

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that EDITH VONNEGUT SQUIBB

Located At 282 SPRING ST

Job ID: 2011-09-2214-ALTR

CBL: 056-1-008-001

has permission to Remove wall to porch to expand kitchen, add new windows, new framing, roof extension and landing/stairs provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] 10/7/11
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-09-2214-ALTR	Date Applied: 9/12/2011	CBL: 056 - - I - 008 - 001 - - - - -	
Location of Construction: 282 SPRING ST	Owner Name: EDITH VONNEGUT SQUIBB	Owner Address: 282 SPRING ST PORTLAND, ME 04102 ME	Phone: 508-246-1133
Business Name:	Contractor Name: Owner	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building - Alterations	Zone: R-6
Past Use: Single family	Proposed Use: Same - single family - remove wall to porch to expand kitchen <i>replace windows in porch & rebuild steps & landing</i>	Cost of Work: 8000.00	CEO District:
Proposed Project Description: Remove Wall to porch to expand Kitchen		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC-2009</i> Signature: <i>[Signature]</i> <i>10/7/11</i>
Permit Taken By:		Pedestrian Activities District (P.A.D.)	

Zoning Approval

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <i>all mark</i> <input type="checkbox"/> Flood Zone <i>with existing footprint</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/conditions 9/15/11 ASB</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <i>as per previous H.P. review</i> <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/16/11 10/5/11 site visit JMB rec D.A.</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/ Setbacks
 2. Close-In: (Electrical, Plumbing, Framing)
 3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUOPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-09-2214-ALTR

Located At: 282 SPRING ST

CBL: 056- I-008-001

Conditions of Approval:

Zoning:

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
4. This permit is being issued with the condition that all the work is taking place within the existing footprint. The existing porch was enclosed in 1969 – permit #191, including the landing and steps which will also be replaced.

Building:

1. Application approval based upon information provided by applicant, including revisions as dated. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. A photoelectric Carbon Monoxide (CO) detector shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
4. Hardwired photoelectric interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arrangement and access for hardwiring, for compliance with the City's minimal code requirements.

R-6, historic



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>282 Spring St. Portland. 04102</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>5008</u> Block# <u>I</u> Lot# <u>8</u> <u>56</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Edith Vonnegot Squibb</u> Address <u>282 Spring St</u> City, State & Zip <u>Portland, ME, 04102</u>	Telephone: <u>508-246-1133</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>7500.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>100</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units _____ If vacant, what was the previous user? <u>single family</u> Proposed Specific use: <u>single family</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>remove wall to porch to expand kitchen</u>		
Contractor's name: <u>John Squibb</u> Address: <u>282 Spring St</u> City, State & Zip <u>Portland, ME, 04102</u> Telephone: <u>508-246-1133</u> Who should we contact when the permit is ready: <u>Edith V. Squibb</u> Telephone: _____ Mailing address: <u>282 Spring St. Portland ME, 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

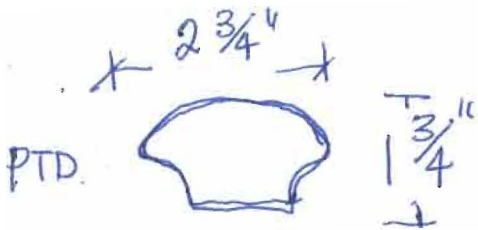
Signature: Edith Vonnegot Squibb

Date: Sept 12, 2011

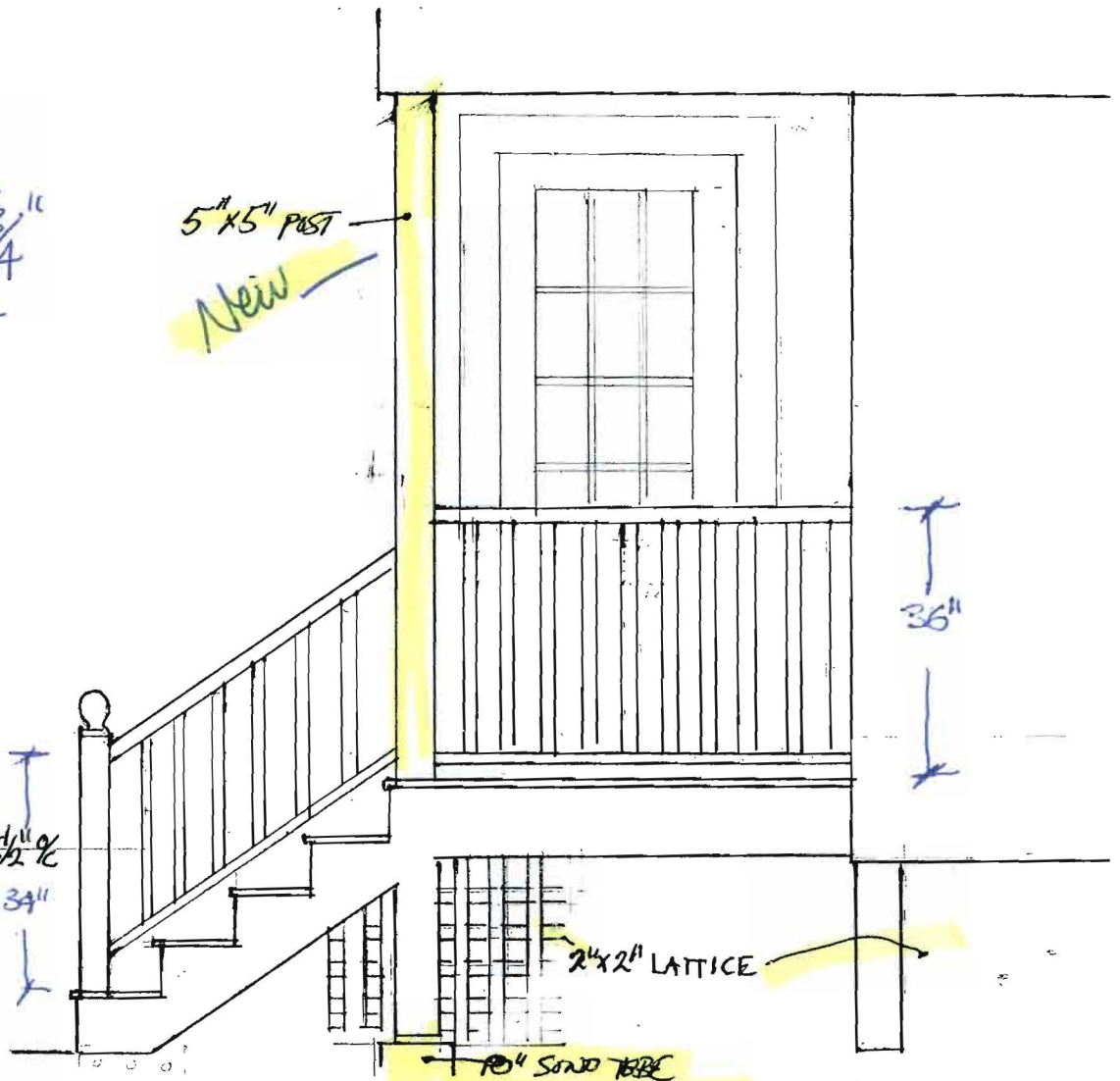
RECEIVED

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND MAINE

This is not a permit; you may not commence ANY work until the permit is issued



5" x 5" POST
New



1 1/2" x 1 1/2" BALUSTERS 5 1/2" o/c
34"

2" x 2" LATTICE

10" SAND TUBE

10" net 1" nose

11" TREADS
7" RISERS
OVER 4 2x10" STRINGERS
16" o/c

4" x 4" POST

LANDING 1" x 4" MAHOGANY
OVER 2x8" PTL 16" o/c

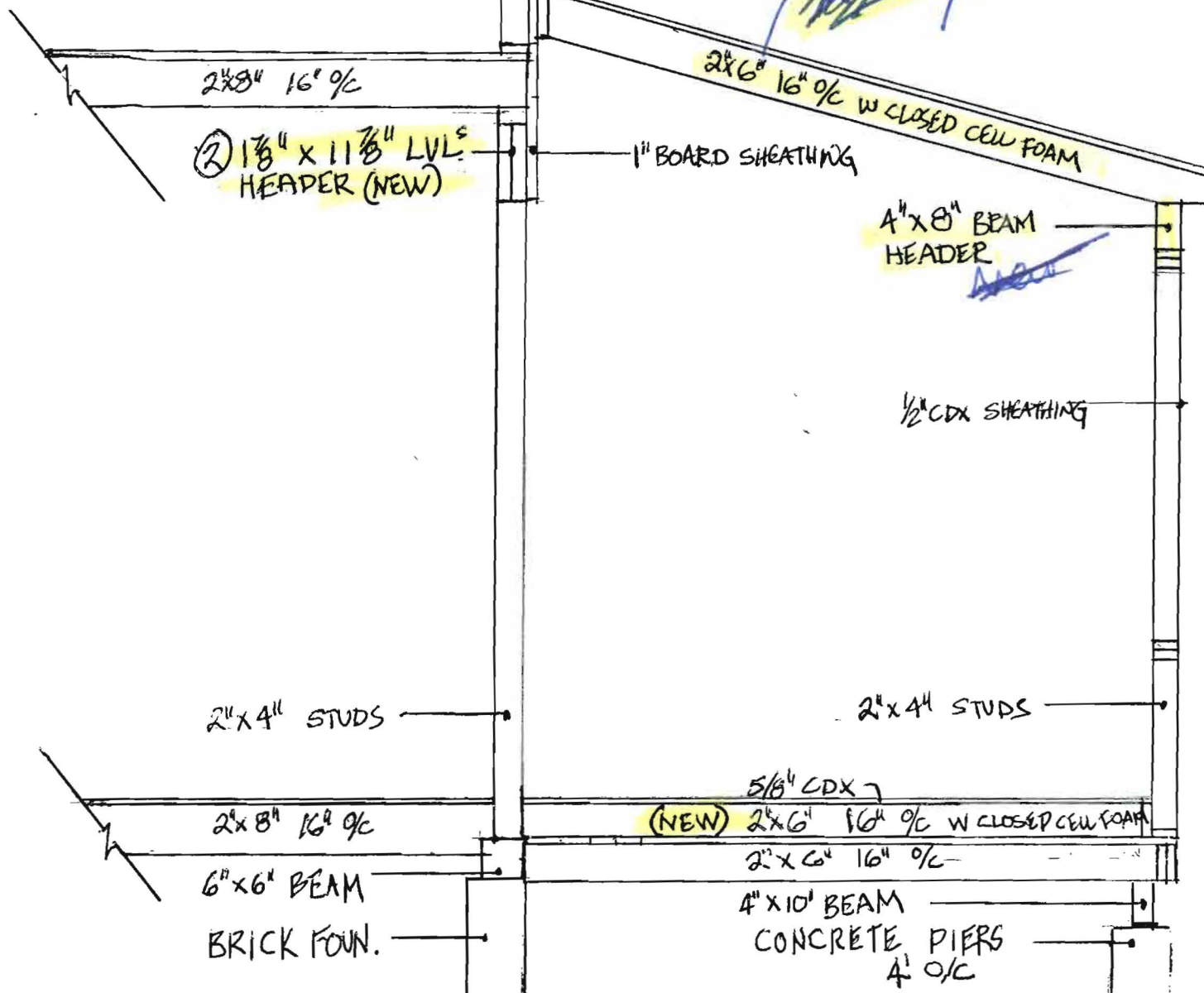
RAILING TO CODE

282 SPRING ST BACK STAIRS
RAISE EXISTING LANDING 6" & ADD NEW TREAD.

RECEIVED
SEP 23 2011
Dept. of Building Inspections
City of Portland Maine

2x8 RAKERS

WALL SECTION AT A SHOWING EXISTING FRAMING



2x8 16" o/c

② 1 7/8" x 11 7/8" LVL
HEADER (NEW)

1" BOARD SHEATHING

2x6 16" o/c w CLOSED CELL FOAM

4" x 8" BEAM
HEADER

1/2" CDX SHEATHING

2" x 4" STUDS

2" x 4" STUDS

2" x 8" 16" o/c

(NEW) 2x6 16" o/c w CLOSED CELL FOAM

6" x 6" BEAM

BRICK FOUN.

2" x 6" 16" o/c

4" x 10" BEAM
CONCRETE PIERS
4" o/c

~~NO~~

RECEIVED

SEP 15 2011

Dept. of Building Inspections
City of Portland Maine

WARRANTY DEED
(Maine Statutory Short Form)

KNOW ALL PERSONS BY THESE PRESENTS, that I, Thomas O. Santarelli de Brasch, of Portland, County of Cumberland, State of Maine, for consideration paid, GRANT to Edith Vonnegut Squibb, of Barnstable, County of Barnstable and Commonwealth of Massachusetts, whose mailing address is 9 Scuddes Lane, Barnstable MA., with **WARRANTY COVENANTS**, the land with buildings thereon in Portland, County of Cumberland and the State of Maine, described as follows:

A certain lot or parcel of land, with the buildings thereon, situated on the southerly side of Spring Street in said Portland and bounded and described as follows:

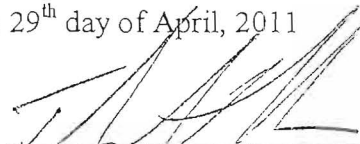
Beginning on the southerly line of said street at the easterly corner of a lot of land conveyed by Elias Thomas to Abner G. Green; thence running southerly by said Green's land one hundred twelve (112) feet, more or less, to land formerly owned by Judge Emery; thence easterly by said Emery's land forty (40) feet; thence northerly one hundred twelve (112) feet, more or less, to Spring Street; thence westerly by said Spring Street forty (40) feet to the point of beginning.

Meaning and intending to convey the same premises described by virtue of deed from Steven L. Wright, Jr. and Thomas O. Santarelli de Brasch, dated January 8, 1999 and recorded in Book 14473, Page 211

Witness my hand and seal this 29th day of April, 2011



Witness



Thomas O. Santarelli de Brasch

STATE OF MAINE
COUNTY OF CUMBERLAND, SS

April 29, 2011

Then personally appeared before me the above- named Thomas O. Santarelli de Brasch and acknowledged the foregoing instrument to be his free act and deed.

Before me,



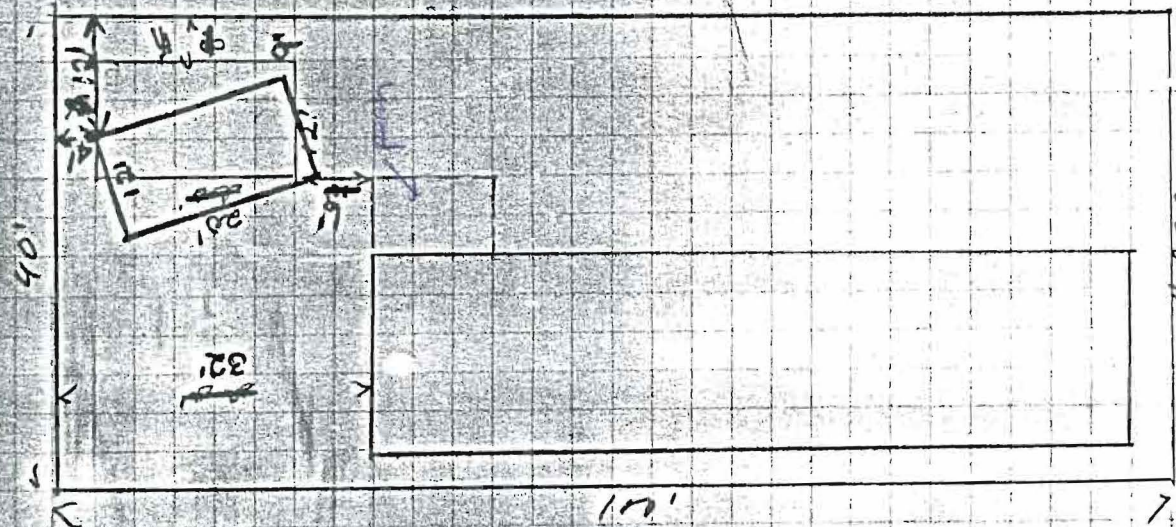
Notary Public/ Attorney at Law

CHARLES C. WHIDDEN
Notary Public, Maine
My Commission Expires March 21, 2015.

Dept. of Building Inspections
City of Portland Maine

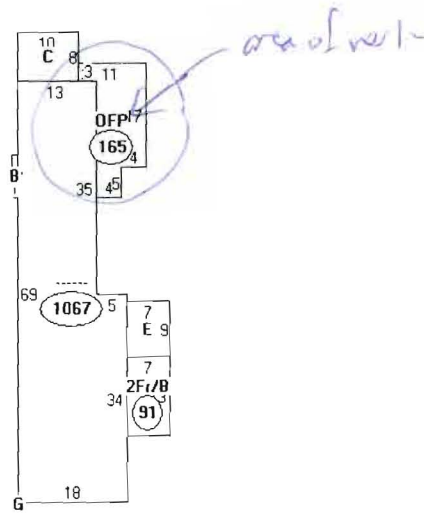
SEP 15 2011

RECEIVED



2829
Shirley St

RECEIVED
 APR 27 1988
 DEPT. OF BUILDING
 CITY OF PORTLAND



Descriptor/Area

- A
1067 sqft
- B FBAY
7 sqft
- C: 2Fr/B
80 sqft
- D: OFP
165 sqft
- E: 1Fr/B
63 sqft
- F: 2Fr/B
91 sqft
- G: RG1
240 sqft

RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

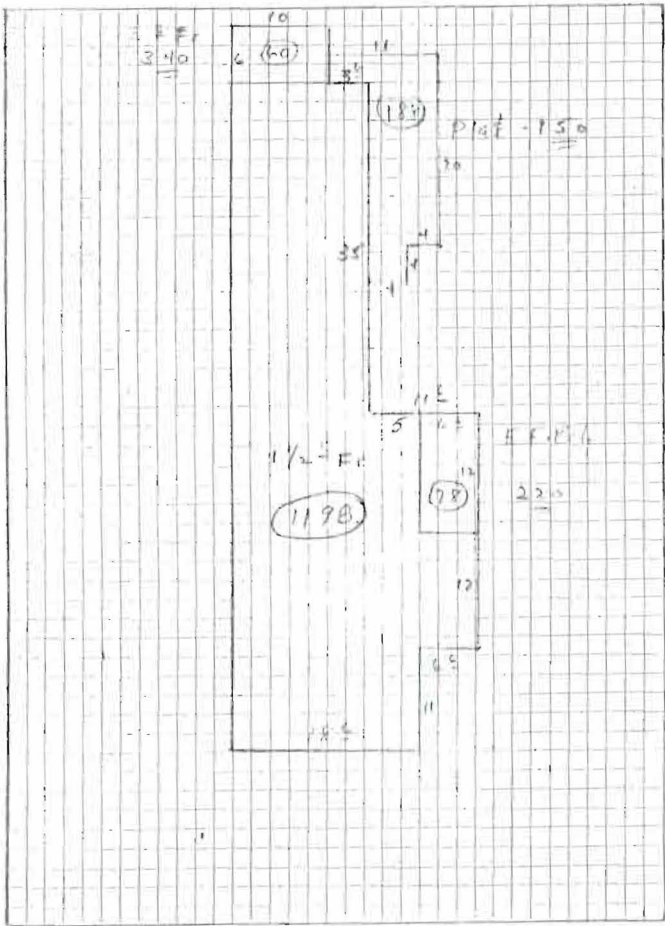
YEAR 19

YEAR 19

*supplement of Playground in front
4/1/15-204-Rep. CB / X toward N.W. 1/2*

CONSTRUCTION			
FOUNDATION	FLOOR CONST.	PLUMBING	
CONCRETE	WOOD JOIST <input checked="" type="checkbox"/>	BATHROOM 2 <input checked="" type="checkbox"/>	
CONCRETE BLOCK	STEEL JOIST	TOILET ROOM	
BRICK OR STONE <input checked="" type="checkbox"/>	MILL TYPE	WATER CLOSET	
PIERS	REIN. CONCRETE	LAVATORY	
CELLAR AREA FULL <input checked="" type="checkbox"/>	FLOOR FINISH		
1/4 3/4 3/4	B 1 2 3	KITCHEN SINK 1 <input checked="" type="checkbox"/>	
NO. CELLAR	CEMENT <input checked="" type="checkbox"/>	STD. WAT. HEAT <input checked="" type="checkbox"/>	
EXTERIOR WALLS	EARTH	AUTO. WAT. HEAT	
CLAPBOARDS	PINE <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	ELECT. WAT. SYST.	
WIDE SIDING	HARDWOOD <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	LAUNDRY TUBS	
DECK SIDING	TERRAZZO	NO PLUMBING	
NO SHEATHING	TILE	TILING	
WOOD SHINGLES	ATTIC FLR. & STAIRS		
ASBES. SHINGLES	INTERIOR FINISH		
STUCCO ON FRAME	B 1 2 3	BATH FL. & WCOT.	
STUCCO ON TILE	PINE <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	TOILET FL. & WCOT.	
BRICK VENEER	HARDWOOD	LIGHTING	
BRICK ON TILE	PLASTER <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	ELECTRIC <input checked="" type="checkbox"/>	
SOLID BRICK	UNFINISHED	NO LIGHTING	
STONE VENEER	METAL CLS.	NO. OF ROOMS	
CONC. OR CHD. B.	RECREAT. ROOM		
Asph. Shing <input checked="" type="checkbox"/>	FINISHED ATTIC		
TERRA COTTA	FIREPLACE <input checked="" type="checkbox"/>		
VITROLIFE	HEATING		
PLATE GLASS	PIPELESS FURNACE	OFFICES	
INSULATION	HOT AIR FURNACE <input checked="" type="checkbox"/>	WAREHOUSE	
WEATHERSTRIP	FORCED AIR FURN.	COMM. GARAGE	
ROOFING	STEAM	GAS STATION	
ASPH. SHINGLES <input checked="" type="checkbox"/>	HOT WAT. OR VAPOR	ECONOMIC CLASS	
WOOD SHINGLES	NO HEATING	OVER BUILT	
ASBES. SHINGLES	GAS BURNER <input checked="" type="checkbox"/>		
SLATE TILE	OIL BURNER <input checked="" type="checkbox"/>		
METAL	STOKER		
COMPOSITION	NO HEATING		
ROLL ROOFING	GAS BURNER <input checked="" type="checkbox"/>		
INSULATION	OIL BURNER <input checked="" type="checkbox"/>		

COMPUTATIONS			
UNIT	1951		
1198 s. f.	5200		
ADDITIONS	+710		
BASEMENT			
WALLS 1/2	+260		
ROOF			
FLOORS			
ATTIC			
FINISH			
FIREPLACE	+100		
HEATING	-280		
PLUMBING	+240		
TILING			
TOTAL	6480		
FACT			
REP. VAL.	6480		



SUMMARY OF BUILDINGS											
OCC Y	TYPE	GR.	AGE	REMOCD.	COND.	REP. VAL.	P. D.	INT. VAL.	F. S.	SOUND VAL.	TAX VAL.
Dwng	A 1 1/2 1/2	C	85		F	6481	55%	2920	107 1/2	2634	2575 5
GAR.	B FS. 12220	C	12		F	50	33%	190	-B	190	125 1
C											
D											
E											
F											
G											
						1951 TOTAL BLDGS.				2920 11700	
YEAR	1951										
TAX VAL	1700										
CLD VAL											
CHANGE											



B6 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Me., March 17, 1969

PERMIT ISSUED
MAR 18 1969
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 282 Spring Street Within Fire Limits? _____ Dist. No. _____
Owner's name and address Margy McDonough, 282 Spring Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Repman, Inc., 225 Middle St., Ralmouth Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building Dwelling No. families 1
Last use _____ " _____ No. families 1
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 1100. Fee \$ 6.00

General Description of New Work

To enclose existing side porch
To construct new floor and foundation

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractors

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? yes
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation 9" Sonotubes at least 4' below grade Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind hemlock; Dressed or full size? dressed Corner posts _____ Sills 4x6
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x8, 2nd _____, 3rd _____, roof existing
On centers: 1st floor 16", 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor 10', 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

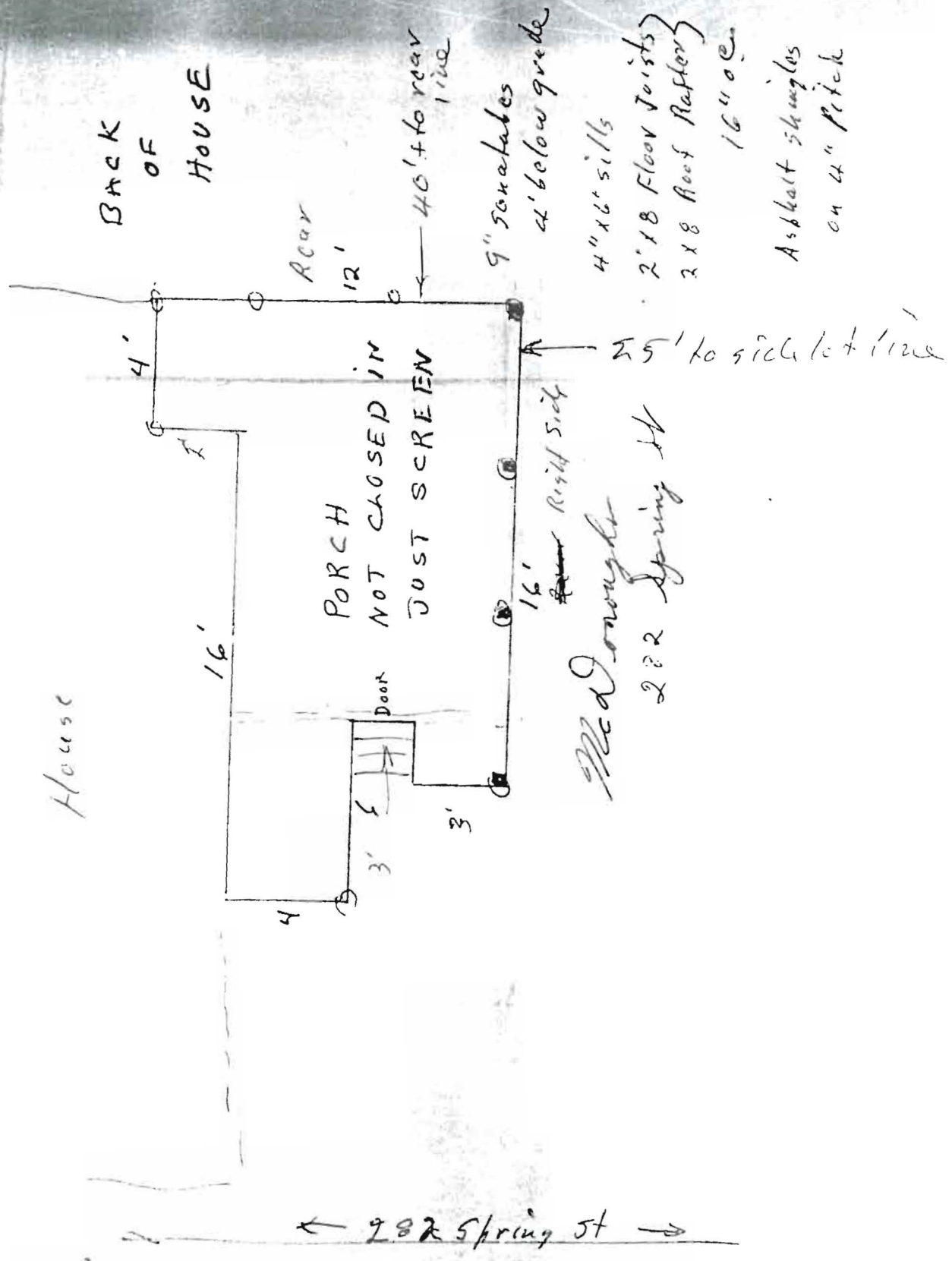
No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

B.K. E.R.R. 3/17/69

Miscellaneous

Will work require disturbing of any tree on a public street? _____



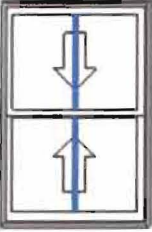
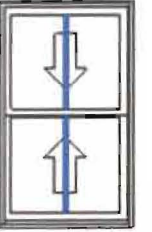
Rufus Deering Company
 383 Commercial Street
 Portland, ME 04104
 Phone: (207) 772-6505

QUOTE BY: scook
SOLD TO: Edith & John Squibb

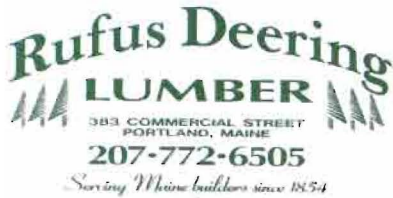
QUOTE #: J56900336
SHIP TO:

PO#:

PROJECT NAME: Home
REFERENCE:

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	UNIT PRICE	QTY	EXTENDED PRICE
Line- 1	Rough Opening: 40 X 59 1/2	Frame Size : 39 1/4 X 58 3/4 Sitrine EX Clad Double Hung, Brilliant White Exterior, Pine Primed Interior, Nail Fin (Standard), Vinyl DripCap, 4 9/16 Jamb, Standard Double Hung White Jambliner, White Hardware, BetterVue Mesh Brilliant White Screen, DP 35, Insulated Low-E Annealed Glass, Preserve Film, Argon Filled, 7/8" Putty SDL w/Perm Wood Brilliant White SDL, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top 1 High Btm, *Custom-Width*, *Custom-Height*, GlassThick=0.7095, U-Factor: 0.32, SHGC: 0.24, VLT: 0.45 PEV 2011.1.0.297/PDV 5.420 (03/15/11) NW	\$554.40	3	\$1,663.20
					
	Viewed from Exterior. Scale: 1/4" = 1'				
Line- 2	Rough Opening: 36 X 59 1/2	Frame Size : 35 1/4 X 58 3/4 Sitrine EX Clad Double Hung, Brilliant White Exterior, Pine Primed Interior, Nail Fin (Standard), Vinyl DripCap, 4 9/16 Jamb, Standard Double Hung White Jambliner, White Hardware, BetterVue Mesh Brilliant White Screen, DP 35, Insulated Low-E Annealed Glass, Preserve Film, Argon Filled, 7/8" Putty SDL w/Perm Wood Brilliant White SDL, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top 1 High Btm, *Custom-Width*, *Custom-Height*, GlassThick=0.7095, U-Factor: 0.32, SHGC: 0.24, VLT: 0.45 PEV 2011.1.0.297/PDV 5.420 (03/15/11) NW	\$532.02	1	\$532.02
					
	Viewed from Exterior. Scale: 1/4" = 1'				

RECEIVED
 SEP 23 2011
 Dept. of Building Inspections
 City of Portland Maine



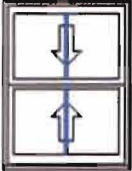
Rufus Deering Company
 383 Commercial Street
 Portland, ME 04104
 Phone: (207) 772-6505


QUOTE BY: scook
SOLD TO: JOHN SQUIBB EX

QUOTE #: J56900325
SHIP TO:

PO#:

PROJECT NAME: 282 SPRING STREET
REFERENCE:

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	UNIT PRICE	QTY	EXTENDED PRICE
Line- 1	Rough Opening: 34 1/8 X 44 3/4	EWD3344 Frame Size : 33 3/8 X 44 (Outside Casing Size: 39 X 48 5/8), Siteline EX Wood Double Hung, Primed Exterior, Brilliant White Sash, Pine Primed Interior, 3 1/2" Flat Casing, 2" Sill Nosing, Vinyl DripCap, 4 9/16 Jamb, Standard Double Hung Tan Jambliner, White Hardware, BetterVue Mesh Brilliant White Screen, DP 35, Insulated Low-E Annealed Glass, Preserve Film, Argon Filled, 7/8" Putty SDL w/Perm Wood Brilliant White SDL, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top 1 High Btm, GlassThick=0.7095, U-Factor: 0.31, SHGC: 0.24, VLT: 0.45 PEV 2011.1.0.297/PDV 5.420 (03/15/11) NW			
					
	Viewed from Exterior. Scale: 1/4" = 1'				
			\$386.61	1	\$386.61

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	UNIT PRICE	QTY	EXTENDED PRICE
Line- 2	Rough Opening:30 3/4 X 32	Frame Size : 30 X 31 1/4 (Outside Casing Size: 36 X 36 1/8), Siteline EX Wood Awning, Primed Exterior, Brilliant White Sash, Pine Primed Interior, 3 1/2" Flat Casing, 2" Sill Nosing, Vinyl DripCap, 4 9/16 Jamb, 4/4 Thick, Venting, Folding Handle, White Hardware, Concealed/Stainless Hardware, 2 Locks, DP 35, Insulated Low-E Annealed Glass, Preserve Film, Argon Filled, 7/8" Putty SDL w/Perm Wood Brilliant White SDL, Light Bronze Shadow Bar, Colonial 3 Wide 2 High BetterVue Mesh Brilliant White Screen, *Custom-Height*, GlassThick=0.7095, U-Factor: 0.31, SHGC: 0.23, VLT: 0.42 PEV 2011.1.0.297/PDV 5.420 (03/15/11) NW			
					
	Viewed from Exterior. Scale: 1/4" = 1'				
			\$468.81	1	\$468.81

Total: \$855.42
SALES TAX (5 %): \$42.77
NET TOTAL: \$898.19
Total Units: 2



2

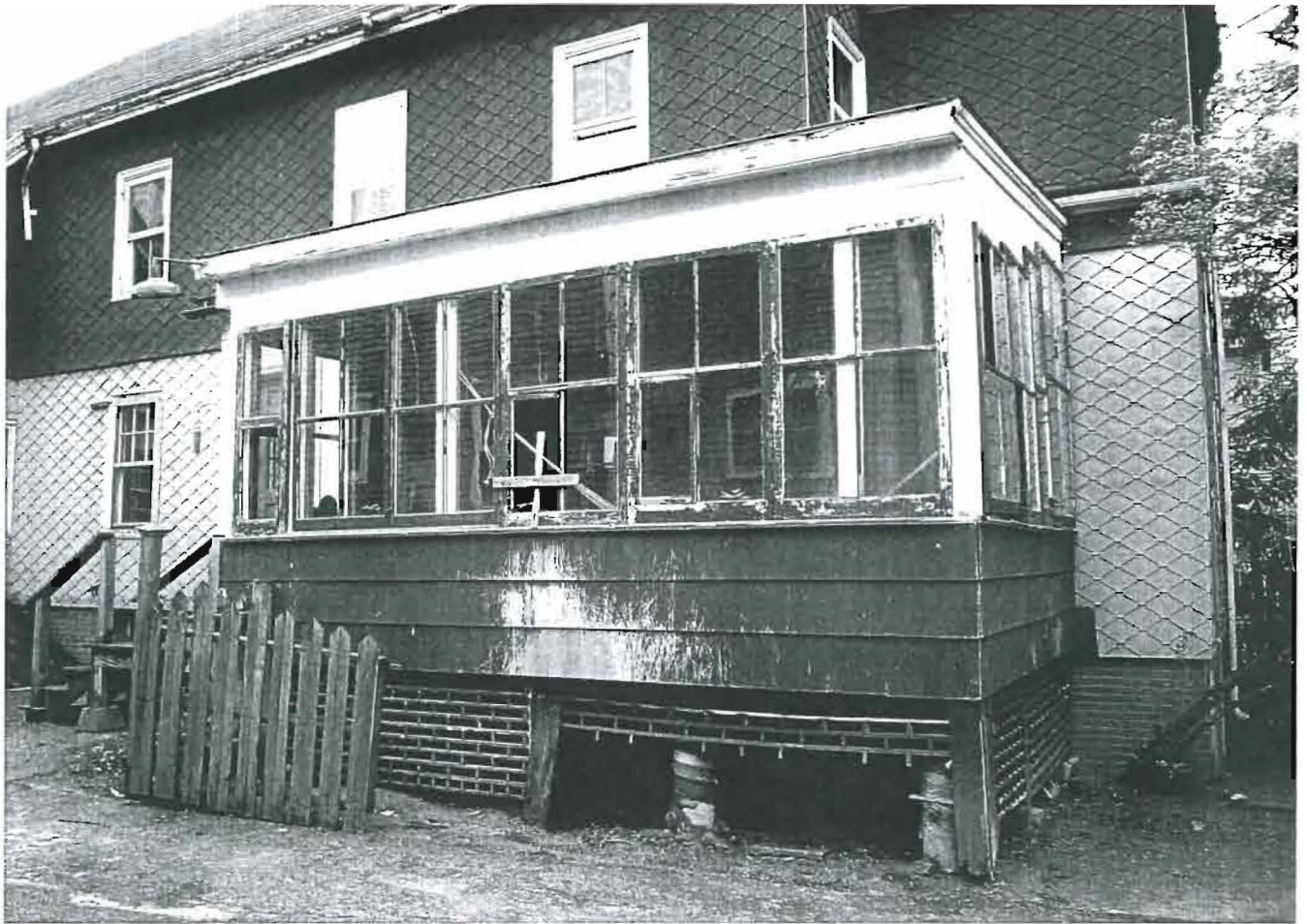
Yellow
Lead

and approx.

approximately
this time.

- 12:00 hrs
- quarter
- 11:30 AM

enclosure
for remaining
scope of work



completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work. This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,

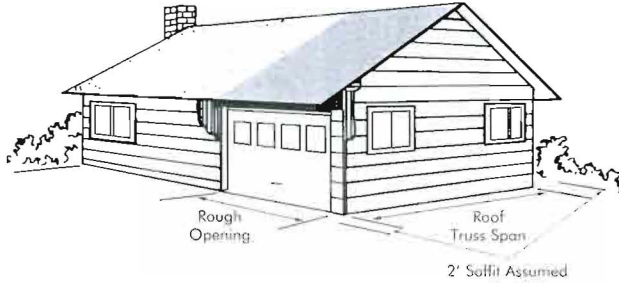
A handwritten signature in black ink that reads "Deborah Andrews". The signature is written in a cursive style with a large initial "D".

Deborah Andrews
Historic Preservation Program Manager

Cc: Building Inspections

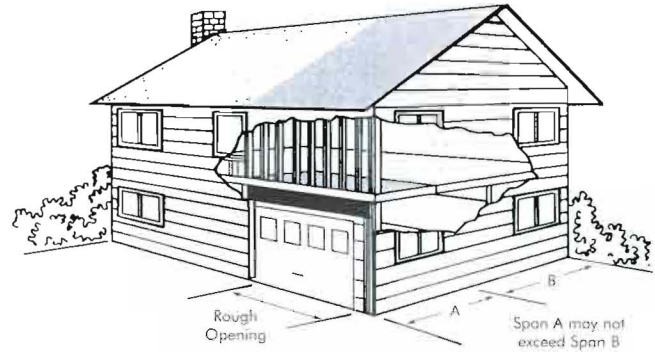
2.0E CP-LAM GARAGE DOOR HEADERS

1-STORY



This table provides CP-LAM header sizes for the support of roof trusses over various rough openings. A 2 foot maximum roof overhang is assumed.

2-STORY



This table provides CP-LAM header sizes for the support of one level of floor framing, an exterior wall and roof trusses over various rough openings. A 2 foot maximum roof overhang and center support for the floor framing are assumed.

1-STORY - 1 3/4" x 2.0E CP-LAM

Roof Loading	Snow (115%)												Non-Snow (125%)						
	25 psf LL + 20 psf DL			30 psf LL + 20 psf DL			40 psf LL + 20 psf DL			20 psf LL + 15 psf DL			20 psf LL + 20 psf DL			20 psf LL + 25 psf DL			
Width of Building	9' 3"	16' 3"	18' 3"	9' 3"	16' 3"	18' 3"	9' 3"	16' 3"	18' 3"	9' 3"	16' 3"	18' 3"	9' 3"	16' 3"	18' 3"	9' 3"	16' 3"	18' 3"	
Roof Truss Span with 2' Soffit Assumed	20'	2-7 1/4"	2-11 3/8"	2-14"	2-7 1/4"	2-11 3/8"	2-14"	2-7 1/4"	2-14"	2-14"	2-7 1/4"	2-11 3/8"	2-11 3/8"	2-7 1/4"	2-11 3/8"	2-14"	2-7 1/4"	2-11 3/8"	2-14"
		3-7 1/4"	3-11 3/8"	3-11 3/8"	3-7 1/4"	3-11 3/8"	3-11 3/8"	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-9 1/2"	3-11 3/8"	3-7 1/4"	3-9 1/2"	3-11 3/8"	3-7 1/4"	3-11 3/8"	3-11 3/8"
	24'	2-7 1/4"	2-11 3/8"	2-14"	2-7 1/4"	2-14"	2-14"	2-9 1/2"	2-14"	2-16"	2-7 1/4"	2-11 3/8"	2-14"	2-7 1/4"	2-11 3/8"	2-14"	2-7 1/4"	2-11 3/8"	2-14"
		3-7 1/4"	3-11 3/8"	3-11 3/8"	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-9 1/2"	3-11 3/8"	3-7 1/4"	3-11 3/8"	3-11 3/8"	3-7 1/4"	3-11 3/8"	3-11 3/8"
	28'	2-7 1/4"	2-14"	2-14"	2-9 1/2"	2-14"	2-16"	2-9 1/2"	2-14"	2-16"	2-14"	2-16"	2-11 3/8"	2-14"	2-11 3/8"	2-14"	2-7 1/4"	2-11 3/8"	2-14"
		3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-11 3/8"	3-11 3/8"	3-7 1/4"	3-11 3/8"	3-14"
32'	2-9 1/2"	2-14"	2-16"	2-9 1/2"	2-14"	2-16"	2-9 1/2"	2-16"	2-18"+	2-7 1/4"	2-11 3/8"	2-14"	2-7 1/4"	2-14"	2-14"	2-9 1/2"	2-14"	2-16"	
	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-14"	3-14"	3-7 1/4"	3-11 3/8"	3-11 3/8"	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-11 3/8"	3-14"	
36'	2-9 1/2"	2-14"	2-16"	2-9 1/2"	2-16"	2-18"+	2-9 1/2"	2-16"+	2-18"+	2-7 1/4"	2-14"	2-14"	2-9 1/2"	2-14"	2-14"	2-9 1/2"	2-14"	2-16"	
	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-14"	3-14"	3-9 1/2"	3-14"	3-16"	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-11 3/8"	3-14"	3-7 1/4"	3-11 3/8"	3-14"	

+ see note 3.

Notes:

- CP-LAM header sizes are listed as the number of 1 3/4" thick pieces by the header depth, e.g. 2 - 9 1/2" indicates two 1 3/4" pieces by 9 1/2" deep.
- All CP-LAM headers require support across their full width.
- The minimum required bearing length (based on 850 psi) is 3" unless the + symbol is shown. In that case, 4 1/2" is required.
- The roof framing is assumed to be trusses supported by the exterior walls only.
- Deflection is limited to L/240 at live load and L/180 at total load.

2-STORY - 1 3/4" x 2.0E CP-LAM

Roof Loading	Snow (115%)												Non-Snow (125%)						
	25 psf LL + 20 psf DL			30 psf LL + 20 psf DL			40 psf LL + 20 psf DL			20 psf LL + 15 psf DL			20 psf LL + 20 psf DL			20 psf LL + 25 psf DL			
Width of Building	9' 3"	16' 3"	18' 3"	9' 3"	16' 3"	18' 3"	9' 3"	16' 3"	18' 3"	9' 3"	16' 3"	18' 3"	9' 3"	16' 3"	18' 3"	9' 3"	16' 3"	18' 3"	
Roof Truss Span with 2' Soffit Assumed	20'	2-9 1/2"	2-16"	2-18"	2-9 1/2"	2-16"	2-18"	2-9 1/2"	2-16"	2-18"+	2-9 1/2"	2-14"	2-16"	2-9 1/2"	2-16"	2-16"	2-9 1/2"	2-16"	2-18"
		3-9 1/2"	3-14"	3-16"	3-9 1/2"	3-14"	3-16"	3-9 1/2"	3-16"	3-16"	3-9 1/2"	3-14"	3-14"	3-9 1/2"	3-14"	3-14"	3-9 1/2"	3-14"	3-16"
	24'	2-9 1/2"	2-16"	2-18"+	2-9 1/2"	2-16"+	2-18"+	2-9 1/2"	2-18"+	-	2-9 1/2"	2-16"	2-18"	2-9 1/2"	2-16"	2-18"+	2-9 1/2"	2-16"	2-18"+
		3-9 1/2"	3-14"	3-16"	3-9 1/2"	3-14"	3-16"	3-9 1/2"	3-16"	3-16"	3-9 1/2"	3-14"	3-16"	3-9 1/2"	3-14"	3-16"	3-9 1/2"	3-14"	3-16"
	28'	2-9 1/2"	2-18"+	2-18"+	2-9 1/2"	2-18"+	-	2-11 3/8"	2-18"+	-	2-9 1/2"	2-16"	2-18"+	2-9 1/2"	2-16"+	2-18"+	2-9 1/2"	2-18"+	2-18"+
		3-9 1/2"	3-14"	3-16"	3-9 1/2"	3-16"	3-18"	3-9 1/2"	3-16"	3-18"	3-9 1/2"	3-14"	3-16"	3-9 1/2"	3-14"	3-16"	3-9 1/2"	3-14"	3-16"
32'	2-11 3/8"	2-18"+	-	2-11 3/8"	2-18"+	-	2-11 3/8"	-	-	2-9 1/2"	2-16"+	2-18"+	2-9 1/2"	2-18"+	2-18"+	2-11 3/8"	2-18"+	-	
	3-9 1/2"	3-16"	3-18"	3-9 1/2"	3-16"	3-18"	3-9 1/2"	3-16"	3-18"+	3-9 1/2"	3-14"	3-16"	3-9 1/2"	3-16"	3-16"	3-9 1/2"	3-16"	3-18"	
36'	2-11 3/8"	2-18"+	-	2-11 3/8"	-	-	2-11 3/8"	-	-	2-9 1/2"	2-18"+	-	2-11 3/8"	2-18"+	-	2-11 3/8"	2-18"+	-	
	3-9 1/2"	3-16"	3-18"+	3-9 1/2"	3-16"	3-18"+	3-9 1/2"	3-16"+	3-18"+	3-9 1/2"	3-16"	3-16"	3-9 1/2"	3-16"	3-18"	3-9 1/2"	3-16"	3-18"+	

+ see note 3.

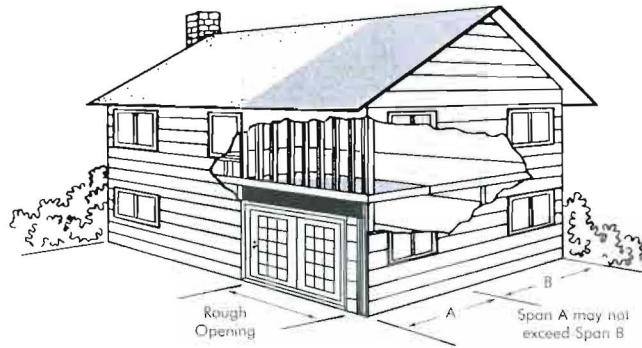
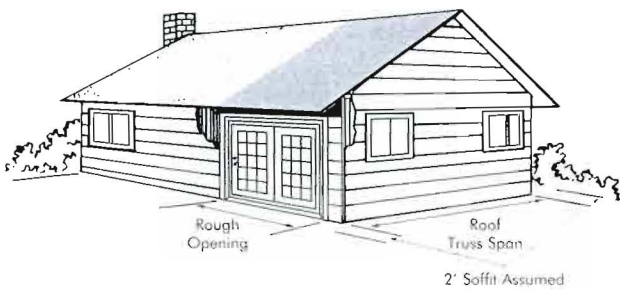
Notes:

- CP-LAM header sizes are listed as the number of 1 3/4" thick pieces by the header depth, e.g. 2 - 9 1/2" indicates two 1 3/4" pieces by 9 1/2" deep.
- All CP-LAM headers require support across their full width.
- The minimum required bearing length (based on 850 psi) is 3" unless the + symbol is shown. In that case, 4 1/2" is required.
- CP-LAM header sizes are based on residential floor loading of 40 psf live load and 10 psf dead load, and an exterior wall weight of 100 plf. The roof framing is assumed to be trusses supported by the exterior walls only.
- Deflection is limited to L/360 at live load and L/240 at total load.
- CP-LAM header sizes are based on the assumption that the floor joists are supported in the middle of the building by a beam or wall.

2.0E CP-LAM WINDOW & PATIO DOOR HEADERS

1-STORY

2-STORY



This table provides CP-LAM header sizes for the support of roof trusses over various rough openings. A 2 foot maximum roof overhang is assumed.

This table provides CP-LAM header sizes for the support of one level of floor framing, an exterior wall and roof trusses over various rough openings. A 2 foot maximum roof overhang and center support for the floor framing are assumed.

1-STORY - 1 3/4" x 2.0E CP-LAM

Roof Loading	Snow (115%)										Non-Snow (125%)													
	25 psf LL + 20 psf DL					40 psf LL + 20 psf DL					20 psf LL + 15 psf DL					20 psf LL + 25 psf DL								
	6'	8'	9'	10'	12'	6'	8'	9'	10'	12'	6'	8'	9'	10'	12'	6'	8'	9'	10'	12'				
Roof Truss Span with 2' Soffit Assumed	20'	2-7/8"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-7/8"	2-7/8"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-7/8"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-11/8"	
		3-7/8"	3-7/8"	3-7/8"	3-9/8"	3-11/8"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-11/8"
	24'	2-7/8"	2-7/8"	2-9/8"	2-11/8"	2-14"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-7/8"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-7/8"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-14"	
		3-7/8"	3-7/8"	3-7/8"	3-9/8"	3-11/8"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-11/8"
	28'	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-14"	2-7/8"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-14"	2-14"	2-14"
		3-7/8"	3-7/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-11/8"	3-11/8"
	32'	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-16"	2-7/8"	2-7/8"	2-9/8"	2-11/8"	2-14"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-14"	2-14"	2-14"
		3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-7/8"	3-7/8"	3-9/8"	3-11/8"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-11/8"	3-11/8"	3-11/8"
	36'	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-16"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-14"	2-14"	2-14"
		3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-11/8"	3-11/8"	3-11/8"

Notes:

1. CP-LAM header sizes are listed as the number of 1 3/4" thick pieces by the header depth, e.g. 2 - 9 1/2" indicates two 1 3/4" pieces by 9 1/2" deep.
2. All CP-LAM headers require support across their full width.
3. The minimum required bearing length (based on 850 psi) is 3".
4. The roof framing is assumed to be trusses supported by the exterior walls only.
5. Deflection is limited to L/240 at live load and the lesser of L/180 or 3/16" at total load.

2-STORY - 1 3/4" x 2.0E CP-LAM

Roof Loading	Snow (115%)										Non-Snow (125%)													
	25 psf LL + 20 psf DL					40 psf LL + 20 psf DL					20 psf LL + 15 psf DL					20 psf LL + 25 psf DL								
	6'	8'	9'	10'	12'	6'	8'	9'	10'	12'	6'	8'	9'	10'	12'	6'	8'	9'	10'	12'				
Roof Truss Span with 2' Soffit Assumed	20'	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-16"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-14"	2-14"	
		3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-11/8"	3-11/8"	
	24'	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-16"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-16"	2-7/8"	2-9/8"	2-9/8"	2-11/8"	2-14"	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-16"	2-16"	
		3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-16"	3-7/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-11/8"	3-14"	3-14"
	28'	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-16"	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-16"	2-16"	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-16"	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-16"	2-16"	2-16"
		3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-16"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-11/8"	3-14"	3-14"
	32'	2-7/8"	2-9/8"	2-11/8"	2-14"	2-16"	2-7/8"	2-11/8"	2-11/8"	2-14"	2-18"	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-16"	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-14"	2-14"	2-14"	2-16"
		3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-16"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-11/8"	3-14"	3-14"	3-14"
	36'	2-7/8"	2-9/8"	2-11/8"	2-14"	2-16"	2-7/8"	2-11/8"	2-11/8"	2-14"	2-18"	2-7/8"	2-9/8"	2-11/8"	2-14"	2-16"	2-7/8"	2-9/8"	2-11/8"	2-11/8"	2-14"	2-14"	2-14"	2-16"
		3-7/8"	3-9/8"	3-11/8"	3-11/8"	3-14"	3-7/8"	3-9/8"	3-11/8"	3-11/8"	3-16"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-14"	3-7/8"	3-9/8"	3-9/8"	3-11/8"	3-11/8"	3-14"	3-14"	3-14"

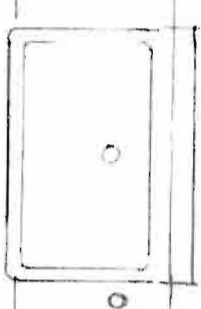
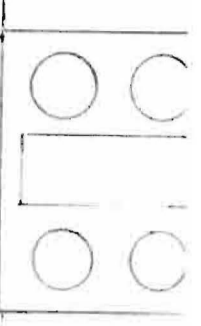
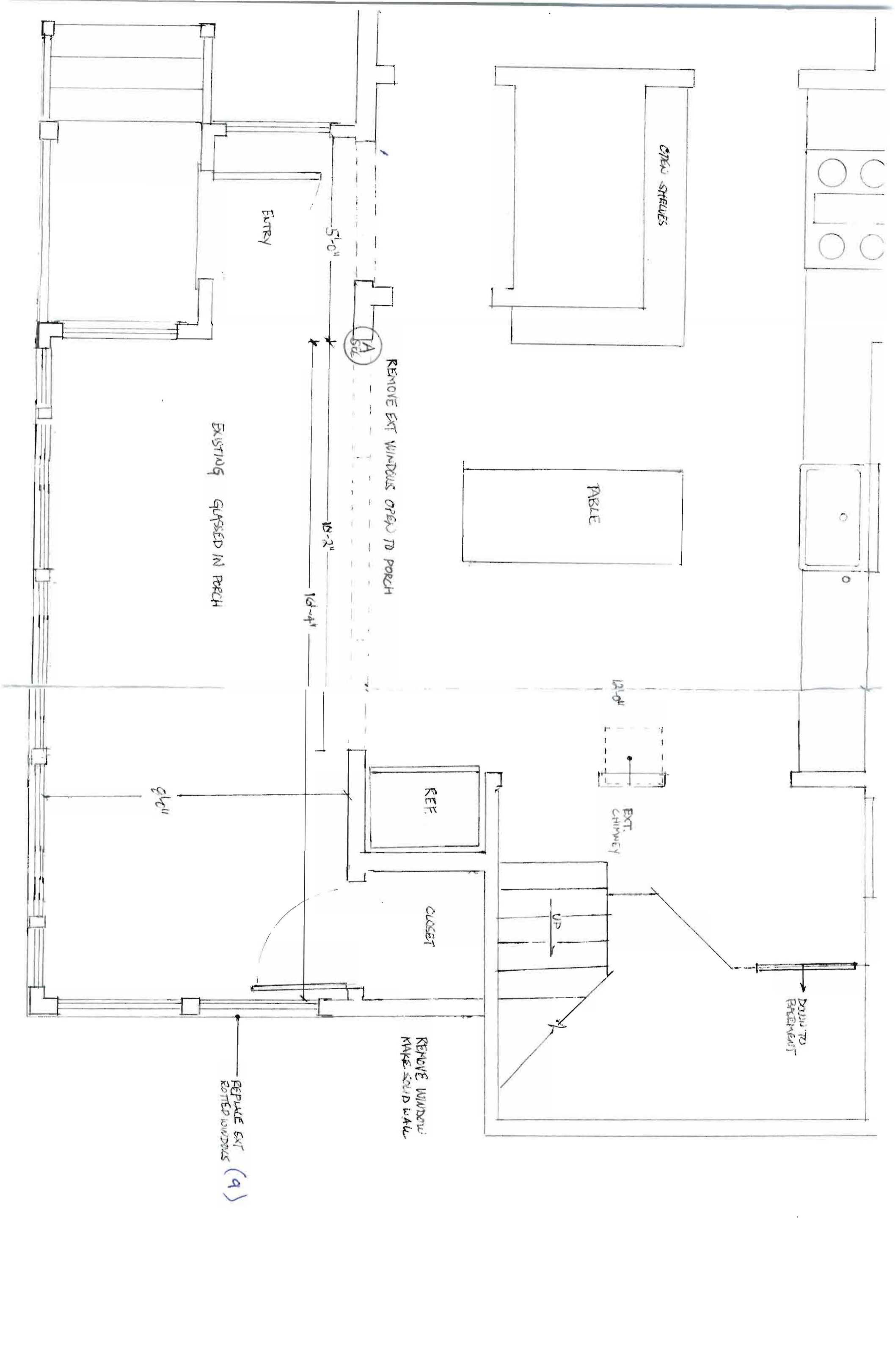
+ see note 3

Notes:

1. CP-LAM header sizes are listed as the number of 1 3/4" thick pieces by the header depth, e.g. 2 - 9 1/2" indicates two 1 3/4" pieces by 9 1/2" deep.
2. All CP-LAM headers require support across their full width.
3. The minimum required bearing length (based on 850 psi) is 3" unless the + symbol is shown. In that case, 4 1/2" is required.
4. CP-LAM header sizes are based on residential floor loading of 40 psf live load and 10 psf dead load, and an exterior wall weight of 100 plf. The roof framing is assumed to be trusses supported by the exterior walls only.
5. Deflection is limited to L/360 at live load and the lesser of L/240 or 3/16" at total load.
6. CP-LAM header sizes are based on the assumption that the floor joists are supported in the middle of the building by a beam or wall.

RECEIVED
SEP 23 2011
Dept. of Building Inspections
City of Portland, Maine

CP-LAM 2.0E WINDOW & PATIO DOOR HEADERS



NEW SHELVES

TABLE

REMOVE EXT WINDOWS OPEN TO PORCH

1A
5/2

ENTRY

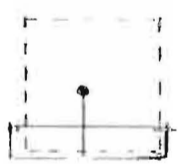
5'-0"

18'-2"

16'-4"

EXISTING GLAZED IN PORCH

12'-0"



EXT. CHIMNEY

REF

CLOSET

UP

DOWN TO BASEMENT

REMOVE WINDOW MAKE SOLID WALL

REPLACE EXT BOTTED WINDOWS (9)

6'-2"