

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

BUILDING PERMIT

PERMIT ISSUED

Please Read  
Application And  
Notes, If Any,  
Attached

Permit Number: 101245

NOV 10 2010

This is to certify that Wilson Samuel E III Va Vet & Family Co  
 has permission to Build new 3 season 8' x 16' sunn  
 AT 259 Spring St City of Portland  
 CE# 056 G032001

provided that the person or persons, firm, or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
 Health Dept. \_\_\_\_\_  
 Appeal Board \_\_\_\_\_  
 Other \_\_\_\_\_  
 Department Name \_\_\_\_\_

*James Burke* 11/10/10  
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1245	Issue Date:	CRL: 056 G033001
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Location of Construction: 259 Spring St	Owner Name: Wilson Samuel E III Vn Vet &	Owner Address: 259 Spring St	Phone:
Business Name:	Contractor Name: Mainely Custom LLC	Contractor Address: 203 River Road Naples	Phone: 2072332691
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Dwellings	Lot: R-10

Past Use: Single Family  Proposed Use: Single Family / Build new 3 season 8' x 16' sunroom.	Permit Fee: \$480.00  FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Cost of Work: \$46,000.00  INSPECTION: Use Group: R-3 Type: SB IRC-2003 Signature: <i>AMB 11/10/10</i>	CEO District: 2
Proposed Project Description: Build new 3 season 8' x 16' sunroom.	Signature: _____ PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: EG	Date Applied For: 10/05/2010	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation with <i>win</i> <input type="checkbox"/> Not at District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Date: <i>10/10/10</i>	Date: _____	Date: <i>10/10/10</i>

**PERMIT ISSUED**

NOV 10 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1245	Date Applied For: 10/05/2010	CEI: 056 G032001
-----------------------	---------------------------------	---------------------

Location of Construction: 259 Spring St	Owner Name: Wilson Samuel E III Vn Vet &	Owner Address: 259 Spring St	Phone:
Business Name:	Contractor Name: Mainely Custom LLC	Contractor Address: 203 River Road Naples	Phone: (207) 233-2691
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family / Build new 3 season 8' x 16' sunroom.	Proposed Project Description: Build new 3 season 8' x 16' sunroom.
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Dept: Historic      Status: Approved      Reviewer: Deborah Andrews      Approval Date: 10/18/2010  
 Note: Ok to Issue:

Dept: Zoning      Status: Approved with Conditions      Reviewer: Marge Schmauckal      Approval Date: 10/08/2010  
 Note: Ok to Issue:

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building      Status: Approved with Conditions      Reviewer: Jeanine Bourke      Approval Date: 11/10/2010  
 Note: Ok to Issue:

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Comments:**  
 10/8/2010-mes: met with owner to go over using 14-433 on 10/7/10  
 10/18/2010-gg: received from historic as of 10/18/10. Gg  
 11/5/2010-jmb: Spoke with owner, he advised to call architect, left vmsg for Lee H. And contractor Matt S for details on stair and rail construction and dimensions.  
 11/8/2010-jmb: Received email from Lee H. With details, I returned for more information.  
 11/10/2010-jmb: Sam W. Came into the office and confirmed the email notes per the graspable handrail dimension and height off the tread nose.

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

*X final at completion of work*

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**



**CITY OF PORTLAND, MAINE**  
 Department of Building Inspections

**Original Receipt**

005 2010

Received from

*Howard & White*

Cost of Construction \$

Building Fee:

Permit Fee \$

Site Fee:

Certificate of Occupancy Fee:

Total:

Building (01)

Planning (15)

Electrical (12)

Site Plan (02)

Other

056 6-083

Check # 6082 Total Collected \$ 450.00

**No work is to be started until permit issued.  
 Please keep original receipt for your records.**

Taken by:

*[Signature]*

WHITE - Applicant's Copy  
 YELLOW - Office Copy  
 PINK - Permit Copy



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>259 Spring St. Portland</u>		
Total Square Footage of Proposed Structure/Area <u>153 Square ft</u>	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>056</u> Block# <u>G</u> Lot# <u>032</u>	Applicant <u>must</u> be owner, Lessee or Buyer* Name <u>Sam Wilson</u> Address <u>259 Spring St</u> City, State & Zip <u>Portland ME</u>	Telephone: <u>(207)</u> <u>541-9372</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>46,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>480.00</u>
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Sun Room 3 Season 8' X 16</u>		
Contractor's name: <u>Majesty Custom LLC</u> Address: <u>203 Pine Rd</u> City, State & Zip: <u>Naples ME 04055</u> Telephone: <u>(207) 233-2691</u> Who should we contact when the permit is ready: <u>Matt Stevens</u> Telephone: <u>(207) 233-2691</u> Mailing address: <u>Same as above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: Oct 5-2010

This is not a permit; you may not commence ANY work until the permit is issued



# Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details—
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams✓
- Detail any new wall or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEBC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are also required if original plans are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches, bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

MORTGAGE INSPECTION OF: DEED BOOK 34014 PAGE 242 COUNTY Cumberland  
PLAN BOOK --- PAGE --- LOT ---

ADDRESS: 259 Spring Street, Portland, Maine

Job Number: 376-20-88

Inspection Date: 7-25-07

Scale: 1" = 20'

Client File: H-WILSON'S

Buyers: Frances E. & Samuel E. Wilson, III

Sellers: Hannah P. Dexter

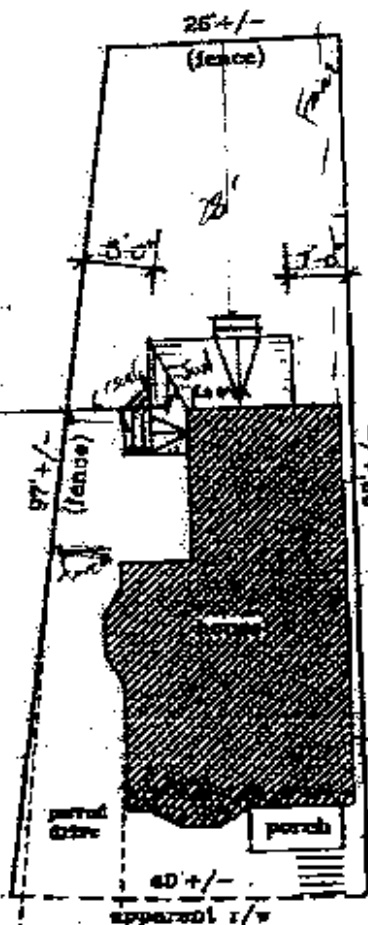
Note:  
All buildings and decks  
are assumed to pre-date  
current setback requirements.

NEW SUNROOM

PROPOSAL

7/15/10

Note:  
Lines of occupation  
are shown.  
A boundary survey  
may yield different  
results.



R-6  
REAR: 20' min -  
28' scaled  
Side: Normally 10'  
under 1A-433 allowed  
7' a. 8' a  
Stairs at 6' closed  
Front: N/A

2 1/2 story wood  
structure w/  
brick  
foundation



Spring St.

to Clark St.

I HEREBY CERTIFY TO: Hopkinson & Abbebeaux, P.A.

The Lender and the Title Insurer.

Measurements found did not conflict with the deed description.

The existing setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community  
Panel: 120021-0128 E

The structure does not fall within the special flood hazard zone.

The land does not fall within the special flood hazard zone.

APPARENT EASEMENTS AND RIGHTS OF  
WAY ARE SHOWN. OTHER ENCUMBRANCES,  
RECORDED OR NOT, MAY EXIST. THIS  
SKETCH WILL NOT BE USED IN ANYTHING  
USED IN CONFLICT, IF ANY.

Livingston - Hughes

Professional Land Surveyors

88 Guinea Road

Kennebunkport - Maine 04048

207-867-9781 phone 207-867-4631 fax



Sec. 14-433. Lots of record and accessory structure setbacks for existing buildings.

Any lot of record as of June 5, 1957, and held under separate and distinct ownership from adjacent lots and having a street frontage of forty (40) feet, or to which a means of access has been previously approved by the city council as provided elsewhere in this article, may be considered a buildable lot in any residential zone except as provided below for island residential zones, with a minimum lot size of five thousand (5,000) square feet, except that a lot in the R-6 zone may have a minimum lot size of three thousand (3,000) square feet, provided that the applicable yard dimensions can be met.

A lot in the R-1, R-2, R-3, R-4, R-5, R-5A or R-6 zones that was described in a subdivision plat approved by the Planning Board after June 5, 1981, or a lot of record that conformed to the applicable lot size requirement, lot width and street frontage as of June 5, 1984, shall be considered a buildable lot, provided that the applicable yard dimensions can be met.

Where such a lot has a principal structure which existed as of July 19, 1988 an accessory structure or building addition may be located within the following side and rear yards, provided that the normal applicable yard requirements cannot be met provided, however, that less restrictive zoning requirements which meet the requirements contained within 14-139(2) for residential small lot development shall apply:

a. R-1, R-2:

Rear yard: Ten (10) feet.

Side yard: Five (5) feet.

b. R-3, R-4, R-5, R-5A, R-6:

Rear yard: Five (5) feet.

Side yard: Five (5) feet.

Any detached or accessory structure in the R-4 or R-6 zones, with a ground coverage exceeding two hundred fifty (250) square feet and which was in existence on January 1, 1940, may be converted to dwelling uses without meeting front, side or rear yard setbacks, provided there is no enlargement of any nonconforming portion of the existing building footprint and provided the conversion will conform to the minimum land area per dwelling unit.

*stairs - close*  
*allowed - would make side entry up to codes - if not too narrow it is in historic & would make windows uneven if had to reduce more on both sides*

10/7/2010

met together on  
this date

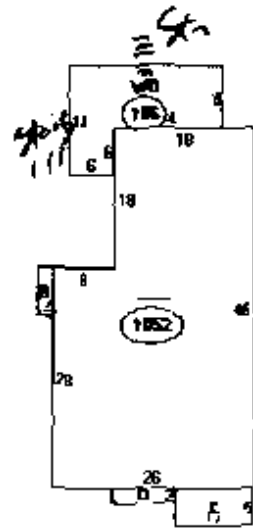
Sam Wilson  
259 Spring St  
Portland ME

207 541 9372  
scwilson3@a.com

gmail.com

### Garden Room Setback Meeting Notes

1. Review available material:
  - Historic Preservation Application.
  - Pictures of Property.
  - Foundation, Roof, and Framing Plan.
  - Site Plot.
  - Use of space with scaleable drawings at proposed 7- and 8-foot side yard setbacks.
  - Resultant space if 10 foot set back enforced.
2. We and our neighbors love our garden space. Note the side yard and parking lot clean-up beyond the fence (Deb Andrews has seen and liked). Garden space will remain appropriately viewable to all. Existing fencing will not be removed/relocated.
3. The existing deck limits the use of the space to slightly over one season and is not fully useable in direct summer sun.
4. Proposed enclosure will be four-season garden room with small eat-in area for four, small sofa, two small end-tables, reading space, overhead fan/light, and small gas stove.
5. There are no neighborhood issues with proposed plan (re-use of existing footprint). Their privacy and access to use of their property is unaffected by anything proposed.
6. We are not trying to build out to the maximum available, just use what is there now, to accommodate the intended function of the garden room.
7. A scaling back to the 10-foot side yard setback would limit primary back door egress to a 24-inch passage; and, a room of 7'9" x 10'9" dimensions. The space could not serve its intended purpose and the building permit application would be withdrawn. \$400
8. Photos show that a deck/entrance structure existed previous to current deck extension. Proposed design does not request re-use of that space and associated setback variance. Note: in construction of proposed garden room, siding from north elevation will be re-used to repair "missing" siding at west elevation.



Dimensions

- A: 1052
- B: 12
- C: 50
- D: 16
- E: 13

1052  
 12  
 50  
 16  
 13

1326 + stairs will still  
 just be under  
 the max  
 max lot cov.

$$3219 \times 50 = 160950$$



# RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

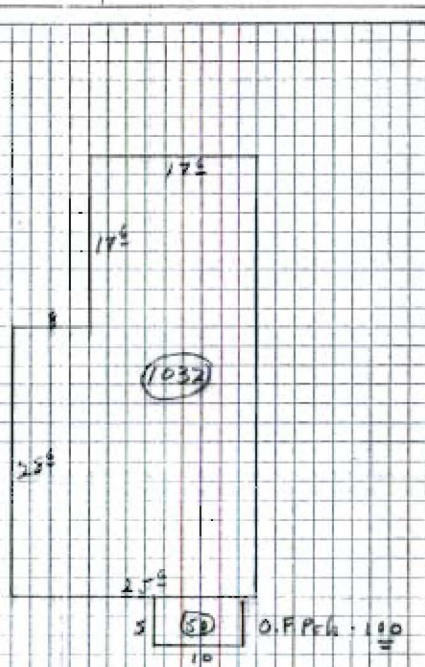
YEAR 19

YEAR 19

*Inf from door*

CONSTRUCTION			
FOUNDATION	FLOOR CONST.	PLUMBING	
CONCRETE	WOOD JOIST <input checked="" type="checkbox"/>	BATHROOM	<input checked="" type="checkbox"/>
CONCRETE BLOCK	STEEL JOIST	TOILET ROOM	
BRICK OR STONE <input checked="" type="checkbox"/>	MILL TYPE	WATER CLOSET	
PIERS	REIN. CONCRETE	LAVATORY	
CELLAR AREA FULL <input checked="" type="checkbox"/>	FLOOR FINISH		
$\frac{1}{4}$ $\frac{3}{8}$ $\frac{3}{4}$	B	1	2 3
NO. CELLAR	CEMENT <input checked="" type="checkbox"/>	STD. WAT. HEAT	<input checked="" type="checkbox"/>
EXTERIOR WALLS		AUTQ. WAT. HEAT	
CLAPBOARDS	EARTH	ELECT. WAT. SYST.	
WIDE SIDING	PINE <input checked="" type="checkbox"/>	LAUNDRY TUBS	
DROP SIDING	HARDWOOD <input checked="" type="checkbox"/>	NO PLUMBING	
NO SHEATHING	TERRAZZO	TILING	
WOOD SHINGLES	TILE	BATH FL. & WCOT.	
ASBES. SHINGLES		TOILET FL. & WCOT.	
STUCCO ON FRAME	ATTIC FLR. & STAIRS <input checked="" type="checkbox"/>	LIGHTING	
STUCCO ON TILE	INTERIOR FINISH		
BRICK VENEER	B	1	2 3
BRICK ON TILE	PINE <input checked="" type="checkbox"/>	ELECTRIC	<input checked="" type="checkbox"/>
SOLID BRICK	HARDWOOD <input checked="" type="checkbox"/>	NO LIGHTING	
STONE VENEER	PLASTER <input checked="" type="checkbox"/>	NO. OF ROOMS	
CONC. OR CIND. BL.	UNFINISHED	DRMT.	2ND #
<i>Asph Shing</i> <input checked="" type="checkbox"/>	METAL CLG.	1ST 4	3RD
TERRA COTTA		OCCUPANCY	
VITROLITE	RECREAT. ROOM	SINGLE FAMILY	<input checked="" type="checkbox"/>
PLATE GLASS	FINISHED ATTIC	TWO FAMILY	
INSULATION	FIREPLACE <input checked="" type="checkbox"/>	APARTMENT	
WEATHERSTRIP	HEATING		
ROOFING		STORE	
ASPH. SHINGLES <input checked="" type="checkbox"/>	PIPELESS FURNACE	THEATRE	
WOOD SHINGLES	HOT AIR FURNACE	HOTEL	
ASBES. SHINGLES	FORCED AIR FURN.	OFFICES	
SLATE TILE	STEAM <input checked="" type="checkbox"/>	WAREHOUSE	
METAL	HOT WAT. OR VAPOR	COMM. GARAGE	
COMPOSITION	NO HEATING	GAS STATION	
ROLL ROOFING	GAS BURNER	ECONOMIC CLASS	
INSULATION	OIL BURNER	OVER BUILT	
	STOKER	UNDER BUILT	
		DT. 3/1/50	AR. 5
		LD. 51	PD. 25
		MS.	CK. 1

COMPUTATIONS			
UNIT	1951		
1032 s. f.	5540		
S. F.			
ADDITIONS	7100		
2 1/2 Bay			
BASEMENT			
WALLS			
ROOF			
FLOORS			
ATTIC FLS	7120		
FINISH			
FIREPLACE	7150		
HEATING			
PLUMBING			
TILING			
TOTAL	5910		
FACT. 45	280		
REP. VAL.	6190		



## SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	F. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.	Y
Dw9	A 25/Pr	C	60		F	6190	50%	3100	A	3100	1850	5
	B								B			
	C								C			
	D								D			
	E								E			
	F								F			
	G								G			

YEAR	1951	1951 TOTAL BLDGS.	
TAX VAL.			
OLD VAL.	1850		
CHANGE			
TAX VAL.		19	19
OLD VAL.		19	19
CHANGE		19	19

## Marge Schmuckal - Re: Fwd: 259 Spring St.

---

**From:** Marge Schmuckal  
**To:** Sam Wilson  
**Date:** 10/5/2010 4:06 PM  
**Subject:** Re: Fwd: 259 Spring St.

I'm sorry that someone implied that the 5' was a right within the Ordinance. It was wrong.

You would need to document **why the normal required setbacks** can not be met. I do not have the magic words for you. You need to convince me. If I see that you can in some way meet a greater setback, I would default to that.

When do you have time available to meet? Tomorrow is pretty full for me. I **do have** some time available on Thursday morning. Perhaps at 10:00 or 11:00?

Marge

>>> Sam Wilson <[sewilson3rd@gmail.com](mailto:sewilson3rd@gmail.com)> 10/5/2010 3:51 PM >>>

Marge,

Sorry. We **have** so much time and money already invested in **this project** -- based on the anticipated 5-foot setback -- that I had not additionally researched the requirements of Section 14-139 of the code.

My builders submitted the formal request and fees for the permit earlier today. Can you **and I** set a time to meet so that I **might** better understand your additional documentation requirements and/or my reading of the code?

Thanks.

/Sam

--

Sam Wilson  
259 Spring Street  
Portland, ME 04102  
(H) 207.541.9372  
(M) 571.244.4792  
[sewilson3rd@gmail.com](mailto:sewilson3rd@gmail.com)

On Tue, Oct 5, 2010 at 9:13 AM, Marge Schmuckal <[MES@portlandmaine.gov](mailto:MES@portlandmaine.gov)> wrote:

14-433 is not "new" language. Those setbacks are not automatic. You need to meet all the requirements that are stated in that paragraph. You need to prove to me **that you can not meet the normal applicable yard dimensions.**

Marge

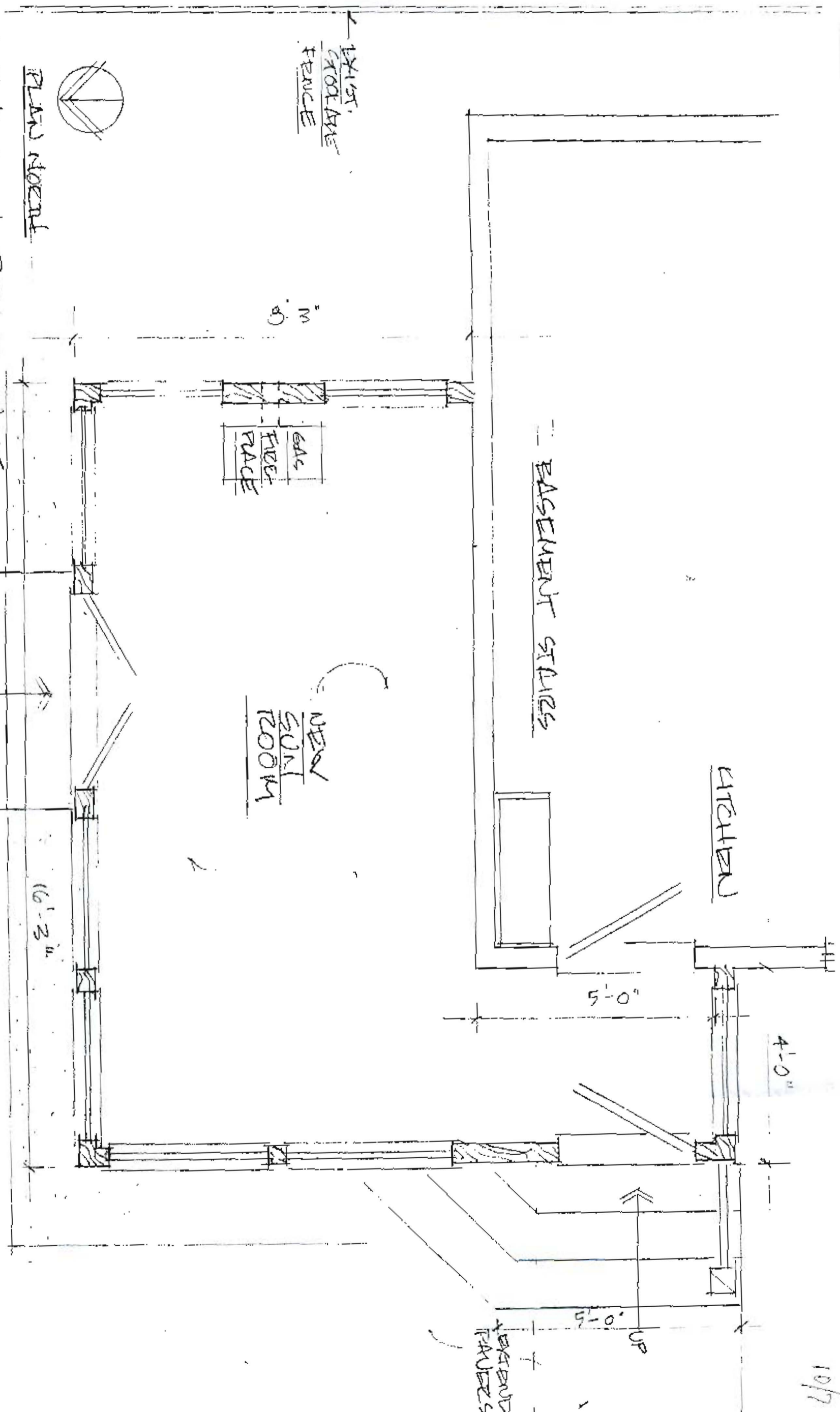
>>> Lee Hulst <[lhulst@me.com](mailto:lhulst@me.com)> 10/5/2010 6:44 AM >>>

Begin forwarded message: Marge, could you please discuss this with Sam? This is also my understanding.  
Lee

**From:** Sam Wilson <[sewilson3rd@gmail.com](mailto:sewilson3rd@gmail.com)>  
**Date:** October 4, 2010 6:18:57 PM EDT  
**To:** Lee Hulst <[lhulst@me.com](mailto:lhulst@me.com)>  
**Subject:** Re: 259 Spring St.



REAR  
photo of EXIST'G Deck



EXIST. STAIRWAY FENCE

UP

GAS FIBER RACE

NEW SUN ROOM

BASEMENT STAIRS

ATTIC

5'-0"

4'-0"

5'-0"

UP

EXISTING PARTS



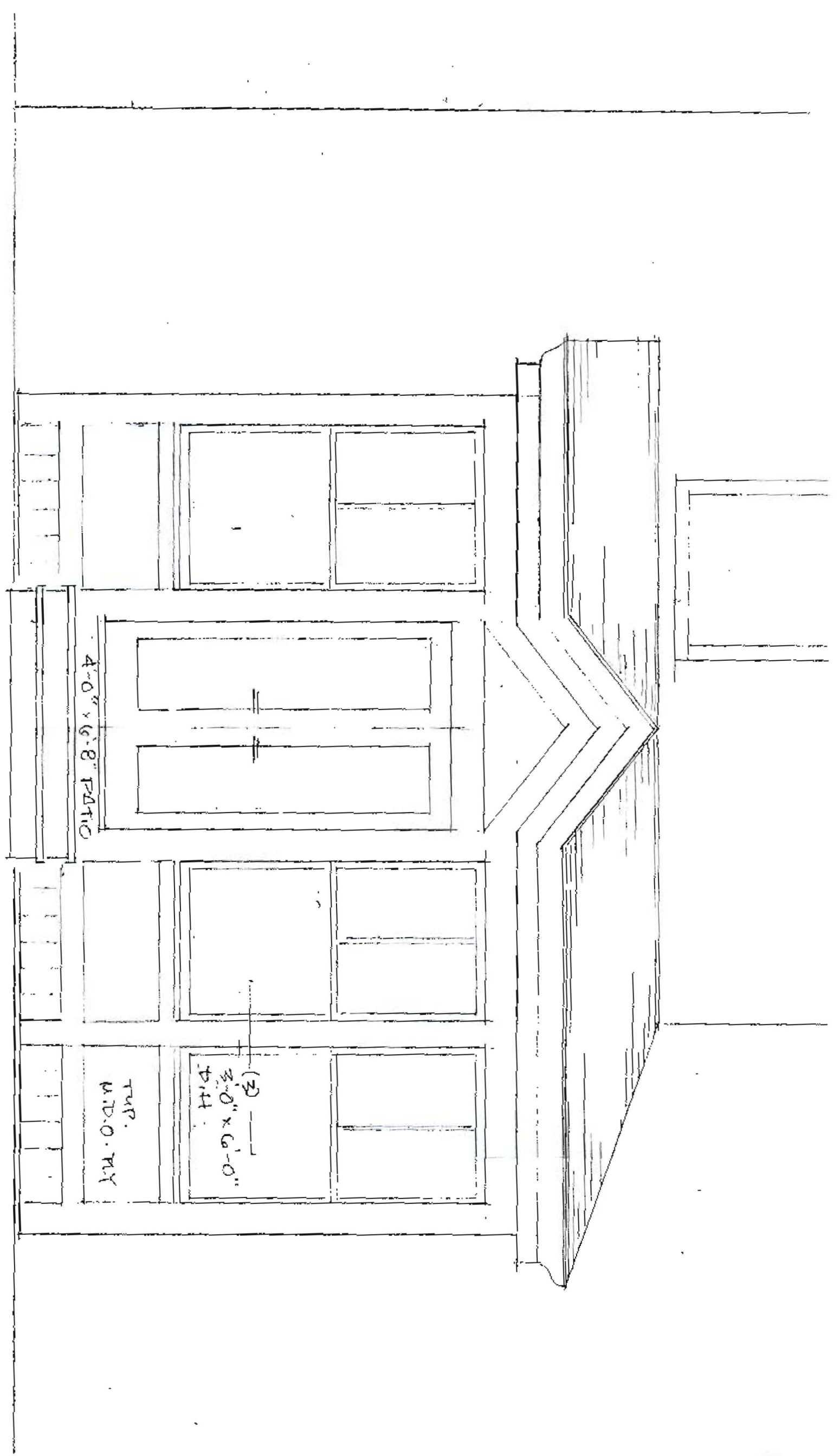
PLAN NORTH

WILSON RESIDENCE

259 SPRING ST. PORTLAND, ME.

GROUND FLOOR PLAN PROPOSAL  
1/2" = 1'-0"  
7/15/10





WILSON RESIDENCE

250 SPRING ST. PORTLAND, ME.

NORTH ELEVATION PROPOSED

1/2" = 1'-0"

7/15/10

MORTGAGE INSPECTION OF: DEED BOOK 24014 PAGE 242 COUNTY Cumberland  
PLAN BOOK --- PAGE --- LOT ---

ADDRESS: 259 Spring Street, Portland, Maine

Job Number: 370-20-R3

Inspection Date: 7-25-07

Scale: 1" = 20'

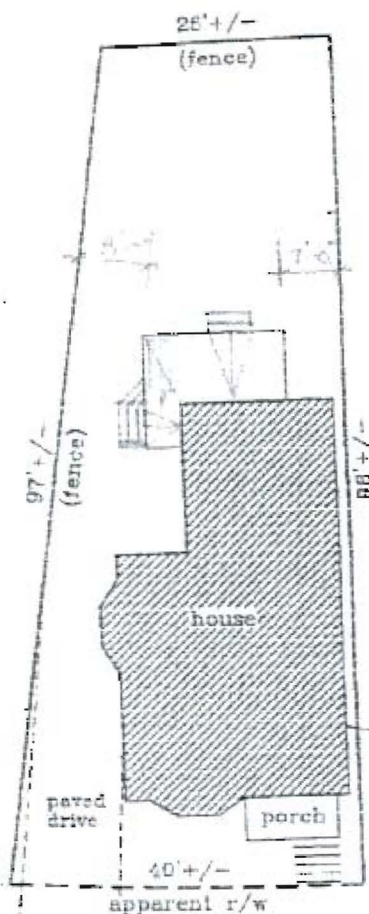
Client File# H-WILSON.S

Buyers: Frances E. & Samuel E. Wilson, III

Sellers: Hannah P. Dexter

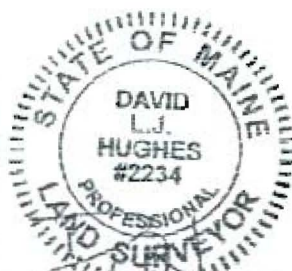
Note:  
All buildings and decks  
are assumed to pre-date  
current setback requirements.

Note:  
Lines of occupation  
are shown.  
A boundary survey  
may yield different  
results.



2 1/2 story wood  
structure w/  
brick  
foundation

S p r i n g S t.      to Clark St.



I HEREBY CERTIFY TO Hopkinson & Abbonanza, F.A.

The Lender and its title insurer.  
Monuments found did not conflict with the deed description.

The dwelling setbacks do not violate town zoning requirements.  
As delineated on the Federal Emergency Management Agency Community  
Panel: 230051-3013 B  
The structure does not fall within the special flood hazard zone.  
The land does not fall within the special flood hazard zone.

APPARENT EASEMENTS AND RIGHTS OF  
WAY ARE SHOWN. OTHER ENCUMBRANCES,  
RECORDED OR NOT, MAY EXIST. THIS  
SKETCH WILL NOT REVEAL ABUTTING  
DEED CONFLICTS, IF ANY

copyright 1991

Livingston - Hughes  
Professional Land Surveyors  
88 Guinea Road  
Kennebunkport - Maine 04046  
207-967-9761 phone    207-967-4831 fax

Shows rear entry

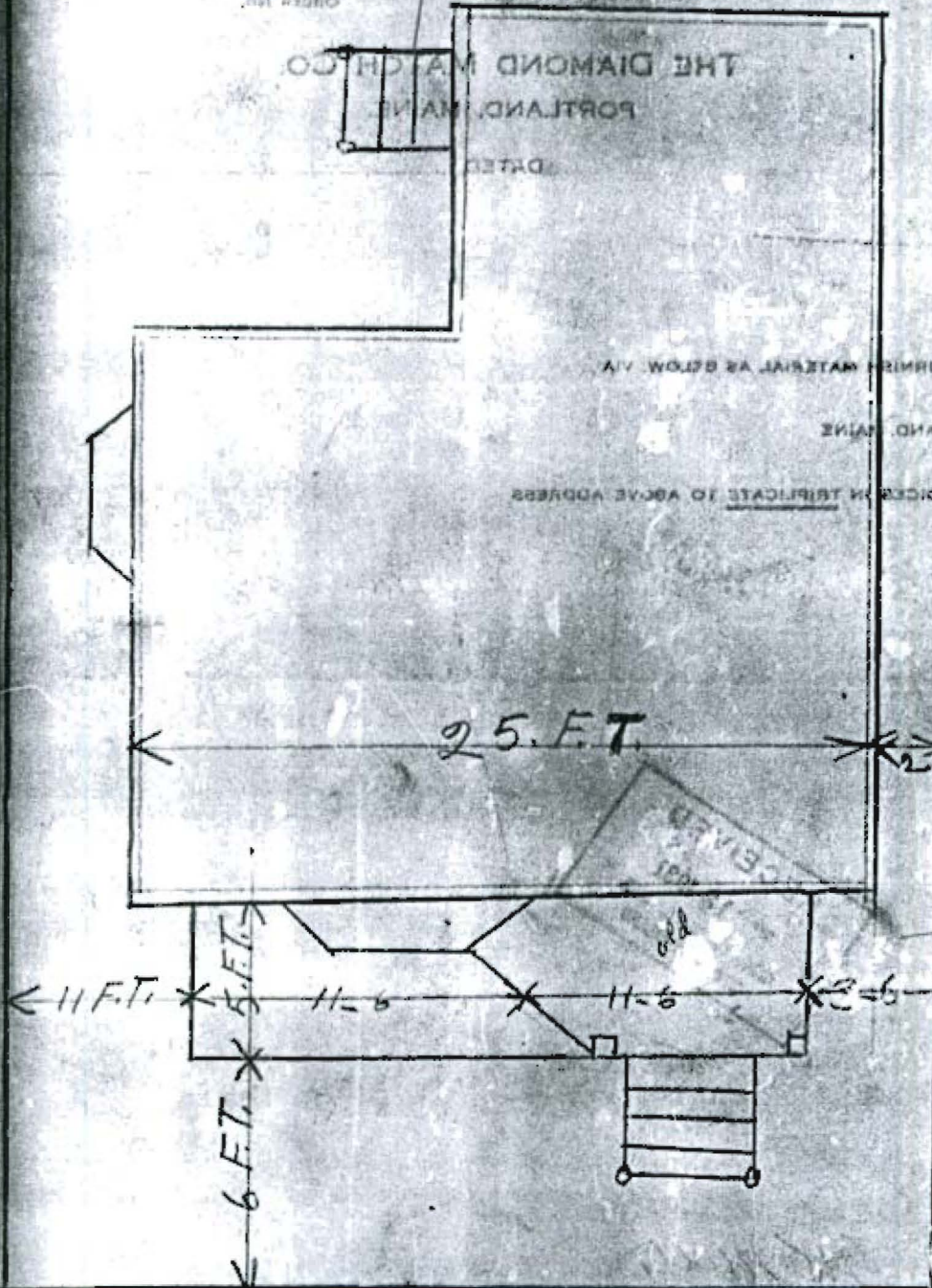
(A) APARTMENT HOUSE ZONE

GREEN NO. 277  
ON YOUR INVOICE  
MUST BE SHOWN  
THIS NUMBER

THE DIAMOND MATCH CO.  
PORTLAND, MAINE

DATE:

SEND IN COPIES IN TRIPlicate TO ABOVE ADDRESS  
TO PORTLAND, MAINE  
PLEASE FURNISH MATERIAL AS BELOW VIA  
ADDRESS

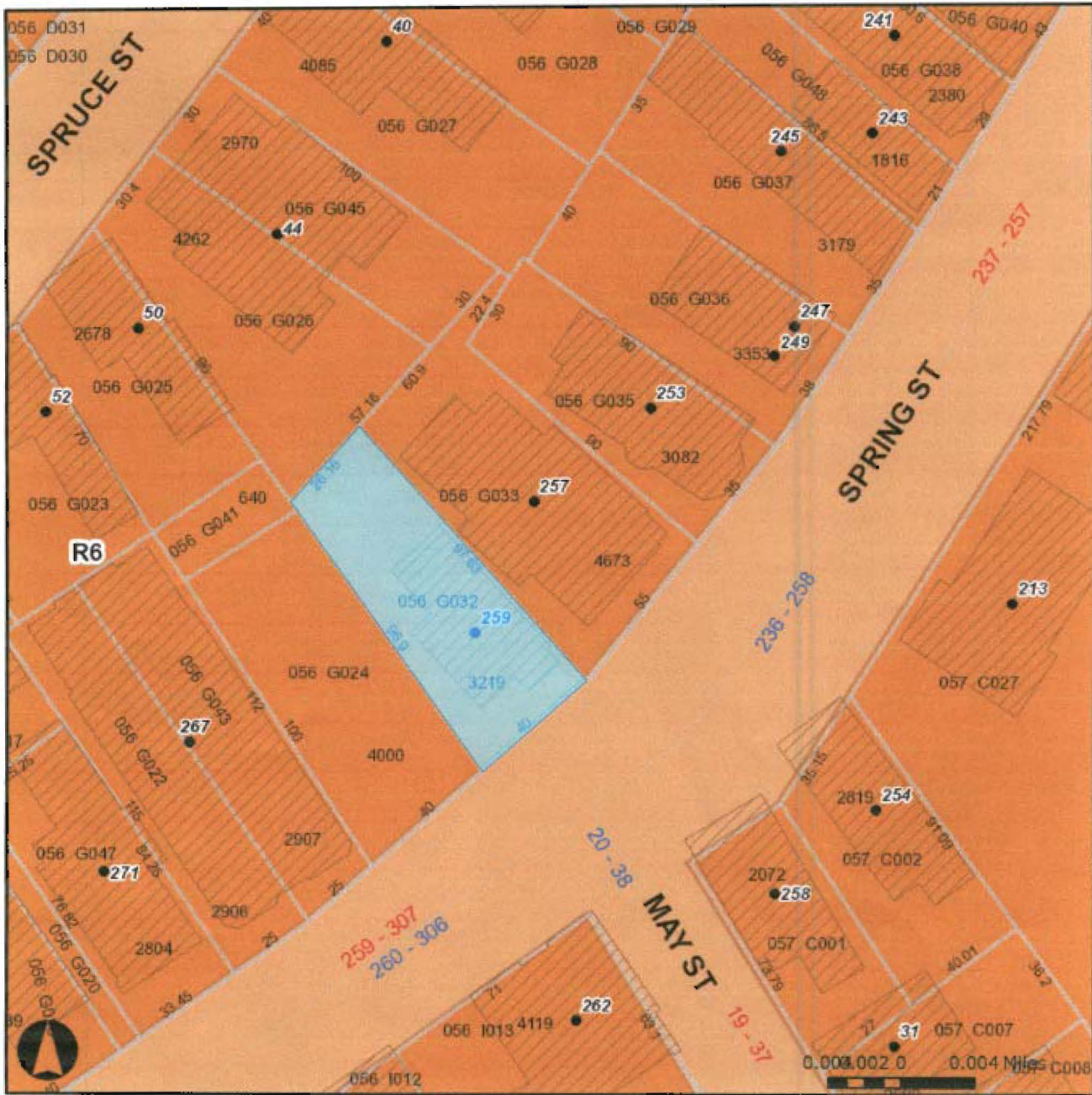


1931  
Repair  
front  
roof

259 Spring St.  
THE DIAMOND MATCH CO.  
4087 H

PRICE

# Map

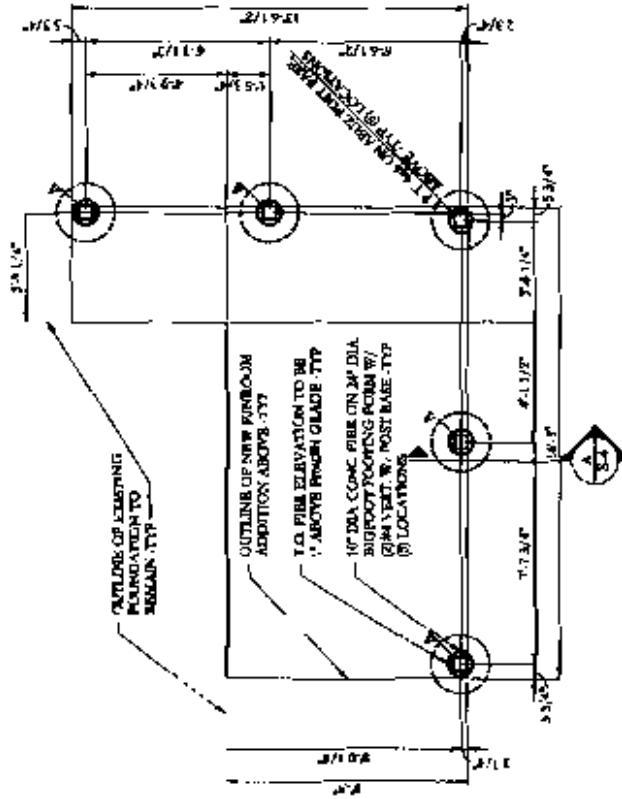


Parcels	Stream Overlay Zone	Zoning (continued)	Zoning (continued)
Parcels	Stream_protection	R2 Residential	C25
Interstate	Island Zoning	R3 Residential	C26
Interstate	C43	R4 Residential	C27
Streets	I-B	R5 Residential	C28
Streets	I-TS	R6 Residential	C29
Buildings	I-R1	ROS Recreation Open	C30
Building	I-R2	Space	C31
Out Building			





9/28/10



**FOUNDATION/ FOOTING PLAN**

SCALE: 1/8"=1'-0"

NOTES

1. ALL CONCRETE PIER/COLUMNS TO BE 10" DIA W/ (2) #4 BARS ON 24" O BIGHT FOOTING PERMS -TYP
2. FOOTINGS TO BEAR 4" MIN BELOW GRADE -TYP
3. SEE 60 FOR GENERAL STRUCTURAL NOTES

Drawing:

Foundation Plan

Date: 9/24/10

Scale: 1/8"=1'-0"

Issued:

**FOR CONSTRUCTION**

Project:

**New Sunroom Addition**  
239 Spring St.  
Portland, ME



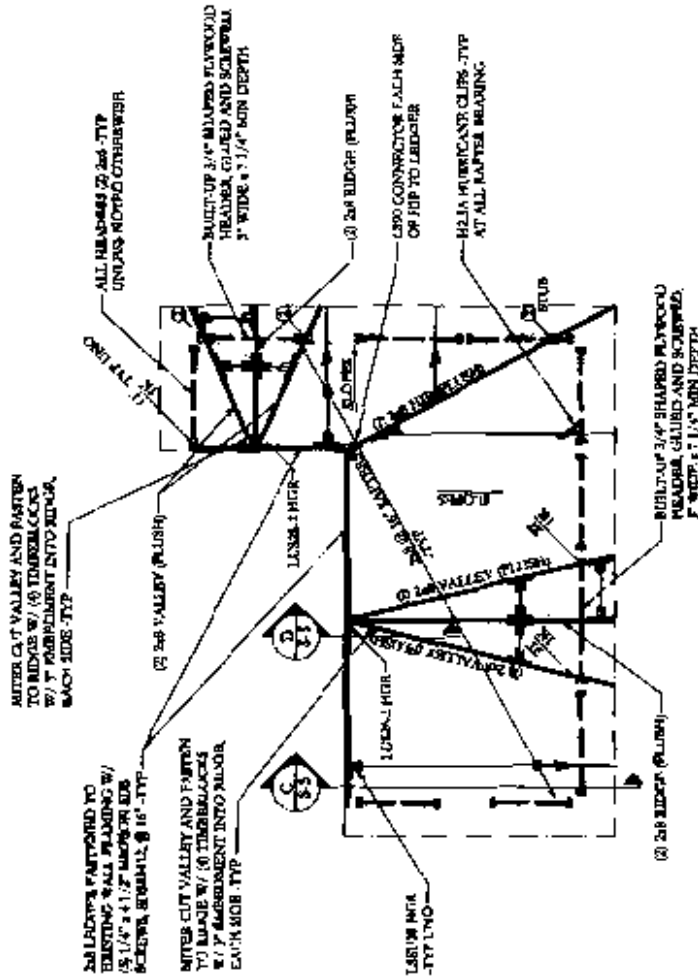
77 Oak Street  
Portland, ME 04101  
P: 207-774-1800  
F: 207-775-7928  
www.structuralintegrity.com  
Build With Confidence  
Member of the Building Integrity Group  
SI # 10-0110

S-1





9/28/10



### ROOF FRAMING PLAN

NOTES: SCALE: 1/4" = 1'-0"

1. ROOF GUSSETING SHALL BE 4" x 8" UNLESS OTHERWISE NOTED FOR ADDITIONAL INFO.
2. ALL WOOD COLUMNS IN 2x4 WALLS SHALL BE 3-2x6 AND IN 2x6 WALLS SHALL BE 3-2x4 UNLESS NOTED OTHERWISE ON PLAN.
3. ALL HEADERS ARE 2x6x UNLESS NOTED OTHERWISE.
4. ALL ROOF RAFTERS TO BE 2x6 @ 16" - TYP.
5. SEE 3-0 FOR GENERAL STRUCTURAL NOTES.

### FRAMING PLAN SYMBOLS KEY

○	WOOD JOINT
○	NUMBER OF WOOD STUDS IN POST BELOW
○	NUMBER OF TRIM STUDS UNDER HEADS
○	NUMBER OF KING STUDS ADJACENT TO HEADER
○	PLATE OR JOINT BEARING
○	PLATE BEARING JOINT BEARING WITH HANGER

Drawing:

Roof Framing  
Plan

Date: 9/24/10

Scale: 1/4" = 1'-0"

Issued:

FOR CONSTRUCTION

Project:

New Sunroom Addition  
259 Spring St.  
Portland, ME

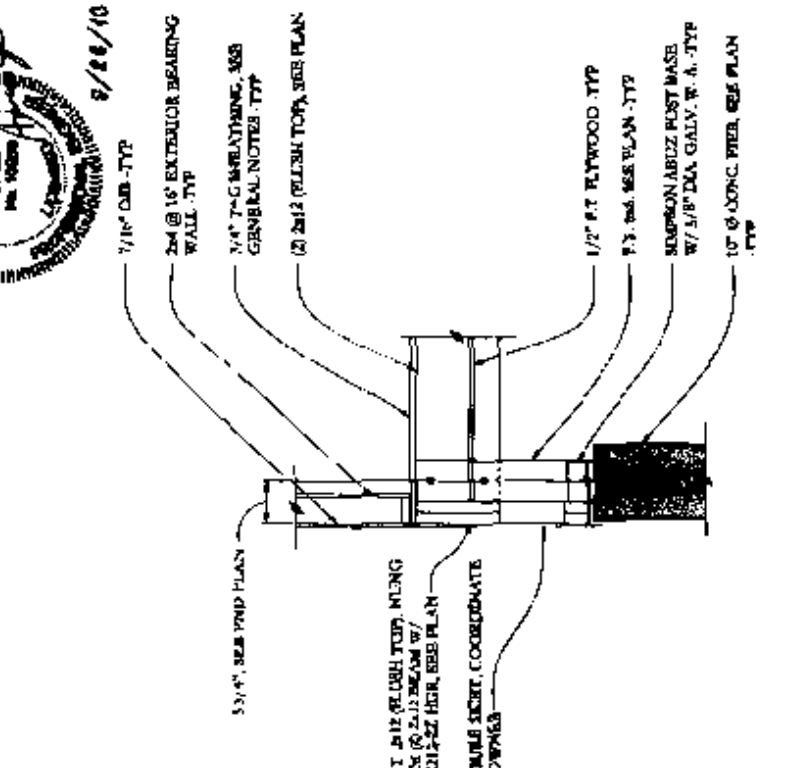
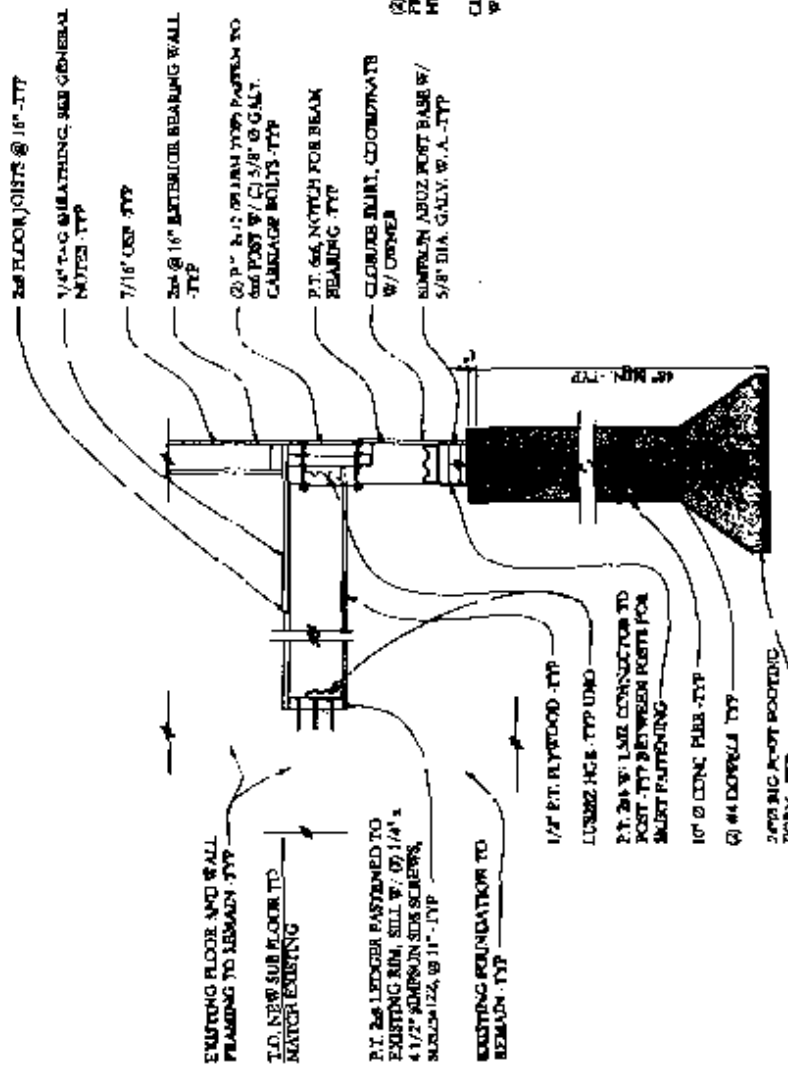
77 Oak Street  
Portland, ME 04101  
P: 800-774-4664  
F: 800-792-7808  
www.structuralintegrity.com

**Structural Integrity**  
INCORPORATED, INC.

MAINE STATE COMMISSION  
Professional Engineers, Architects, Surveyors  
SI # 70-0110

S-3





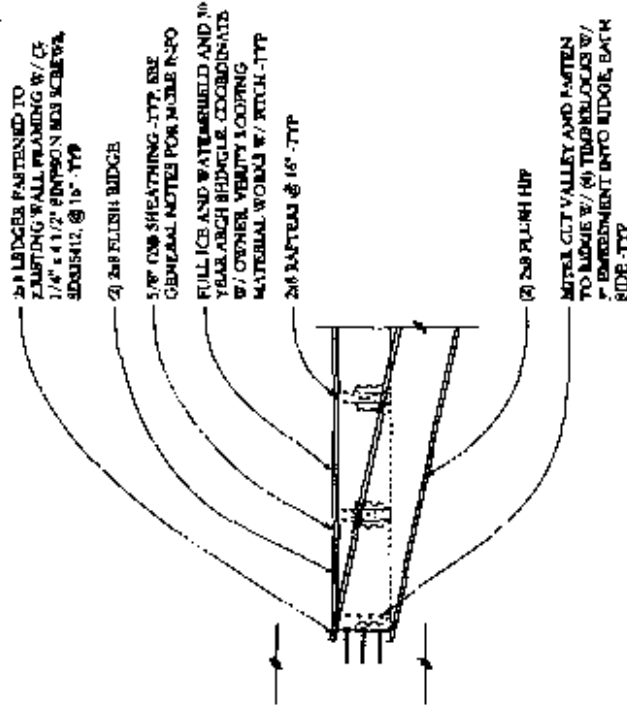
SECTION **A** 3/4"=1'-0"

SECTION **B** 3/4"=1'-0"

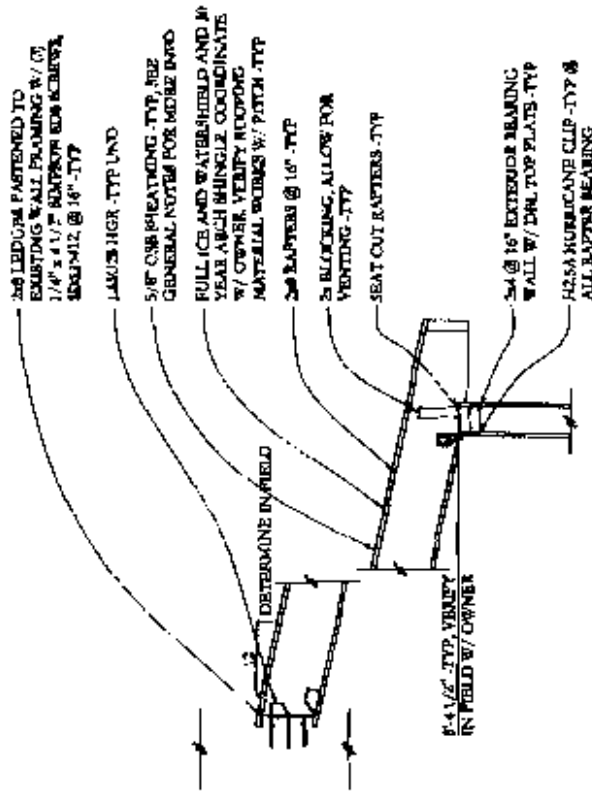
Drawing	Sections	Scale: 3/4"=1'-0"	Project: New Sunroom Addition 239 Spring St. Portland, ME	S-4
	Date: 9/24/10			
		77 Oak Street Portland, ME, 04103 P: 207-761-1111 F: 207-761-1110 www.structuralintegrity.com MAJOR WHITE CONSTRUCTION 1000 Commercial St. Portland, ME 04103 SL# 10-0110		



9/24/10



SECTION **D**  $\frac{3}{4}'' = 1'-0''$



SECTION **C**  $\frac{3}{4}'' = 1'-0''$

Drawing:	Sections		Project: New Sunroom Addition 239 Spring St Portland, ME		77 Oak Street Portland, ME 04106 P. 207-761-2666 F. 207-761-2666 www.structuralintegrity.com	BUILD WITH CONFIDENCE 100% Insured - Licensed - Bonded SI # 10-0110	S-5
	Date: 9/24/10	Scale: $\frac{3}{4}'' = 1'-0''$					

## Jeanie Bourke - Re: 259 Spring

---

**From:** Jeanie Bourke  
**To:** Lee Hulst  
**Date:** 11/8/2010 2:32 PM  
**Subject:** Re: 259 Spring  
**CC:** Sam Wilson

---

Lee,

The measurement of the handrail is from the tread nosing (R311.5.6.1) to the top of rail, which I scale at around 27"-28". Since this is not dimensioned on the plan, you can confirm the 35", but be sure that this is reflected at the nosing, not the back of the tread.

Note that this project is for a single family home and therefore falls under the **IRC One and Two Family Code**. Yes, the description for graspability is the same in both codes.

Thanks

>>> Lee Hulst <lhulst@me.com> 11/8/2010 1:28 PM >>>

Jeanie,

It is easy to accomplish a 35" height for the handrail--I had measured from the second riser, and find that my drawing actually conforms from the first riser to the doorway trim.

Do I have a different edition of the 2003 IBC? Under Means of Egress 1009.11.3 Handrail Graspability (p. 206) I find a definition for non-circular perimeter dimension of 4 to 6.25 inches, with max. cross section of 2.25 inches. (The handrail height in 1009.11.1 above this reference conforms to your 34"-38" rule, and I purchased this CodeBook used online.)

In any event, we'll be happy to satisfy this rule with a stock railing, if you agree that the phrase above describes the size you need. By the way, I believe that Deb considers this detail out of the public view, since the yard is fenced.

Lee

On Nov 8, 2010, at 9:22 AM, Jeanie Bourke wrote:

Hi Lee,

Thanks for the information....for building code purposes these dimensions should be provided on the plans for our review.

The north side does not require a handrail, but the entry on the west side does as there are actually 4 risers to the floor level, IRC 2003 Sec. R311.5.6. If you continue to read, the height is a minimum of 34" and a maximum of 38" with the grip size as stated in R311.5.6.3(2). Hopefully Deb in historic will agree to these details.

Please confirm these changes and I will issue the permit.

Jeanie

*Jeanie Bourke*  
 CEO/Plan Reviewer

City of Portland  
 Planning & Urban Development Dept./ Inspections Division  
 389 Congress St. Rm 315  
 Portland, ME 04101  
 jmb@portlandmaine.gov

(207)874-8715

>>> Lee Hulst <[lhulst@me.com](mailto:lhulst@me.com)> 11/8/2010 5:44 AM >>>

Hi Jeanie,

I got your phone message of last Friday, and am responding with email before I leave for an early meeting in Augusta this morning.

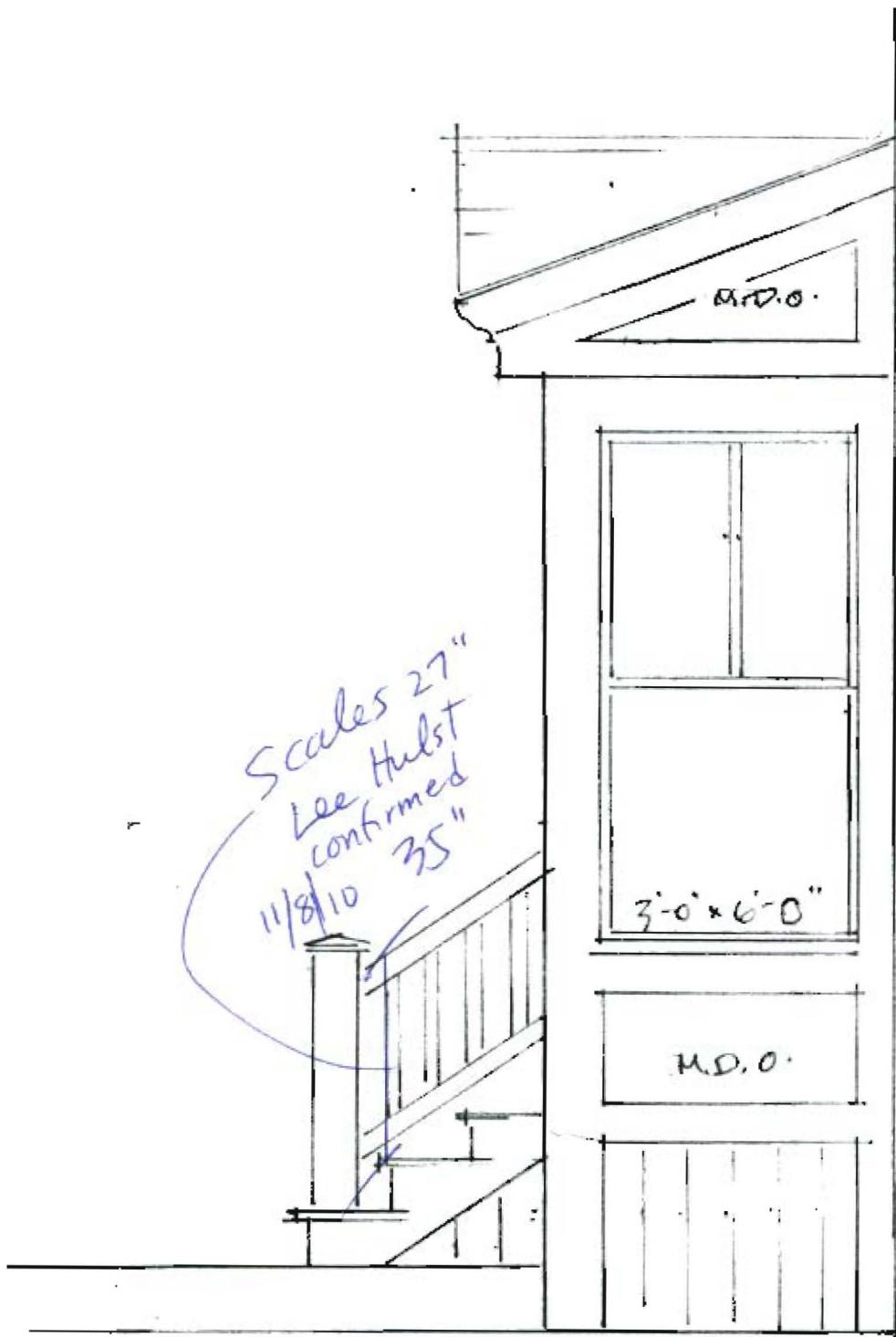
In the process of working with Historic Review, I purposely drew plans and elevations for the Wilson project oversized at 1/2 inch scale to address details of trim and materials. The stairs, I believe, exceed Code requirements with neither set above 18 inches off the ground.

For the 2 large platform steps from the 4' pair of double doors on the north side, the rise is 7" and tread 18". They will be used rarely, and are designed to have planter containers set on either side, without railings.

For the entry steps on the west side, there are three risers @ 6" and treads @ 12". The post is 36" high, with railing at 31". Balusters will be 2 by 2's, spaced 3" apart. I have not discussed materials with the owners or contractor, but my suggestion is the post be p.t. construction with a built-up pitched cap, hand rail to be rectangular 2 by 4 stock to match that on the front of the house, finish on all to be painted, per Historic Review. My suggestion is that treads be synthetic pre-manufactured like Trex, with a wood grain pattern mounted up for best traction in the winter. They will not receive paint, but be chosen from existing colors like medium gray.

I hope this answers your questions, and let me know if there is any more I can provide.

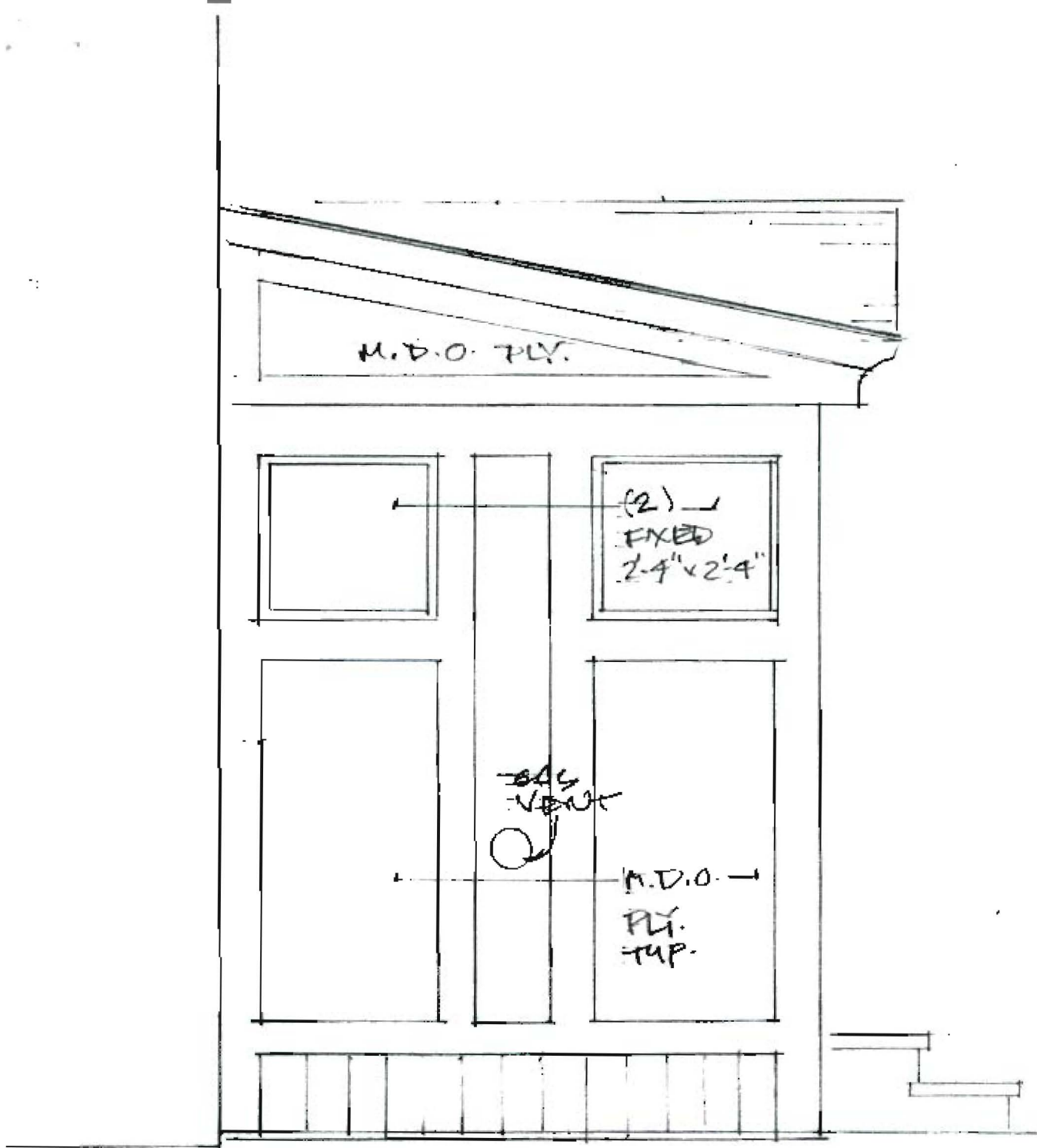
Lee



WILSON: SOUTH ELEVATION!  
1/2" = 1'-0" 7/15/10

L E L A N D H U L S T  
A R C H I T E C T U R A L S E R V I C E S

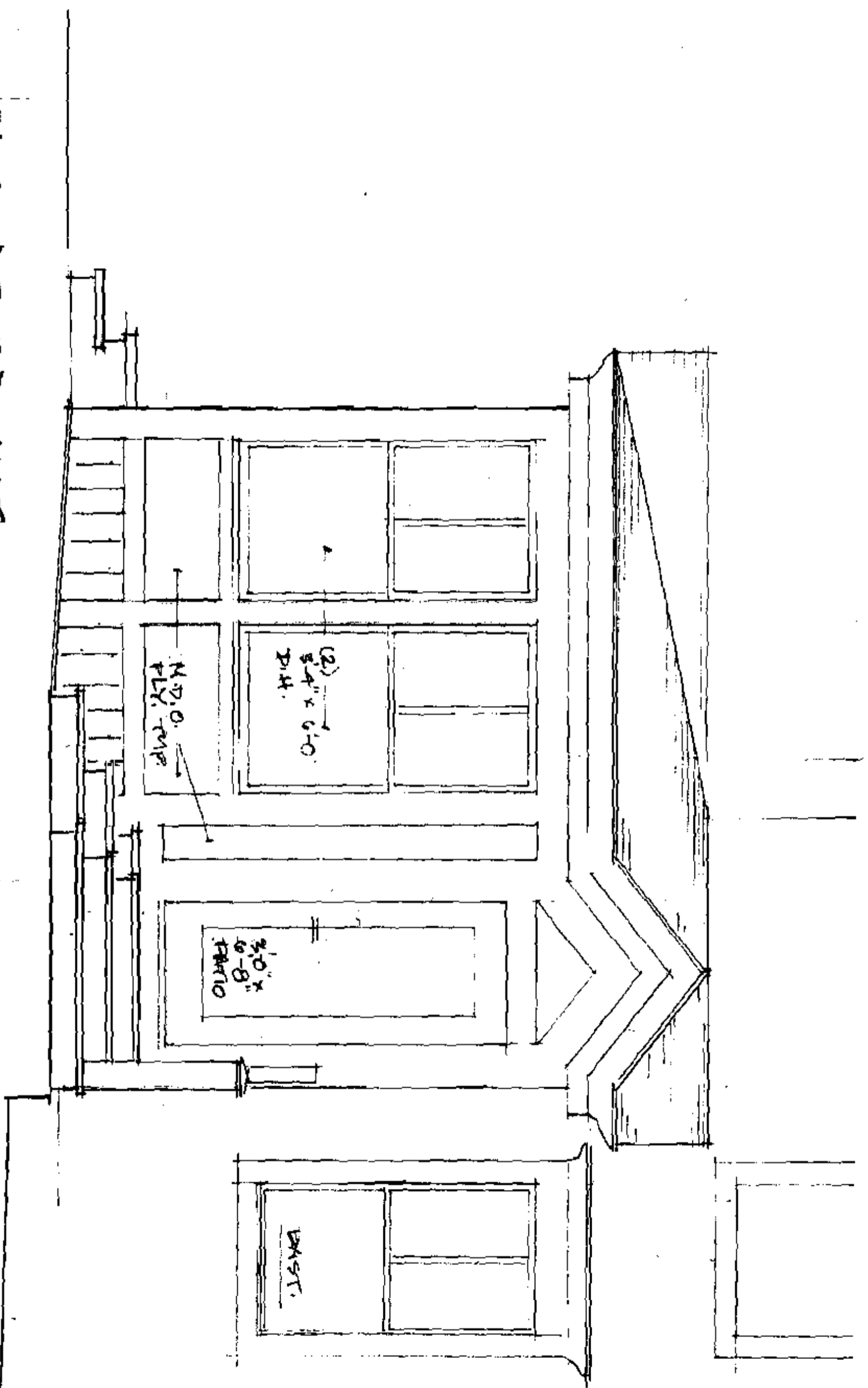
878 Spring Street / Portland, Maine 04102 / (907) 773-8843



WILSON: EAST ELEVATION  
1/2" = 1'-0"      7/15/10

LELAND HULST  
ARCHITECTURAL SERVICES

278 Spring Street / Portland, Maine 04102 / (907) 773-2843

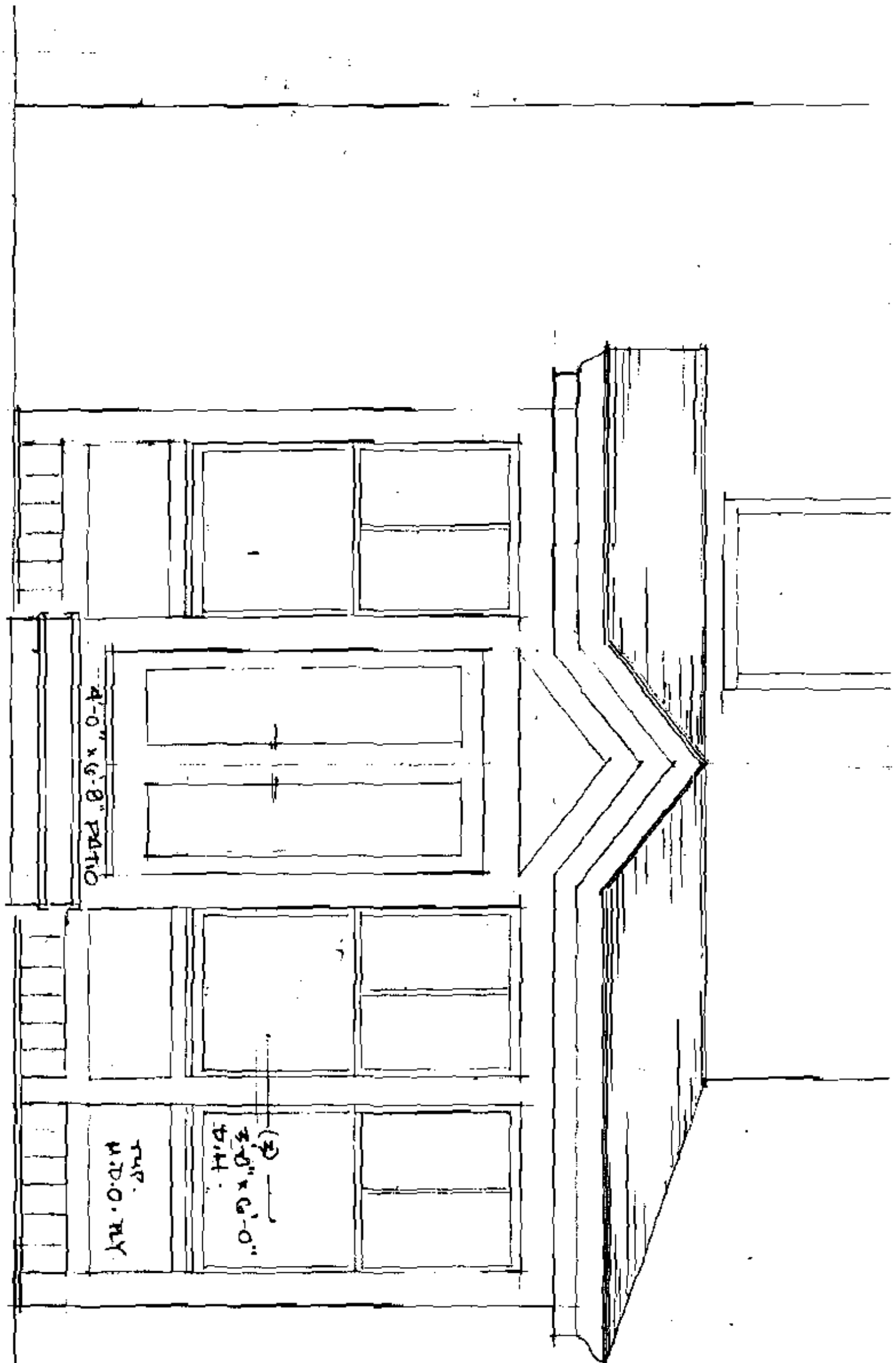


WILSON RESIDENCE

259 SPRING ST. PORTLAND, ME.

WEST ELEVATION PROPOSAL

1/2" = 1'-0" 7/15/10



NILSON RESIDENCE

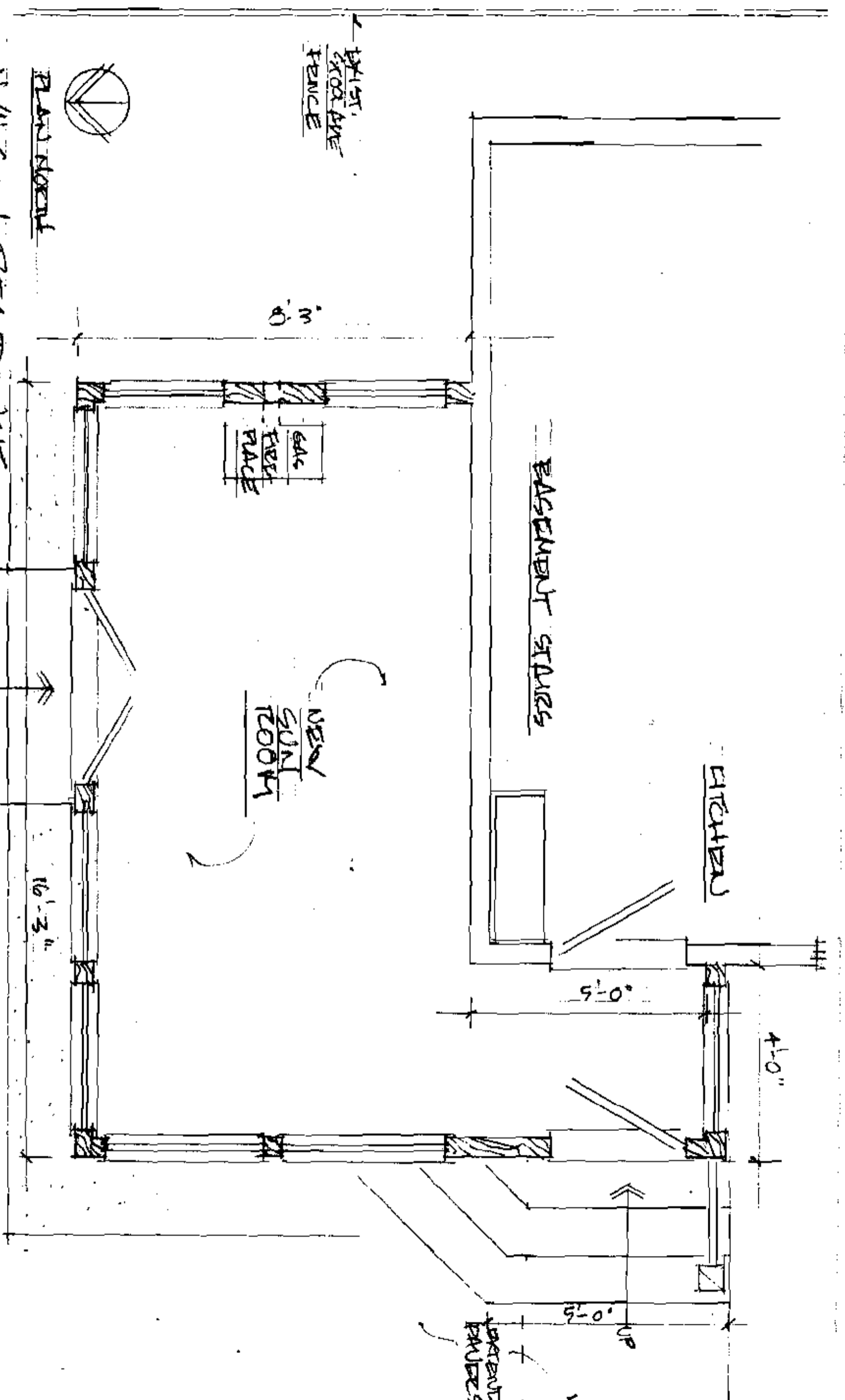
259 SPRING ST. PORTLAND, ME.

NORTH ELEVATION PROPOSAL

1/2" = 1'-0"

7/15/10





1341 ST.  
CROSS AVE  
FENCE

PLAN NORTH

WILSON RESIDENCE

259 SPRING ST. PORTLAND, ME.

GROUND FLOOR PLAN PROPOSED  
1/2" = 1'-0" 7/15/10

EASEMENT STAIRS

KITCHEN

NEW  
SUN  
ROOM

GAS  
FIRE  
PLACE

4'-0"

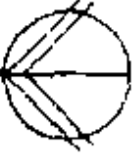
5'-0"

16'-3"

10'-5"  
UP

EXTEND  
FRAMES

UP



PLAN NORTH

WILSON RESIDENCE

259 SPANGLER ST. PORTLAND, ME.

SPANGLER FLOOR PLAN  
1/2" = 1'-0"      6/26/0

OP 10"

OP

EXISTING STAIRS

KITCHEN

EXISTING DECK

