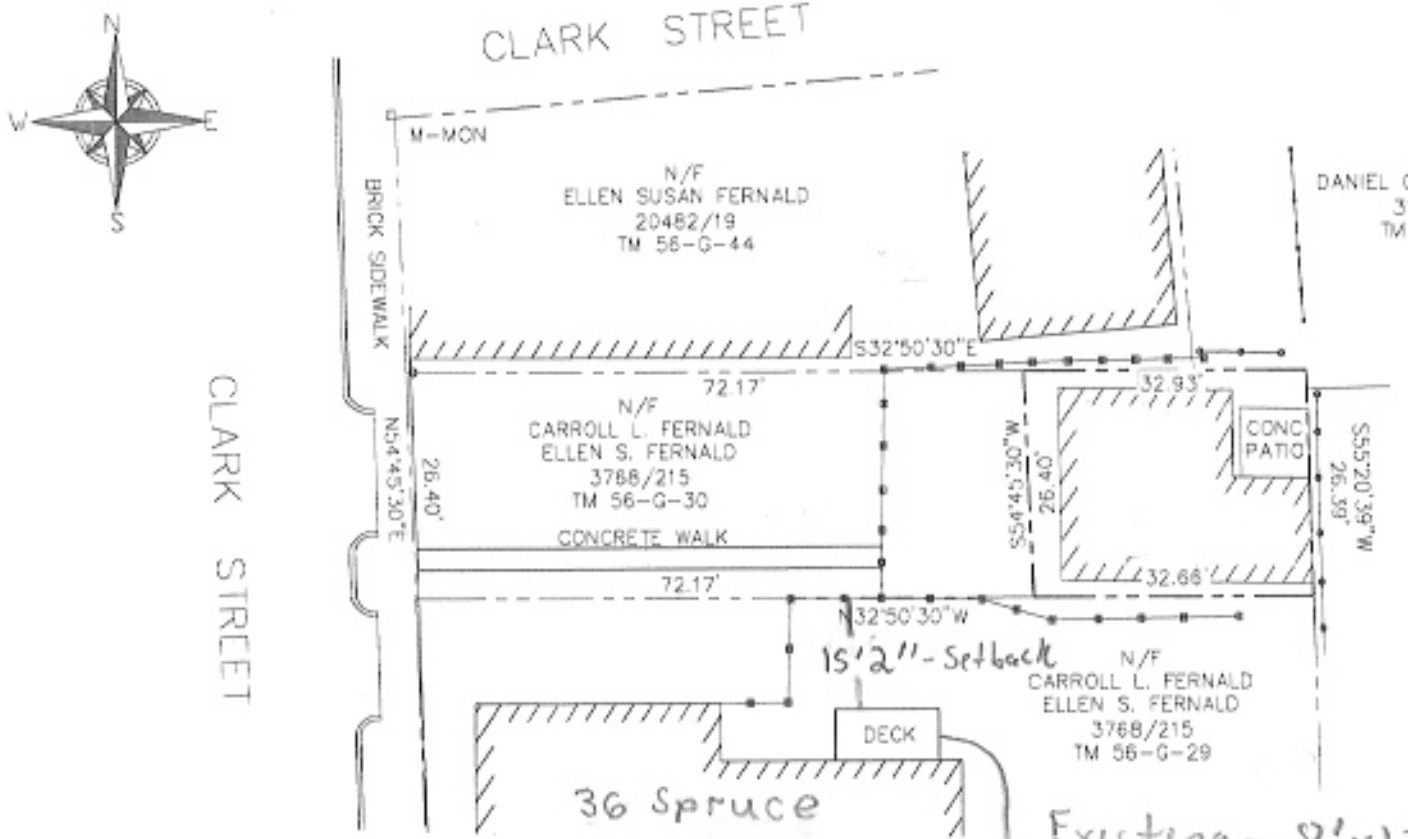
Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
02/19/2019



BOUNDARY PLAN

SPRUCE STREET
PORTLAND, MAINE

PRELIMINARY

PLAN REFERENCE:

1. PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR PORTLAND RENEWAL AUTHORITY NDP PROJECT ME A-2 DISPOSITION PARCEL 7D DATED JUNE 28, 1974 BY HE AND EC JORDAN

GRAPHIC SCALE
1" = 10'

NOTES:

1. THE OWNERS OF RECORD ARE CARROLL L. FERNALD AND ELLEN S. FERNALD AS DESCRIBED IN A DEED RECORDED IN BOOK 16107 PAGE 137 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. THIS PARCEL IS SHOWN AS LOT 46 BLOCK G ON THE CITY OF PORTLAND'S ASSESSORS MAP 56.
3. BEARINGS ARE BASED ON PLAN REFERENCE 1.
4. SEE SURVEY BY EC JORDAN DATED APRIL 18, 1928 FOR MICHAEL T. CONNELLY

CERTIFICATION:

I CERTIFY THAT THIS SURVEY [illegible] TO THE STANDARDS OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

WILLIAM C. SIM[illegible] P.L.S. 2138

FOR: **TIM GEHARDT**
20 DOW STREET
PORTLAND, MAINE 04104
(CLIENT/OWNER)

SURVEY BY: **SURVEY, INC.**
P.O. BOX 210
WINDHAM, ME 04062
(207) 892-2358
INFO@SURVEYINCORPORATED.COM

DWN: KCS CHK: BSD

DATE: APRIL 20, 2018 JOB NO. 18038

PROJECT DIRECTORY

OWNER:

GEBHARDT

DESIGN PROFESSIONAL:

MACLEOD STRUCTURAL ENGINEERS, PA
90 BRIDGE STREET
WESTBROOK, MAINE 04092
TEL. 207-839-0980

GENERAL CONTRACTOR:

TBD

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF -
1. UPDATING/RENOVATING INTERIOR SPACES
3. INSTALLING NEW ROOFING, SIDING
4. THE FOOTPRINT AND VOLUME OF THE BUILDING IS UNCHANGED
5. EXISTING COMPONENTS TO REMAIN EXCEPT AS NOTED HEREIN
6. EXISTING STRUCTURAL ELEMENTS TO REMAIN EXCEPT AS NOTED HEREIN
7. ALL NEW ELECTRICAL, PLUMBING & HEATING SYSTEMS THROUGHOUT

Two Family Residence Code Review
36 Spruce Street
Portland, Maine

CODE REVIEW: IRC2015
CH3
SECT 301 DESIGN CRITERIA
Design Wind speed = 120mph, therefore design per IRC
Design Snow, Pg= 60psf, therefore design per IRC
Design Floor Live Load = 40 psf

SECT 302 FIRE RESISTANT CONSTRUCTION
R302.1 Exterior Walls shall comply with Table R302.1
Not within 5ft of property line.
R302.7 Under stair protection is required for accessible spaces below stairs
R302.9 Wall and ceiling finishes shall meet flame spread <200 and smoke index <450.
R302.10 Insulation materials including vapor barriers shall meet flame spread <25 and smoke index <450 except as otherwise provided in this section
R302.11 Fireblocking is required at floors and ceilings, top and bottom of stair runs, and openings at vents, pipes, ducts, cables and wires with materials approved in this code
R302.12 Draftstoping at floor/ceilings is not required for this project
R302.13 Underside of Floors Shall be Protected Unless Joists are min. 2x10 per this section
R303 LIGHT VENTILAITION AND HEATING
R303.1 Habitable rooms shall have glazing >8 % of floor area, with 4% openable
R303.3 Bathrooms, min. glazing area of 3 sq. ft. with half openable
R303.7 Stairways shall have artificial illumination per this section
R303.8 Exterior Stairways shall have artificial illumination per this section
R303.10 Heating shall be provided per the requirements of this code

R304 MINIMUM ROOM AREA requirements have been met in these plans
R305 CEILING HEIGHT min. of 7ft has been met
R306 SANITATION requirements have been met
R307 TOILET, BATH AND SHOWER SPACES comply with this section
R308 GLAZING shall comply with the requirements of this section
R310 EMERGENCY ESCAPE is required from the basement and sleeping rooms - Complies.
R311 MEANS OF EGRESS each unit in these plans has one egress in compliance with this section
R311.6 Hallways are > 36 in. wide
R311.7 Stairways, handrails, rise and run, nosings, headroom, etc are in compliance with this code refer to stairway sections and details within (these are existing)

R313 AUTOMATIC SPRINKLER SYSTEMS R313.2, new two family duellings shall have an automatic sprinkler system complying with NFPA13D NOTE: CITY OF PORTLAND CODE CH10 - SPRINKLER NOT REQUIRED FOR EXISTING ONE AND TWO FAMILY BUILDINGS

R314 SMOKE ALARMS shall be provided in each sleeping room, outside each separate sleeping area in the immediate vicinity, and on each additional level including attic and basement, and shall be interconnect per this code
R315 CARBON MONOXIDE ALARMS shall be provided in the immediate vicinity outside sleeping areas

CHAPTER 6 WALL CONSTRUCTION
602.10.1 Braced Wall Panels
Mixed wall types are used
First Floor Walls are Existing

36 Spruce St.
Portland, Maine

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
02/20/2019

LOCATION PLAN

GENERAL NOTES:

1. THIS PLAN IS DESIGNED TO COMPLY WITH MAINE BUILDING AND ENERGY CODE, 2015 IRC, AND 2015 IECC
2. ALL OTHER CODES SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR
3. ALL MECHANICAL/PLUMBING/ELEVATRICAL DESIGN BY OTHERS
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK

ENERGY CODE STANDARDS: ZONE 6

1. FENESTRATIONS -Windows u-0.35, shg-0.38
1.1 -Doors u-0.25
2. ROOF -R49 (R30 at Sloping Ceiling Areas)
3. EXTERIOR WALLS -Fill Voids at Existing
4. BASEMENT CONC. WALLS (Exist to Remain)

ENERGY CODE NOTES:

1. ALL JOINTS AND PENETRATIONS SHALL BE CAULKED, GASKETED, OR COVERED WITH MOISTURE VAPOR-PERMEABLE WRAPPING MATERIAL
2. COMPONENT R-VALUES & U-FACTORS SHALL BE LABELED AS CERTIFIED.
3. INSULATION SHALL BE INSTALLED ACCORDING TO MFRS. INSTRUCTIONS, AND IN A MANNER THAT ACHIEVES THE REQ'D R-VALUE
4. STAIR, ELEVATOR SHAFT VENTS, AND OTHER OUTDOOR INTAKE AND EXHAUST OPENINGS SHALL BE EQUIPPED WITH MOTORIZED DAMPERS.
5. RECESSED LIGHTING FIXTURES INSTALLED IN THE BUILDING ENVELOPE SHALL BE TRYPE IC RATED AS MEETING ASTM E283, AND SEALED OR CAULKED.

CODE REVIEW NFPA 101
Chapter 24 One and Two Family Dwellings
24.2 Means of Egress - One primary means of egress and one secondary means of escape is required from every sleeping room and every living area. This design meets this requirement
24.2.5 Stairs - min. width =36in,
24.2.6 Hallways - min. width 36in
24.2.7 Bulkheads - shall provide direct access to the basement, are exempt from requirements of 24.2.5.1
24.3.4.1 Smoke alarms shall be provided in each sleeping room, outside each separate sleeping area in the immediate vicinity, and on each additional level including attic and basement, and shall be interconnect per this code
24.3.5.2 Sprinkler system is required per NFPA 13D, CITY OF PORTLAND CODE CH10 - SPRINKLER NOT REQUIRED FOR EXISTING ONE AND TWO FAMILY BUILDINGS

RESIDENTIAL SPECIFICATIONS:

FLOOR SYSTEM: EXISTING

EXTERIOR WALLS:
2x Studs as Indicated (16"oc) Exist.
Sheathing - Exist.
Air Infiltration Wrap
Siding/Finish as Indicated

INTERIOR WALLS:
2x4 Studs @ 16"oc (exist. to remain)
½" Gypboard as Indicated

ROOF SYSTEM:
Rafters-Exist. to remain
Sheathing - Existing
15# Underlayment
Ice & Water Shield at Eaves/Valleys
235# Asphalt Shingles as Indicated

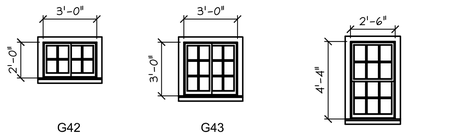
INSULATION:
See Energy Code Notes Herein

VENTILATION:
Soffit - 2"Contin. Strip
Ridges - Contin. Shingle
Circulation Vents Between Rafters/Trusses

BEAMS/HEADERS:
(3)2x6 Max. 40" Span
(3)2x10s Max 76" Span
Min. 4" Bearing all Beams

INTERIOR FINISHES:
½" Gypboard or As Indicated At Walls/Ceilings
Flooring As Indicated
Paint/Stain As Indicated

Note: Items not Indicated Shall be Per Contract



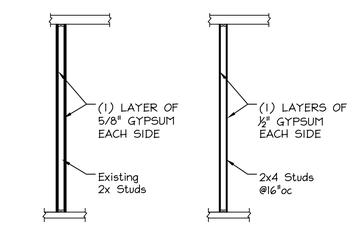
G42 Gliding Window (New)

G43 Gliding Window (New)

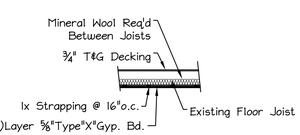
*2644 Double Hung (Existing to Be Replaced)

Note: Existing 1st & 2nd & 3rd Floor Windows, To Be Replaced With Similar.
Size shown for Reference only.

WINDOW SCHEDULE



PARTITION TYPES



DETAIL - 1Hr. Rated Ceiling Assembly
At First Floor Ceiling UL# L501

DRAWING LIST:

A0.0	COVER SHEET
A-1	FLOOR PLANS
A-2	ELEVATIONS
S-1	FRAMING PLANS
S-2	BUILDING SECTIONS

ISSUED 02/19/2019

3 _____
2 _____
1 Per Review 1/24/19

STATE OF MAINE
BRUCE W. MACLEOD
No. 5422
LICENSED PROFESSIONAL ENGINEER

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Use of these drawings by others without written consent is prohibited.

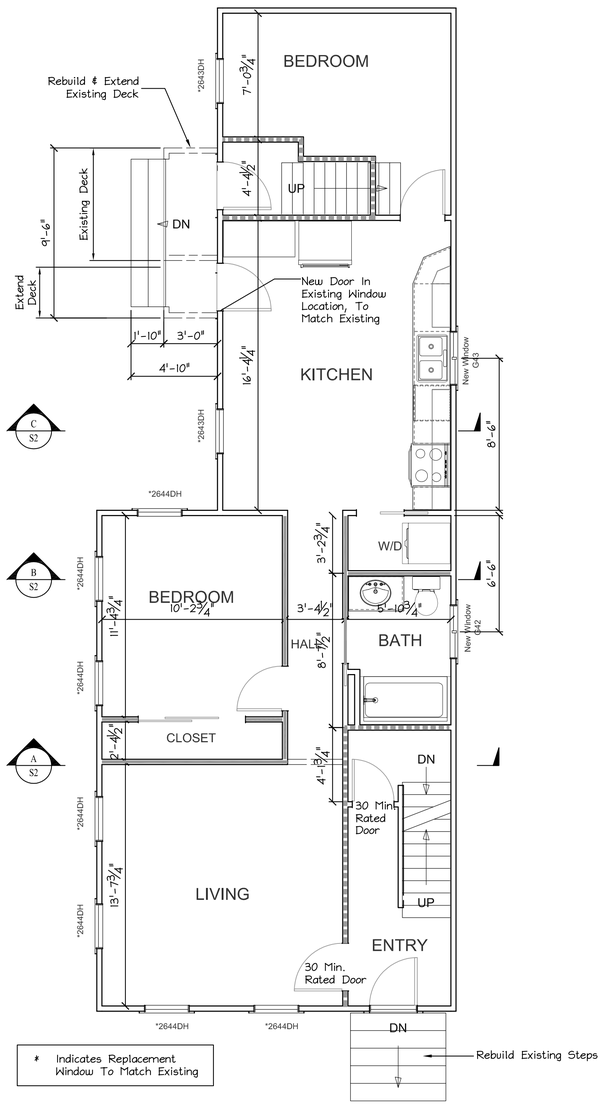
MACLEOD
STRUCTURAL ENGINEERS, PA
90 Bridge Street Suite 252
Westbrook, Maine 04092 207.839.0980

36 Spruce St. Renovations
36 Spruce St.
Portland, Maine

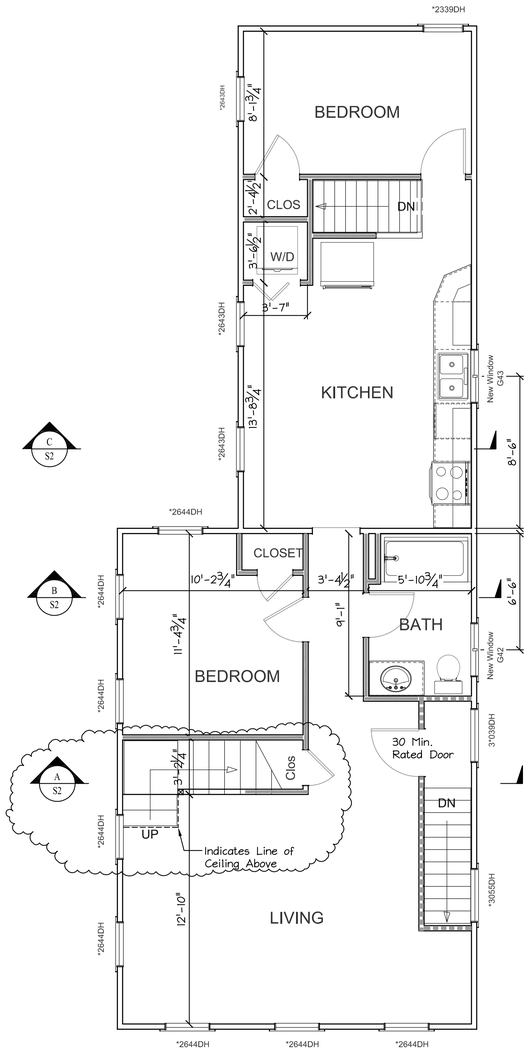
TITLE: COVER SHEET

DATE:	10.03.18	DRAWN BY: BWM	DRAWING NUMBER: A-0.0
SCALE:	as noted	PROJ NO: 2018-063	

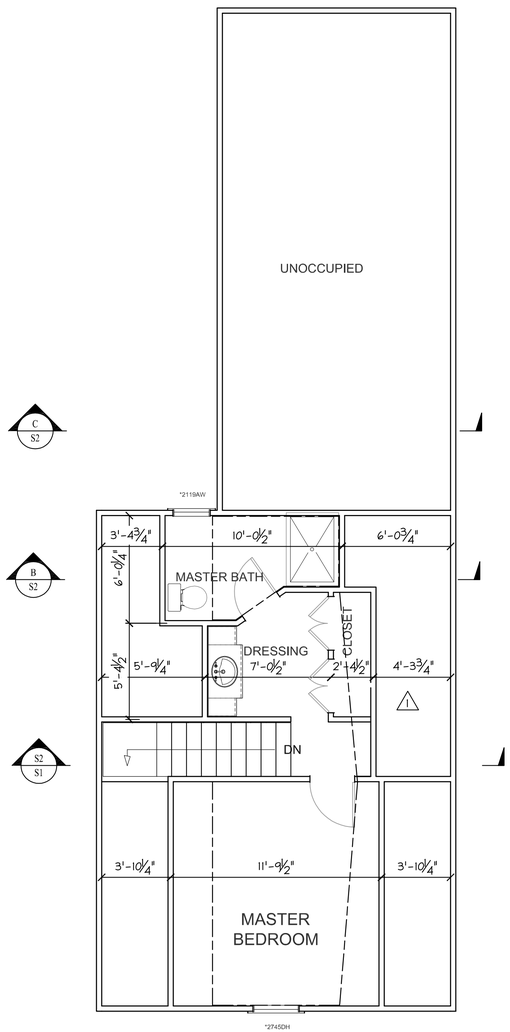
Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
02/19/2019



FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"

ISSUED 02/14/2019

3 _____
2 _____
1 Per Review 1/24/19

STATE OF MAINE
BRUCE W. MACLEOD
No. 5422
LICENSED PROFESSIONAL ENGINEER

MACLEOD
STRUCTURAL ENGINEERS, PA
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Westbrook, Maine 04092 207.839.0980

36 Spruce St. Renovations
36 Spruce St.
Portland, Maine

TITLE: FLOOR PLAN & SECTION

DATE: 10.03.18	DRAWN BY: BWM	DRAWING NUMBER: A-1
SCALE: as noted	PROJ NO: 2018-063	

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Permitting and Inspections Department
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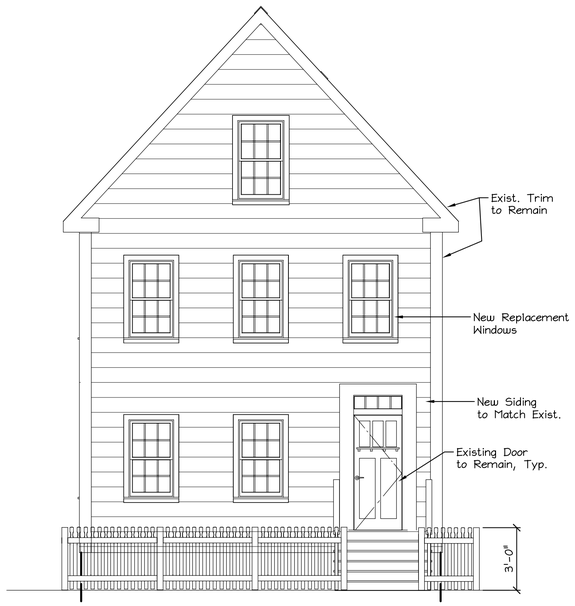
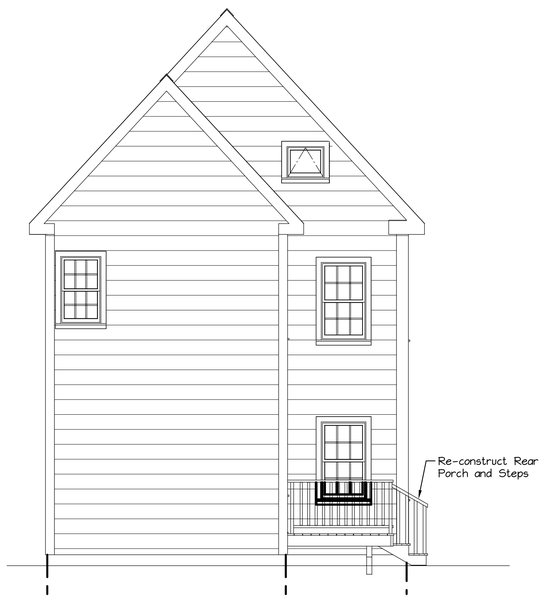
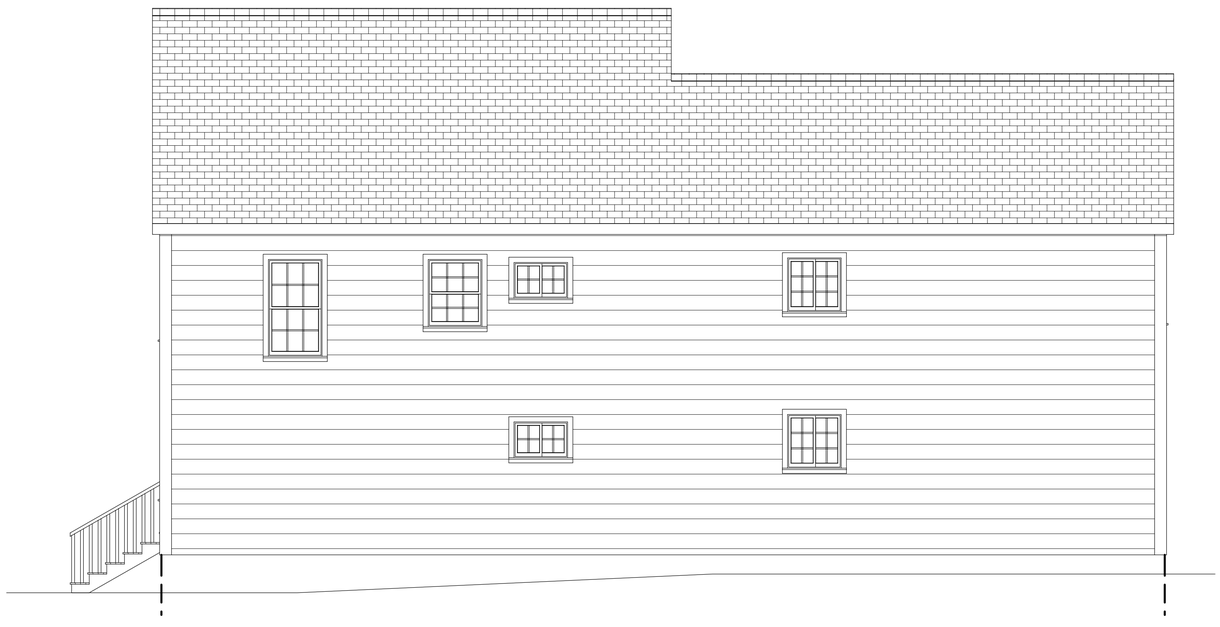


FRONT (SPRUCE ST.) ELEVATION
Scale: 1/4" = 1'-0"

LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"



REAR ELEVATION
Scale: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

ISSUED 01/24/2019

3 _____
2 _____
1 _____

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36 Spruce St. Renovations

36 Spruce St.
Portland, Maine

TITLE: ELEVATIONS

DATE: 10.03.18	DRAWN BY: BWM	DRAWING NUMBER: A-2
SCALE: as noted	PROJ NO: 2018-063	

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Permitting and Inspections Department
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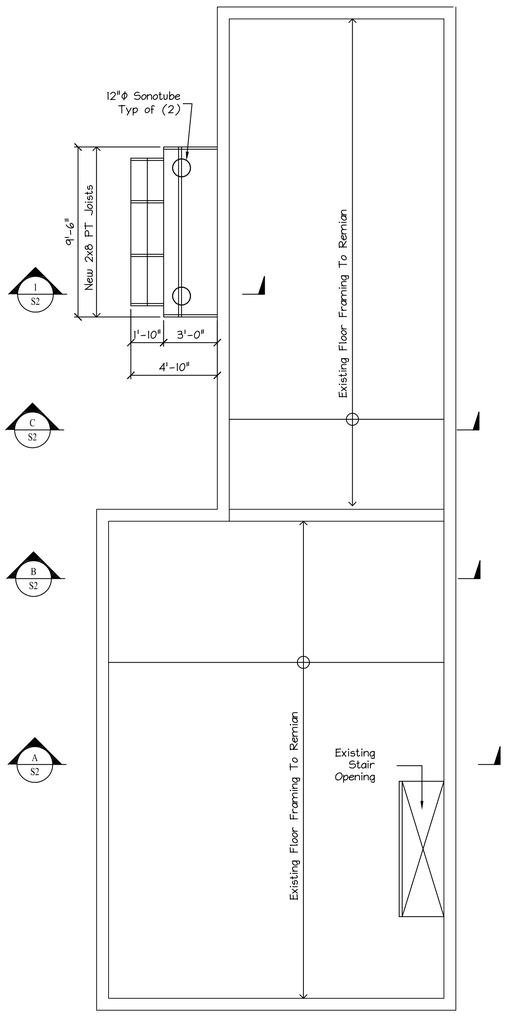
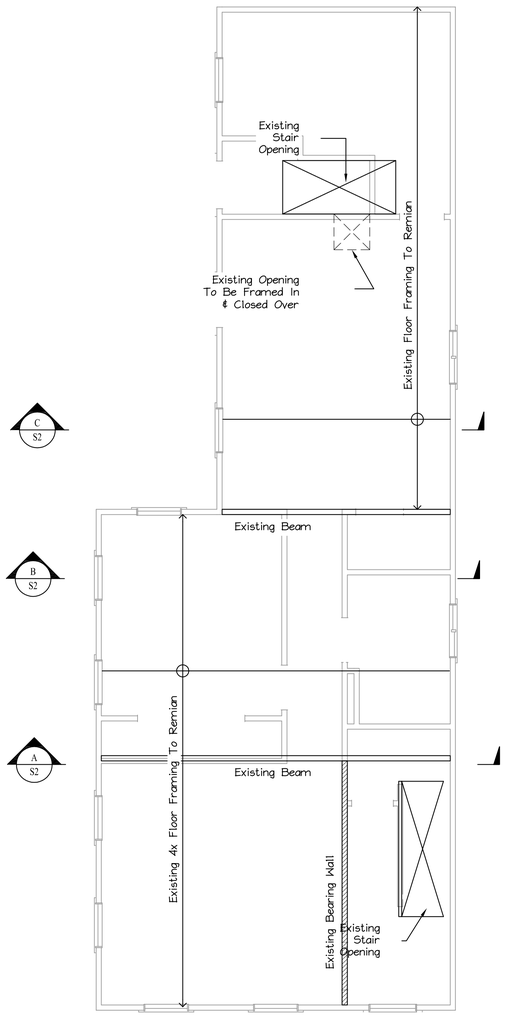
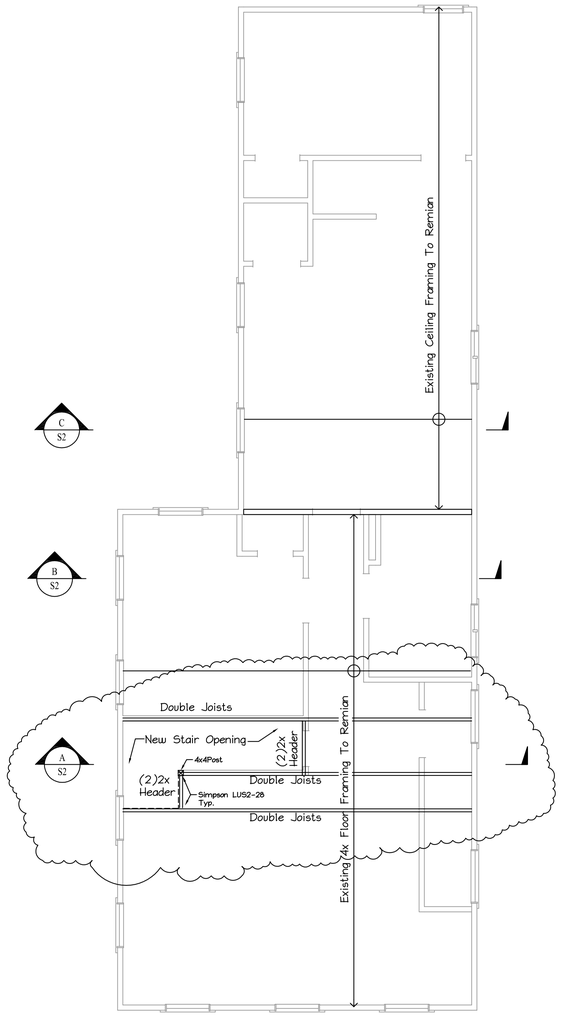
02/19/2019



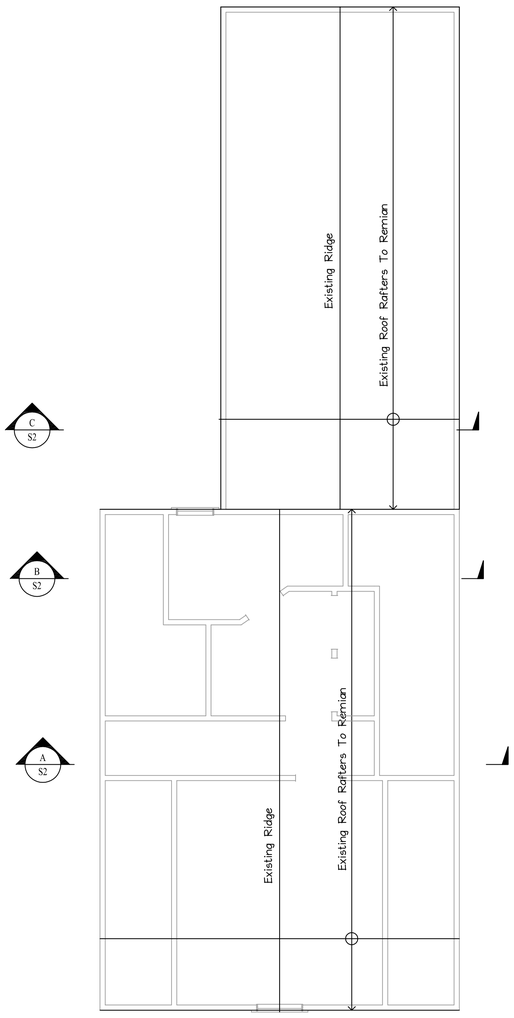
FIRST FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"



THIRD FLOOR FRAMINGPLAN
Scale: 1/4" = 1'-0"



ROOF FRAMINGPLAN
Scale: 1/4" = 1'-0"

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3 _____
2 _____
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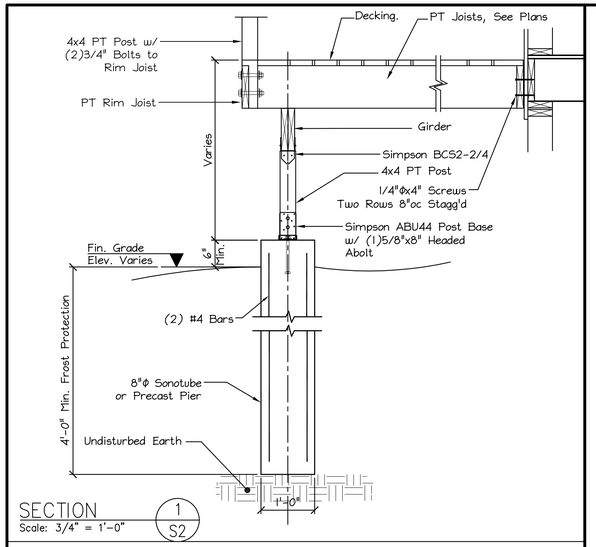
36 Spruce St. Renovations

36 Spruce St.
Portland, Maine

TITLE: FRAMING PLANS

DATE: 10.03.18	DRAWN BY: BWM	DRAWING NUMBER:
SCALE: as noted	PROJ NO: 2018-063	S-1



SECTION 1 / S2
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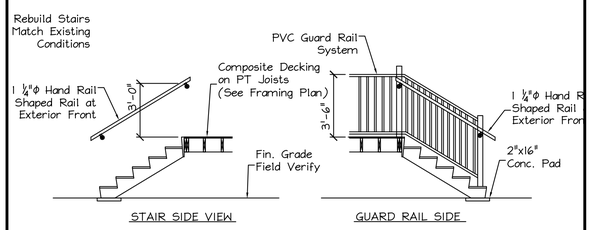
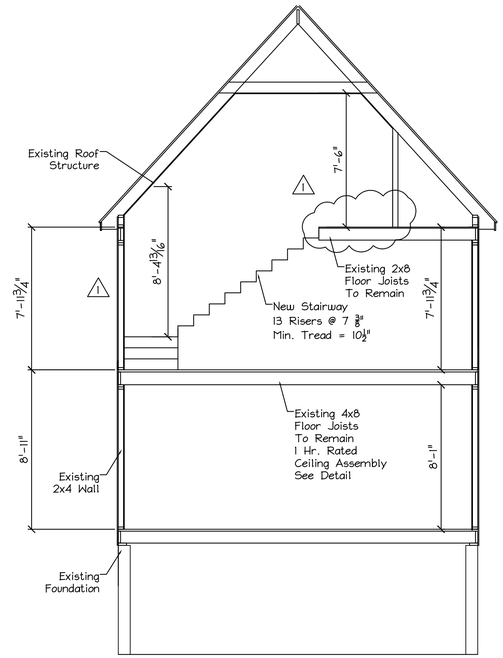


DETAIL 2 — TYPICAL RAILING AND EXTERIOR STAIRS WHERE APPLICABLE
Scale: 1/4" = 1'-0"



CROSS SECTION A
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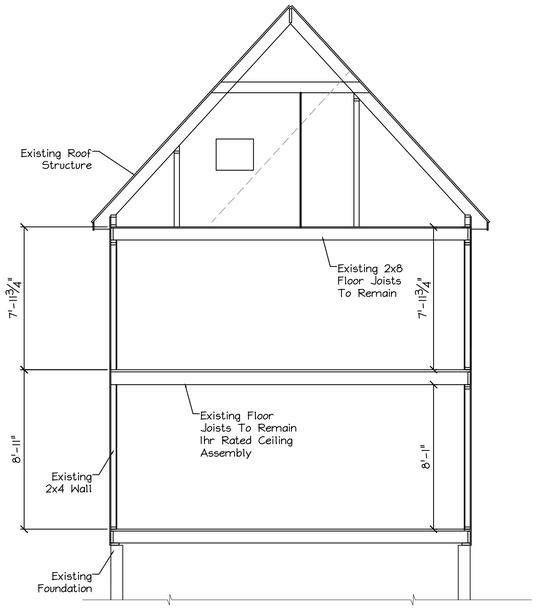
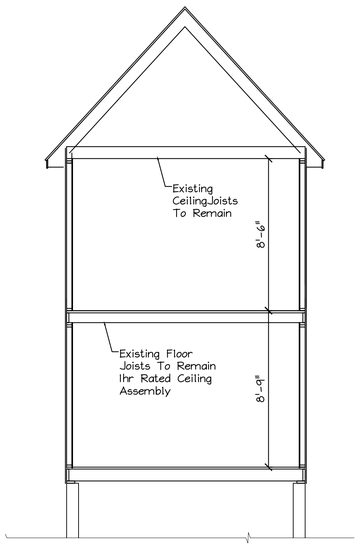
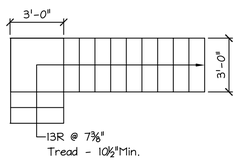


CROSS SECTION B
Scale: 1/4" = 1'-0"



CROSS SECTION C
Scale: 1/4" = 1'-0"



NEW STAIR PLAN
Scale: 1/4" = 1'-0"

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02/19/2019

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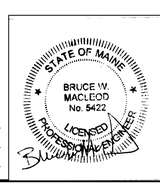
1 Per Review 1/24/19



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36 Spruce St. Renovations
36 Spruce St.
Portland, Maine

TITLE: BUILDING SECTIONS

DATE: 10.03.18	DRAWN BY: BWM	DRAWING NUMBER: S-2
SCALE: as noted	PROJ NO: 2018-063	