" that may be entered by the City and liened if the City is not paid all of its costs and charges following the mailing of a written demand for payment to the owner pursuant to the process and with the same force and effect as that established by 36 M.R.S.A. §§ 942 and 943 for real estate tax liens.

Any written notices or demands required by the agreement shall be complete on the date the notice is attached to one or more doors providing entry to any buildings and mailed by certified mail, return receipt requested or ordinary mail or both to the owner of record as shown on the tax roles on file in the City Assessor's Office.

If the property has more than one owner on the tax rolls, service shall be complete by mailing it to only the first listed owner. The failure to receive any written notice required by this agreement shall not prevent the City from entering the property and performing maintenance or repairs on the stormwater system, or any component thereof, or liening it or create a cause of action against the City.

Dated at Portland, Maine this _____ day of _____, 2014.

(7-9 May Street LLC)

(representative of owner, name and title)

STATE OF MAINE
CUMBERLAND, ss.

Date: _____

Personally appeared the above-named _____ (name and title), and acknowledged the foregoing instrument to be his free act and deed in his said capacity.

Before me,

Notary Public/Attorney at Law

Print name: _____

Exhibit A: Approved Grading and Drainage Plan (C1- C2 and C3)

Exhibit B: Approved Stormwater Maintenance and Inspection Agreement

7-9 May Street Post-construction stormwater management plan

The Applicant shall maintain the BMPs in accordance with the approved plan and shall demonstrate compliance with the plan as follows:

- (a) *Inspections.* The owner or operator of a BMP shall hire a qualified post-construction stormwater inspector to at least annually, inspect the BMPs, including but not limited to any parking areas, catch basins, drainage swales, detention basins and ponds, pipes and related structures, in accordance with all municipal and state inspection, cleaning and maintenance requirements of the approved post-construction stormwater management plan.

-Specific Requirements are explained in the attached Stormwater BMP Inspection and Maintenance Log

- (b) *Maintenance and repair.* If the BMP requires maintenance, repair or replacement to function as intended by the approved post-construction stormwater management plan, the owner or operator of the BMP shall take corrective action(s) to address the deficiency or deficiencies as soon as possible after the deficiency is discovered and shall provide a record of the deficiency and corrective action(s) to the department of public services ("DPS") in the annual report.
- (c) *Annual report.* The owner or operator of a BMP or a qualified post-construction stormwater inspector hired by that person, shall, on or by June 30 of each year, provide a completed and signed certification to DPS in a form provided by DPS, certifying that the person has inspected the BMP(s) and that they are adequately maintained and functioning as intended by the approved post-construction stormwater management plan, or that they require maintenance or repair, including the record of the deficiency and corrective action(s) taken.
- (d) *Filing fee.* Any persons required to file an annual certification under this section shall include with the annual certification a filing fee established by DPS to pay the administrative and technical costs of review of the annual certification.
- (e) *Right of entry.* In order to determine compliance with this article and with the post-construction stormwater management plan, DPS may enter upon property at reasonable hours with the consent of the owner, occupant or agent to inspect the BMPs.

7-9 May Street: Stormwater BMP Inspection Log

**The City of Portland, ME requires ongoing annual inspections to ensure the proper maintenance and operation of stormwater management facilities.
Inspections must be conducted by third parties qualified by the City.**

A. General Information

Use only one Cover Sheet per site with as many specific structural BMP Inspection Report attachments as needed. Attach required color digital photos of site, structures and devices as applicable with captions.

Project Name:	7-9 May Street	Inspection Date:	
Parcel Map, Block and Lot:	57-C-23	Current Weather:	
BMP Owner:	May Street 7-9 LLC	Date / Amount Last Precip:	
Owner Mailing Address:	6 Pond Ridge Lane Norwalk, CT	3PI Company:	
		3PI Mailing Address:	
Owner Phone #:	(203)912-9055		
Owner Email:	alex.c.waters@gmail.com	Inspector Name:	
		Inspector Phone #:	
		Inspector Email:	

B. Inspection Report Attachments

Please document the number of each structural BMP type found at this site in the blank spaces provided below. Use additional Attachments if / as needed and submit all Attachments together with the Cover Sheet as a single report.

BMP Type	Number BMPs at site
Vegetated Areas	-
Rain Garden Areas	4
Stone Drip Edge Areas	-

Other (describe

C. Inspection Results

FAIL**

** If any one item on an Inspection Report attachment is coded as "Work Needed" then entire BMP fails inspection.

** If a site has multiple BMPs and one fails inspection, mark as "Fail" until all BMPs pass inspection.

Note: Applicable BMP Inspection Reports and confirmatory color digital photos summarizing required repairs must be submitted to the City following completion of the preliminary inspection. A re-inspection and certification must be completed within 60 days of the failed preliminary report. It is recommended that the inspector be part of the repair / maintenance process to ensure that repairs are performed properly.

PASS

Note: a qualified professional (as determined by the City) must sign below and include all applicable Inspection Report attachments and confirmatory digital color photos with captions.

D. Professional Certification (as qualified by City of Portland Stormwater Program Coordinator)

To be completed only when all BMPs at this site are functioning as designed with no outstanding maintenance issues.

I, _____, as a duly qualified third party inspector attest that a thorough inspection has been completed for ALL applicable BMPs that are associated with this particular site. All inspected structural BMPs are performing as designed and intended and are in compliance with the provisions of the City Portland's Standards

Signature: _____

Date: _____

Form Adapted from the City of South Portland's Annual Structural BMP Inspection Report Cover Sheet

Owner: May Street 7-9 LLC	Operator:
Location & Parcel Id: 57-C-23	Inspector:
	Date:
General Information	Observations
Inspection duration (hours)	
Days since last precipitation	
Quantity of last precipitation (in)	
Type of inspection	
Storm event	
Current weather	
Photos taken	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Nearby natural resources	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Copy of ESC plan	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
MEDEP Permit # (if applicable)	
General info notes	
Vegetated Areas	Observations
No bare areas (< 90% covered) with sparse growth	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
No erosion	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Vegetated area notes	

Rain Garden Areas	Observations
Accumulated sediments and debris (trash) within the infiltration area have been removed and legally disposed of	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Mulch has been replaced. Required yearly	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Grades as shown on the Drainage & Utilities Plan – C1 have been retained	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Plantings are healthy	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Rain Garden Notes	
The rain garden areas are shallow depressions intended to slow and infiltrate stormwater run-off and it is critical that they not be filled in. Therefore before installing new bark mulch, the old bark mulch must be removed in order to maintain existing grades.	
Stone Drip Edge Areas	
Sloped Away from Building	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Grades as shown on the Drainage a& Utilities Plan – C1 have been retained	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Free from debris	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Drip Edge Notes	

Other Comments	Observations
Corrective action needed	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
<i>If corrective action in needed, please explain detail</i>	
Verbal notification provided to responsible party	<input type="checkbox"/> Yes <input type="checkbox"/> No
Verbal notification contact	
Follow up required	<input type="checkbox"/> Yes <input type="checkbox"/> No
<i>Final comment notes</i>	

Photos (use additional pages as needed)

--

Review Notes

Date Reviewed:
Reviewed by:
Date entered:
Date edited:
Edited by:

10

HVAC

HVAC

All HVAC equipment in this project will meet all applicable state and federal emissions requirements.

The HVAC equipment will meet the requirements of ASHRAE 90.1-2007 Energy Efficiency Standard and the IECC 2009.

Primary HVAC equipment will be located in each unit's basement. A condenser for each unit will be located on the NW building elevation. As shown on the drawings, this equipment will be screened from view by the property fence as well as a bracket-supported roof.

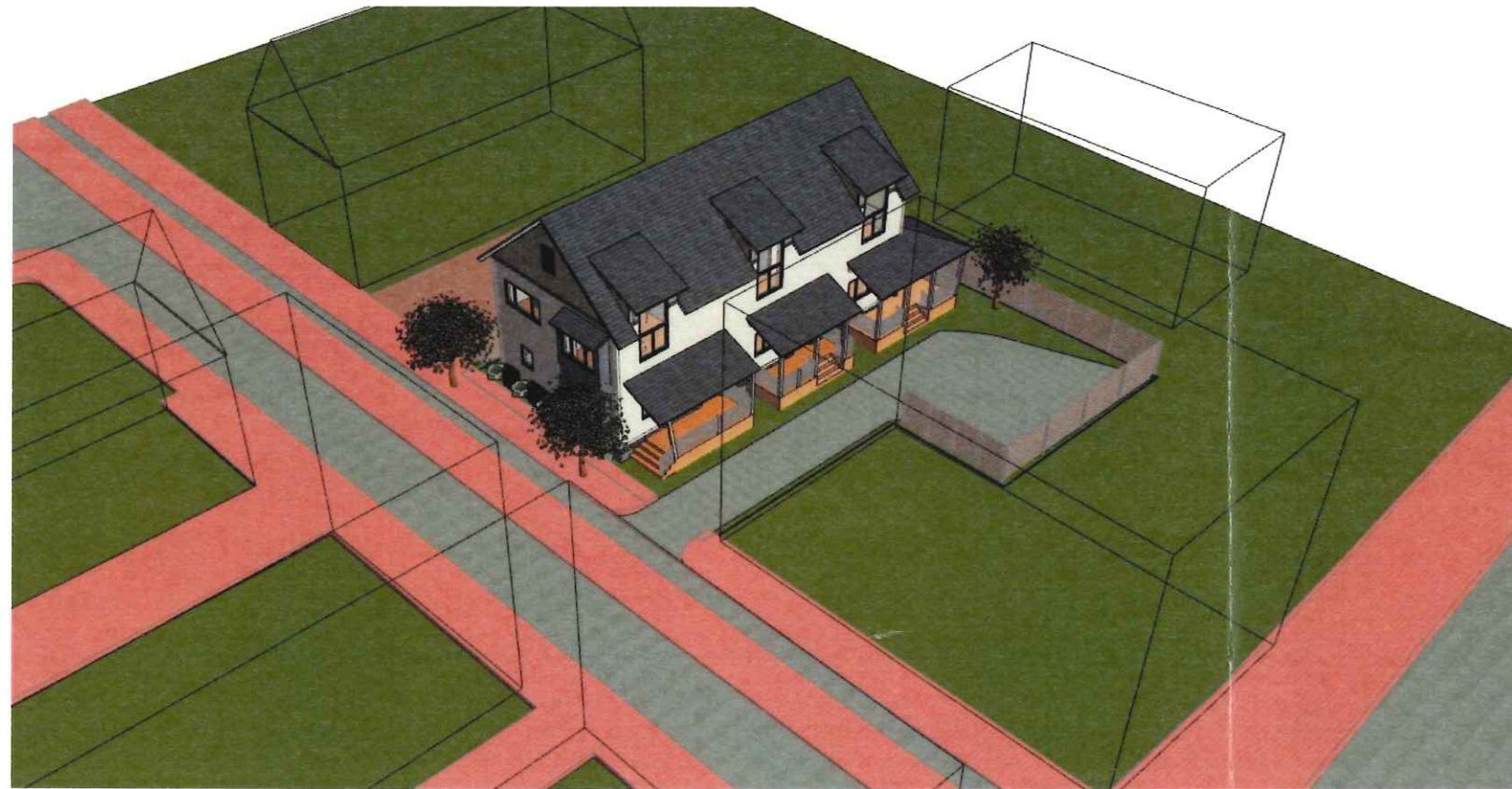
Noise levels generated by site equipment will not exceed City standards.

11

DRAWINGS

(REDUCED TO 11"X17")

7-9 MAY STREET







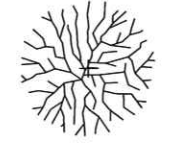



PROJECT INFORMATION

Client: May Street 7-9 LLC
Architect: Kaplan Thompson Architects
Contractor: TBD
Map / Lot: 057 C023001
Project Address: 7-9 May Street
 PORTLAND, MAINE
Zoning: PORTLAND CITY CODE
Building Codes: IRC 2009
 NFPA 101 / 2009
Site Area: 4,898 +/- SF
 0.11 +/- ACRE
Occupancy: Townhouse - Residential
Max Building Height: 45'-0"

DRAWING INDEX

	COVER SHEET
	BOUNDARY SURVEY
	RECORDING PLAT
	SUBDIVISION PLAN
C1	DRAINAGE AND UTILITY PLAN
C2	CIVIL DETAILS
C3	ESC DETAILS AND NOTES
A-0.0	SITE PLAN
A-0.1	CONSTRUCTION MANAGEMENT PLAN
A-1.1	PLANS
A-2.1	ELEVATIONS

-  EXISTING CONTOURS
-  FENCE
-  CRUSHED GRAVEL
-  LAWN
-  RAIN GARDEN MIX
-  NEW BRICK
-  NEW TREE
-  FRONTAGE MIX

PLANT LIST
(PLANTS AND TREES TO BE SELECTED FROM THE FOLLOWING)

- RAIN GARDEN MIX:**
 LITTLE BLUESTEM (ANDROPOGON SCOPARIUS)
 TUFTED HAIR GRASS (DESCHAMPSIA CESPITOSA)
 ARTIC FIRE DOGWOOD (CORNUS SERICEA 'FARROW')
 Highbush Blueberry (VACCINIUM CORYBOSUM)
 BLUE FLAG IRIS (IRIS VERSICOLOR)
 NEW ENGLAND ASTER (ASTER NOVAE-ANGLIAE)
 JOE PYE WEED (EUPATORIUM FISTULOSUM)
 BLACK-EYED SUSAN (RUDBECKIA FULGIDA)
 PURPLE CONEFLOWER (ECHINACEA PURPUREA)

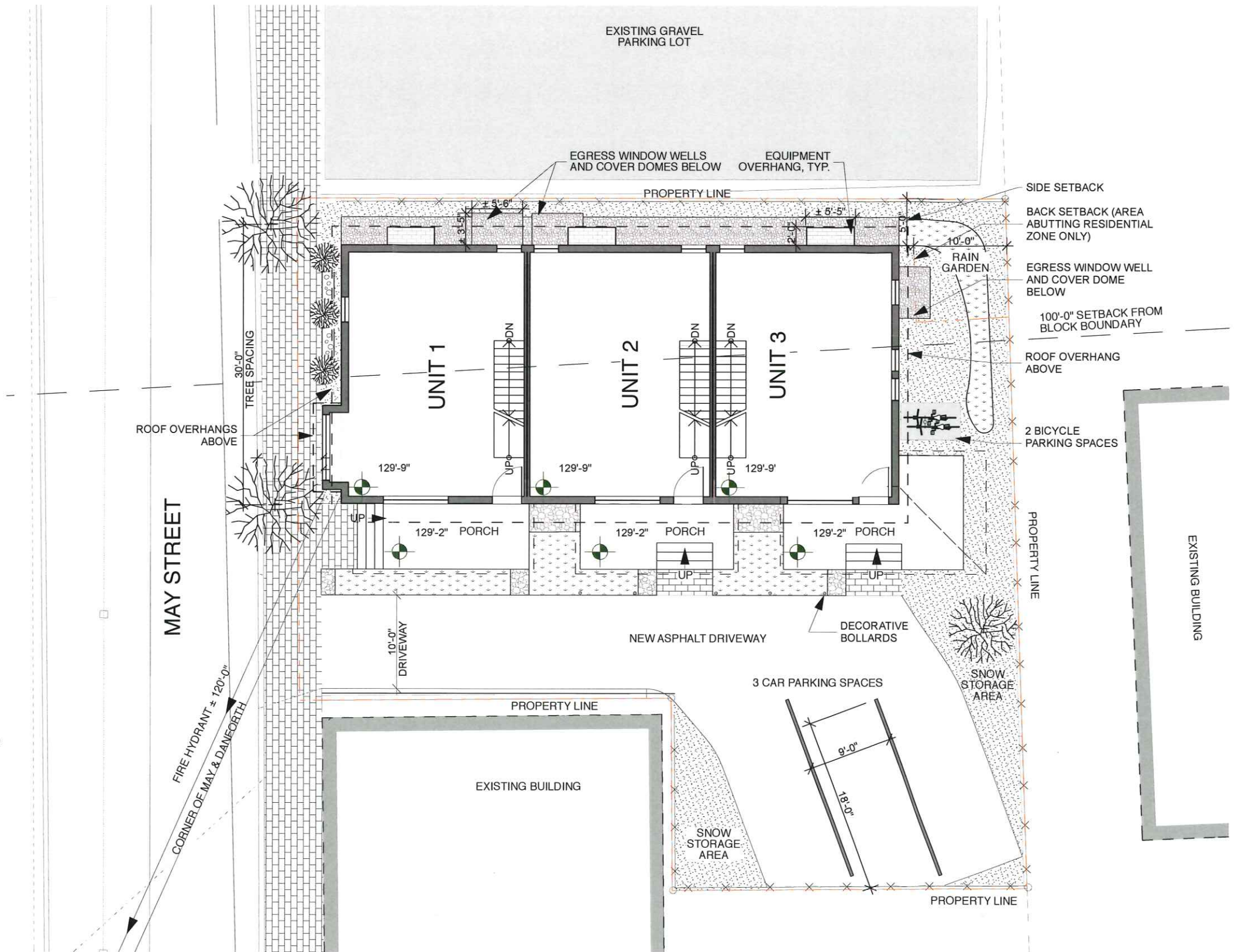
- GRASS:**
 TO BE SELECTED FROM THE FOLLOWING SPECIES:
 KENTUCKY BLUEGRASS (POA PRATENSIS)
 RED FESCUE (FESTUCA RUBRA)
 TALL FESCUE (FESTUCA ARUNDINACEA) OR
 PERENNIAL RYEGRASS (LOLIUM PERENNE L.)

- FRONTAGE MIX:**
 SWEETFERN (COMPTONIA PEREGRINA)
 OBEDIENT PLANT (PHYSOSTEGIA VIRGINIANA)
 BEE BALM (MONARDA DIDYMA)

- TREES:**
 STREET TREES TO BE SELECTED FROM THE CITY OF PORTLAND
 RECOMMENDED TREE LIST

GENERAL NOTES

1. ALL WORK WITHIN THE ROAD RIGHT OF WAY SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS
2. ALL NEW BRICK TO MEET CITY OF PORTLAND TECHNICAL STANDARDS
3. PLEASE REFER TO DRAINAGE AND UTILITY PLAN FOR SITE EXISTING AND PROPOSED GRADING



2 SITE PLAN
SCALE: 3/16" = 1'-0"








NOT FOR CONSTRUCTION
LEVEL III SITE PLAN

PROJECT:
7-9 MAY STREET
ALEX WATERS
7-9 MAY STREET
PORTLAND, MAINE

DRAWING: SITE PLAN
SCALE: 3/16" = 1'-0" DRAWN BY: CA
DATE: FEBRUARY 20, 2015 REVISED:

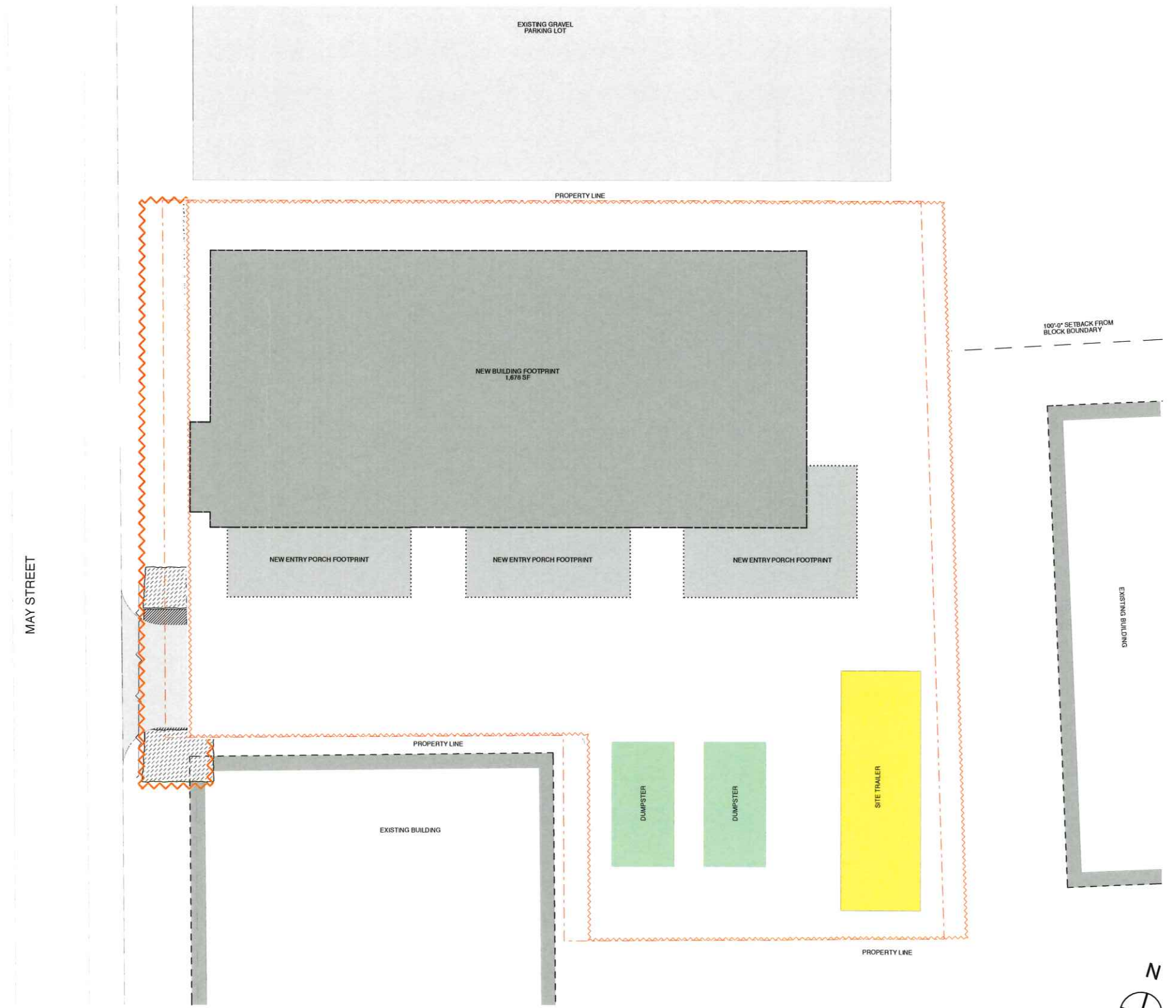
A-0.0

CONSTRUCTION MANAGEMENT PLAN KEY

-  SITE FENCE
-  TEMPORARY SITE FENCE
-  PROPERTY LINE
-  BRICK SIDEWALK TO BE REMOVED TO FORM NEW DRIVEWAY
-  ALL NEW BRICK TO MEET CITY OF PORTLAND TECHNICAL STANDARDS

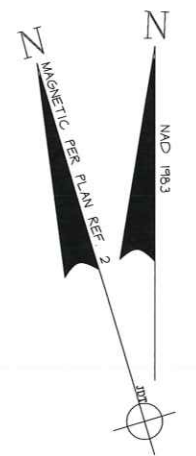
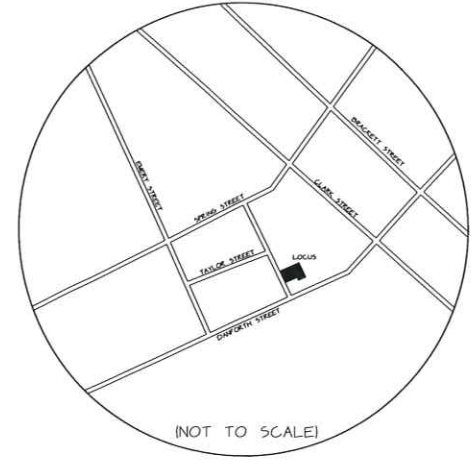
CONSTRUCTION MANAGEMENT PLAN NOTES

1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS OR OTHER PUBLIC WASTE DUE TO CONSTRUCTION.
3. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN A PUBLIC RIGHT-OF-WAY.
4. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A STREET OPENING PERMIT FROM THE TOWN OF PORTLAND AS APPLICABLE.
5. CONSTRUCTION WASTE WILL BE SORTED ON SITE AND EITHER RECYCLED OR LEGALLY DISPOSED OF BY THE GENERAL CONTRACTOR.



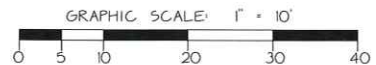
1 CONSTRUCTION MANAGEMENT PLAN
SCALE: 3/16" = 1'-0"

LOCATION SKETCH

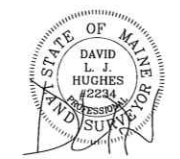


SURVEYOR'S STATEMENT

THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY AND TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE.



BOUNDARY SURVEY AND LEVEL III SITE PLAN AT 7-9 MAY STREET, PORTLAND, MAINE
 MADE FOR OWNER OF RECORD
MAY STREET 7-9, LLC
 MAILING ADDRESS:
 6 POND RIDGE LANE, NORWALK, CT 06853
 LIVINGSTON-HUGHES
 PROFESSIONAL LAND SURVEYING CORPORATION
 88 GUINEA ROAD, KENNEBUNKPORT, MAINE 04046



REVISION NO. DAVID L.J. HUGHES PL# 2234 DATE: 02-20-2015 DRAWN: JOT CHECK: DLJH FIELD BOOK: 836-20 PROJECT: 13-084

LEGEND

- N/F - NOW OR FORMERLY
- TM - TAX MAP
- CIRF - CAPPED IRON ROD FOUND
- MON - MONUMENT
- GAS - GAS VALVE
- SMH - SEWER MANHOLE
- U.P. - UTILITY POLE
- WG - WATER GATE
- CB - CATCH BASIN
- OVERHEAD UTILITY LINES
- - - - - APPROXIMATE SUBTERRANEAN GAS LINE

LOCUS DEED REFERENCE

CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD)
 BOOK: 31223 PAGE: 127

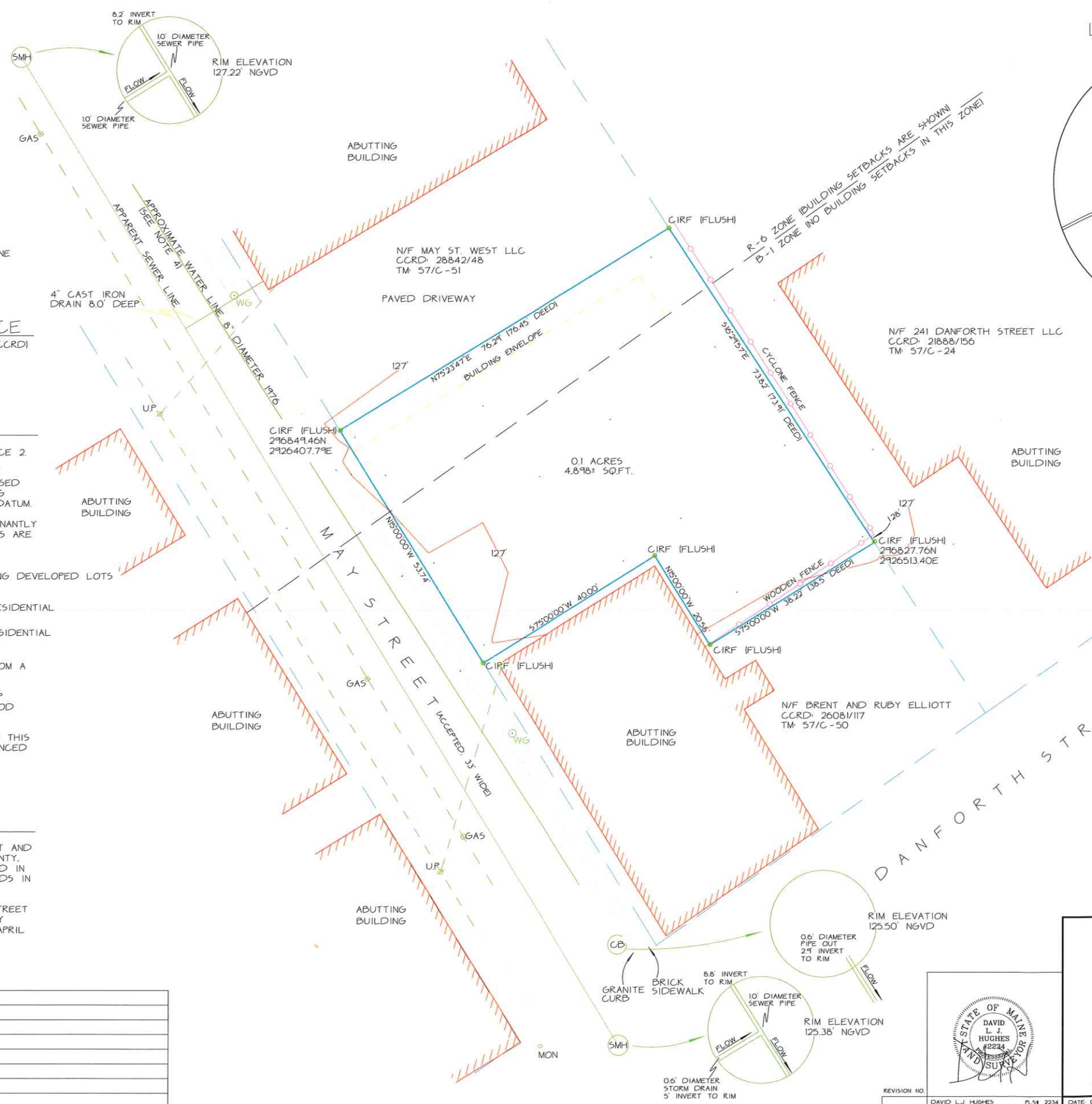
NOTES

1. THE BEARING BASIS IS PER PLAN REFERENCE 2.
2. THE CITY OF PORTLAND BENCHMARKS ARE REFERENCED TO NGVD29. THE ELEVATIONS USED ON THIS PLAN WERE TAKEN FROM G.P.S. USING NAVD88 AND TRANSLATED TO THE NGVD29 DATUM.
3. THE LOCUS PARCEL IS LOCATED PREDOMINANTLY WITHIN THE B-1 ZONE. B-1 YARD DIMENSIONS ARE AS FOLLOWS:
 MAXIMUM FRONT YARD:
 10' OR AN AVERAGE OF THE ADJUTING DEVELOPED LOTS IF THEY ARE LESS THAN 10'
 MINIMUM SIDE AND REAR:
 REAR 10' PER ADJUTING OF A RESIDENTIAL ZONE, OTHERWISE NONE
 SIDE 5' PER ADJUTING OF A RESIDENTIAL ZONE, OTHERWISE NONE
4. THE WATER LINE SHOWN WAS SCALED FROM A PORTLAND WATER DISTRICT PLAN.
5. AS PER FEMA FLOOD INSURANCE RATE MAP 2300510013B THE LOT IS NOT WITHIN A FLOOD HAZARD ZONE.
6. THE HORIZONTAL COORDINATES SHOWN ON THIS PLAN WERE TAKEN BY GPS AND ARE REFERENCED TO MAINE WEST NAD1983 ZONE.

PLAN REFERENCES

1. CONDOMINIUM PLAT ON DANFORTH STREET AND MAY STREET IN PORTLAND, CUMBERLAND COUNTY, MAINE, DATED MARCH 2, 2000 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 200, PAGE 224.
2. STANDARD BOUNDARY SURVEY ON MAY STREET IN PORTLAND, CUMBERLAND COUNTY, MAINE BY DESLAURIERS AND ASSOCIATES, INC. DATED APRIL 10, 2000.

REVISION NO.	DATE	REVISION PURPOSE



MON

LEGEND

- N/F - NOW OR FORMERLY
- TM - TAX MAP
- CIRF - CAPPED IRON ROD FOUND
- MON - MONUMENT
- GAS - GAS VALVE
- SMH - SEWER MANHOLE
- UP - UTILITY POLE
- WG - WATER GATE
- CB - CATCH BASIN
- - - - - OVERHEAD UTILITY LINES
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LOCUS DEED REFERENCE

CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD)
BOOK: 31223 PAGE: 127

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3. THE LOCUS PARCEL IS LOCATED PREDOMINANTLY WITHIN THE B-1 ZONE. B-1 YARD DIMENSIONS ARE AS FOLLOWS:
 - MAXIMUM FRONT YARD: 10' OR AN AVERAGE OF THE ABUTTING DEVELOPED LOTS IF THEY ARE LESS THAN 10'
 - MINIMUM SIDE AND REAR: 10' PER ABUTMENT OF A RESIDENTIAL ZONE, OTHERWISE NONE
 - REAR: 10' PER ABUTMENT OF A RESIDENTIAL ZONE, OTHERWISE NONE
 - SIDE: 5' PER ABUTMENT OF A RESIDENTIAL ZONE, OTHERWISE NONE
4. THE WATER LINE SHOWN WAS SCALED FROM A PORTLAND WATER DISTRICT PLAN.
5. AS PER FEMA FLOOD INSURANCE RATE MAP 2300510013B THE LOT IS NOT WITHIN A FLOOD HAZARD ZONE.
6. THE HORIZONTAL COORDINATES SHOWN ON THIS PLAN WERE TAKEN BY GPS AND ARE REFERENCED TO MAINE WEST NAD1983 ZONE.

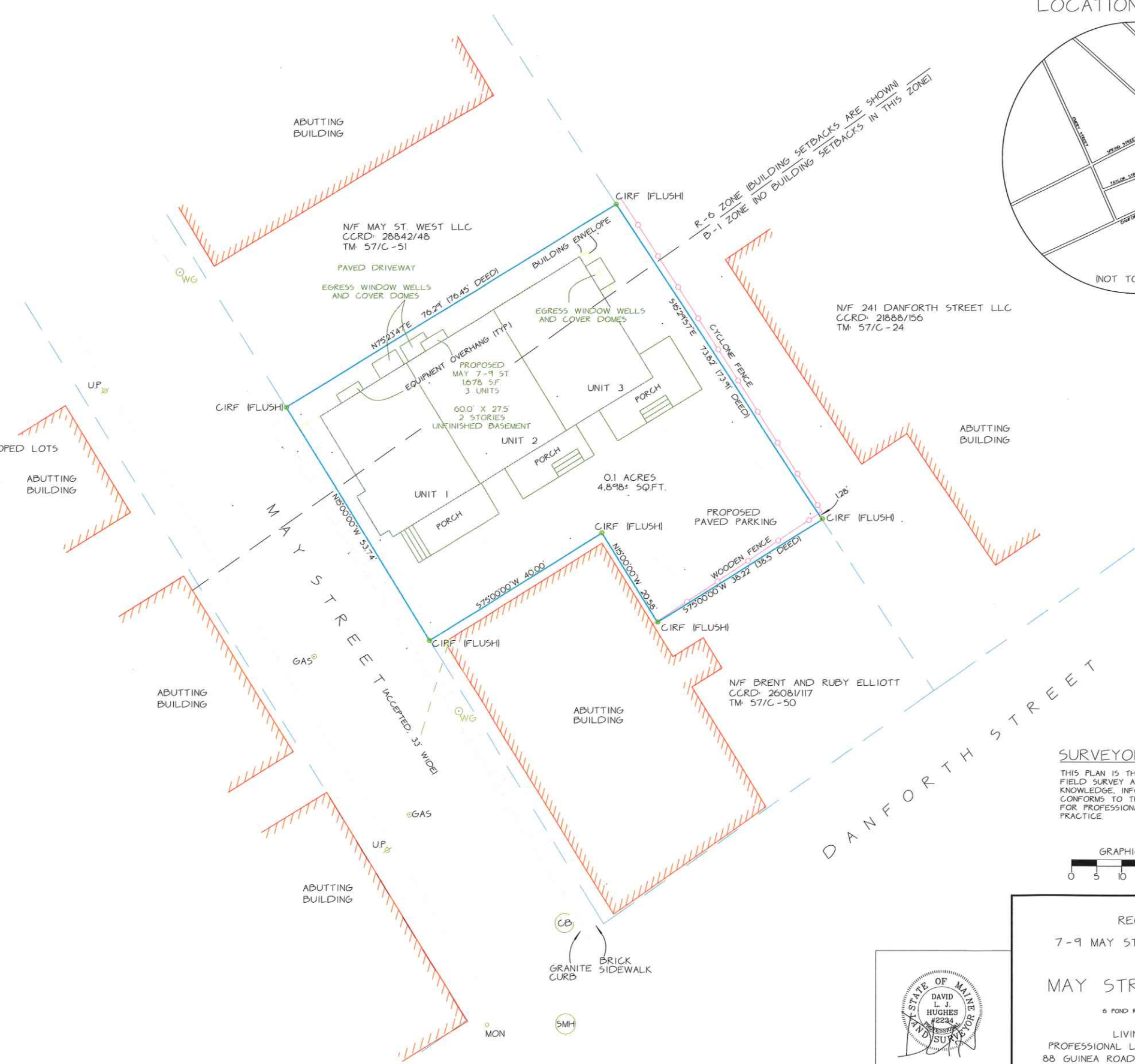
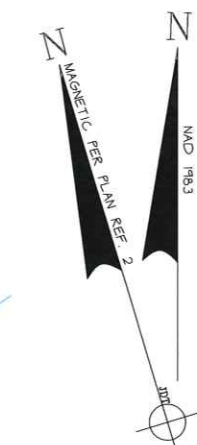
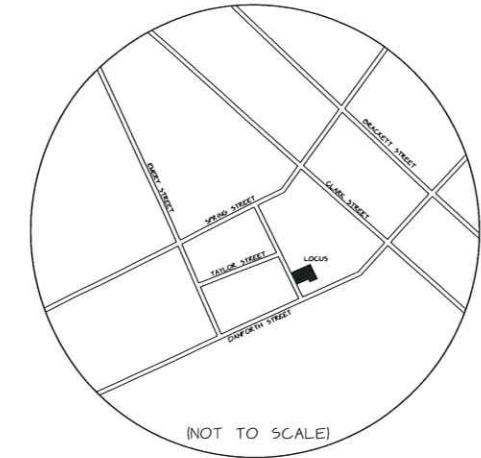
PLAN REFERENCES

1. CONDOMINIUM PLAT ON DANFORTH STREET AND MAY STREET IN PORTLAND, CUMBERLAND COUNTY, MAINE, DATED MARCH 2, 2000 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 200, PAGE 224.
2. STANDARD BOUNDARY SURVEY ON MAY STREET IN PORTLAND, CUMBERLAND COUNTY, MAINE BY DESLAURIERS AND ASSOCIATES, INC. DATED APRIL 10, 2000.

APPROVED BY THE PLANNING BOARD OF THE CITY OF PORTLAND

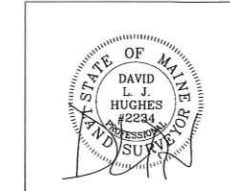
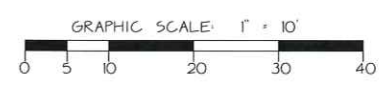
DATE _____

LOCATION SKETCH



SURVEYOR'S STATEMENT

THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY AND TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, IT CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE.



RECORDING PLAT ON
7-9 MAY STREET, PORTLAND, MAINE

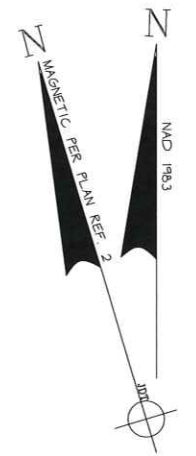
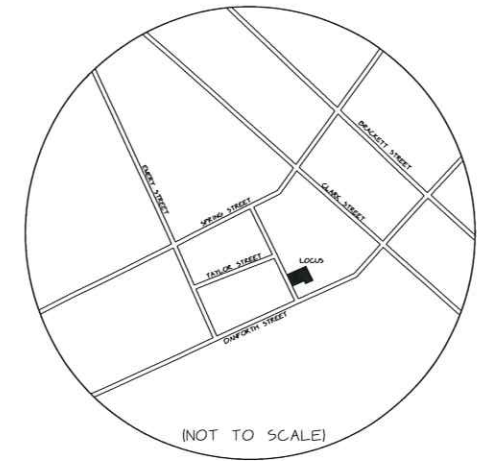
MADE FOR OWNER OF RECORD

MAY STREET 7-9, LLC

MAILING ADDRESS:
6 POND RIDGE LANE, NORWALK, CT 06853

LIVINGSTON-HUGHES
PROFESSIONAL LAND SURVEYING CORPORATION
88 GUINEA ROAD, KENNEBUNKPORT, MAINE 04046

LOCATION SKETCH



LEGEND

- N/F - NOW OR FORMERLY
- TM - TAX MAP
- CIRF - CAPPED IRON ROD FOUND
- MON - MONUMENT
- GAS - GAS VALVE
- SMH - SEWER MANHOLE
- U.P. - UTILITY POLE
- WG - WATER GATE
- CB - CATCH BASIN
- OVERHEAD UTILITY LINES
- - - APPROXIMATE SUBTERRANEAN GAS LINE

LOCUS DEED REFERENCE

CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD)
BOOK: 31223 PAGE: 127

NOTES

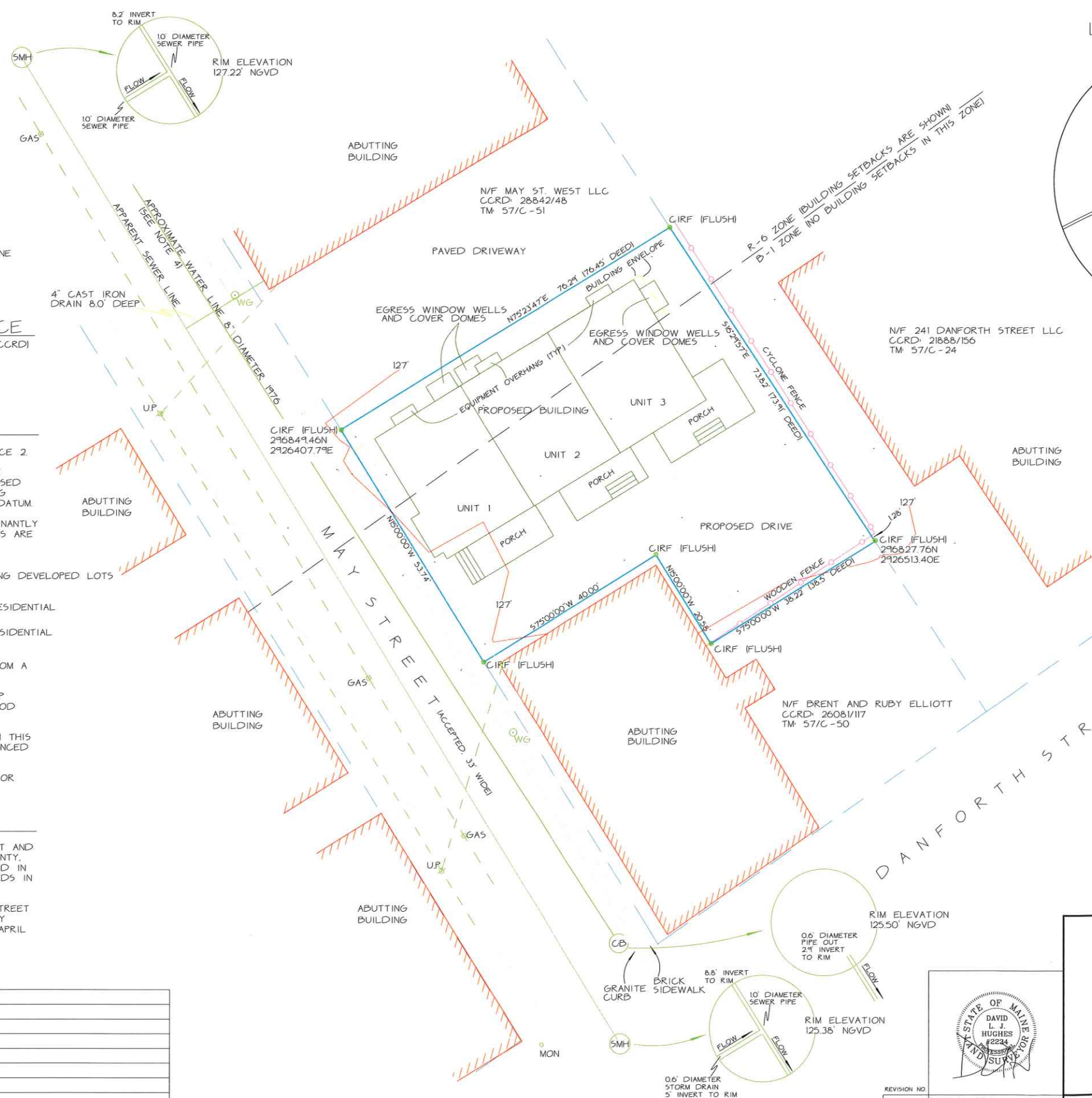
1. THE BEARING BASIS IS PER PLAN REFERENCE 2.
2. THE CITY OF PORTLAND BENCHMARKS ARE REFERENCED TO NGVD29. THE ELEVATIONS USED ON THIS PLAN WERE TAKEN FROM G.P.S. USING NAVD88 AND TRANSLATED TO THE NGVD29 DATUM.
3. THE LOCUS PARCEL IS LOCATED PREDOMINANTLY WITHIN THE B-1 ZONE. B-1 YARD DIMENSIONS ARE AS FOLLOWS:
 - MAXIMUM FRONT YARD: 10' OR AN AVERAGE OF THE ABUTTING DEVELOPED LOTS IF THEY ARE LESS THAN 10'
 - MINIMUM SIDE AND REAR: 10' PER ABUTMENT OF A RESIDENTIAL ZONE, OTHERWISE NONE
 - SIDE: 5' PER ABUTMENT OF A RESIDENTIAL ZONE, OTHERWISE NONE
4. THE WATER LINE SHOWN WAS SCALED FROM A PORTLAND WATER DISTRICT PLAN.
5. AS PER FEMA FLOOD INSURANCE RATE MAP 2300510013B THE LOT IS NOT WITHIN A FLOOD HAZARD ZONE.
6. THE HORIZONTAL COORDINATES SHOWN ON THIS PLAN WERE TAKEN BY GPS AND ARE REFERENCED TO MAINE WEST NAD1983 ZONE.
7. THE LOT CONTAINS 4,898± SQUARE FEET, OR 0.1 ACRES

PLAN REFERENCES

1. CONDOMINIUM PLAT ON DANFORTH STREET AND MAY STREET IN PORTLAND, CUMBERLAND COUNTY, MAINE, DATED MARCH 2, 2000 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 200, PAGE 224.
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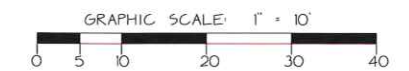
REVISION NO. DATE REVISION PURPOSE

REVISION NO.	DATE	REVISION PURPOSE

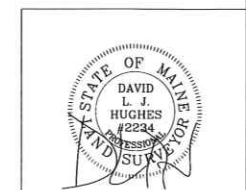


SURVEYOR'S STATEMENT

THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY AND TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE.

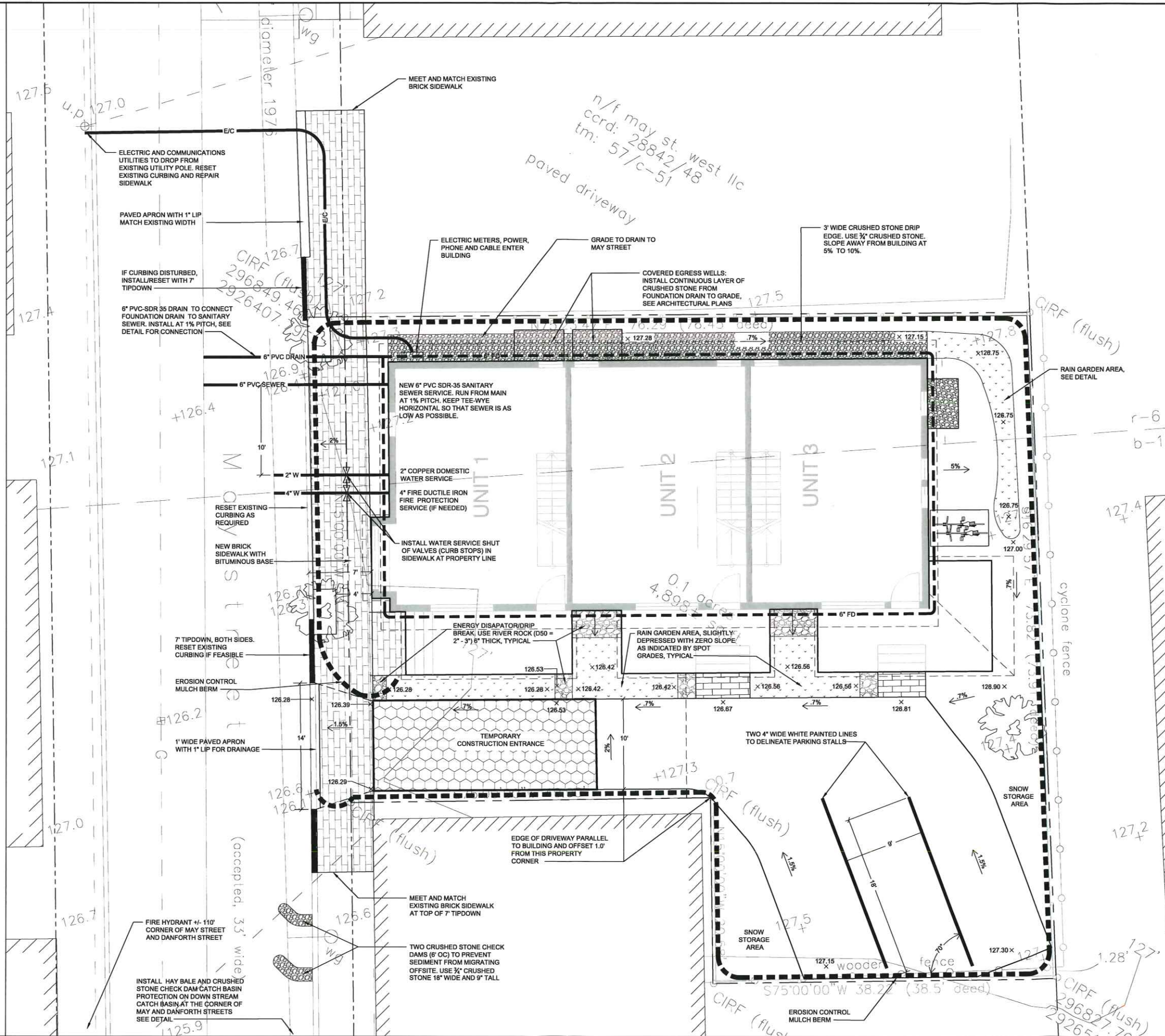


PLAN SHOWING SUBDIVISION OF LAND AT 7-9 MAY STREET, PORTLAND, MAINE
MADE FOR OWNER OF RECORD
MAY STREET 7-9, LLC
MAILING ADDRESS: 6 POND RIDGE LANE, NORWALK, CT 06853
LIVINGSTON-HUGHES PROFESSIONAL LAND SURVEYING CORPORATION
88 GUINEA ROAD, KENNEBUNKPORT, MAINE 04046



NOTES

1. THE CITY OF PORTLAND REQUIRES A PRECONSTRUCTION MEETING BEFORE SITE WORK CAN BEGIN.
2. INSTALL EROSION AND SEDIMENTATION CONTROL MULCH BERM ALONG ALL DOWN GRADIENT BOUNDARIES OF THE SITE BEFORE ANY SOIL DISTURBANCE.
3. THE MULCH BERM IS DESIGNED TO HANDLE DISBURSED SURFACE WATER FLOW ONLY AND NOT CONCENTRATED FLOWS.
4. ALL WORK IN THE RIGHT OF WAY SHALL MEET THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES IN THE FIELD AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
6. UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER.
7. ALL UTILITY INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND, AS WELL AS ANY OTHER LOCAL, STATE, AND FEDERAL REQUIREMENTS.
8. SITE CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND DETAILS.
9. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED IN THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES, AND MAINTAINED THROUGHOUT CONSTRUCTION OF THIS PROJECT.
10. ALL AREAS DISTURBED BY CONSTRUCTION NOT TO BE PAVED OR OTHERWISE TREATED SHALL BE LOAMED AND SEEDING ACCORDING TO THE PROJECT SPECIFICATIONS.

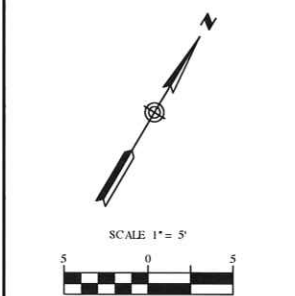


Project:
 7-9 May Street
 Portland, Maine

Prepared for:

KAPLAN THOMPSON ARCHITECTS
 424 Fore St., Portland, ME 04101
 207-842-2888 fax: 842-2828
 jesse@kaplanthompson.com

RANSOM Consulting, Inc.
 400 Commercial Street, Suite 404,
 Portland, Maine 04101
 Tel: (207) 773-2891
 Fax: (207) 773-3248
 www.ransomenv.com



ISSUED FOR PERMITTING ONLY

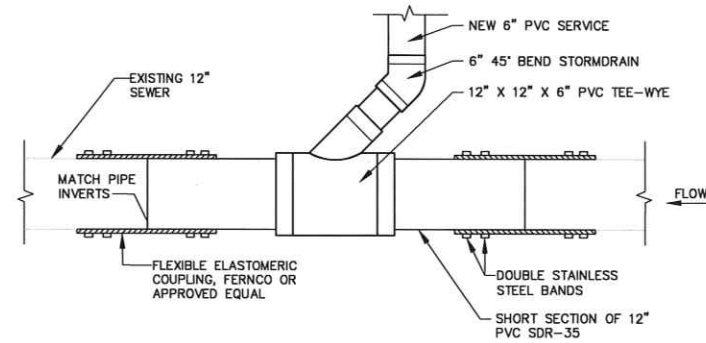


Drainage & Utility Plan

No.	Revision/Issue	Date
A	City Permitting	2-19-15
A	City Permitting	2-9-15

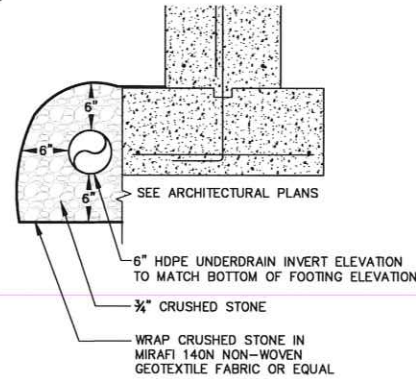
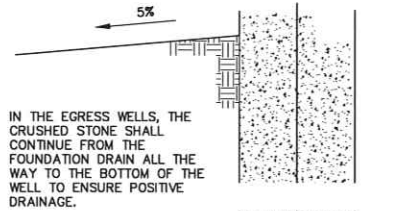
Design by:	JIM	Checked by:	SJB
Drawn by:	JIM	Approved by:	SJB

Project:	151.06001
Sheet No:	C1

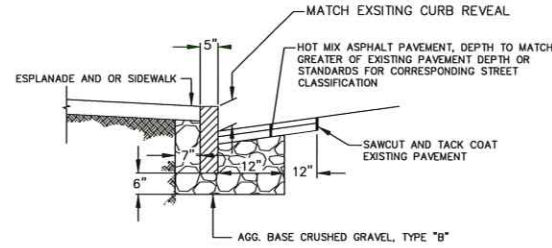


1. If the existing sewer is PVC then the connection shall be made using bell and spigot joints, NOT Ferncos.
2. All damaged piping shall be removed by saw cutting or removing an entire segment of pipe and replaced with new PVC. Contractor shall remove clay bell(s) (by saw cutting) to facilitate Fernco installation. Saw cuts shall be square so that joints between new and existing pipes do not have gaps.
3. Contractor is responsible for maintaining sewer flows while making the new sewer service and drain connections. If required, bypass pumping shall be coordinated with the City. Contractor shall provide the City 24 hours notice.
4. Bypass pumping may be required and shall be coordinated with the City.

**CONNECTION TO SANITARY SEWER
(USE FOR SEWER SERVICE AND FOUNDATION DRAIN)**



**FOOTING DRAIN DETAIL
NOT TO SCALE**

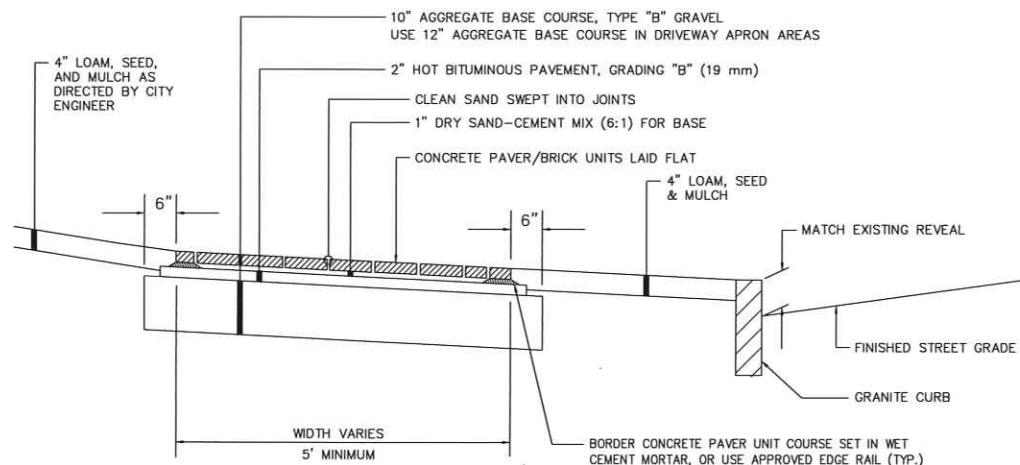


VERTICAL GRANITE CURB CROSS SECTION

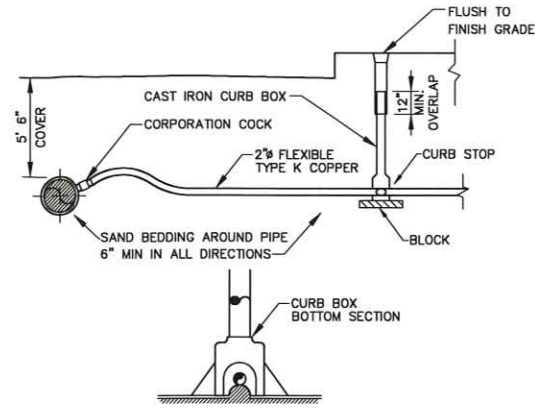
**VERTICAL GRANITE CURB
INSTALLATION IN EXISTING STREETS
NOT TO SCALE**

CONCRETE UNIT PAVERS AND BRICKS:

BRICKS SHALL BE: Bricks shall be of standard size (2-1/4" x 4" x 8"). Bricks shall be Pine Hall Pathway Paver Brick as manufactured by Pine Hall Brick Co., Madison, North Carolina. Specification number: 4"X8"; LaChance item # 193623, Pine Hall Pathway Paver Brick. Prior to ordering the brick, samples shall be submitted in whole straps to show color range. All base courses and joints shall conform to the applicable subsections of Division 700 of the Standard Specifications

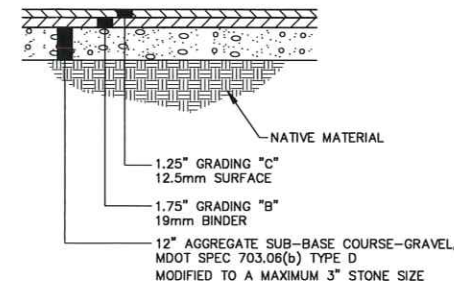


**CONCRETE UNIT PAVER AND BRICK SIDEWALK WITH BITUMINOUS BASE
NOT TO SCALE**

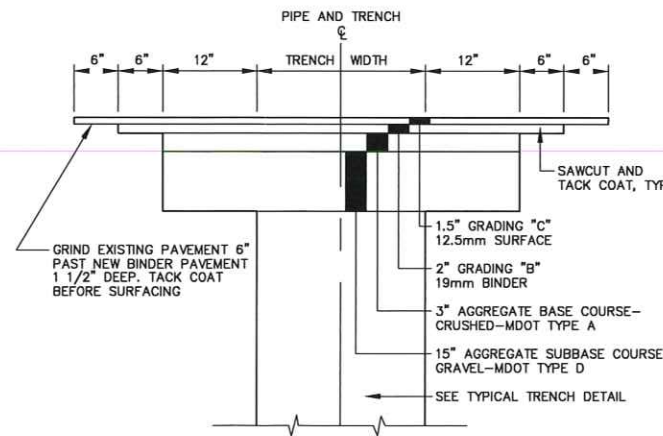


ALL MATERIALS AND WORKMANSHIP SHALL MEET PORTLAND WATER DISTRICT STANDARDS
CONTRACTOR TO COORDINATE WITH PDW FOR SERVICE TAP

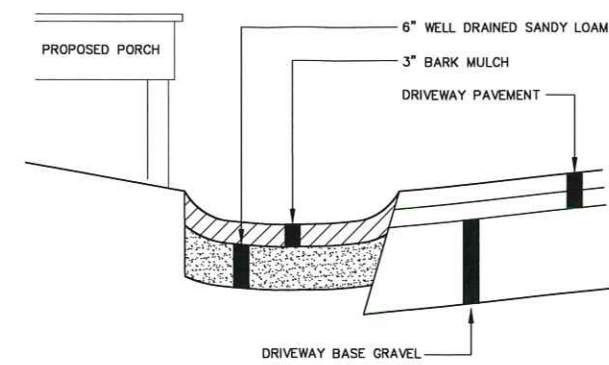
**TYPICAL COPPER DOMESTIC SERVICE DETAIL
NOT TO SCALE**



**TYPICAL DRIVEWAY CONSTRUCTION
OUTSIDE OF RIGHT OF WAY
NOT TO SCALE**

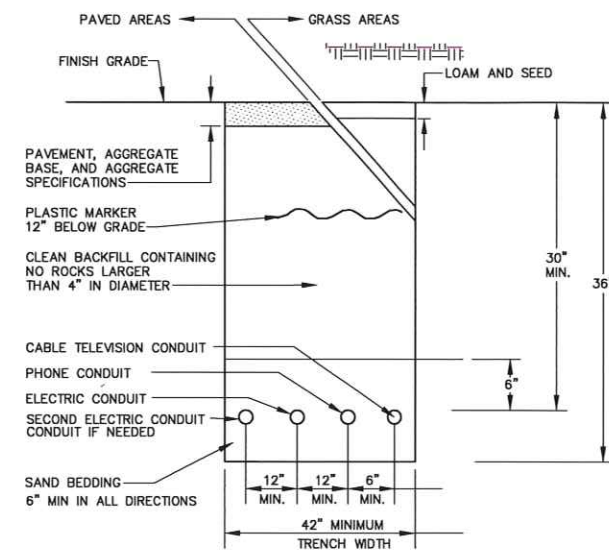


**TYPICAL TRENCH PAVING DETAIL
NOT TO SCALE**

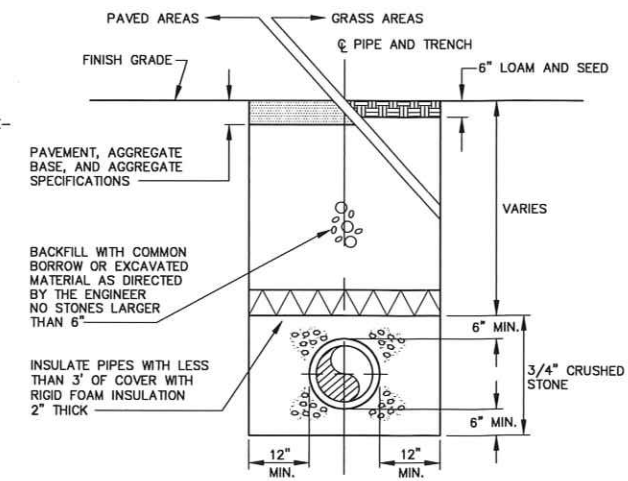


1. ALL RAIN GARDEN AREAS TO USE 3" OF BARK MULCH AND 6" OF WELL DRAINED SANDY LOAM
2. SEE PLAN FOR GRADING

**RAIN GARDEN DETAIL
NOT TO SCALE**



**UNDERGROUND UTILITY TRENCH DETAIL
NOT TO SCALE**



**TYPICAL TRENCH - STORMDRAIN & SEWER
NOT TO SCALE**

7-9 May Street

7-9 May Street
Portland, Maine

Prepared for:

KAPLAN THOMPSON
ARCHITECTS
424 Fore St., Portland, ME 04101
207-842-2888 fax 842-2828
jesse@kaplonthompson.com

RANSOM
Consulting, Inc.

400 Commercial Street, Suite 404,
Portland, Maine 04101
Tel (207) 773-2891
Fax (207) 773-3248
www.ransominc.com

**ISSUED FOR
PERMITTING ONLY**



Civil Details

A City Permitting 2-19-15

No. Revision/Issue Date

Design by: JIM Checked by: SJB
Drawn by: JIM Approved by: SJB

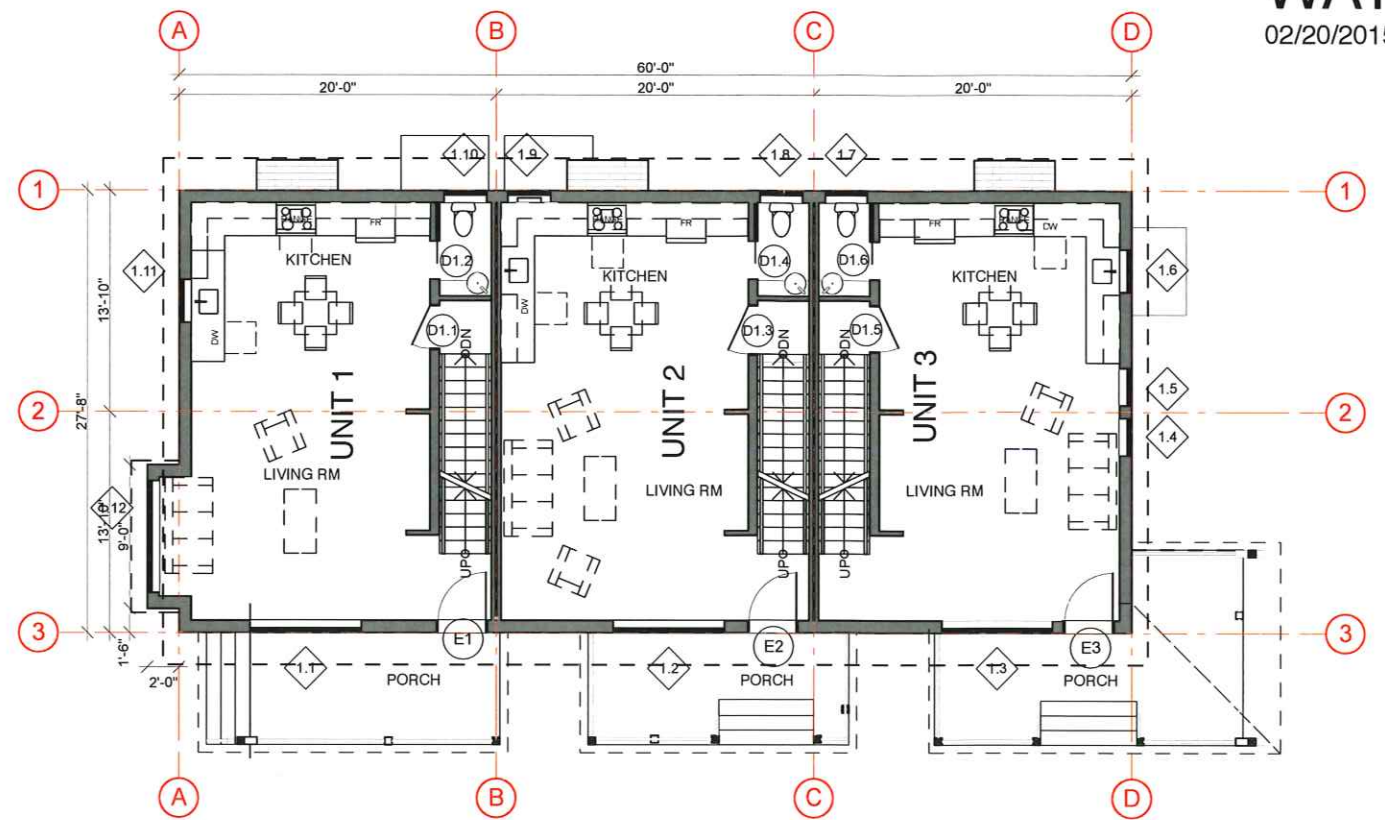
Project: 131.06132

Sheet No:

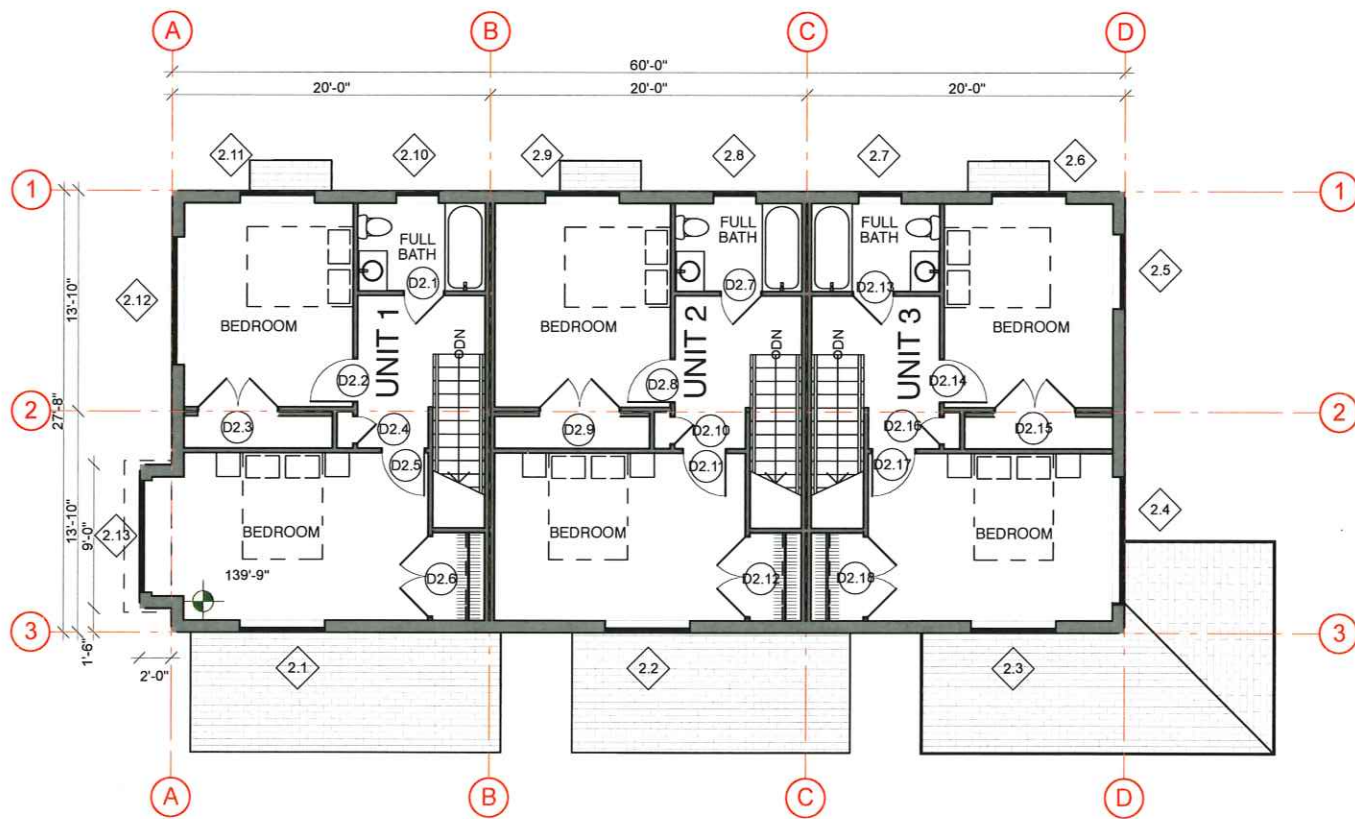
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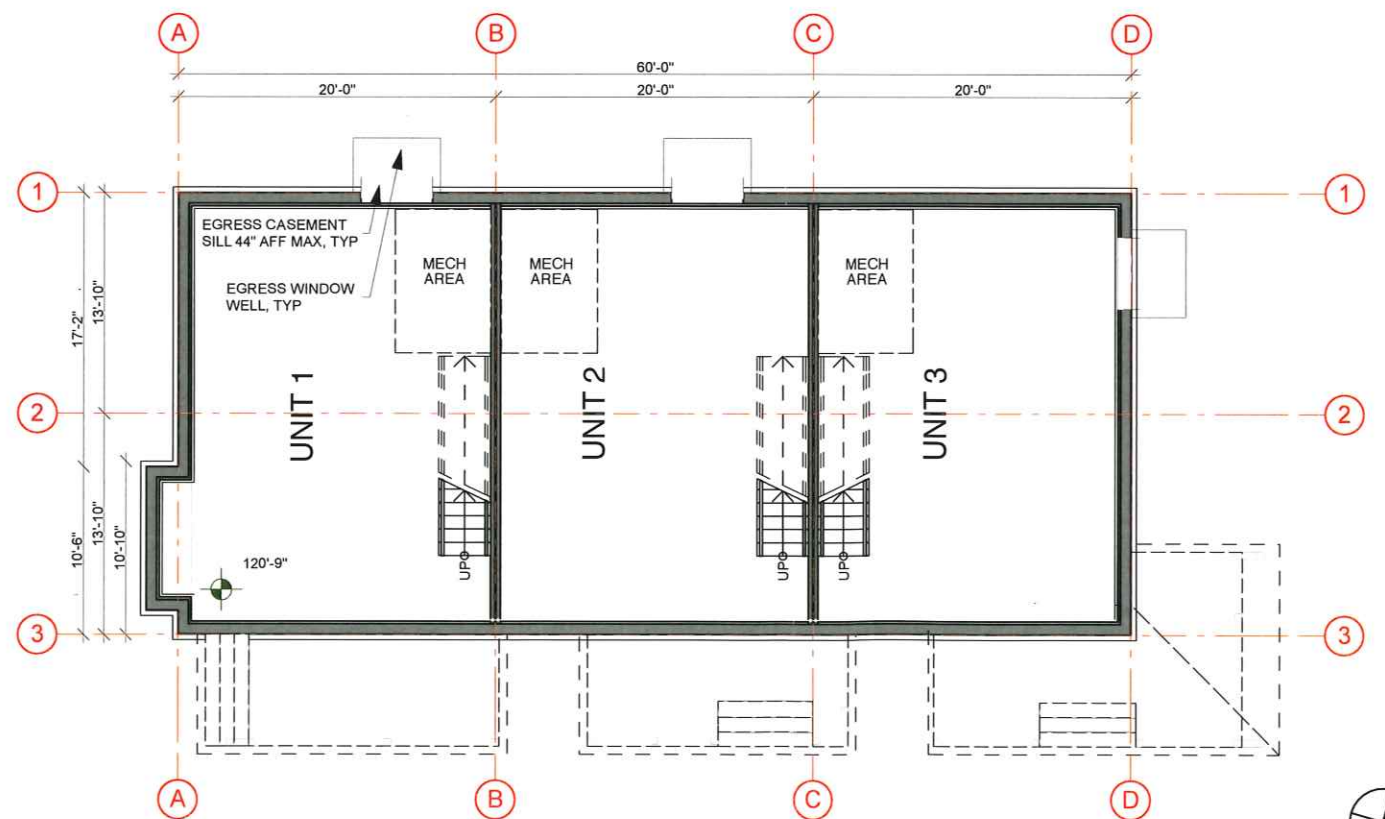
4 ROOF
SCALE: 3/16" = 1'-0"



2 LOWER LEVEL
SCALE: 3/16" = 1'-0"



3 UPPER LEVEL
SCALE: 3/16" = 1'-0"



1 BASEMENT
SCALE: 3/16" = 1'-0"



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424 FORE ST., PORTLAND, ME 04101
207-842-2888 FAX: 842-2828
jesse@kaplanthompson.com



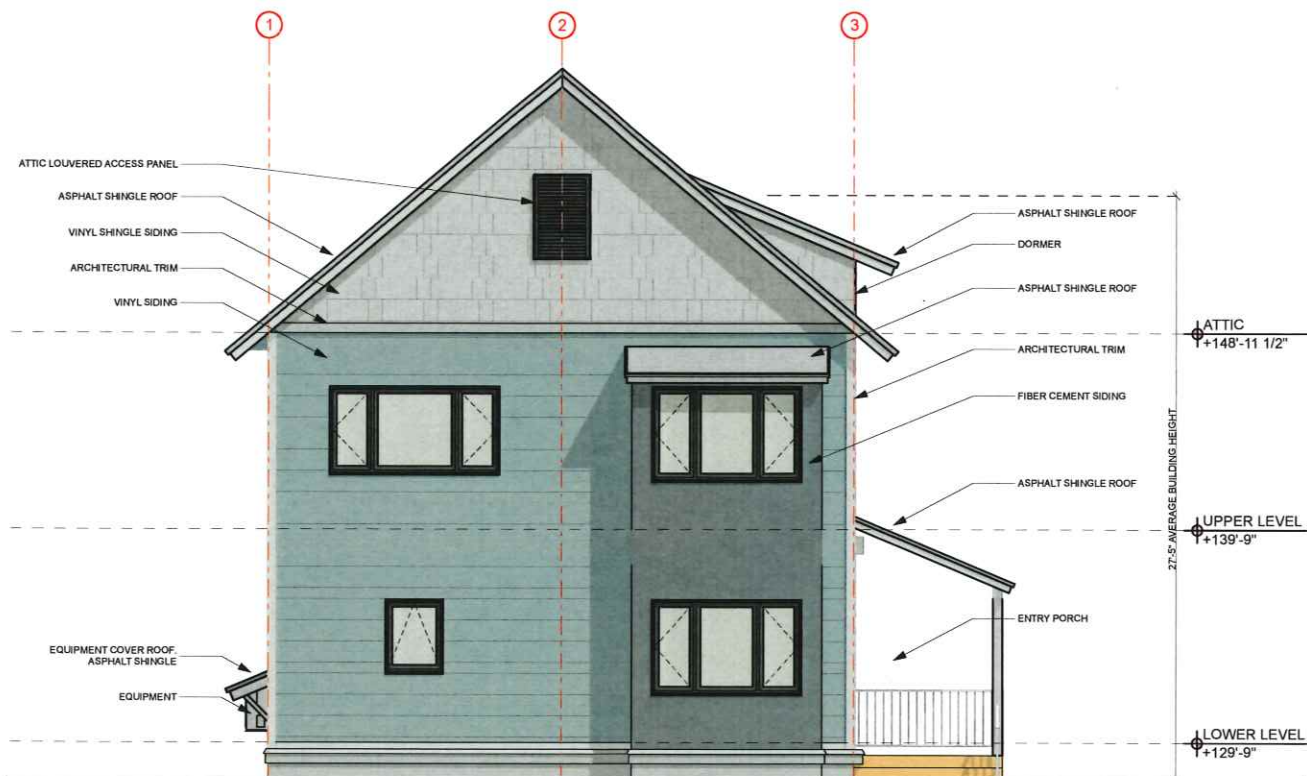
RANSOM Consulting, Inc.
100 Commercial Street, Suite 101,
Portland, Maine 04101
Tel: (207) 773-3804
Fax: (207) 773-3948
www.ransominc.com

NOT FOR CONSTRUCTION
LEVEL III SITE PLAN

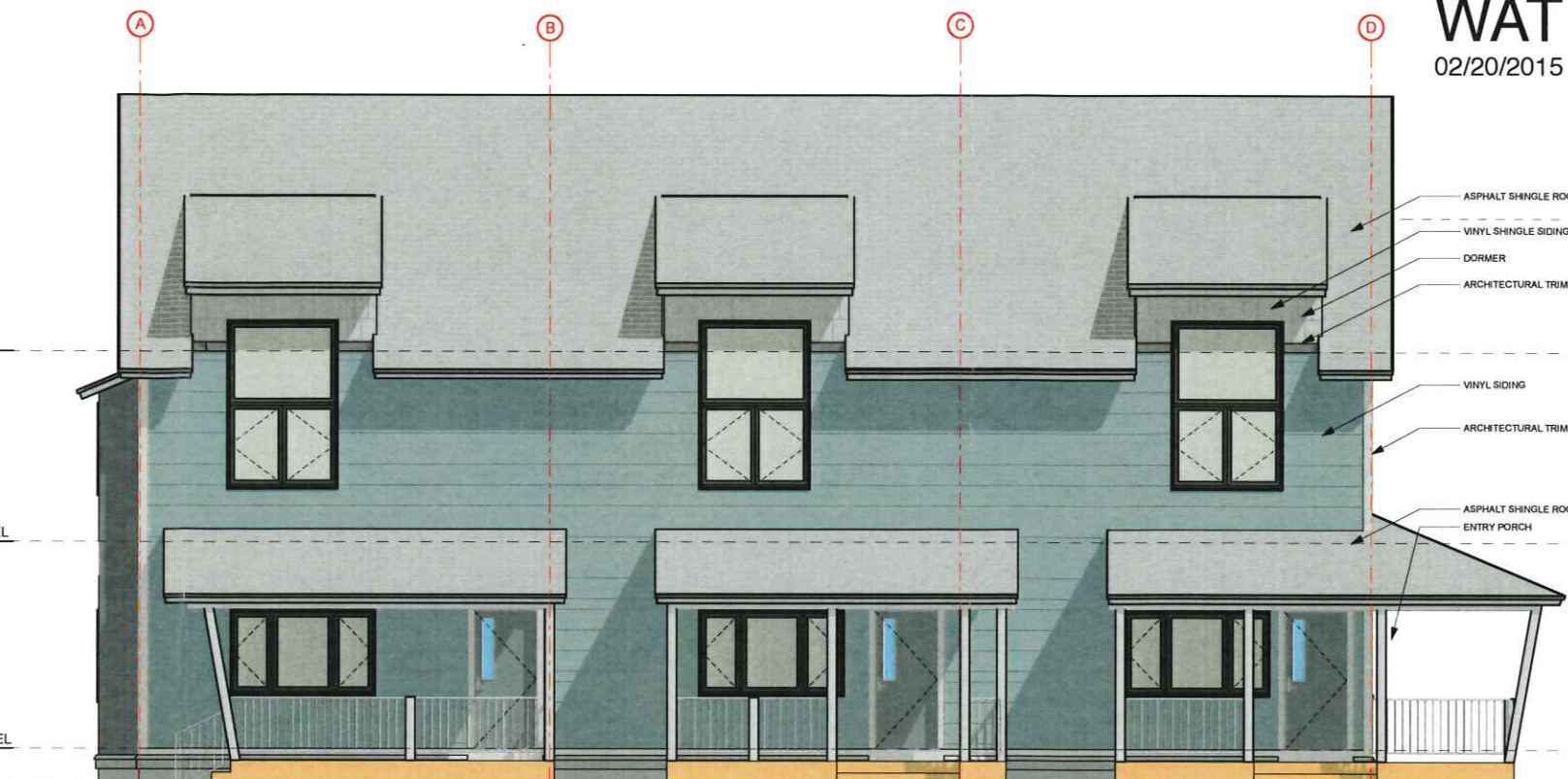
PROJECT:
7-9 MAY STREET
ALEX WATERS
7-9 MAY STREET
PORTLAND, MAINE

DRAWING: PLANS
SCALE: 1/4" = 1'-0"
DATE: FEBRUARY 20, 2015
DRAWN BY: CA
REVISED:

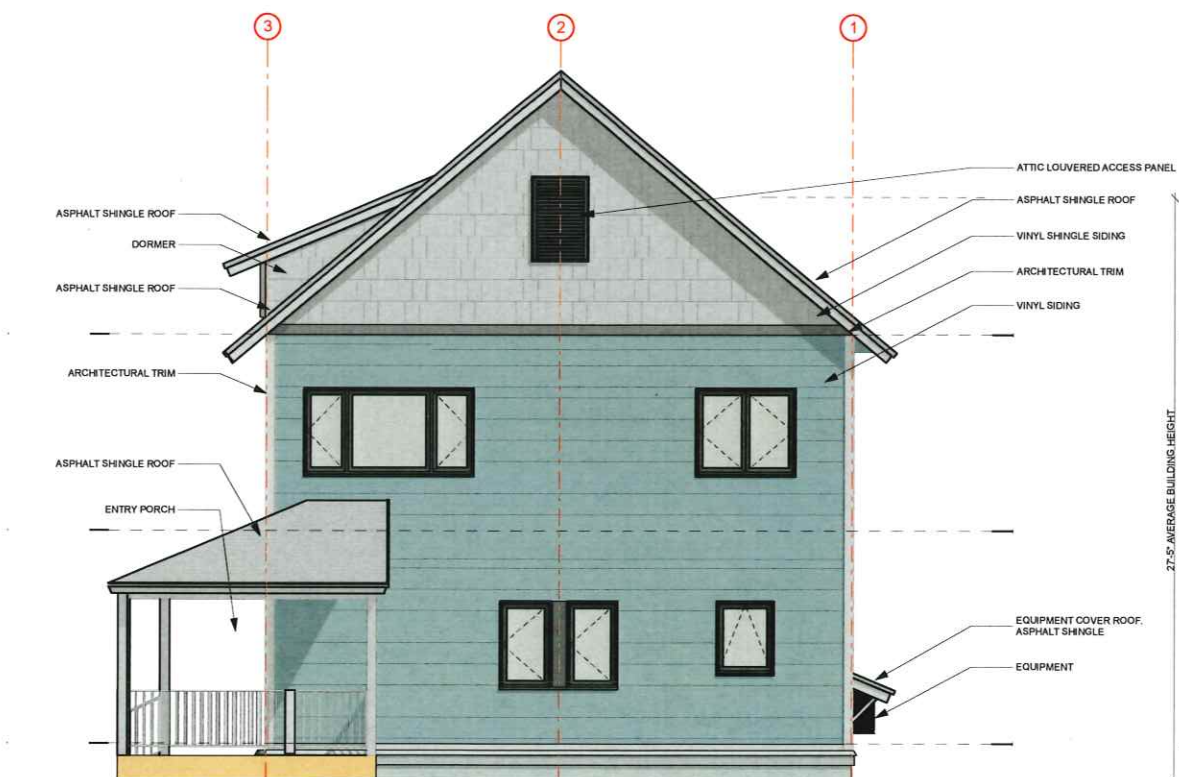
A-1.1



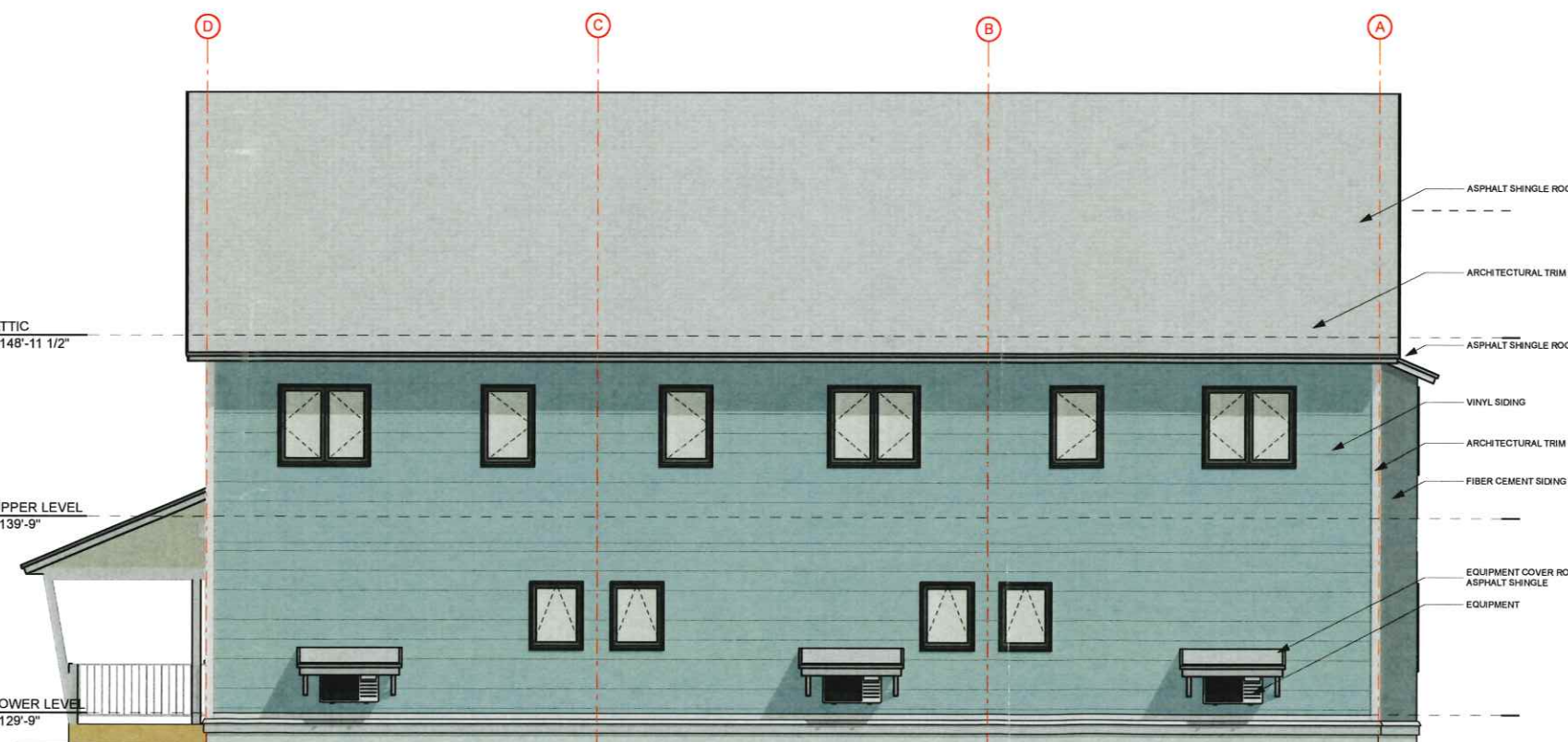
4 SW ELEVATION: MAY ST
SCALE: 1/4" = 1'-0"



3 SE ELEVATION: ENTRY
SCALE: 1/4" = 1'-0"



2 NE ELEVATION: REAR
SCALE: 1/4" = 1'-0"



1 NW ELEVATION
SCALE: 1/4" = 1'-0"

