

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1161	Issue Date:	CBL: 056 G004001
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Location of Construction: 87 Emery St	Owner Name: Sea Otter Limited Liability	Owner Address: 39 Covese Ln	Phone: 846-0422
Business Name:	Contractor Name: Jack Star	Contractor Address: 44 Emery Street Biddeford	Phone: 2073325358
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone R6

Past Use: Multi Family/6 Units	Proposed Use: Multi Family/6 Units	Permit Fee: \$39.00	Cost of Work: \$1,700.00	CEO District: 3
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legal USE: 3D.U. in 85 Emery St & 3D.U. in 87 Emery St
 FIRE DEPT: Approved Denied
 INSPECTION: Use Group: R2 Type 5B
 11/24/03
 Signature: [Handwritten Signature]

Proposed Project Description:
 Replace 6x6 Post; 5/4 Decking and 2'x10' Joists to Porches
 TOTAL Dwelling units = Six (6)

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: gad	Date Applied For: 09/23/2003	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: 9/26/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 9/26/03
	D. Andrews 9/29/03		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 031161

Please Read Application And Notes, If Any, Attached

This is to certify that Sea Otter Limited Liability/Star has permission to Replace 6x6 Post; 5/4 Decking and 2"x4" Porches AT 87 Emery St 056 G004001

provided that the person or persons responsible for accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is occupied or otherwise closed-in. YOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Andrew King
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

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Permit No: 03-1161	Date Applied For: 09/23/2003	CBL: 056 G004001
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Location of Construction: 85-87 Emery St	Owner Name: Sea Otter Limited Liability	Owner Address: 39 Coveseide Ln	Phone: () 846-0422
Business Name:	Contractor Name: Jack Star	Contractor Address: 44 Emery Street Biddeford	Phone: (207) 332-5358
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Family/6 Units w/rear porch improvements	Proposed Project Description: Replace 6x6 Posts; 5/4 Decking and 2'x10' Joists to Porches
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Dept: Historical **Status:** Approved with Conditions **Reviewer:** Deborah Andrews **Approval Date:** 09/29/2003

Note: **Ok to Issue:**

- 1) * Entire porch construction must be opaque stained or painted to match adjacent stair tower.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/25/2003

Note: **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a six (6) family dwelling unit structure. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Mike Nugent **Approval Date:** 11/24/2003

Note: **Ok to Issue:**

Comments:

9/30/2003-mjn: plans lack structural detail, contractor notified

Received 11/21/2003

(Handwritten signature)

25 11/20

MET WITH INSPECTOR (ARTHUR ROWE) TO EXPEDITE?
 ARTHUR - I'm ALL SET TO BEGIN THIS PROJECT WHEN I HEAR FROM YOU.

All Purpose Building Permit Application DACK STAR

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

03-1161

Location/Address of Construction: <u>85-87 EMERY, PORTLAND, ME 04205</u>		
Total Square Footage of Proposed Structure <u>3744</u>	Square Footage of Lot <u>4287</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>56</u> Block# <u>G</u> Lot# <u>004</u>	Owner: <u>LOUISE MURPHY</u> <u>39 COYSE LANE</u> <u>YARMOUTH, ME 04096</u>	DACK STAR - 332- Telephone: <u>5358</u> <u>846-0422</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>DACK STAR</u> <u>44 EMERY ST.</u> <u>BIDDEFORD, ME</u> <u>332-5359</u>	Cost Of Work: \$ <u>1700.00</u> Fee: \$ <u>39.00</u>
Current use: <u>APARTMENTS (6 UNITS)</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>REBUILD POST SUPPORTS OF REAR DECKS.</u>		
Project description: <u>REPLACE 6x6 POSTS / 5/4 DECKING / 2x10" 2x12s</u>		
Contractor's name, address & telephone: <u>DACK STAR / 44 EMERY ST.</u> <u>BIDDEFORD, ME 04205</u>		
Who should we contact when the permit is ready: <u>DACK STAR #332-5358</u>		
Mailing address: <u>I WILL PICK UP</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>332-5358</u> * <u>Jack</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: DACK STAR Date: 8/31/03

This is NOT a permit, you may not commence ANY work until the permit is issued.
 If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Zoning Division
Marge Schmuckal
Zoning Administrator

Department of Planning & Development
Lee Urban, Director



CITY OF PORTLAND

March 7, 2003

Louise Murphy / Sea Otter Limited Liability Co.
30 Coveside Lane
Yarmouth, ME 04096

RE: 85-87 Emery Street – 056-G-004 - R-6 Zone

Dear Louise,

This letter is to document our inspection of your building on March 6, 2003. Thank you for the complete access to these buildings. I have compiled all the information from the copies of leases and copies of advertisements that you submitted to this office along with our visual inspection of the buildings. At this time I have concluded that you are using these buildings as dwelling units. There are three dwelling units within number 85 Emery Street and three dwelling units within number 87 Emery Street. At the time of inspections, all locks had been removed from individual bedroom doors. It is important to maintain your dwelling units in that way.

Please be reminded that the six dwelling units are considered to be residential dwelling units under zoning. As such, you may NOT rent out individual bedrooms separately. All advertisements in the newspapers and all leases should reflect that requirement. Any requests for social service assistance also has to acknowledge that this building is considered to contain six residential dwelling units only, with no individual rooming units.

If you should wish to change the use of your building to a rooming house, this office will require an application for that change of use. At that time, you would need to meet the requirements of the zoning ordinance. There is a process for review and approval which is required under the City ordinances that must be met prior to changing the use of the property from six residential dwelling units to any other use.

Very truly yours,

Marge Schmuckal
Zoning Administrator

**Cc: Mark Adelson, Neighborhood and Housing Services
Mike Nugent, Inspection Services Supervisor
Jon Reed, Code Enforcement Officer
Tom Markley, Code Enforcement Officer
Arthur Rowe, Code Enforcement Officer
Corporation Counsel
Nicholas Walsh, 111 Commercial Street, Portland, ME 04101-4719
File**

11/18/03

TO: MIKE NUGENT
CITY OF PORTLAND

SUBJECT: BUILDING PERMIT FOR STRUCTURE REBUILD OF BACK PORCHES 87 EMERY ST. PORTLAND.
APPLICATION HAS BEEN FILED & THESE ARE THE LARGER DRAWINGS REQUESTED OF HANDRAILS & STRUCTURE

FROM:

STAR PROPERTY SERVICES
JACK STAR
44 EMERY ST.
BIDDEFORD, ME 04005
207-332-5358

WORK PLAN FOR RE-BUILD OF 85-87 EMERY ST. PORTLAND DECKS

1. ALL TENANT REAR EGRESS ACTIVITY WILL BE ROUTED THROUGH THE BASEMENT BULK HEAD EXIT. THIS IS A WELL ESTABLISHED SECOND EGRESS & IS LIT 24 HOURS A DAY. THIS PROVIDES EGRESS & MAINTAINS SAFETY WHILE WORK COMMENCES. NOTICES TO TENANTS WILL BE POSTED.

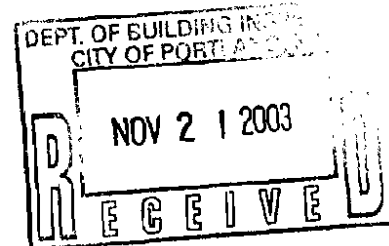
2. ALL PORCH ACCESS DOORS WILL BE SEALED OFF UNTIL WORK IS DONE. HARD HAT AREA.

3. SET UP STAGING & BRACE THE EXISTING ROOF TO SAVE & RE- JOIN TO NEW 6" X 6" P.T. POSTS BEING REPLACED.

4. OLD DECKS WILL BE TAKEN OUT & RE-BUILT USING:

DECKING : ALL DECKS WILL HAVE NEW 5/4" X 6" PT DECKING
FRAME STOCK: NEW 2" X 10" PT JOIST & HEADER STOCK ALL DOUBLE BRACED AT 20" O.C. USING DOUBLE SIMPSON STRONG TIES JOIST HANGERS & HEADER CONNECTORS
POST STOCK: NEW 6" X 6" PT SUPPORT POSTS USING SIMPSON STRONG TIE BASE CONNECTORS
HANDRAILS: 1" SQUARE BALUSTERS SPACED WITH 4" VERTICAL & BOTTOM CLEARANCE TO MEET BOCA FRAMING TO HOLD BALUSTERS WILL BE TOP & BOTTOM PT 2 X 4" WITH A TOP PLATE HANDRAIL OF 1X6 DECKING SET AT 42" OFF DECK FLOOR.

5. SITE WILL BE CLEAN & READY FOR FINAL INSPECTION UPON COMPLETION.





CITY OF PORTLAND, MAINE

Department of Building Inspections

September 23 20 03

Received from

Star Property Services

Location of Work

85-87 Emery Street

Cost of Construction

\$ 1,700.00

Permit Fee

\$ 39.00

Building (IL)



Plumbing (IS)

Electrical (I2)

Site Plan (U2)

Other

CBL

0516-6-005

Check #

1210

Total Collected

\$ 39.00

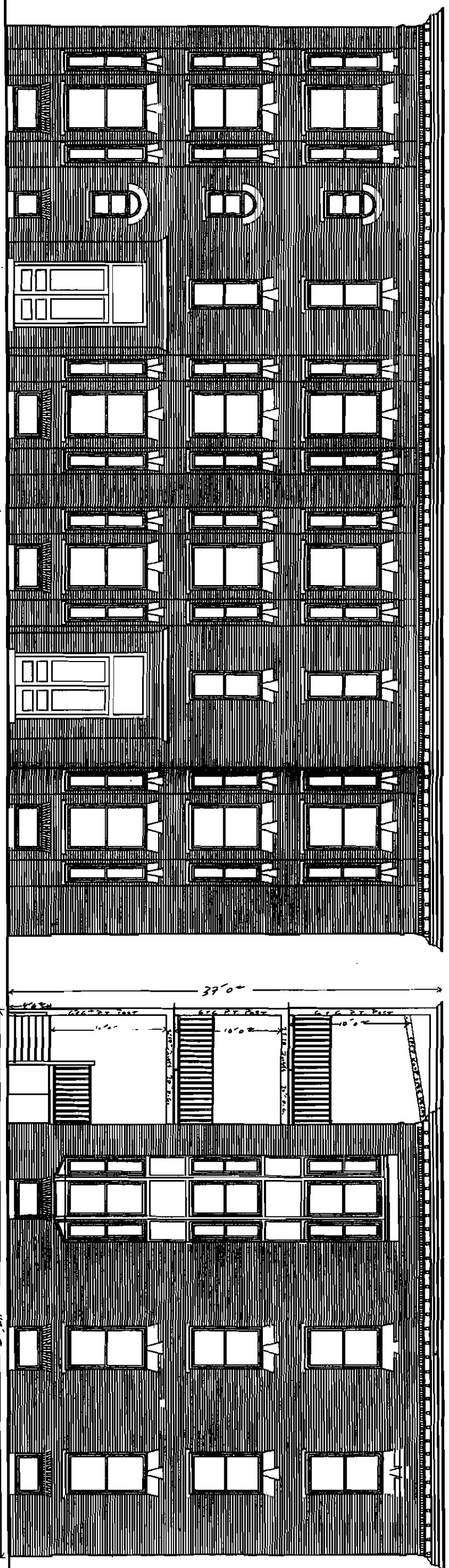
THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

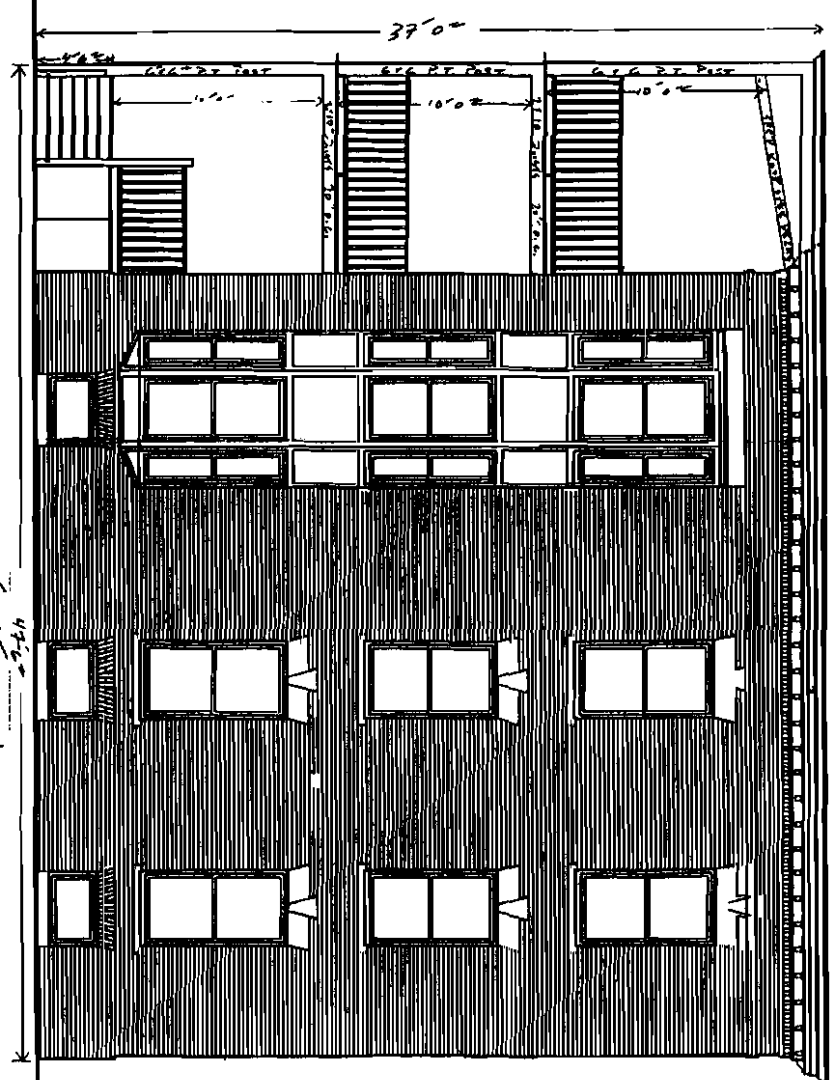
WHITE - Applicant's Copy

YELLOW - Office Copy

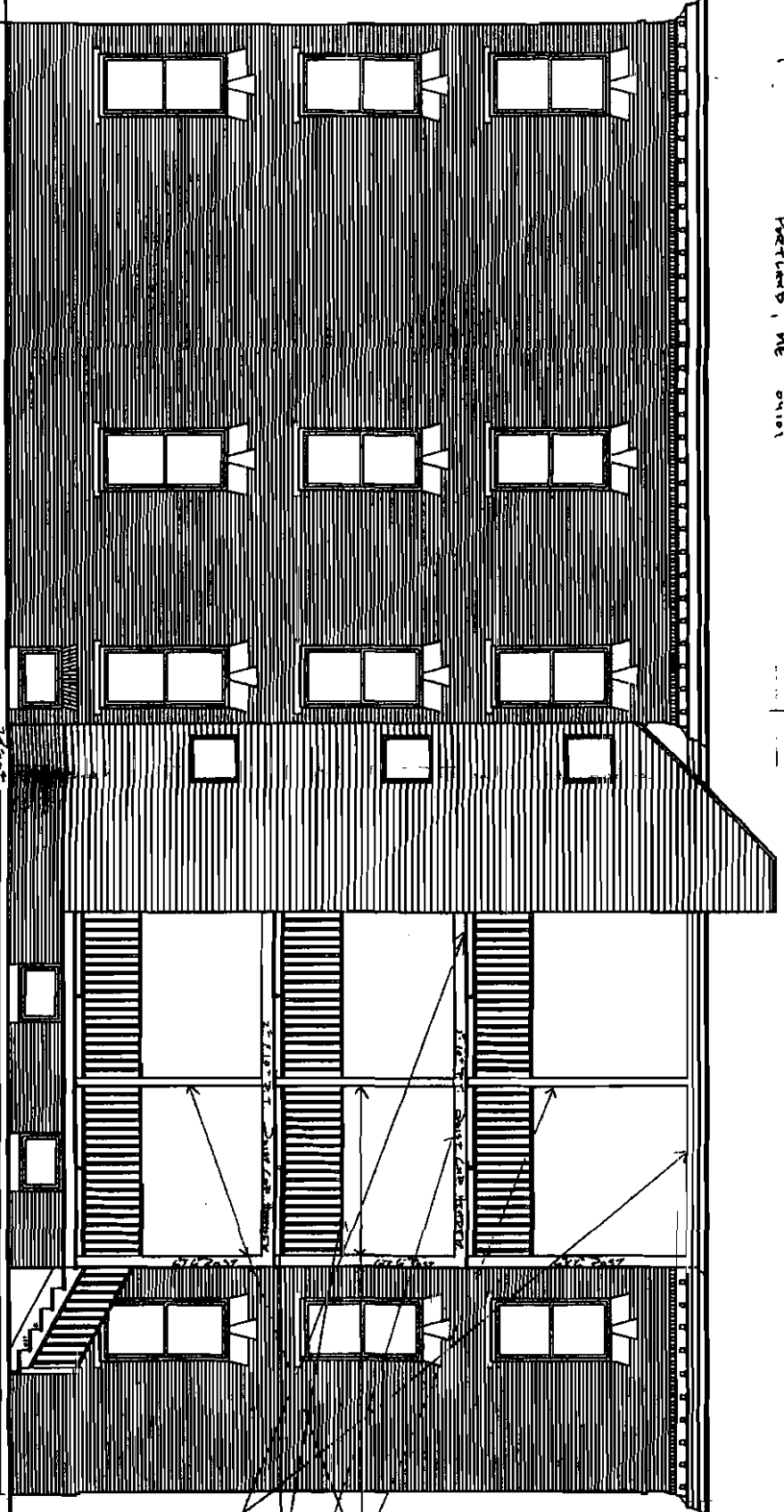
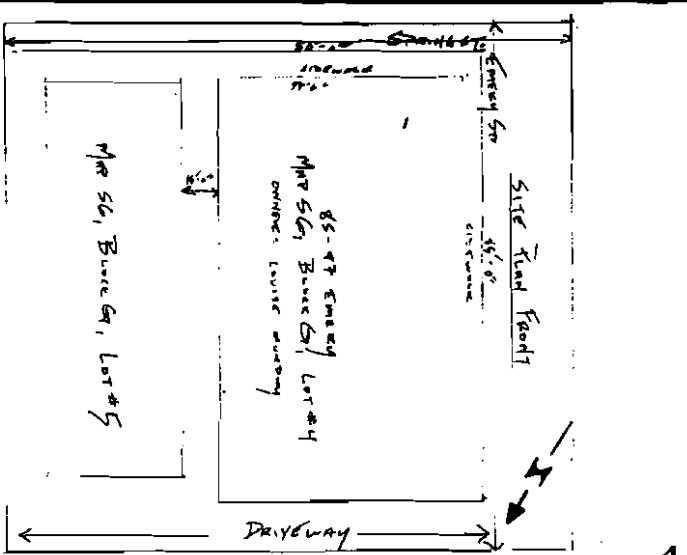
PINK - Permit Copy



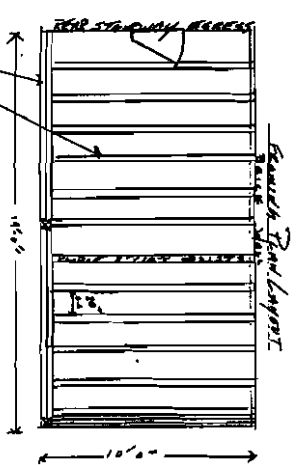
8 1/2' Emery
 Front Elevation
 Return, NE only
 8 1/2' Emery



4 1/2' Emery
 Side Elevation



8 1/2' Emery
 Rear Elevation



REAR FRONT LAYOUT
 14 1/2' x 10 1/2'
 REQUIRED BY EXISTING RECORD SET BY EMERY
 ORIGINAL SIZES SHOULD BE REPRODUCED
 WITH 1/8" G.T. PLOT (SHEET NUMBER)
 EXISTING FRAME SIZES (210" REMOVED)
 WITH 3/8" SPOUTS WITH 1/8" R.D. DIMS
 HANDING SHALL BE SET 1/2" HIGHT
 WITH 3/8" SPOUTS WITH 1/8" R.D. DIMS
 WITH 3/8" G.T. AT BARRIERS & DECK
 EXISTING W/DENIG AND DECKING
 WITH 3/8" G.T. AT DECKING
 X ROOF SHOWN WILL BE SAVED
 & BLENDED TO THE NEW STRUCTURE
 CONTRACTOR: Dick Smith 521-3388
 IN EMERY ST.
 BRIDGEWAY NE CORN
 DWG BY: LAUREN MURPHY 4/14/22