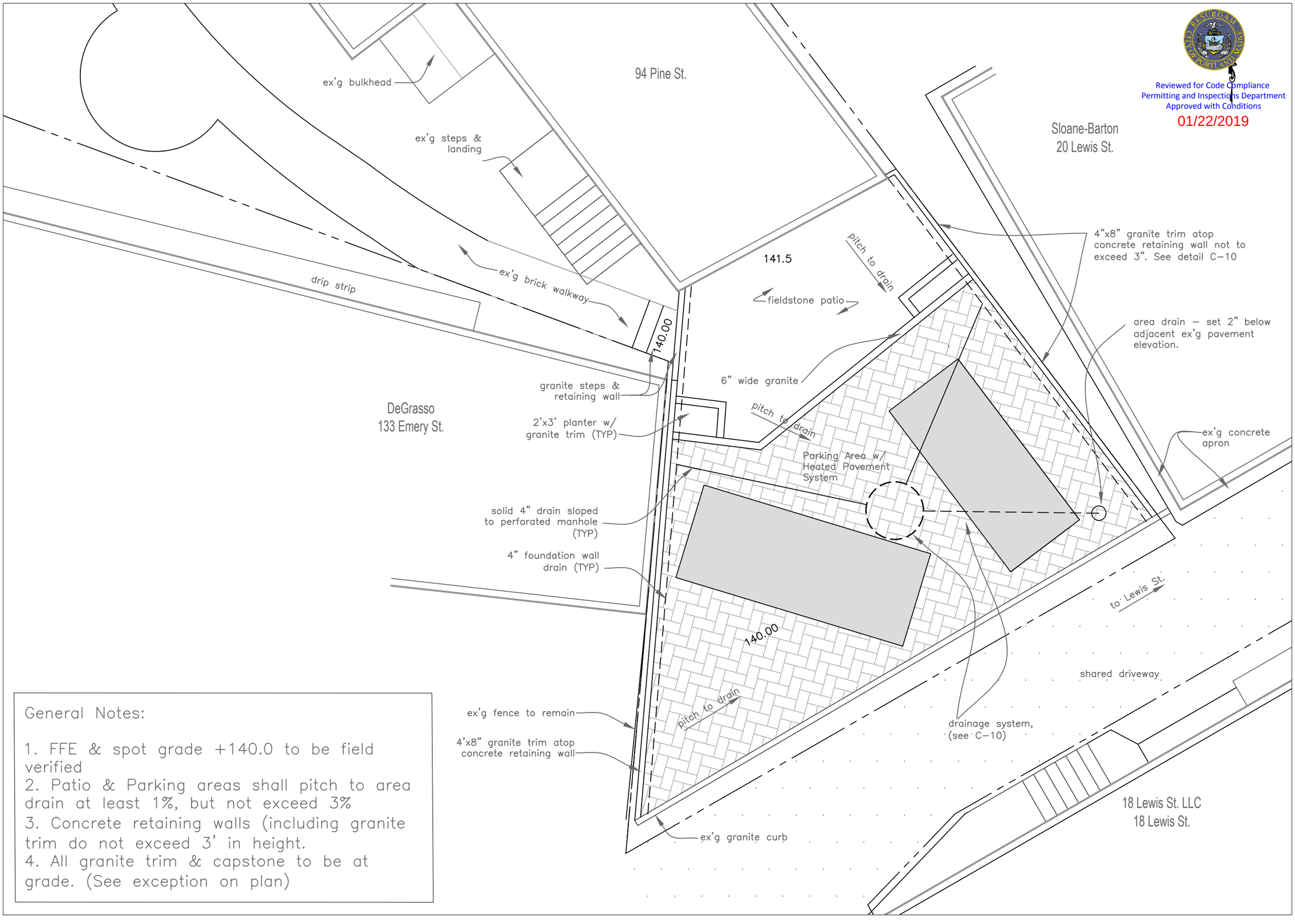


General Notes:

1. FFE & spot grade +140.0 to be field verified
2. Patio & Parking areas shall pitch to area drain at least 1%, but not exceed 3%
3. Concrete retaining walls (including granite trim do not exceed 3' in height.
4. All granite trim & capstone to be at grade. (See exception on plan)

charlotte maloney
landscape architecture
57 Spruce St.
Portland, ME 04102
207.939.5546
cmaloney@gwi.net

BACKARD IMPROVEMENTS

Tom and Judy Watson
94 Pine St.
Portland, Maine

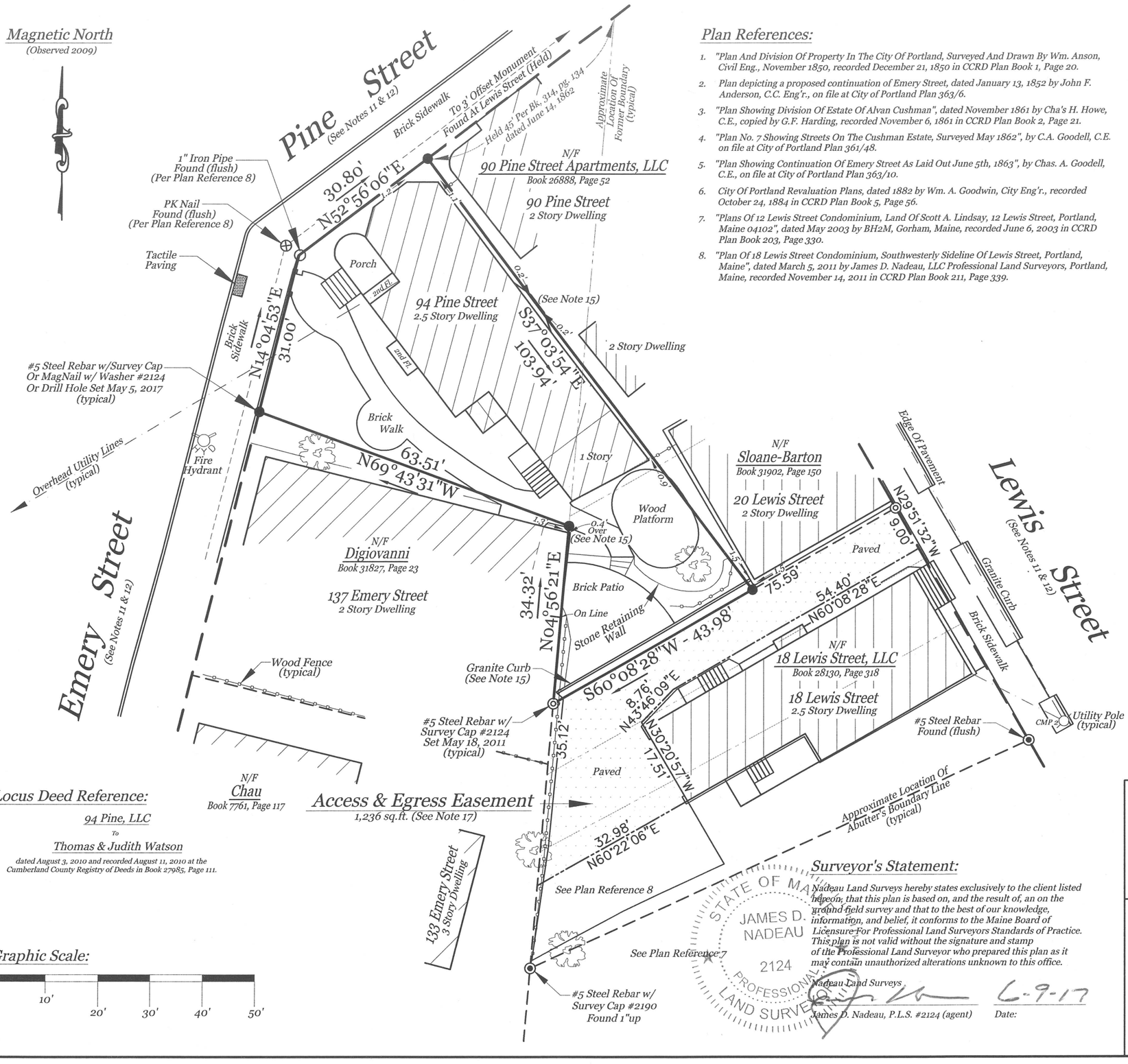
REVISIONS

#	DATE	DESCRIPTION
1	10/17/18	Drainage clarification
1	12/04/18	Added drainage pipes and deleted new entrance

DATE:	9-25-18
PROJECT #	042012
DESIGNED BY:	CMM
DRAWN BY:	
DRAWING SCALE:	

Site Plan

L-1



Plan References:

1. *"Plan And Division Of Property In The City Of Portland, Surveyed And Drawn By Wm. Anson, Civil Eng., November 1850, recorded December 21, 1850 in CCRD Plan Book 1, Page 20.*
2. *Plan depicting a proposed continuation of Emery Street, dated January 13, 1852 by John F. Anderson, C.C. Eng'r., on file at City of Portland Plan 363/6.*
3. *"Plan Showing Division Of Estate Of Alvan Cushman", dated November 1861 by Cha's H. Howe, C.E., copied by G.F. Harding, recorded November 6, 1861 in CCRD Plan Book 2, Page 21.*
4. *"Plan No. 7 Showing Streets On The Cushman Estate, Surveyed May 1862", by C.A. Goodell, C.E. on file at City of Portland Plan 361/48.*
5. *"Plan Showing Continuation Of Emery Street As Laid Out June 5th, 1863", by Chas. A. Goodell, C.E., on file at City of Portland Plan 363/10.*
6. *City Of Portland Revaluation Plans, dated 1882 by Wm. A. Goodwin, City Eng'r., recorded October 24, 1884 in CCRD Plan Book 5, Page 56.*
7. *"Plans Of 12 Lewis Street Condominium, Land Of Scott A. Lindsay, 12 Lewis Street, Portland, Maine 04102", dated May 2003 by BH2M, Gorham, Maine, recorded June 6, 2003 in CCRD Plan Book 203, Page 330.*
8. *"Plan Of 18 Lewis Street Condominium, Southwesterly Sideline Of Lewis Street, Portland, Maine", dated March 5, 2011 by James D. Nadeau, LLC Professional Land Surveyors, Portland, Maine, recorded November 14, 2011 in CCRD Plan Book 211, Page 339.*

General Notes:

1. *This plan is not intended to depict limits or extent of fee title ownership. An opinion of title should be rendered by a title attorney.*
2. *This office reserves the right to be held harmless by all 3rd party claims.*
3. *This survey does not purport to reflect any of the following:*
   a. *easements other than those that are visible or specifically stated in the referenced documents.*
   b. *building setback compliance or restrictive covenants.*
   c. *zoning or other land use regulations.*
   d. *the location of any underground utilities or structures.*
4. *This office reserves the right to be held harmless for unknown or unobtainable private records which could affect the results of this survey.*
5. *Reference is made to "Letter Of Agreement" dated September 30, 2009 between Nadeau Land Surveys and the below listed client(s), which shall be considered an integral part of this survey.*
6. *N/F is an abbreviation for Now or Formerly.*
7. *All deeds referenced on this plan are recorded at the Cumberland County Registry of Deeds (CCRD).*
8. *This office does not accept any liability for any errors which may exist in the plans listed in the Plan References hereon, except Plan Reference 8.*
9. *Locus Parcel is shown on the City of Portland Assessor's Map 56, Block A, as Lot 2, and is listed as 94 Pine Street.*
10. *Area of Locus Parcel is 3,795 square feet (0.09 acre).*
11. *The apparent right of way lines depicted on this plan are based on the Plan References listed hereon and monumentation found in the field, and City of Portland Engineering Street Notes.*
12. *Per City of Portland Records 13-261, Lewis Street was accepted July 6, 1863 as forty-nine and one half (49.5') feet wide. Per City of Portland Records 13-254, this portion of Emery Street was accepted July 6, 1863 as fifty (50') feet wide. Per City of Portland Records 9-269, this portion of Pine Street was accepted October 18, 1855 as fifty (50') feet wide.*
13. *All building corner offsets to boundary lines are from cornerboards and not building foundation, unless noted.*
14. *Call 1-888-DIGSAFE at least three business days before performing ANY excavation.*
15. *Apparent encroachment - no record easement found.*
16. *The Locus Parcel does not scale in a Special Flood Hazard Area per FEMA Flood Insurance Rate Map Community-Panel Number 230051 0013B, index dated December 8, 1998. The parcel scales in Zone C.*
17. *See CCRD Book 29128, Page 337, dated November 16, 2011, from 18 Lewis Street, LLC to Thomas Watson and Judith Watson, for an access and egress easement, which is depicted on Plan Reference 8 listed hereon.*
18. *See CCRD Book 1080, Page 174, dated October 28, 1921, from Clarence W. Peabody to Henry A. Peabody, which excepted and reserved "an easement for drainage appurtenant to the premises of the grantor numbered 137 Emery Street as now located thru the described lot to the Pine Street sewer".*

Locus Deed Reference:

94 Pine, LLC
To
Thomas & Judith Watson
dated August 3, 2010 and recorded August 11, 2010 at the Cumberland County Registry of Deeds in Book 27985, Page 111.

Surveyor's Statement:

Nadeau Land Surveys hereby states exclusively to the client listed hereon, that this plan is based on, and the result of, an on the ground field survey and that to the best of our knowledge, information, and belief, it conforms to the Maine Board of Licensure For Professional Land Surveyors Standards of Practice. This plan is not valid without the signature and stamp of the Professional Land Surveyor who prepared this plan as it may contain unauthorized alterations unknown to this office.

STATE OF MAINE
JAMES D. NADEAU
2124
PROFESSIONAL LAND SURVEYOR

Nadeau Land Surveys
James D. Nadeau, P.L.S. #2124 (agent)
Date: 6-9-17

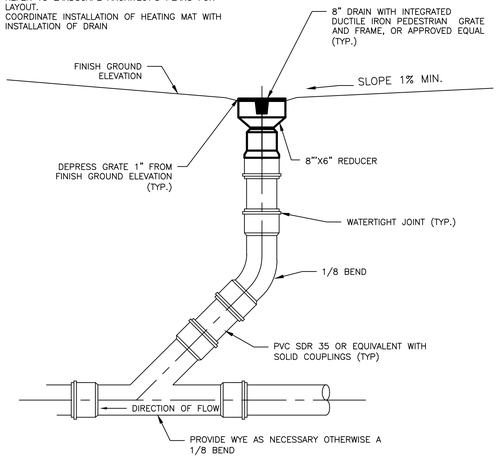
Plan Depicting The Results Of A Boundary Survey
Made For
Thomas & Judith Watson
Southeasterly Sideline Of Pine Street & Easterly Sideline Of Emery Street
Portland, Maine

MADE BY:
Nadeau Land Surveys
Professional Land Surveyors
Certified Floodplain Managers
918 BRIGHTON AVE. PORTLAND, ME. PH.(207)878-7870

DATE: 6/9/2017 *DRAWN BY:* TPB
SCALE: 1" = 20' *FILE#:* 2091107B

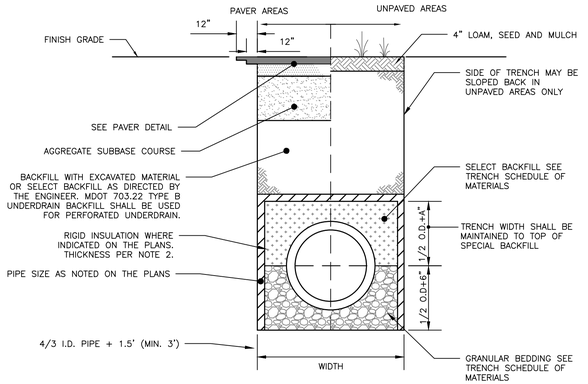
NOTES:

1. REFER TO LANDSCAPE ARCHITECT'S PLANS FOR LAYOUT.
2. COORDINATE INSTALLATION OF HEATING MAT WITH INSTALLATION OF DRAIN



INLINE DRAIN DETAIL

NOT TO SCALE

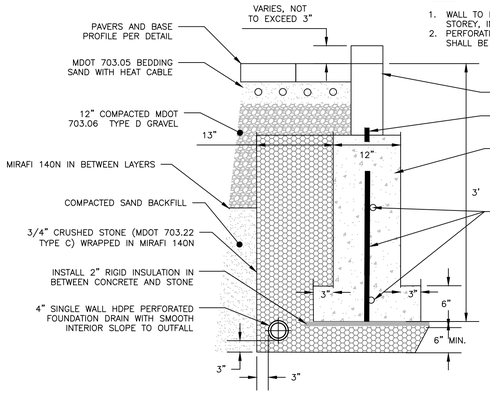


SCHEDULE OF MATERIALS		
TYPE OF PIPE	GRANULAR BEDDING	SELECT BACKFILL
CMP DUCTILE IRON RCP	MDOT 703.22 TYPE B UD BACKFILL	MDOT 703.22 TYPE B UD BACKFILL
PVC/HDPE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE	MDOT 703.22 TYPE B UD BACKFILL
CMP	MDOT 703.22 TYPE C 3/4" CRUSHED STONE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE

NOTE:
1. BRACING AND SHEETING OR OTHER TRENCH PROTECTION TO BE PROVIDED TO MEET APPLICABLE STATE AND O.S.H.A. SAFETY STANDARDS. ALL SUCH TRENCH PROTECTION TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. STORM DRAIN COVER BETWEEN 2' AND 3' SHALL INCLUDE 4" OF RIGID INSULATION. COVER BETWEEN 3' AND 4' SHALL INCLUDE 2" RIGID INSULATION. OTHER UTILITIES: ADD 2" OF RIGID INSULATION FOR EACH FOOT ABOVE MINIMUM DEPTH.
3. INSTALL WARNING TAPE DIRECTLY ABOVE UTILITIES AT THE TOP OF SUBGRADE.
4. MINIMUM COVER
   4.1. 2'-0" – STORM DRAIN
   4.2. 5'-0" – SEWER
5. NO TREES SHALL BE PLANTED WITHIN 5' OF A SEWER PIPE OR SERVICE
6. THIS DETAIL SHALL BE APPLIED ONLY TO DRAINAGE PIPE TRENCHES OUTSIDE OF THE CITY OF PORTLAND ROW.

STORM DRAIN AND SEWER TYPICAL TRENCH SECTION

NOT TO SCALE

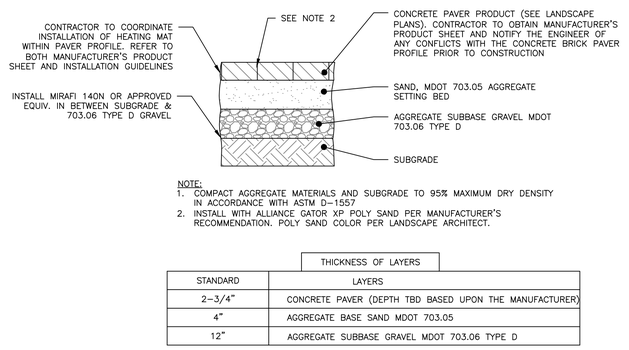


NOTES:

1. WALL TO BE CONSTRUCTED BY M.J. STOREY, INC.
2. PERFORATIONS IN UNDERDRAIN PIPE SHALL BE ORIENTED DOWN.

FOUNDATION WALL DETAIL

NOT TO SCALE

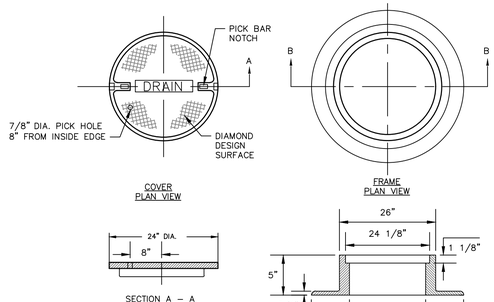


NOTE:
1. COMPACT AGGREGATE MATERIALS AND SUBGRADE TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557
2. INSTALL WITH ALLIANCE GATOR XP POLY SAND PER MANUFACTURER'S RECOMMENDATION. POLY SAND COLOR PER LANDSCAPE ARCHITECT.

THICKNESS OF LAYERS	
STANDARD	LAYERS
2-3/4"	CONCRETE PAVER (DEPTH TBD BASED UPON THE MANUFACTURER)
4"	AGGREGATE BASE SAND MDOT 703.05
12"	AGGREGATE SUBBASE GRAVEL MDOT 703.06 TYPE D

CONCRETE BRICK PAVER PROFILE

NOT TO SCALE

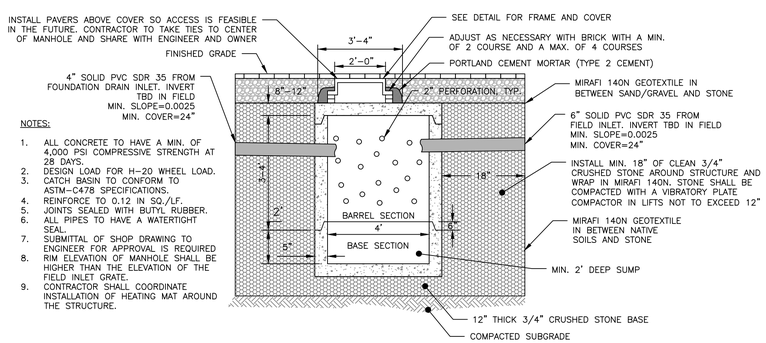


NOTES:

1. ALL MANHOLE COVERS SHALL BE SOLID AND SHALL HAVE ONE 7/8" DIAMETER DRILLED PICK HOLE, LOCATED 8" FROM THE CENTER OF THE COVER
2. COVERS SHALL BE 24" x 5".
3. APPROVED MANHOLE FRAMES:
   3.1. EAST JORDAN = 1690Z
   3.2. NEENAH = R-1496
   3.3. OR APPROVED EQUAL
4. APPROVED MANHOLE COVERS
   4.1. EAST JORDAN = 2160A
   4.2. NEENAH = R-1496
   4.3. OR APPROVED EQUAL

CAST IRON MANHOLE COVER AND FRAME

NOT TO SCALE

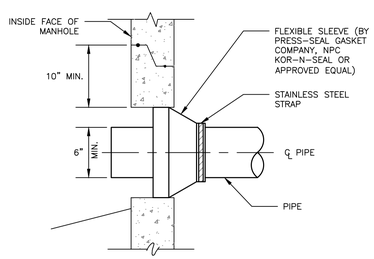


NOTES:

1. ALL CONCRETE TO HAVE A MIN. OF 4,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
2. DESIGN LOAD FOR H-20 WHEEL LOAD.
3. CATCH BASIN TO CONFORM TO ASTM-C478 SPECIFICATIONS.
4. REINFORCE TO 0.12 IN SQ./LF.
5. JOINTS SEALED WITH BUTYL RUBBER.
6. ALL PIPES TO HAVE A WATERTIGHT SEAL.
7. SUBMITTAL OF SHOP DRAWING TO ENGINEER FOR APPROVAL IS REQUIRED
8. RIM ELEVATION OF MANHOLE SHALL BE HIGHER THAN THE ELEVATION OF THE FIELD INLET GRATE.
9. CONTRACTOR SHALL COORDINATE INSTALLATION OF HEATING MAT AROUND THE STRUCTURE.

4'-0" PRECAST PERFORATED MANHOLE

NOT TO SCALE



NEW PIPE TO NEW STRUCTURE CONNECTION DETAIL

NOT TO SCALE

ISSUED FOR CONSTRUCTION

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
01/22/2019

ISSUED FOR	BY DATE
CITY APP.	WHS 9/13/18
COMMENT RESPONSE	MPB 12/6/18

DRAWING NAME: DETAILS

PROJECT NAME: 94 PINE STREET SITE IMPROVEMENTS

CLIENT: TOM & JUDY WATSON
94 PINE STREET, PORTLAND, MAINE 04102

ACORN ENGINEERING, INC.
158 DANFORTH STREET PORTLAND, MAINE 04102
(207) 775-2655

FILE:	JN_CIVIL
JN:	1093.5
SCALE:	NTS
DESIGNED BY:	WHS
DRAWN BY:	SJL
CHECKED BY:	WHS

STATE OF MAINE
WILLIAM H. SAVAGE
No. 11418
12-20-18
REGISTERED PROFESSIONAL ENGINEER

DRAWING NO.
C-10