

56-E-1

2007-0056

132 Brackett St.

Reiche School Phase 3

Site Improvements

City of Portland

add to spreadsheet



City of Portland Site Plan Application

If you or the property owner owes real estate taxes, personal property taxes or user charges on any property within the City, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: 132 Brackett St./176 Clark St.		Zone: R6
Existing Building Size: N/A	sq. ft.	Proposed Building Size: N/A
Existing Acreage of Site: *52,060	sq. ft.	Proposed Acreage of Site: N/A
*Location of improvements only Tax Assessor's Chart, Block & Lot:		Property owner's mailing address:
Chart# 56	Block# B	City of Portland
		389 Congress St.
		Portland, ME 04101
	Lot# 012	Telephone #:
	001	Dept. of Parks & Recreation (DPR)
		874-8793
Consultant/Agent, mailing address, phone # & contact person: Sebago Technics, Inc. 856-0277 One Chabot St. Westbrook, ME 04098		Applicant's name, mailing address, telephone #/Fax#/Pager#: Phil Labbe, DPR 874-8793
		Project name: Rieche School Phase III Site Improvements

Chris DiMatteo
 Fee For Service Deposit (all applications)** X (\$200.00)

Proposed Development (check all that apply)

- New Building
- Building Addition
- Change of Use
- Residential
- Office
- Retail
- Manufacturing
- Warehouse/Distribution
- Parking lot
- Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable
- Site Location of Development (\$3,000.00)
- (except for residential projects which shall be \$200.00 per lot _____)
- Traffic Movement (\$1,000.00)
- Storm water Quality (\$250.00)
- Section 14-403 Review (\$400.00 + \$25.00 per lot)
- Other _____

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00) **
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

~ Please see next page ~

** Department of Parks & Recreation requests a waiver on application and review fees.

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Phil Labbe
City of Portland
Dept. of Parks & Recreation
17 Arbor Street
Portland, ME 04103

Submittals shall include (9) separate **folded** packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

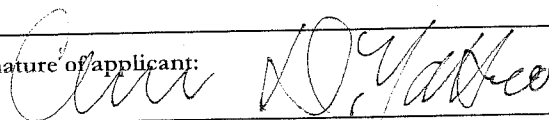
Amendment to Plans: **Amendment applications should include 9 separate packets of the above (a, b, & c)**

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: portlandmaine.gov

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date:

3.29.07

For Phil Labbe, DPR

This application is for site review **ONLY**; a building Permit application and associated fees will be required prior to construction.



City of Portland, Maine Site Plan Checklist

Reiche Community School Phase III Site Improvements.
 Project Name, Address of Project 132 Brackett St/176 Clark St.
 Number

Minor Site Plan
 Application

Submitted () & Date (b,c)	Item	Required Information	Section 14-525
X	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
X	(2)	Name and address of applicant and name of proposed development	a
X	(3)	Scale and north points	b
x	(4)	Boundaries of the site	c
X	(5)	Total land area of site	d
X	(6)	Topography - existing and proposed (2 feet intervals or less)	e
X	(7)	Plans based on the boundary survey including:	2
n/a	(8)	Existing soil conditions	a
X	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
n/a	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
X	(11)	Approx location of buildings or other structures on parcels abutting the site	d
n/a	(12)	Location of on-site waste receptacles	e
X	(13)	Public utilities	e
X	(14)	Water and sewer mains	e
X	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
X	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
X	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
X	(18)	Parking areas	g
n/a	(19)	Loading facilities	g
X	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
X	(21)	Curb and sidewalks	g
X	(22)	Landscape plan showing:	h
X	(23)	Location of existing proposed vegetation	h
X	(24)	Type of vegetation	h
X	(25)	Quantity of plantings	h
X	(26)	Size of proposed landscaping	h
X	(27)	Existing areas to be preserved	h
X	(28)	Preservation measures to be employed	h
X	(29)	Details of planting and preservation specifications	h
X	(30)	Location and dimensions of all fencing and screening	i
n/a	(31)	Location and intensity of outdoor lighting system	i
n/a	(32)	Location of fire hydrants, existing and proposed	k
X	(33)	Written statement	c
X	(34)	Description of proposed uses to be located on site	l
n/a	(35)	Quantity and type of residential, if any	l
X	(36)	Total land area of the site	b2
n/a	(37)	Total floor area and ground coverage of each proposed building and structure	b2
X	(38)	General summary of existing and proposed easements or other burdens	c3
X	(39)	Method of handling solid waste disposal	4
X	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
X	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
X	(42)	An estimate of the time period required for completion of the development	7
X	(43)	A list of all state and federal regulatory approvals to which the development may be subject to. **	8

<u>X</u>	(44)	The status of any pending applications	8
<u>n/a</u>	(45)	Anticipated timeframe for obtaining such permits	h8
<u>n/a</u>	(46)	A letter of non jurisdiction	h8
<u>n/a</u>	(47)	Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that is has reviewed the planned development and would seriously consider financing it when approved.	

** If project consists of soil disturbance of over one acre, a Major Construction General Permit is required from the Maine Department of Environmental Protection.

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- | | |
|--|---|
| - drainage patterns and facilities; | - an environmental impact study; |
| - erosion and sedimentation controls to be used during construction; | - a sun shadow study; |
| - a parking and/or traffic study; | - a study of particulates and any other noxious |
| - emissions; and | - a noise study; |
| - a wind impact analysis. | |

Other comments:

March 29, 2007
06395

Ms. Barbara Barhydt
Planning Department
City of Portland
389 Congress Street
Portland, ME 04101

Minor Site Plan Review Application
Reiche Community School, Phase III Site Improvements, Brackett Street, Portland

Dear Barbara:

On behalf of the Department of Parks and Recreation (DPR), please find the attached a Minor Site Plan Application for your review. The project, site improvements at Reiche Community School, has been bid for construction, though actual construction is not scheduled before June 25 when the school year is anticipated to be finished. The construction drawings are enclosed for your review.

Background

The Reiche Community School has been the focus of several phases of site improvements over the last several years beginning with the reconstruction of the playground located at the Spring Street side of the facility. The most recent phase of work focused on rehabilitation of existing parking lots, basketball court and new stormwater line and brick sidewalk—re-establishing Bradford Way. The DPR worked with Deb Andrews, Historic Preservation Program Manager, when detailing the new perimeter ornamental fence (brick column and black picket panels) during the first phase of work that included the playground area. The ornamental fence is included in this current phase of work along Clark Street. With all funding being from the Federal government, coordination with the Housing and Community Development Program Manager has been provided on past project phases. All phases of work included coordination with playground committee members and school department staff.

Existing Conditions

The site is divided among four distinct areas: the athletic field; the Clark Street parking lot; the Brackett Street entrance area; and the Clark Street entrance area. The Brackett Street area includes the paved area behind the existing school bus drop-off and the area adjacent to the loading dock and parking lot entrance. The Clark Street entrance area includes the edge along the existing lawn area located between the building and sidewalk, northwest of the playground.

The site is generally in fair to poor condition and is in need of improvements in order to achieve a more acceptable level of service and, within the entrance areas, to support an aesthetic goal that was identified by the committee members and city staff. Most of the area abutting the athletic field is in good condition since it was part of the previous phase of site improvements constructed in 2005. This included a new brick sidewalk, granite curb, paved parking, storm drain and catch basins, black vinyl chain link fence, and trees.

Phase III Improvements

The primary focus of this phase, anticipated to be the final phase, is the existing play field. Reconstruction of this undersized athletic field will include drainage, irrigation, loam and sod. In addition, improvements include new black vinyl chain link fence, water service connections to the school, drinking fountain, curbed planting beds at entrances, brick column and ornamental fence, and the reconstruction of an existing gravel parking lot along Clark Street and its associated drainage, bituminous paving and planting along the entrance.

The latter will require a new storm drain and drainage structures to be connected to an existing catch basin within Clark Street. The planned improvements for the parking lot also includes a new curb, granite curb for the entrance area, which should accommodate the need to keep vehicles within the parking area. A boulder barrier is also proposed along the rear portion of the lot that abuts directly to neighboring parcels that have active vehicular circulation. These neighboring parcels are currently accessing the lot since the long-standing guardrail was removed late last year. The existing brick sidewalk and driveway apron abutting the parking lot is planned for reconstruction.

For the Brackett Street portion of the site, a new granite curbed planting bed is proposed in the vicinity of the school bus drop-off, similar to the planting bed that exists closer to the entrance. A small section of chain link fence, recently installed between the corner of the north wing of the school building and the ramp, is planned to be removed. The original intention for this section of fence was to keep any pedestrians from traveling too close to the steep retaining wall that is part of the loading dock area located to the north. Proposed improvements include a new pipe rail fence along this edge to help keep anyone from walking in the vicinity of the wall.

For the Clark Street portion of the site, as with the Brackett Street side, a new granite curbed planting bed is proposed between the concrete ramp and the north wing of the school. A small section of ornamental fence is planned for this corner of the school building and a longer run starting just past the concrete ramp and continuing to the existing driveway that leads to the playground area. The new fence will be aligned with the existing run of ornamental fence along Clark Street abutting the playground area. A new planting bed, approximately ten feet wide along the school side of the proposed fence, is proposed and will include small flowering trees.

I believe that the proposed improvements are primarily an upgrade in nature and do not provide any major re-organization of the facility. The site improvements; however, are very much needed and will enhance the level of service greatly.

Please don't hesitate to call with any questions, comments, and/or if you are in need of additional information.

Sincerely,

SEBAGO TECHNICS, INC.



Christopher Di Matteo
Project Manager



CAD:cad/dlf/kn

Enc.

- Project Narrative
- Copy of Tax Map
- Construction Bid Plan Set
- Standard Boundary and Topographic Survey

cc: Phil Labbe, Department Parks and Recreation

Project Narrative Reiche Community School Phase III Site Improvements

The following narrative has been prepared to address the written statement requirements of the City of Portland Site Plan Review Ordinance identified in Section 14-525(c) of the Land Use Ordinance. Based on Section 14-522, *Minor Development*, subsections (b) and (e), the project should be assessed under Minor Site Plan Review.

Applicant and Owner

The project applicant is:

City of Portland
Department of Parks and Recreation
17 Arbor Street
Portland, ME 04103
Contact: Phil Labbe, Parks and Cemeteries Division Manager; 874-8793

1. Proposed Uses

Current uses are essentially governmental and include official school and City business as well as general recreational use from neighborhood residents. These uses are not planned to be changed with the proposed site improvements.

The primary focus of this phase, anticipated to be the final phase, is the play field. Reconstruction of this undersized athletic field will include drainage, irrigation, loam and sod. In addition, improvements include new black vinyl chain link fence, water service connections to the school, drainage connections to the existing storm drain, drinking fountain, curbed planting beds at entrances, brick column and ornamental fence, and the reconstruction of an existing gravel parking lot along Clark Street and its associated drainage, paving and planting.

2. Land Area

The project site, land area that is planned for improvement, is approximately 1.2 acres in size and is identified as Block E, Lot 001 and Block B, Lot 012 City of Portland Tax Map 56. The site address is 132 Brackett Street (Reiche Community School) and 176 Clark Street (School parking lot). A reduced copy of the tax map is attached for your review.

The total ground cover of the proposed site improvements is approximately 52,060 square feet (1.2 acres)

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The following narrative has been prepared to address the written statement requirements of the City of Portland Site Plan Review Ordinance identified in Section 14-525(c) of the Land Use Ordinance. Based on Section 14-522, *Minor Development*, subsections (b) and (e), the project should be assessed under Minor Site Plan Review.

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17 Arbor Street
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3. Easements

A boundary and topographic survey was prepared by Sebago Technics, Inc. in November 2006. No easements encumbering the property were found.

4. Solid Waste

The project is not expected to generate any solid waste quantities. The existing facility currently addresses solid waste and recyclable materials.

5. Availability of Off-Site Facilities

The existing conditions plan attached to this application indicates the location of existing utility infrastructure abutting the site. The only off-site utilities that are being used is the existing combined sewer system in Clark Street.

6. Stormwater Drainage

The project site is a fully developed parcel of land. Currently, storm drainage discharges from the site to existing catch basins and combined sewer within the right-of-way of Clark Street. With regard to the Clark Street parking lot, the planned improvements propose to formalize the existing pattern of stormwater and manage any off-site drainage in an appropriate manner. The surface drainage of the athletic field will continue to drain into existing catch basins that ultimately connect to the combined sewer in Clark Street. In addition, proposed under drainage will be connected to the existing storm drain on site.

7. Construction Plan

The project has been bid and construction is scheduled to start between June 25, when the school year is anticipated to be finished, and August 31, 2007.

8. Regulatory Approvals

The project site is fully developed and less than three acres in size. The site will not require an MDEP Site Location of Development or Stormwater permit. We do not anticipate that the project is subject to any additional state or federal approvals, and we are unaware of any pending applications related the project site.

9. Financial and Technical Capacity

The applicant has previous experience in such improvement projects and has the financial and technical capacity required.

10. Right, Title and Interest

The attached tax map identifies the City as the owner of the project site.

11. Natural Areas, Wildlife Habitat, Archeological Sites

It seems evident by the nature of the developed character of the project site that inquiry under this subject would reveal no significant resources that would require protection. A waiver is requested.

12. Recyclable Material

See Solid Waste.



CITY OF PORTLAND
 PLAT 1255
 SCALE 1" = 50'
 RETRACED 7-19-73 REVISED 7/25/75

City of Portland
Department of Planning and Development
Planning Division
389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258



FAX

To: CHRIS DIMATEO

Company: SERAGO TECHNICS

Fax #: 856-2206

Date: 5-14-07

From: SCOTT HANSON

You should receive 5 page(s) including this cover sheet.

Comments:

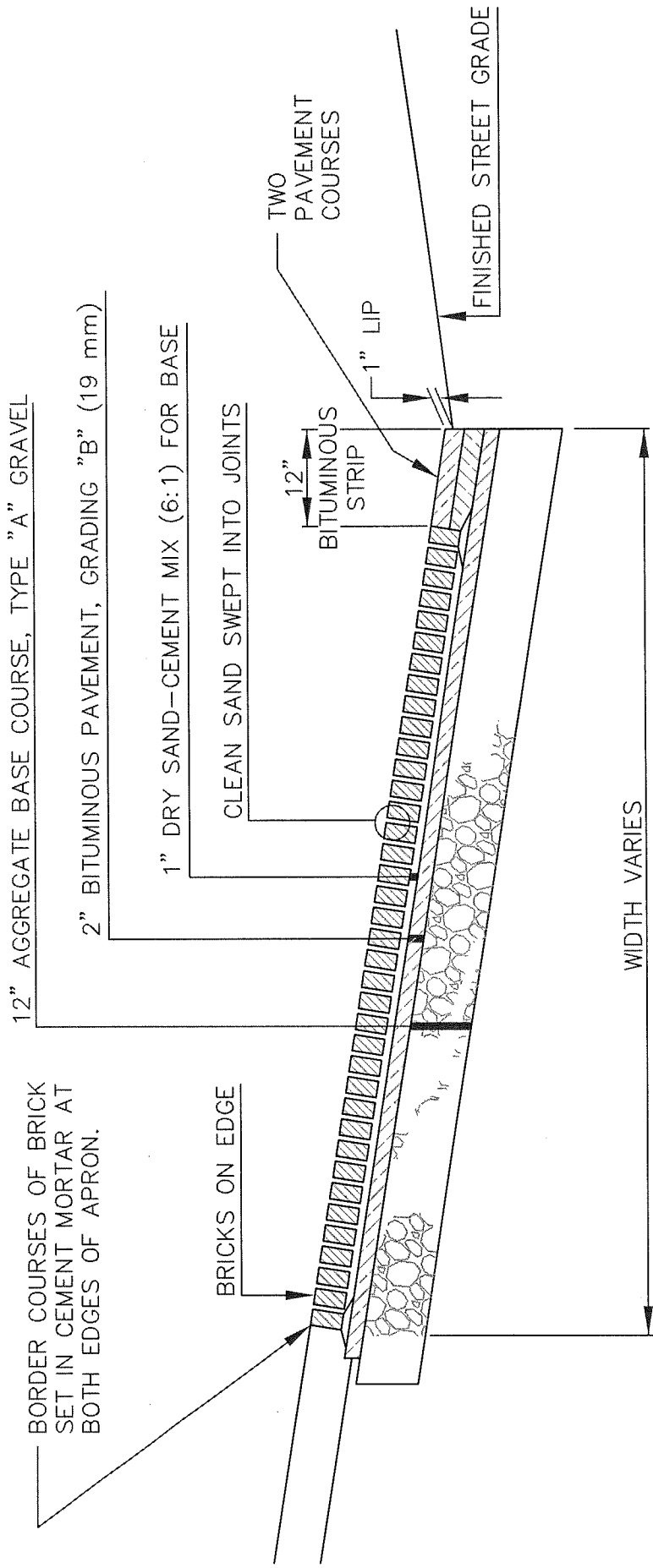
**CITY OF PORTLAND
DEPARTMENT OF PUBLIC WORKS
Engineering Division**

M E M O

TO: Scott Hanson
FROM: Michael Farmer, Project Engineer *M.F.*
DATE: May 11, 2007
RE: Reiche School project

I have attached our design details for brick sidewalks and brick driveway aprons. The appropriate details should be used in the project plans, instead of the details in the plans submitted for review.

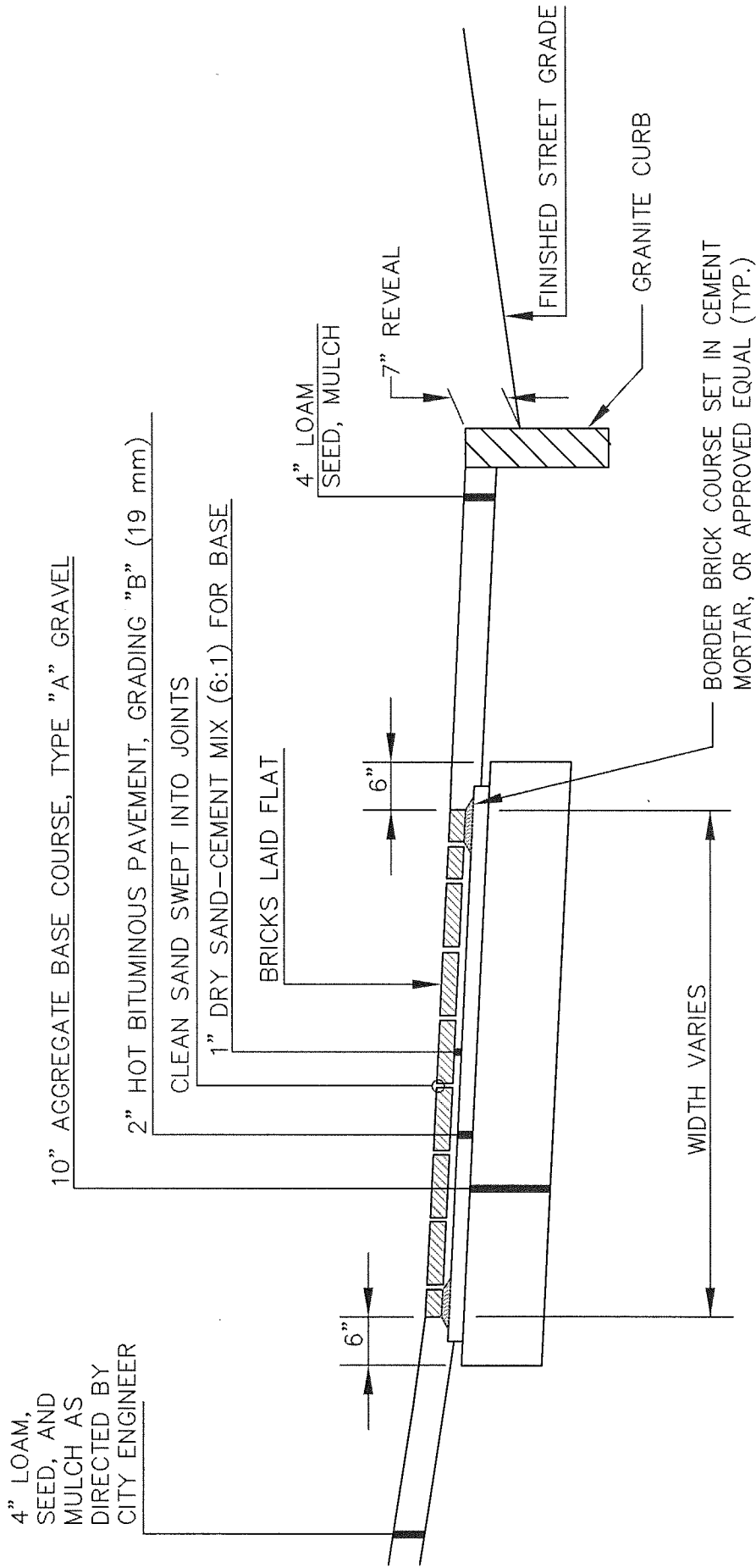
NOTE:
 REFER TO CONSTRUCTION CONTRACT FOR DETAILED MATERIAL SPECIFICATIONS. BORDER COURSES OF BRICK SHALL BE SET IN WET CEMENT MORTAR. ALTERNATIVE BRICK EDGING PRODUCTS AND SYSTEMS MUST BE APPROVED BY THE CITY ENGINEER.



CROSS SECTION
 BRICK DRIVEWAY APRON ON BITUMINOUS BASE
 NOT TO SCALE

FIGURE I-11 BRICK DRIVEWAY ON BITUMINOUS BASE

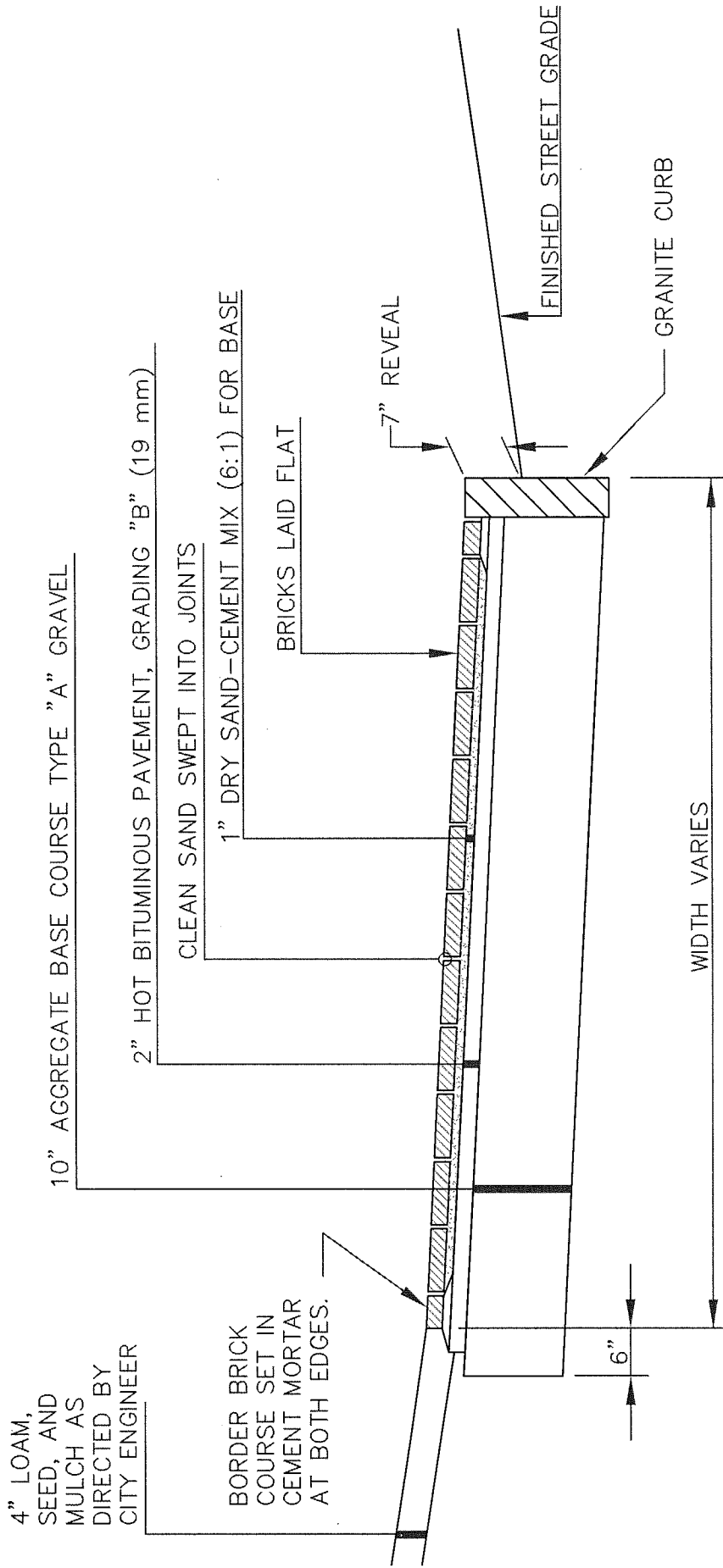
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CROSS SECTION
 BRICK SIDEWALK WITH ESPLANADE ON BITUMINOUS BASE.
 NOT TO SCALE

FIGURE I-9 BRICK SIDEWALK WITH BITUMINOUS BASE, WITH ESPLANADE

NOTE:
 REFER TO CONSTRUCTION CONTRACT FOR DETAILED MATERIAL SPECIFICATIONS.
 BORDER COURSES OF BRICK SHALL BE SET IN WET CEMENT MORTAR.
 ALTERNATIVE BRICK EDGING PRODUCTS AND SYSTEMS MUST BE APPROVED BY
 THE CITY ENGINEER.



CROSS SECTION
 BRICK SIDEWALK ON BITUMINOUS BASE, NO ESPLANADE
 NOT TO SCALE

FIGURE I-10 BRICK SIDEWALK ON BITUMINOUS BASE, WITHOUT ESPLANADE

From: Barbara Barhydt
To: Chris DiMatteo; Clavette, Denise
Date: 5/7/2007 2:39:55 PM
Subject: comments for Reiche School

Hi Chris:

The fire department does not have any comments. Attached are Dan Goyette's comments. Scott Hanson is doing the site plan review for us. It is in an historic district, so it will need staff review for the exterior improvements. Scott is working with Deb on this. We are still waiting for comments from Jeff Tarling. Scott will forward any other comments that he receives and he hopes to finish this up shortly.

Thanks.

Barbara

Barbara Barhydt
Development Review Services Manager
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101
(207) 874-8699
Fax: (207) 756-8256
bab@portlandmaine.gov

CC: Hanson, Scott

41 Hutchins Drive T 800.426.4262
Portland, Maine 04102 T 207.774.2112
www.woodardcurran.com F 207.774.6635

MEMORANDUM



TO: Barbara Barhydt
FROM: Dan Goyette, PE, and Lauren Swett, EIT
DATE: April 6, 2007
RE: Reiche Community School, Phase III Site Improvements

Woodard & Curran has reviewed the Minor Site Plan submission for the Phase III Site Improvements at the Reiche Community School in Portland. The project includes improvements to the athletic field and parking lot on Clark Street, along with fencing and planting upgrades on both Clark Street and Brackett Street.

Documents Reviewed

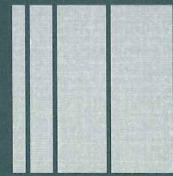
- Minor Site Plan Review Application for Reiche Community School, Phase III Site Improvements, Brackett Street, Portland, dated March 29, 2007.
- Engineering Plan Sheets 1-5, dated February 12, 2007, by Sebago Technics for Portland Parks and Recreation.
- Standard Boundary & Topographic Survey, dated February 2, 2001, by Owen Haskell, Inc.

Comments

- A detail has not been provided for the drinking fountain located at the northeast corner of the athletics field. In addition, the drinking fountain is shown outside the limit of work.
- Details have not been provided for the water service and drainage connections to existing utility lines.
- The detail for vertical granite curb shows a 6-inch curb reveal. The City of Portland standard detail calls for 7 inches of curb reveal.
- The City of Portland standard details for catch basins call for a minimum of 3 courses of brick to adjust catch basins to grade. The typical catch basin detail included on sheet 3 shows a maximum of 3 layers of brick and the field inlet catch basin detail shows 2 courses of brick.
- The locations of erosion control measures have not been shown on the site plan.
- Detail 9 should indicate 8" of Type A gravel, not 4" as shown.
- Detail 6 should indicate 12" of crushed stone above the pipe.
- Detail 3 should be redrawn to indicate that the 1" reveal and 1" driveway lip are at the same elevations. The detail dimensions it that way but the shading indicates a 2" reveal.

Please contact our office if you have any questions.

DRG/LJS
203943



May 30, 2007
06395

Ms. Barbara Barhydt
Planning Department
City of Portland
389 Congress Street
Portland, ME 04101

Minor Site Plan Review Comments

Reiche Community School, Phase III Site Improvements, Brackett Street, Portland

Dear Barbara:

On behalf of the Department of Parks and Recreation (DPR), please find attached a revised plan set for the site improvements at Reiche Community School per comments from Woodard & Curran, Mike Farmer, City Engineer, and Jeff Tarling, City Arborist. Below is a summary of the addressed comments included in the April 6 and May 11 memorandums and in a telephone conversation with Jeff Tarling:

Woodard & Curran Comments

A detail has not been provided for the drinking fountain located at the northeast corner of the athletics field. In addition, the drinking fountain is shown outside the limit of work.

We have revised the plans to include the drinking fountain within the delineation of 'Limits of Work'. Details have been included in the contract specifications; a copy of this particular work item has been attached for your review. Details include manufacturer's model, submittals and execution.

Details have not been provided for the water service and drainage connections to existing utility lines.

We clarify anticipated work under the General Notes, item no. 14, and additional detail information is provided in the contract specifications; a copy of this particular work item has been attached for your review.

The detail for vertical granite curb shows a 6-inch curb reveal. The City of Portland standard detail calls for 7 inches of curb reveal.

The detail has been revised to 7 inches.

The City of Portland standard details for catch basins call for a minimum of 3 courses of brick to adjust catch basins to grade. The typical catch basin detail included on sheet 3 shows a maximum of 3 layers of brick and the field inlet catch basin detail shows 2 courses of brick.

We have revised the detail to show a minimum of 3 inches.

The locations of erosion control measures have not been shown on the site plan.

The construction entrance and the erosion control device for basins are noted on the plans. We have revised the plan note (Sheet 2) associated with the proposed construction entrance to include the location of the filter barrier on site prior to construction. The site is extremely flat, and it was thought that the most efficient manner to address the filter barrier (silt fence) is by field locating it.

Detail 9 should indicate 8" of Type A gravel, not 4" as shown.

The detail has been revised to show 8".

Detail 6 should indicate 12" of crushed stone above the pipe.

The detail has been revised to show a minimum of 12".

Detail 3 should be redrawn to indicate that the 1" reveal and 1" driveway lip are at the same elevations. The detail dimensions it that way but the shading indicates a 2" reveal.

The detail has been revised to show a 1" reveal at the same elevation as the 1" driveway lip.

Mike Farmer, City Engineer, Comments

I have attached our design details for brick sidewalks and brick driveway aprons. The appropriate details should be used in the project plans, instead of the details in the plans submitted for review.

We have revised the brick sidewalk (detail 9) and brick driveway apron (detail 5) on Sheet 3 to meet the details Mike Farmer provided.

Jeff Tarling, City Arborist, Comments

I spoke to Jeff Tarling on the phone and discussed the following changes, which have been included in the revised plan set:

- Increased the size of the tree pit proposed for the existing tree at the new parking lot entrance along Clark Street to 6 feet long and 4 feet wide.
- Extended the planting bed proposed along Clark Street (on school side) to the back of the sidewalk and the edge of pavement.
- Added landscape details.

Deb Andrews, Historic Preservation Program Manager

Boulders at the rear of the Clark Street parking lot are not appropriate in an historic district. Would prefer to have a simple line of pressure treated 8" x 8" posts, either with tops cut at an angle or with a 2 x 8 plant guardrail connecting them.

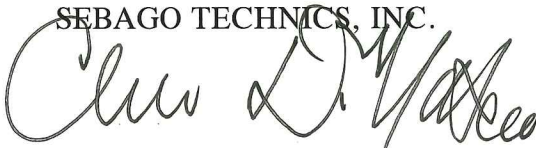
We have removed the proposed boulders from the plan and have submitted for maintenance reasons a simple metal bollard painted black spaced approximately 7 to 8 feet apart (see attached detail).

In addition to the changes outlined above, we have made some minor changes to the treatment of the area between the rear of the parking area and abutting residences. The Department of Parks & Recreation has decided to better delineate the City's property line with the proposed bollards, thereby removing existing pavement encroaching on City property. This, in turn, provides for a simpler drainage solution which we have implemented.

I believe that the attached plans have been revised to address all of the review comments. Please do not hesitate to call with any questions, comments, and/or if you are in need of additional information.

Sincerely,

SEBAGO TECHNICS, INC.



Christopher Di Matteo, R.L.A.
Project Manager



CAD:cad/jc

Enclosures

- A copy of Contract Specifications Section 625 (Drinking Fountain, Field Irrigation and Water Supply Connection)
- Metal Bollard Detail
- Revised Construction Bid Plan Set

cc: Phil Labbe, Department Parks and Recreation

**SUPPLEMENTAL SPECIFICATIONS
SECTION 625
DRINKING FOUNTAIN, FIELD IRRIGATION
AND WATER SUPPLY CONNECTION**

The provisions of Section 625 of the Standard Specifications shall apply with the following additions and modifications:

625.01 DESCRIPTION :

Furnish and install field irrigation system per the contract drawings and specifications and the manufacturer's guidelines and connect to existing water source inside school building. Existing 1-1/2" inch water line stubbed out in field near drinking fountain location and inside school building shall be used to connect irrigation to water supply. An existing 1" dia. PVC conduit stubbed out in the field and inside the school shall be used provide electricity required by the new irrigation system.

Furnish and install one drinking fountain including braces, shims, service piping, drain connection, and all other necessary labor, equipment and materials to complete the work. The existing 3/4-inch water line that is stubbed out at the proposed drinking fountain location and inside the school building shall be used to connect the new drinking fountain to the water supply.

Work shall include all connections, valves, RPZ/backflow prevention, irrigation appurtenances, poured-in-place concrete pad for drinking fountain, and all other necessary labor, equipment and materials, and all necessary plumbing and electrical work in the field and inside the school building, satisfying all applicable state and local codes and standards, to successfully complete the work shown on the plans and outlined above.

Contractor shall coordinate with the City and School staff when making all necessary water and electrical connections inside the school building.

625.02 MATERIALS:

Irrigation system shall include the following equipment: Hunter ICC-800-PL Controller with mini-click rain sensor; Hunter 1.5" ICV Series Control Valves; Hunter I-25 SS Rotary Head; 1" Toro Quick Coupler; Ametek Manifold Box with cover; 1.0 HP Goulds Booster Pump with pump start relay; or acceptable equals approved by City's Representative. Other materials include: 1.5" dia. SDR 26-CL 160PVC pipe; 2" dia. SDR 21-CL200 PVC pipe; 14-1 Single Conductor Irrigation Wire, with blue spare wire; 1" Swing Joint; 1.2 brass gate valves; and misc. zone fittings,

Drinking fountain shall be by Murdock Foundations – Model #M-23-2 (Telephone 513-471-7700) or approved equal.

625.03 SUBMITALS AND EXECUTION:

No work shall be started until after the receipt and review of shop drawings and manufacturer's catalog cuts and specifications are provided to the City's Representative. Contractor shall provide maintenance plan and schedule for irrigation system and shall thoroughly test system prior to demonstrating the operation of the irrigation system. All work shall meet all applicable state and local codes and standards, and manufacturer's specifications and guidelines.

625.07 METHOD OF MEASUREMENT:

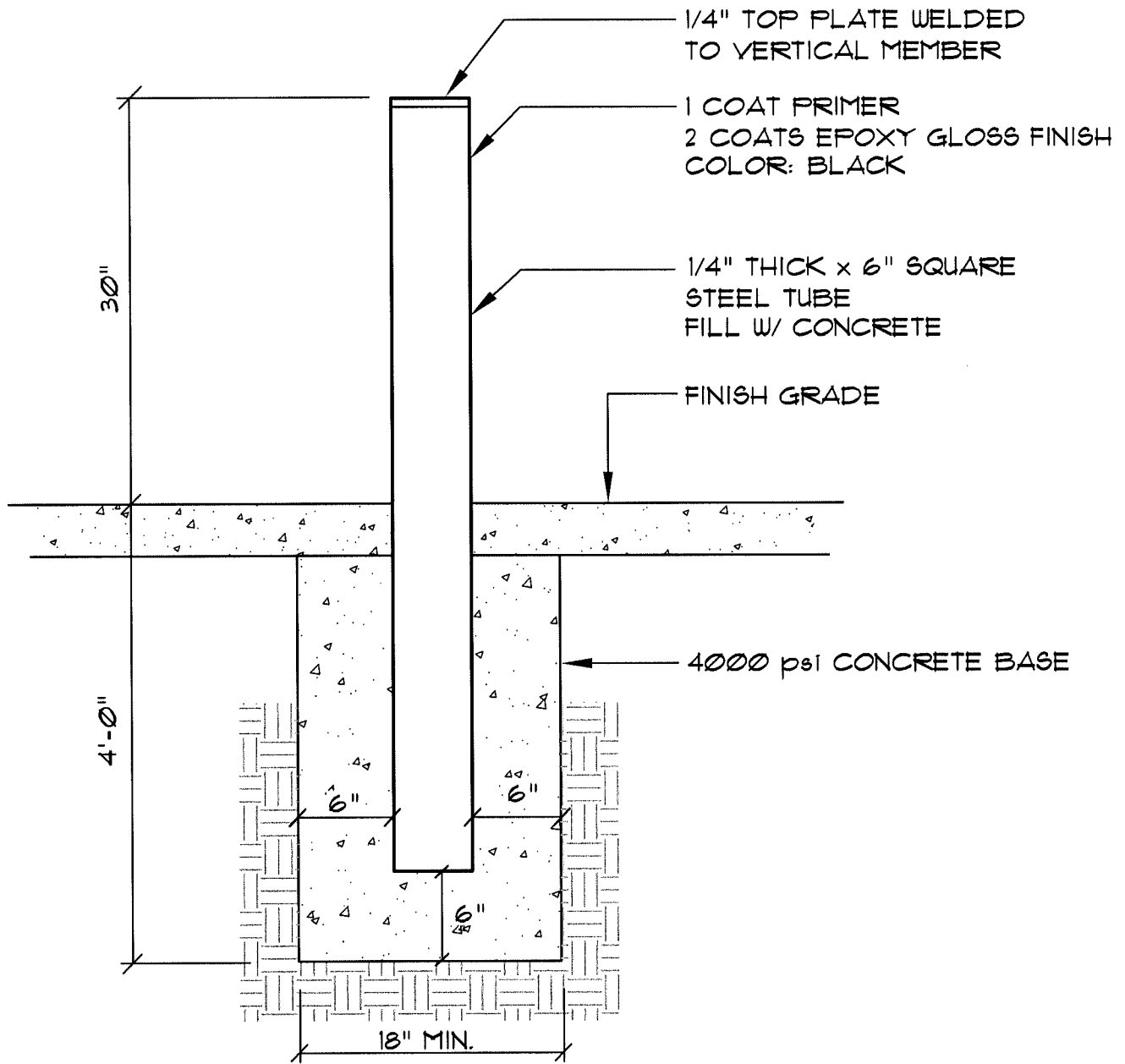
The Field Irrigation and water supply connection will be measured by the lump sum of water supply line as required. The drinking fountain shall be measured as per each.

**SUPPLEMENTAL SPECIFICATIONS
SECTION 625
DRINKING FOUNTAIN, FIELD IRRIGATION
AND WATER SUPPLY CONNECTION
(continued)**

625.08 BASIS OF PAYMENT: The accepted quantities of Field Irrigation and water supply connection will be paid for at the contract unit price per lump sum, complete in place, which price shall include the cost of trenching, placement, bedding, backfilling, and all labor and materials that include but not limited to: controller, rain sensor, control valves, rotary sprinkler heads, quick coupler, swing joints, PVC pipe, irrigation wire, manifold box, zone fittings, booster pump, start relay, and brass gate valves. All plumbing and electrical labor and materials to install and connect the field irrigation system per the contract drawing and specifications shall be incidental to the work outlined above.

The furnished and installed drinking fountain shall be paid for at the contract unit price per each, complete in place, which price shall include all excavation, footings, piping, concrete pad, and all necessary labor, equipment, valves, RPZ backflow prevention, materials, and any equipment necessary to satisfactorily complete the work.

<u>Pay Item</u>	Payment will be made under:	<u>Pay Unit</u>
625.104	Field Irrigation and Water Supply Connection	Lump Sum
625.105	Drinking Fountain	Each



METAL BOLLARD

NOT TO SCALE

