

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BU **PERMIT** ION

Please Read Application And Notes, If Any, Attached

Permit Number: 090784
PERMIT ISSUED
AUG 14 2009
CITY OF PORTLAND
056 A003001

This is to certify that 90 Pine Street Apartments LLC than Ha
has permission to Replacing entry deck and applying window trim and exterior painting
AT 90 Pine St

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 2 HO NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Capt. H. Stuteau
Health Dept. _____
Appeal Board _____
Other _____ Department Name

Chris L. [Signature] - 8/14/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

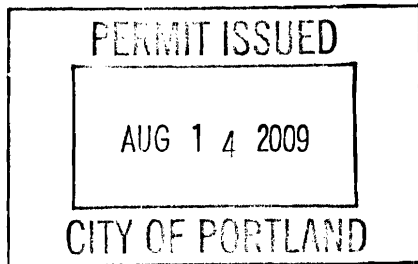
Permit No: 09-0784	Issue Date: <i>8/14/09</i>	CBL: 056 A003001
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Location of Construction: 90 Pine St	Owner Name: 90 Pine Street Apartments Llc	Owner Address: 104 Grant St	Phone:
Business Name:	Contractor Name: Nathan Hawkes	Contractor Address: 105 Spring Street Westbrook	Phone: 2079392905
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Multi Family / 4 units	Proposed Use: Multi Family / Replacing entry deck and apply window trims and overhang moulding. <i>legal use - one 3 dv per m. code. illegal dv.</i>	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 2
Proposed Project Description: Replacing entry deck and apply window trims and overhang moulding.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: <i>R-2</i> Type: <i>SB</i> <i>IBC-2003</i>	
		Signature: <i>(Signature)</i>	Signature: <i>(Signature)</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: gg	Date Applied For: 07/27/2009
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Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>work w/in exis hty footprints</i> Date: <i>8/14/09 TRM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:
	Historic Preservation <i>ye</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>8/14/09 STE</i>	



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

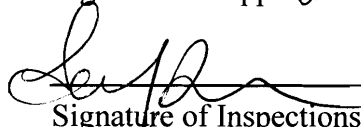
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

8.24.09

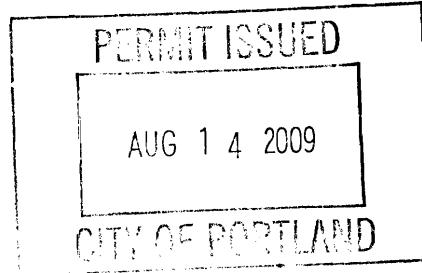
Date



Signature of Inspections Official

8.24.09

Date



CBL: 056 A003001

Building Permit #: 09-0784

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0784	Date Applied For: 07/27/2009	CBL: 056 A003001
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Location of Construction: 90 Pine St	Owner Name: 90 Pine Street Apartments Llc	Owner Address: 104 Grant St	Phone:
Business Name:	Contractor Name: Nathan Hawkes	Contractor Address: 105 Spring Street Westbrook	Phone: (207) 939-2905
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Family / Replacing entry deck and apply window trims and overhang moulding.	Proposed Project Description: Replacing entry deck and apply window trims and overhang moulding.
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Scott Hanson **Approval Date:** 08/04/2009
Note: **Ok to Issue:**

- 1) Approval subject to inspection upon completion.
- 2) All visible surface to be finished with paint or solid body stain.
- 3) Pressure treated wood is to be used only for structural work that will not show when complete.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/04/2009
Note: The entry deck is 4' x 7' and the steps are 4'x 4'. **Ok to Issue:**

- 1) The legal use of the property is three (3) dwelling units. There is one illegal dwelling unit in the building for a total of four dwelling units. The use of the property must be brought into compliance within thirty days of the issuance of the building permit.
- 2) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 08/14/2009
Note: **Ok to Issue:**

- 1) This permit is approved under IBC Sec. 3403.4, Existing Structures, which allows the alteration or replacement of existing stairs to not meet new construction dimensions when the space is restricted. Guardrails and handrails must comply with new codes to the fullest extent possible
- 2) This permit DOES NOT certify the use of the property or building. It only authorizes the construction activities.
- 3) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
- 4) ANY exterior work requires separate review and approval thru Historic Preservation
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 08/11/2009
Note: **Ok to Issue:**

- 1) No means of egress shall be affected by this renovation
- 2) All construction shall comply with NFPA 101

Location of Construction: 90 Pine St	Owner Name: 90 Pine Street Apartments Llc	Owner Address: 104 Grant St	Phone:
Business Name:	Contractor Name: Nathan Hawkes	Contractor Address: 105 Spring Street Westbrook	Phone (207) 939-2905
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Comments:

8/4/2009-amachado: Spoke to Nathan Hawkes, the contractor. The entry deck is being replaced within the existing footprint and it will actually be slightly smaller. The legal use of the building is three units, so there is an illegal unit. Nathan gave me Mark's number (he works for Tom Watson the owner) and I called Mark and told him that there is an illegal unit. Mark said that he would have Tom Watson call me.

8/5/2009-gg: received from historic on 8/5/09. Gg



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>90/92 Pine St. Portland</u>		
Total Square Footage of Proposed Structure/Area <u>3872</u>	Square Footage of Lot <u>2360 (.059ac)</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>56</u> Block# <u>A</u> Lot# <u>3</u>	Applicant *must be owner, Lessee or Buyer* Name <u>West Brackett Inc.</u> Address <u>104 Grant St.</u> City, State & Zip <u>Portland, Me. 04101</u>	Telephone: <u>(Port Property Management) 761-0832</u> <u>Tom Watson (owner)</u> <u>or</u> <u>Marc 239-9046</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>same</u> Address City, State & Zip	Cost Of Work: \$ <u>5,000</u> C of O Fee: \$ Total Fee: \$ <u>70.00</u>
Current legal use (i.e. single family) <u>Multi-family</u> Number of Residential Units <u>4</u> If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? <u>No</u> If yes, please name Project description: <u>- Replace entry deck (Lewis St. side)</u> <u>- Apply window trim and overhang moulding</u> U/L 2 / 2000		
Contractor's name: <u>Nathan Hawkes Carpentry</u> Address: <u>105 Spring St.</u> City, State & Zip <u>Westbrook, Me 04092</u> Telephone: <u>939-2905</u> Who should we contact when the permit is ready: <u>yes</u> Telephone: <u>939-2905</u> Mailing address: <u>same as above</u>		

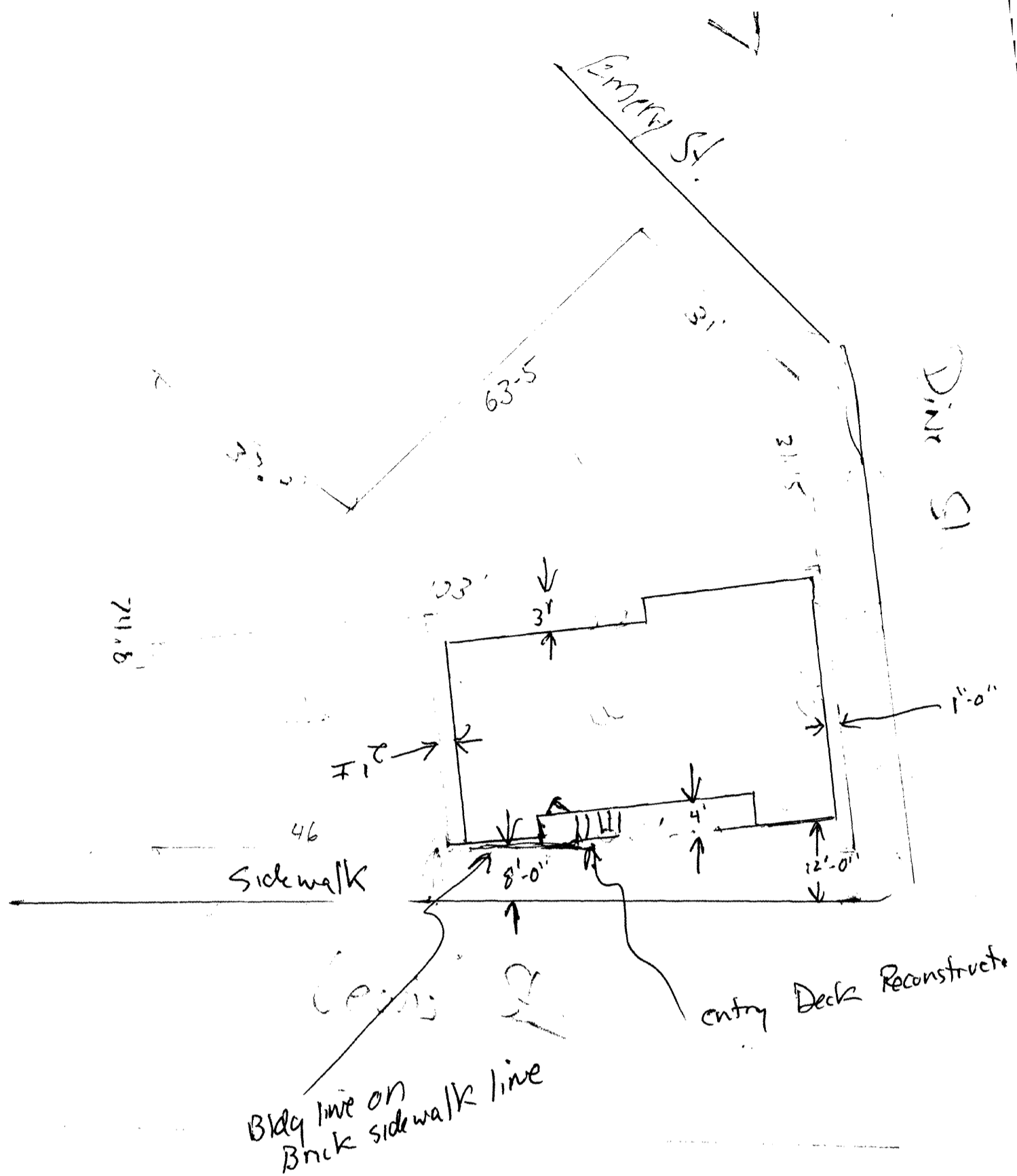
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

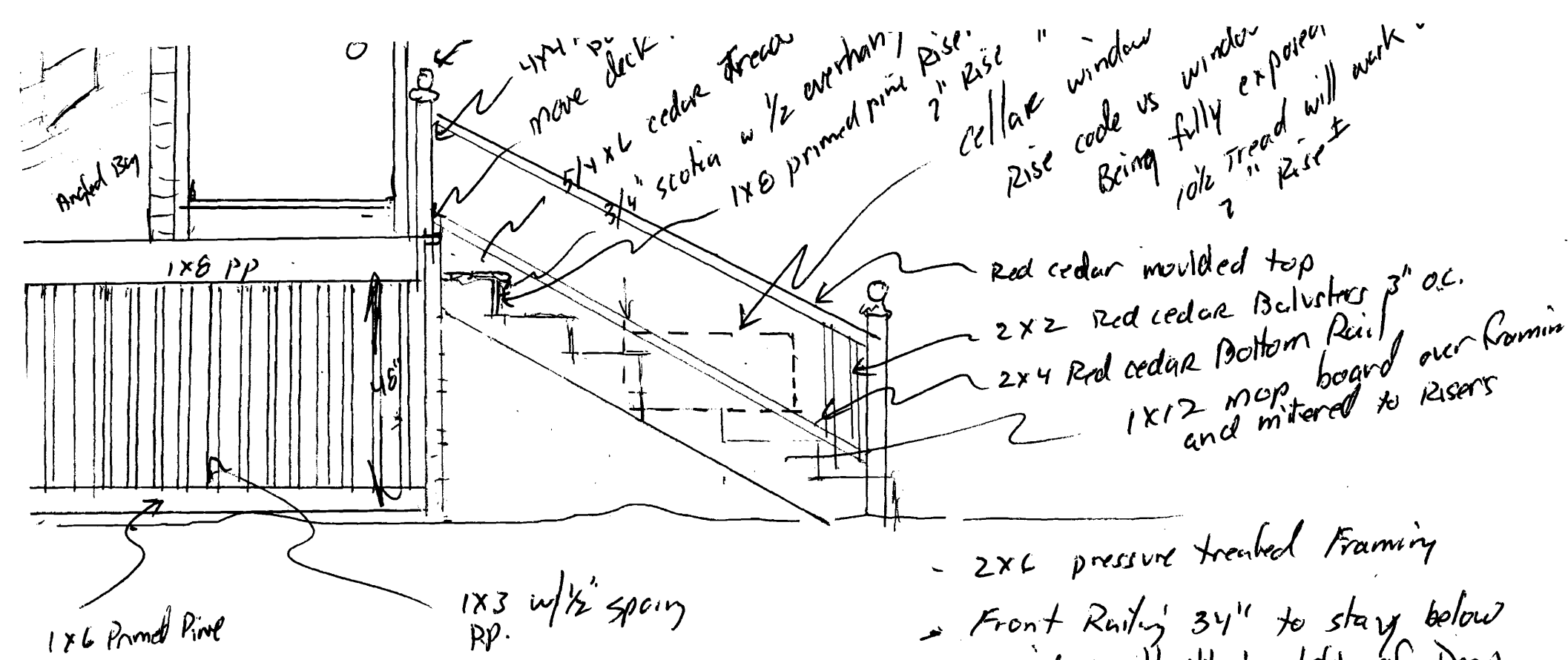
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Nathan Hawkes Date: 7/24/09

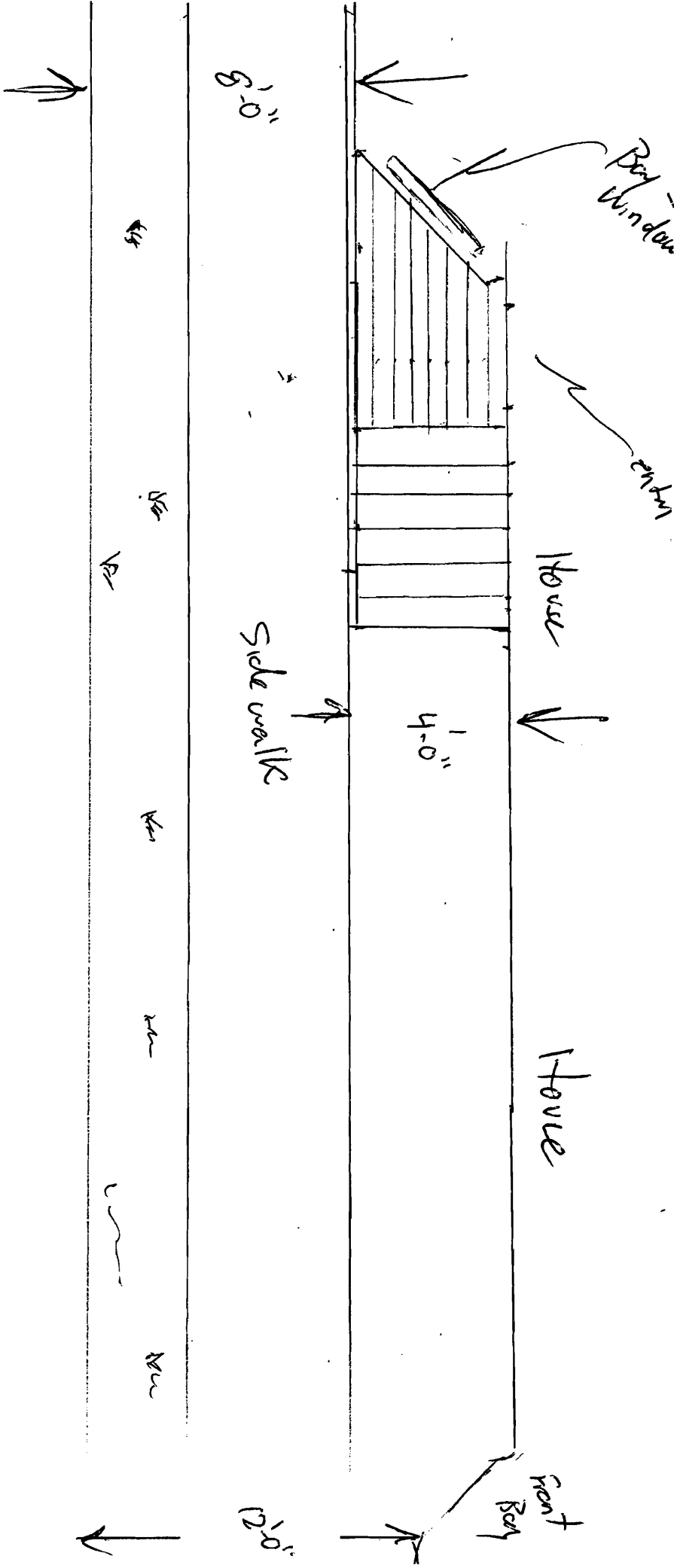
This is not a permit; you may not commence ANY work until the permit is issue



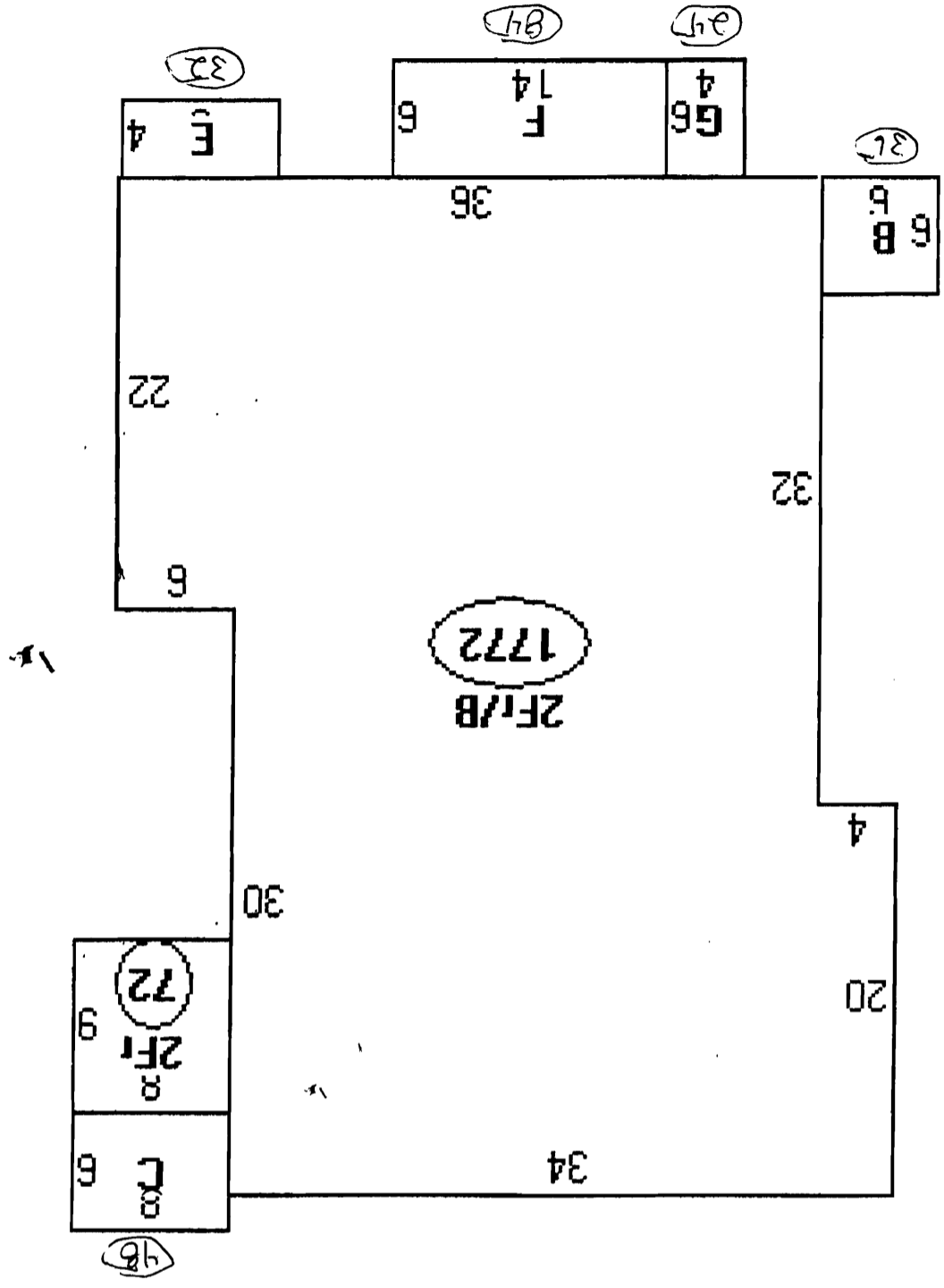


* NOTE: USING existing
Frost Protection
01/1/09 cl

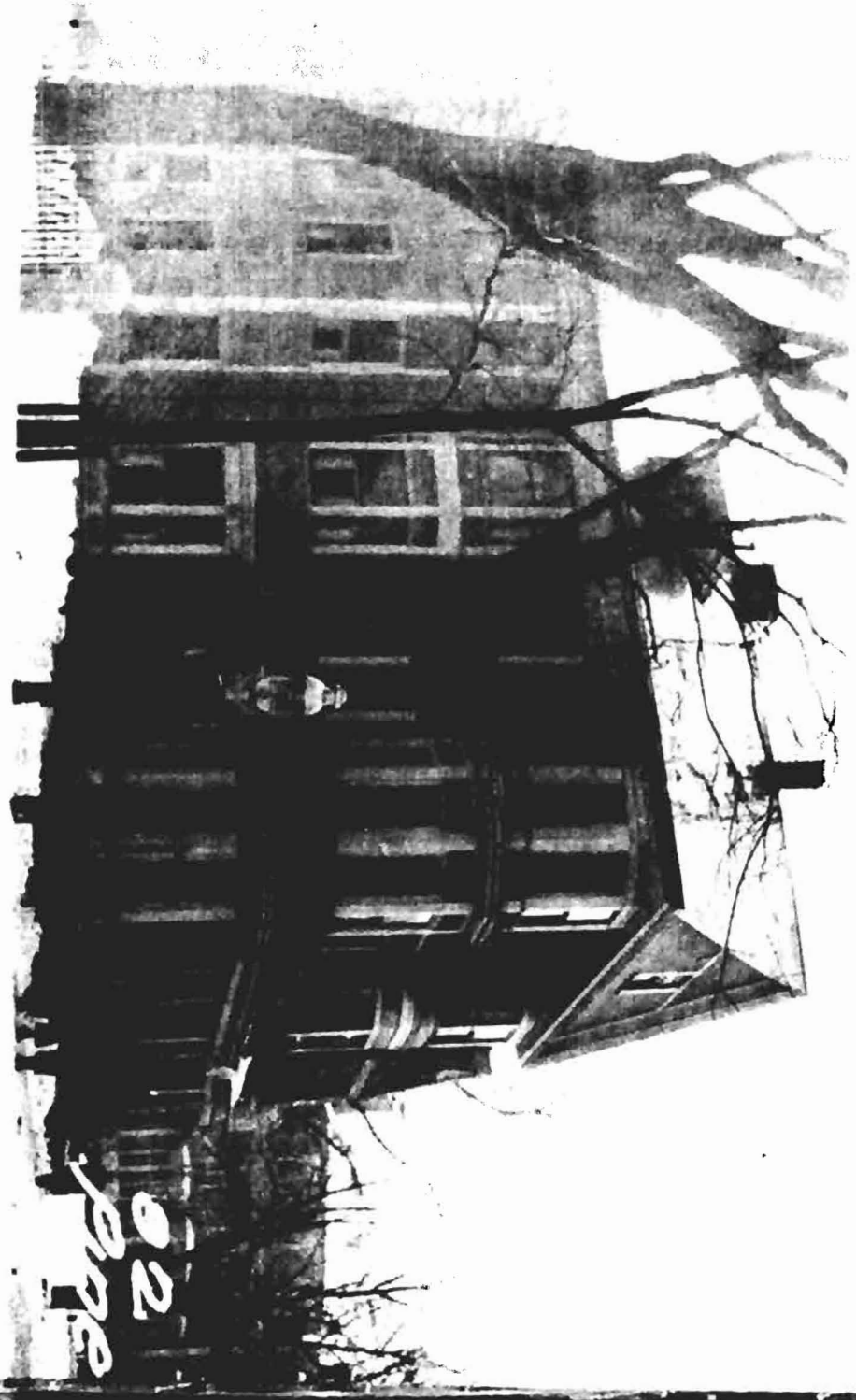
- 2x6 pressure treated Framing
- Front Railing 34" to stay below window sill Ht. to left of Door
- Deck to be secured to corner beam (existing Deck protrudes past Bldg Line)



Lewis St.







02
page

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 Surveyed by **A. G. MacGEE**.....
 MAY - 3 1924
 (Remarks on other Side)