

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1755	Issue Date:	CBL: 056 B011001
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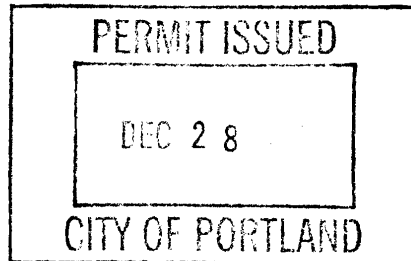
Location of Construction: 9 LEWIS ST	Owner Name: REDFERN PROPERTIES LLC	Owner Address: PO BOX 8816	Phone:
Business Name:	Contractor Name: Redfern Properties	Contractor Address: P O Box 8816 Portland	Phone 2072215746
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R6

Past Use: Residential 7 unit	Proposed Use: Residential 7 unit interior renovations <i>legal use - 7-A Lewis St - 7 dwelling units</i>	Permit Fee: \$1,160.00	Cost of Work: \$113,200.00	CEO District: 2
Proposed Project Description: Interior renovations		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See conditions</i>	INSPECTION: Use Group: R2 Type: JB IBC-2003 Signature: <i>[Signature]</i> Date: 12/28/06	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 12/05/2006	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>all interior work</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>12/7/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____ <i>Any exterior work requires approval from Historic Preservation. This property is located within Historic D.S. dist.</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- NA Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature] Signature of Applicant/Designee Date 12/28/2006

[Signature] Signature of Inspections Official Date 12/28/06

CBL: 56-B-11 Building Permit #: 06-1755

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

PERMIT ISSUED

 Permit Number: 061755
 DEC 28 2006

CITY OF PORTLAND

This is to certify that REDFERN PROPERTIES INC /Redfern Properties

has permission to Interior renovations

AT 9 LEWIS ST

L 056 B011001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is used or service is rendered. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. *Greg*

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Janie Bowke 12/28/06
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

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Permit No: 06-1755	Date Applied For: 12/05/2006	CBL: 056 B011001
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Location of Construction: 9 LEWIS ST	Owner Name: REDFERN PROPERTIES LLC	Owner Address: PO BOX 8816	Phone:
Business Name:	Contractor Name: Redfern Properties	Contractor Address: P O Box 8816 Portland	Phone (207) 221-5746
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Residential 7 unit interior renovations	Proposed Project Description: Interior renovations
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 12/07/2006

Note: *Seven* **Ok to Issue:**

- 1) This property shall remain a ~~single~~ family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 12/28/2006

Note: **Ok to Issue:**

- 1) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.
- 2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 5) The new 1 hour rated walls must also meet the 50 STC rating. Prior to construction of such, the UL design must be submitted.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 12/18/2006

Note: **Ok to Issue:**

- 1) All construction shall comply with NFPA 101
- 2) Fire Escape shall comply with NFPA 101 AND all State requirements. A compliance letter is required.
- 3) The renovation of over 50% of any apartment requires unit be brought to NEW provisions of NFPA 101.

Comments:

12/22/2006-jmb: Contacted Terry Harper, he will meet on 12/28 to review the plans and questions

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 9 Lewis Street, Portland, Maine		
Total Square Footage of Proposed structure (Existing) 8,036sf	Total Square Footage of Lot: 6,957sf	
Tax Assessor's Chart, Block & Lot	Owner: Redfern Properties LLC	Telephone:
Chart# 56 Block# B Lot# 11,13	Jonathan Culley	207-221-5746
Lessee/Buyer's Name Of Applicable)	Applicant name, address & telephone: Jonathan Culley Box 8816 Portland, ME 04104	Cost Of Work: \$ \$113,200 Fee: \$1,000
Current use: 7-unit apt, currently vacant	<div style="border: 1px solid black; padding: 5px; text-align: center;"> DEPT. OF BUILDING CITY OF PORTLAND DEC 15 2006 RECEIVED </div>	
If the location is currently vacant, what was prior use: N/A		
Approximately how long has it been vacant: N/A		
Proposed use: Condominium (conversion permit applied for separately)	Project description: Series of minor interior changes to the building (see attached)	
Contractor's name, address & telephone: Redfern Properties, Box 8816, Portland, ME 04104, 207-221-5746		
Who should we contact when the permit is ready:	Jonathan Culley	
Mailing address:	Box 8816, Portland, ME 04104-8816	
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-221-5746		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date:

12/5/2006

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

JK 1313

L & L ENGINEERING SERVICES INC

FROM DESIGNER: John H. Leasure Architect Inc

DATE: November 30, 2006

Job Name: Jonathan Culley CONDOMINIUMS

Address of Construction: 11 Lewis St, PTHd, ME.

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year 2003 IBC Use Group Classification(s) R2

Type of Construction SB

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No

Is the Structure mixed use? No if yes, separated or non separated (see Section 302.3) _____

Supervisory alarm system? No Geotechnical/Soils report required? (See Section 1802.2) No

STRUCTURAL DESIGN CALCULATIONS ?

No Submitted for all structural members
(108.1, 108.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)

Uniformly distributed floor live loads (7603.11, 1607)

Floor Area Use	Loads Shown
<u>DWELLING</u>	<u>40 PSF</u>
<u>STAIRS &</u>	
<u>EXITS</u>	<u>100 PSF</u>
_____	_____
_____	_____

_____ Live load reduction
(1603.1.1, 1607.9, 1607.10)

_____ Roof live loads (1603.1.2, 1607.11)

_____ Roof snow loads (7603.7.3, 1608) - N/A

_____ Ground snow load, P_g (1608.2)

_____ If $P_g > 10$ psf, flat-roof snow load, P_f
(1608.3)

_____ If $P_g > 10$ psf, snow exposure factor, C_e
(Table 1608.3.1)

_____ If $P_g > 10$ psf, snow load importance
factor, I_s (Table 1604.5)

_____ Roof thermal factor, C_t (Table 1608.3.2)

_____ Sloped roof snowload, P_s (1608.4)

_____ Seismic design category (1616.3)

_____ Basic seismic-force-resisting system
(Table 1617.6.2)

_____ Response modification coefficient, R ,
and deflection amplification factor, C_d
(Table 1617.6.2)

_____ Analysis procedure (1616.6, 1617.5)

_____ Design base shear (1617.4, 1617.5.1)

_____ Flood loads (1603.1.6, 1612) - N/A

_____ Flood hazard area (1612.3)

_____ Elevation of structure

_____ Other loads - N/A

_____ Concentrated loads (1607.4)

_____ Partition loads (1607.5)

_____ Impact loads (1607.8)

_____ Misc. loads (Table 1607.6, 1607.6.1,
1607.7, 1607.12, 1607.13, 1610,
1611, 2404)

NOTE: 1. BLDG IS EXISTING

_____ Wind loads (1603.1.4, 1609) - N/A

_____ Design option utilized (1609.1.1, 1609.6)

_____ Basic wind speed (1609.3)

_____ Building category and wind importance
factor, I_w (Table 1604.6, 1609.5)

_____ Wind exposure category (1609.4)

_____ Internal pressure coefficient (ASCE 7)

_____ Component and cladding pressures
(1609.1.1, 1609.6.2.2)

_____ Main force wind pressures (7603.1.1,
1609.6.2.1)

_____ Earthquake design data (1603.1.5, 1614-1623) - N/A

_____ Design option utilized (1614.1)

_____ Seismic use group ("Category")
(Table 1604.5, 1616.2)

_____ Spectral response coefficients, S_{DS} &
 S_{D1} (1615.1)

_____ Site class (1615.1.5)

CONDOMINIUM CONVERSIO

9 LEWIS STREET

PORTLAND, MAINE

ARCHITECT:

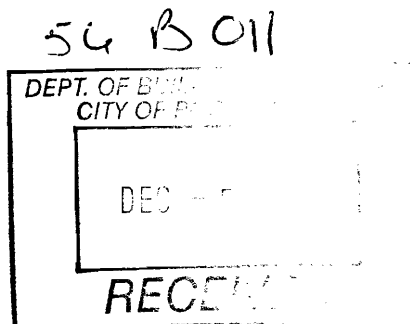
JOHN H. LEASURE ARCHITECT, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106
PHONE: 767-4800
FAX: 767-4800

GENERAL NOTES:

1. All work shall be in accordance with IBC 2003 Building Code, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE, U.L., NFPA Codes, Federal Fair Housing Act and all local, State and Federal requirements.
2. All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
3. All required City and State permits must be obtained before any construction begins.
4. It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
5. All contractors shall visit site and observe existing conditions, and verify proposed renovations. Notify owner of any proposed discrepancies or unusual conditions or conflicts prior to proceeding with work.
6. Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
7. All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings with approved fire safing material.
8. All fire rated egress doors or door opening into stairs shall have positive self-closer and latch mechanisms with panic bar or lever handles meeting standards as specified in the NFPA-101 code.
9. Fire Door assembly, including the doorway width metal frame, UL rated door and necessary hardware shall conform to NFPA-101.
10. All egress door opening into a rated stair enclosure shall have a positive self-closer and latch mechanism with panic bar or lever handle having an obvious method of operation.
11. Each bedroom or sleeping area shall have an egress window min. 20" in width, 24" in height and sill not more than 44" above finished floor with a minimum 5.7 sq. ft. clear opening (Min. one each bedroom and living room).
12. Unit doors shall have a self closing device and positive latching mechanism. Unit doors may have dead bolt, security chain, etc. provided such device is operable (By one releasing operation) from the inside without the use of a key or special tool and is mounted at a maximum height of 48" above finished floor.
13. Emergency lighting shall be installed in accordance with NFPA 101 including battery back-up, illumination of means of egress aisles and exit stairs.
14. Unit smoke detectors shall be continuously powered from the building electrical system and shall be located such that when activated shall initiate an alarm that is audible in the sleeping rooms (multiple detectors may be required in larger apartments).
15. Portable fire extinguishers shall be provided in hazardous areas including boiler rooms, trash rooms and laundries. Confirm other requirements with local authority having jurisdiction.
16. Contractor to field verify all dimensions.
17. Verify all elevations of existing floor levels and landing areas prior to ordering or installation.
18. For ceiling and wall types, see drawing A2.

STRUCTURAL ENGINEER:

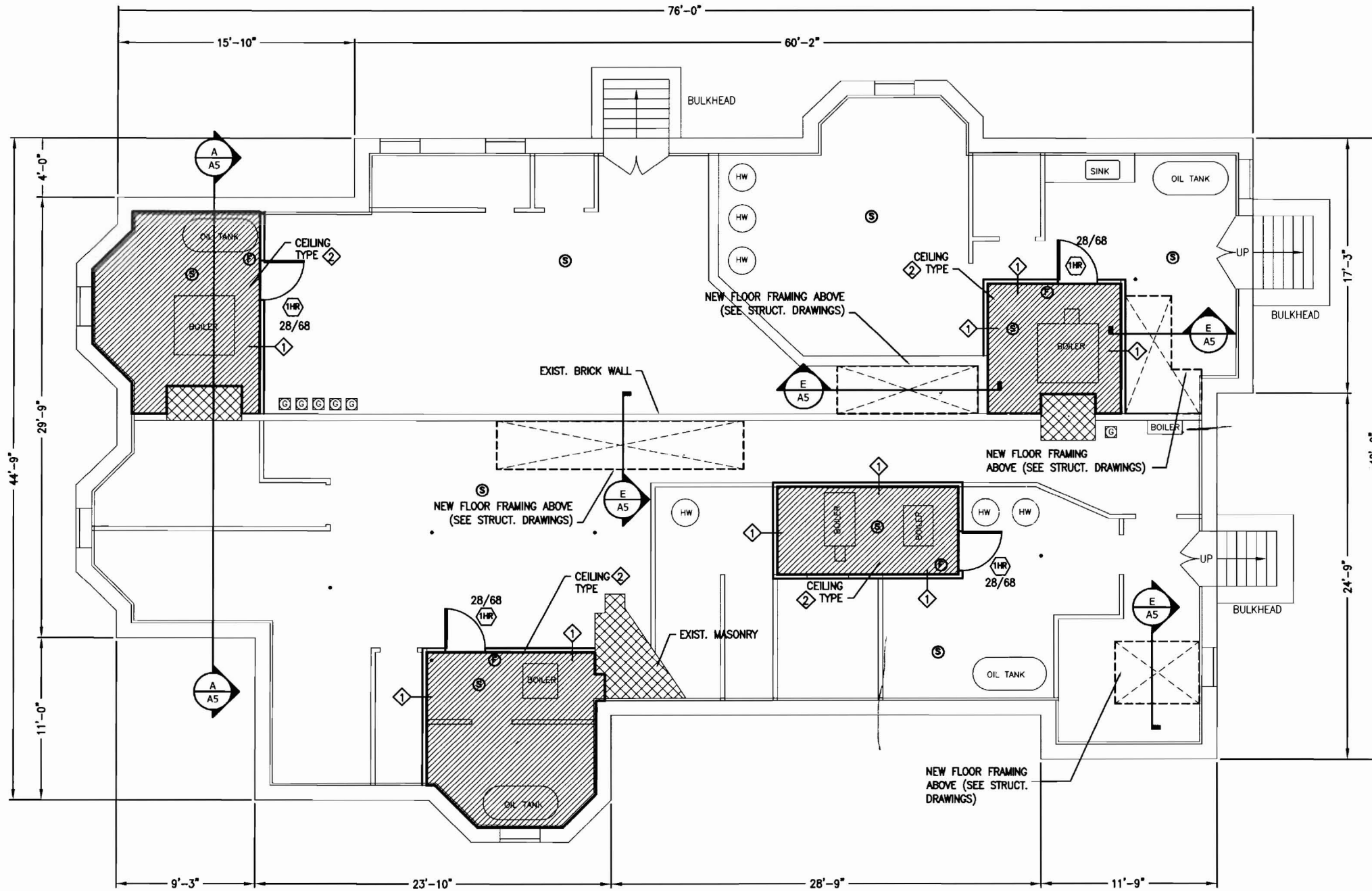
L & L STRUCTURAL ENGINEERING SERVICES, INC.
6 Q STREET
SOUTH PORTLAND, MAINE 04106
PHONE: 767-4830
FAX: 799-5432



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PROJECT
NORTH



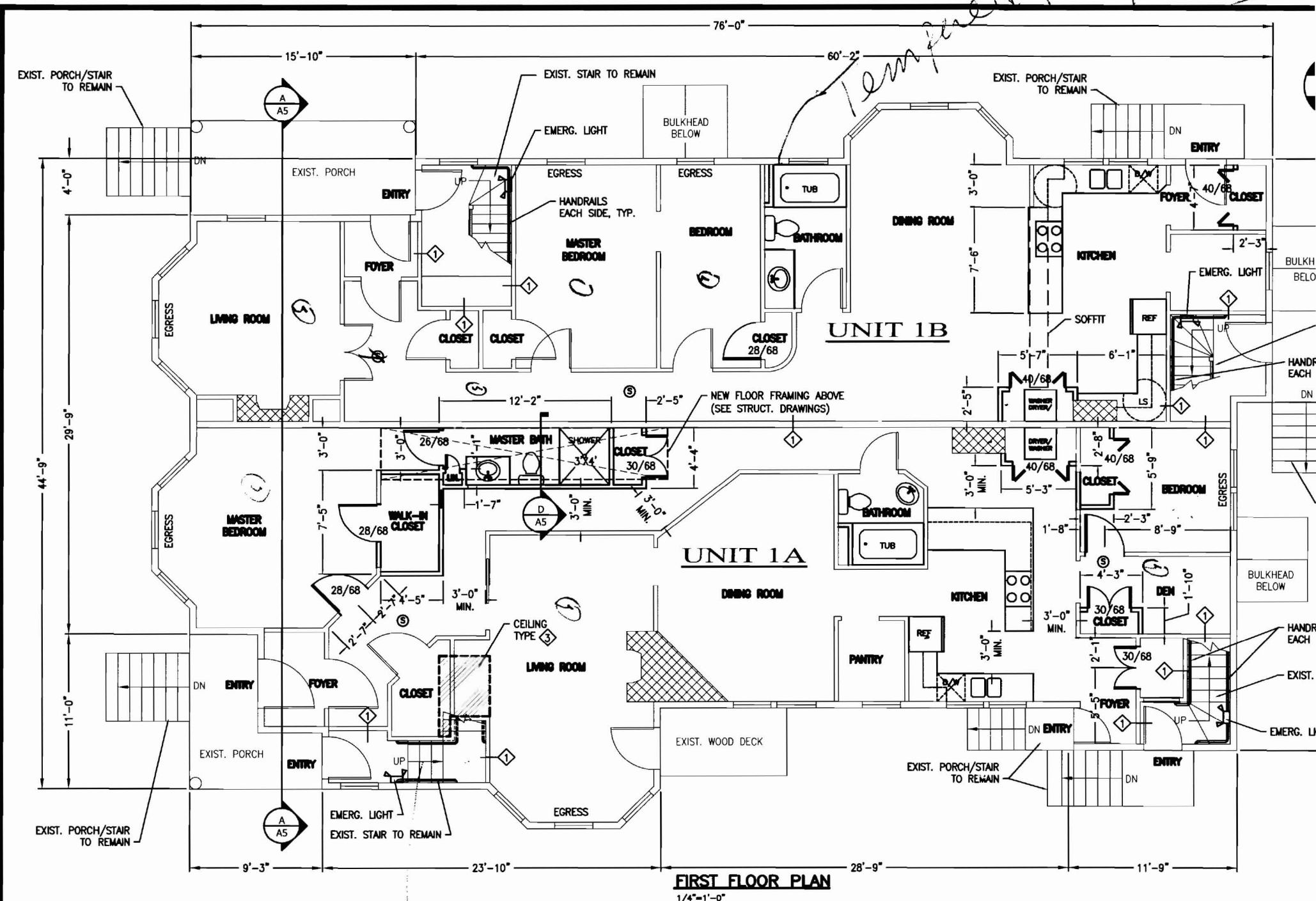
BASEMENT PLAN

1/4"=1'-0"

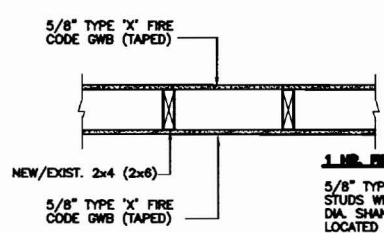
NOTES

1. PROVIDE 1 HR FIRE RATED ENCLOSURE AROUND BOILERS (AS SHOWN) OR PROVIDE SPRINKLER HEAD OFF DOMESTIC WATER ABOVE EACH BOILER. CONTRACTOR TO CONFIRM WITH CITY FIRE DEPT. PRIOR TO INSTALLATION OF HEAD TO DETERMINE APPLICABILITY AND ACCEPTABILITY.
2. CONTRACTOR TO COORDINATE BOILER ROOM 1 HR. FIRE RATED ENCLOSURES W/ PLUMBER TO MAINTAIN CLEARANCES TO EQUIPMENT.

Temp plan per 12/38 Mtb



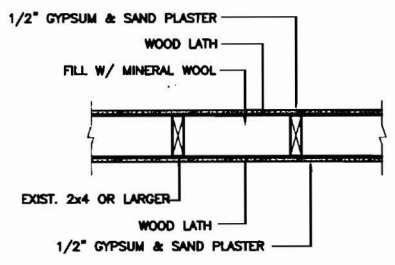
FIRST FLOOR PLAN
1/4"=1'-0"



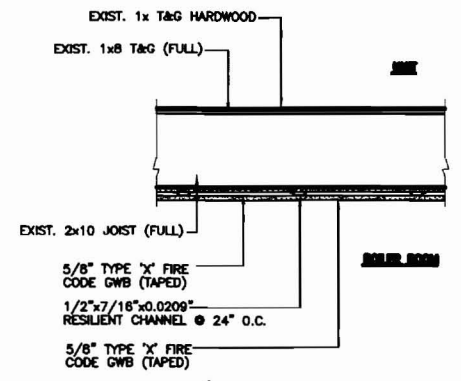
INTERIOR WALL (NEW)
(1 HR. FIRE RATING)

1 HR. FIRE RESISTANT INTERIOR WALL (18 M. 308)
5/8" TYPE "X" G.W.B. APPLIED VERTICALLY. ATTACH TO STUDS WITH 1-3/4" LONG STEEL DRYWALL NAILS WITH 0.102" DIA. SHANK AND 0.29" DIA. HEAD, SPACED 7" O.C. VERTICAL JOINTS LOCATED OVER STUDS. JOINTS COVERED WITH TAPE AND JOINT COMPOUND. NAIL HEADS COVERED WITH JOINT COMPOUND.
TYPICAL BETWEEN APARTMENT SPACES AND COMMON CORRIDOR
WALLS SHALL MAINTAIN CONTINUITY. EXTEND WALLS FULL HEIGHT TO UNDERSIDE OF UPPER FLOOR DECKING. SEAL ALL PENETRATIONS AND PROVIDE FIRE SAFING IF NEEDED.

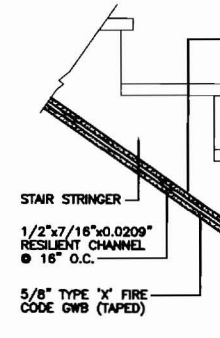
Existing



INTERIOR WALL (EXIST.)
(1 HR. FIRE RATING)



2 CEILING



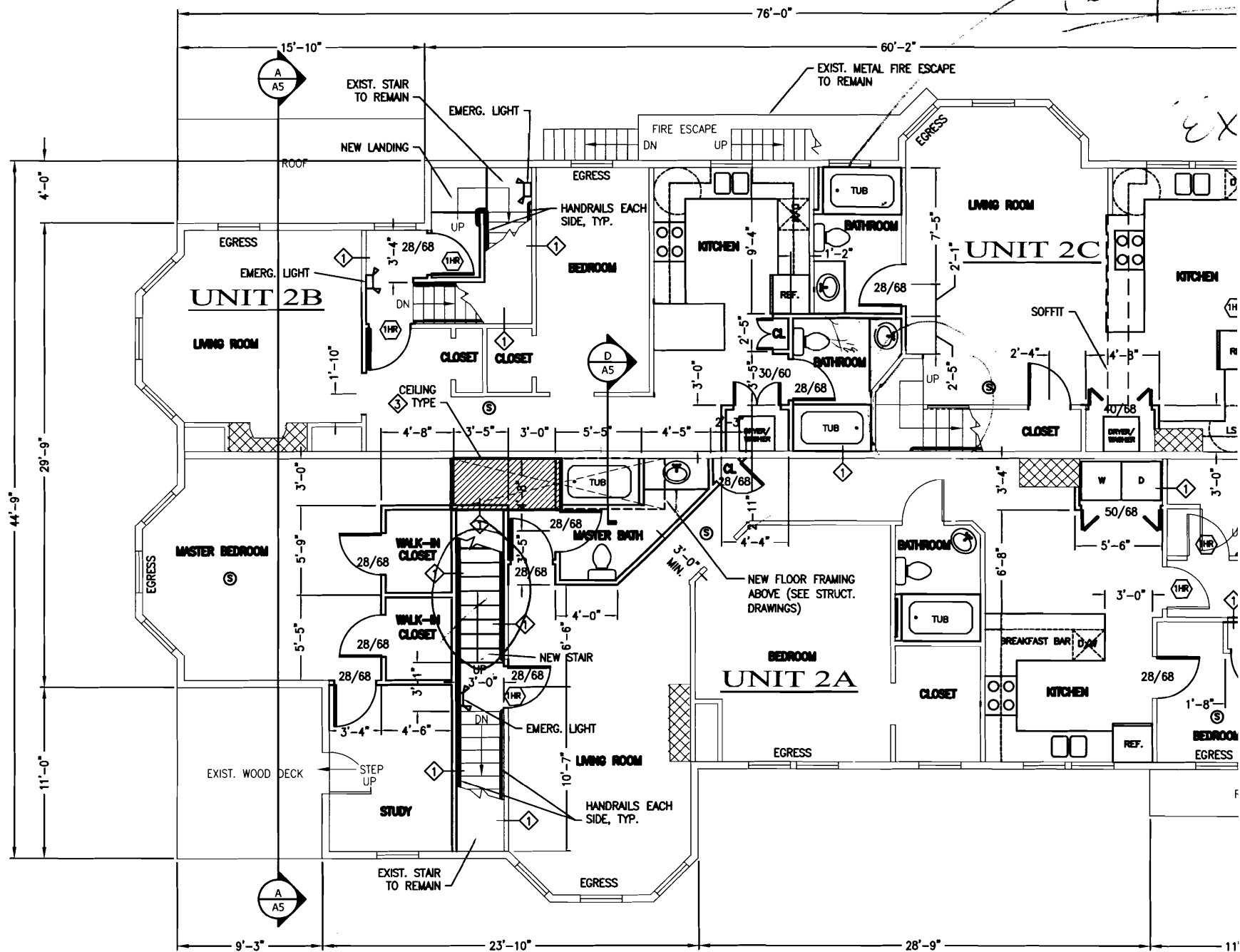
3 CEILING
(1 HR. FIRE RATING)

WALL TYPES

CEILING TYPES



PROJECT
NORTH



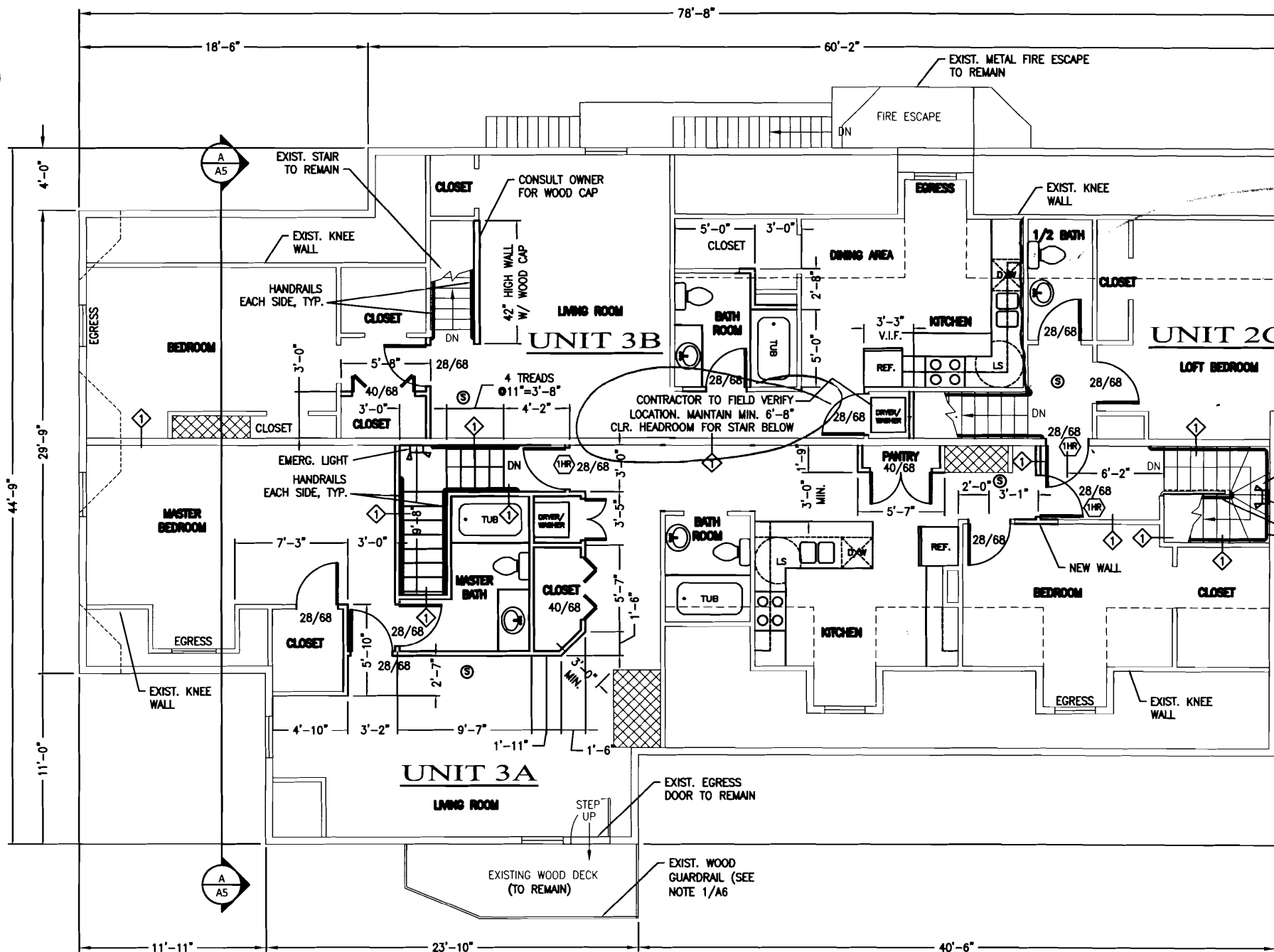
SECOND FLOOR PLAN

1/4"=1'-0"

*New from
Landing up*

NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
2. VERIFY ALL ELEVATIONS OF EXISTING FLOOR LEVELS AND LANDING AREAS PRIOR TO ORDER OR INSTALLATION.
3. SEE STRUCTURAL DRAWINGS FOR FRAMING & E
4. PROVIDE HANDRAILS ON EACH SIDE OF STAIRS
5. CONTRACTOR TO VERIFY EXISTING FRAMING CON REPORT DISCREPANCIES TO ARCHITECT/ENGINEER CONTINUING WORK.

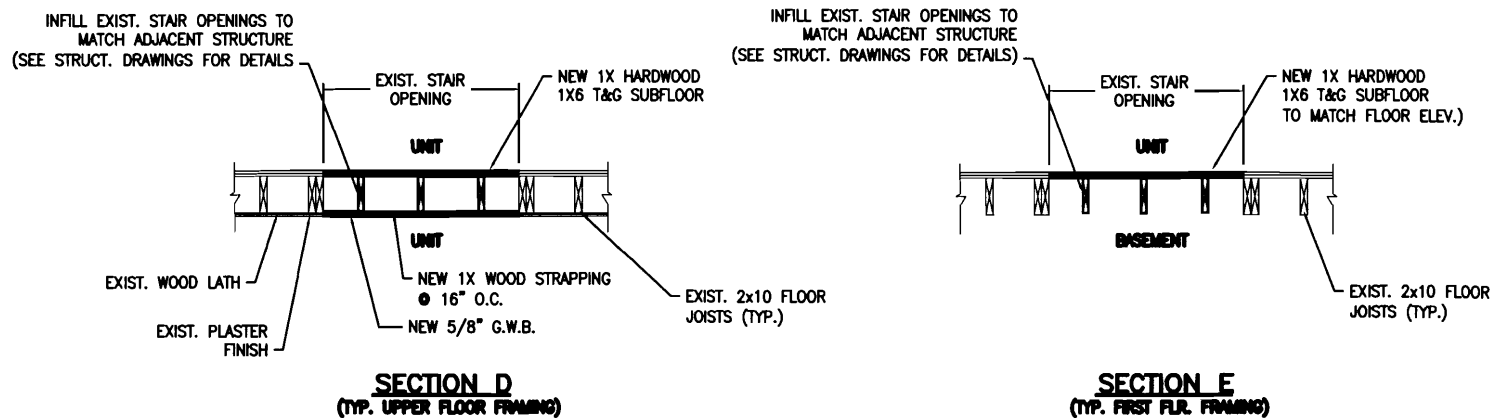
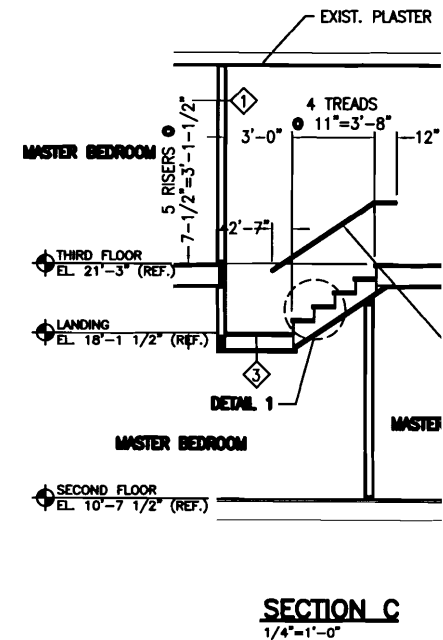
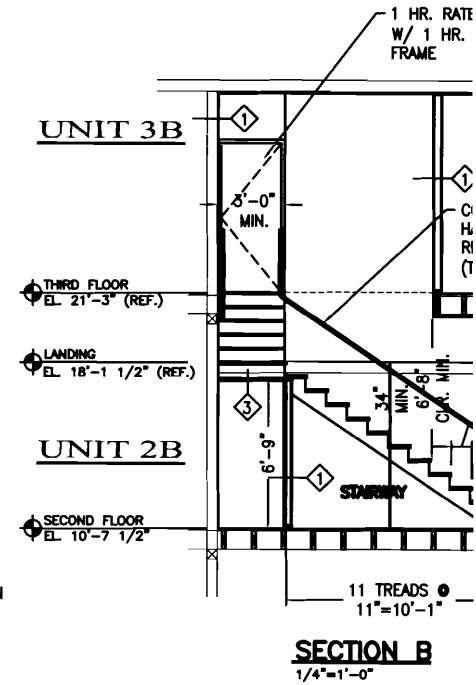
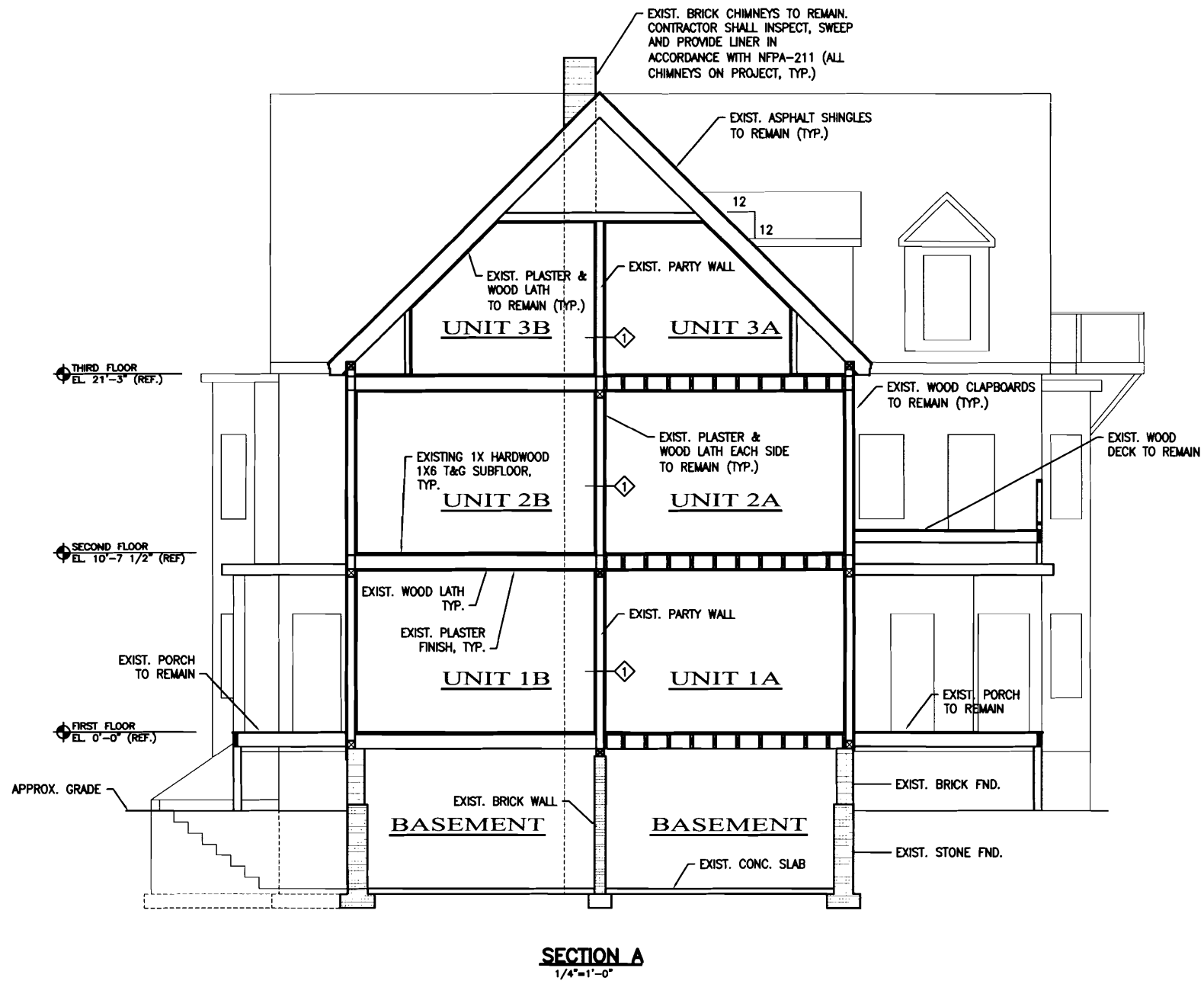


THIRD FLOOR PLAN

1/4"=1'-0"

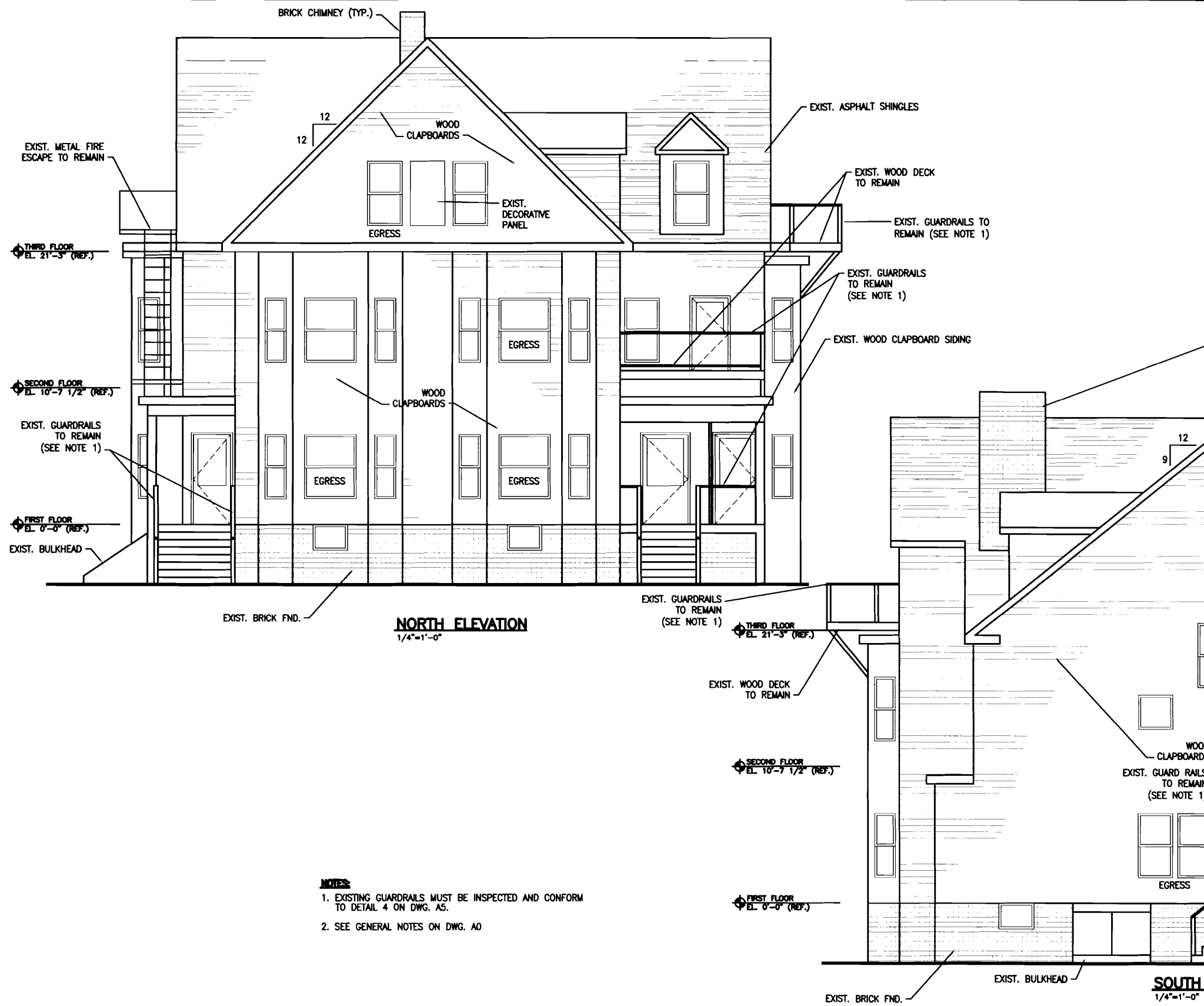
NOTES:

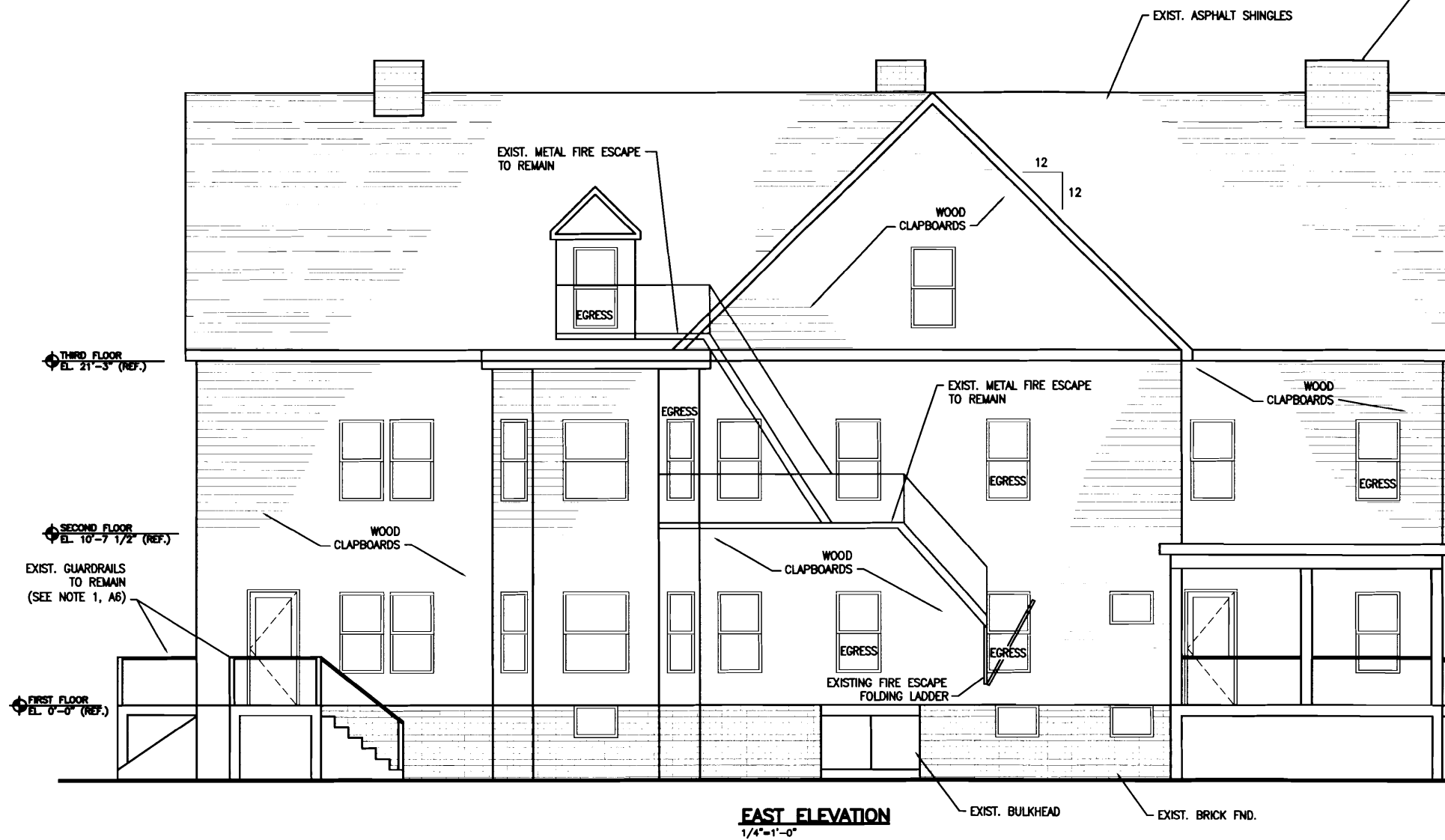
1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
2. VERIFY ALL ELEVATIONS OF EXISTING FLOOR LEVELS AND LANDING AREAS PRIOR TO ORDERING OR INSTALLATION.
3. SEE STRUCTURAL DRAWINGS FOR FRAMING & BF
4. PROVIDE HANDRAILS ON EACH SIDE OF STAIRS (
5. CONTRACTOR TO VERIFY EXISTING FRAMING COND REPORT DISCREPANCIES TO ARCHITECT/ENGINEER CONTINUING WORK.



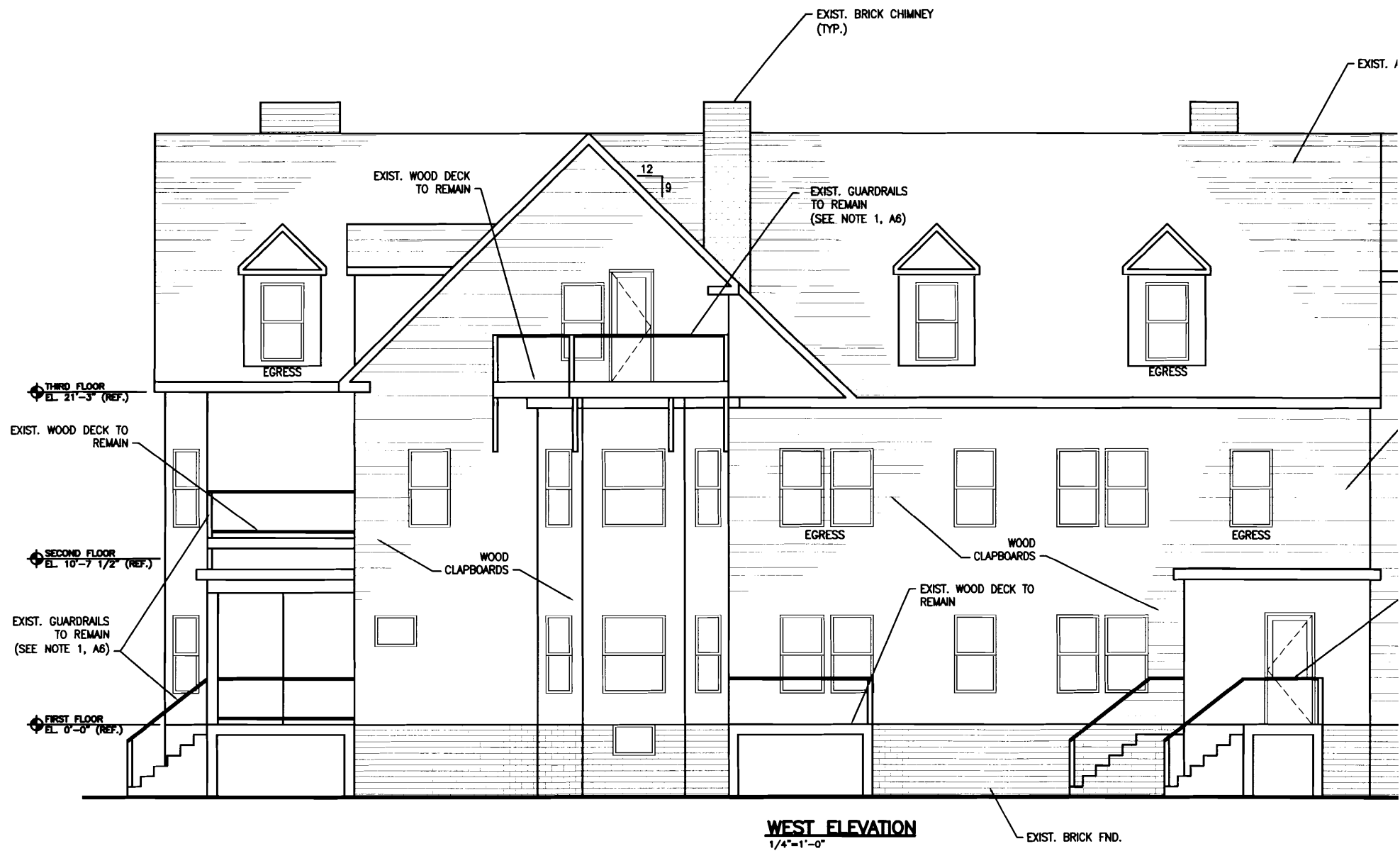
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3. SEE STRUCTURAL DRAWINGS FOR FRAMING & BRAC
4. PROVIDE HANDRAILS ON EACH SIDE OF STAIRS (SEE
5. CONTRACTOR TO VERIFY EXISTING FRAMING CONDITI
6. REPORT DISCREPANCIES TO ARCHITECT/ENGINEER F CONTINUING WORK.

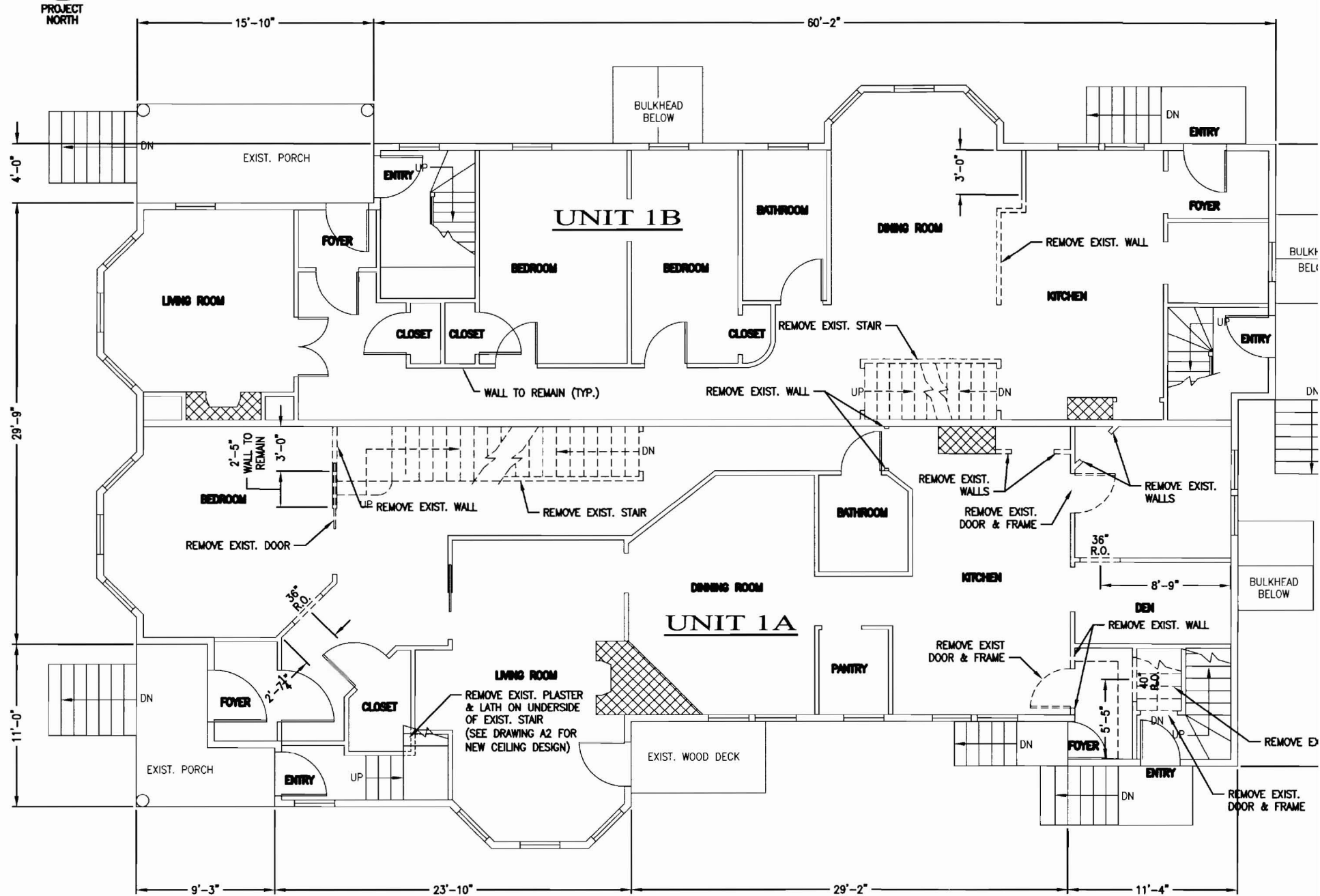




NOTE:
SEE GENERAL NOTES ON A0



NOTE:
SEE GENERAL NOTES ON A0



FIRST FLOOR DEMOLITION PLAN

1/4"=1'-0"