

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING DEPARTMENT

## PERMIT

Permit Number: 090518

Please Read Application And Notes, If Any, Attached

This is to certify that SMITH LEONARD P & ELIZABETH E Agency  
has permission to Repair Existing Front Porch (Lower Section) Rebuild Stairs  
AT 94 PINE ST City 056 A002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

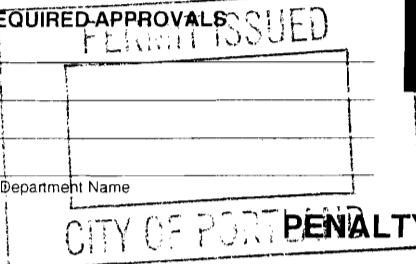
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 2 HOURLY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_



*Thomas H. Mullen* 4/17/09  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0518	<b>Date Applied For:</b> 05/28/2009	<b>CBL:</b> 056 A002001
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<b>Location of Construction:</b> 94 PINE ST	<b>Owner Name:</b> SMITH LEONARD P & ELIZABE	<b>Owner Address:</b> 94 PINE ST	<b>Phone:</b> 207-252-0358
<b>Business Name:</b>	<b>Contractor Name:</b> Joe Lucey	<b>Contractor Address:</b> 482 Walnut Hill Rd No Yarmouth	<b>Phone:</b> (207) 671-4249
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home - Repair Existing Front Porch (Lower Section), Rebuild Stairs	<b>Proposed Project Description:</b> Repair Existing Front Porch (Lower Section), Rebuild Stairs
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<b>Dept:</b> Historic	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Scott Hanson	<b>Approval Date:</b> 06/05/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) The proposed Certainteed Centennial Slate shingles specified are NOT approved. As discussed via email, Certainteed Landscape Woodscape shingles in Burnt Sienna, Heather Blend, Weathered Wood, or Sunset Brick color (or equivalent) are approved. Once chosen, please forward specifications on the shingle selected to me for final approval. 2) Pressure treated wood may only be used for structural elements on the porch. Visible surfaces must be pine or cedar, with a paint or solid body stain finish.			
<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 06/01/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) This permit is being issued with the condition that all the work will take place within the existing footprint. 2) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District. 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 06/17/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

**Comments:**  
 6/8/2009-gg: received permit from historic as of 06/08/09. /gg

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

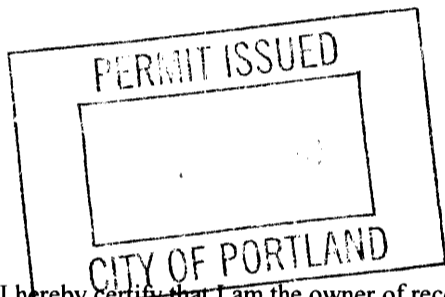
Permit No: 09-0518	Issue Date:	CBL: 056 A002001
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<b>Location of Construction:</b> 94 PINE ST	<b>Owner Name:</b> SMITH LEONARD P & ELIZABE	<b>Owner Address:</b> 94 PINE ST	<b>Phone:</b> 207-252-0358
<b>Business Name:</b>	<b>Contractor Name:</b> Joe Lucey	<b>Contractor Address:</b> 482 Walnut Hill Rd No Yarmouth	<b>Phone:</b> 2076714249
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	<b>Zone:</b> R-6

<b>Past Use:</b> Single Family Home	<b>Proposed Use:</b> Single Family Home - Repair Existing Front Porch (Lower Section), Rebuild Stairs	<b>Permit Fee:</b> \$80.00	<b>Cost of Work:</b> \$6,000.00	<b>CEO District:</b> 2
<b>Proposed Project Description:</b> Repair Existing Front Porch (Lower Section), Rebuild Stairs		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: R3 Type: SB IRC 2003 Signature: <i>Jm 6/17/09</i>	
		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

<b>Permit Taken By:</b> lmd	<b>Date Applied For:</b> 05/28/2009	<b>Zoning Approval</b>	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/1/09</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> y4 <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>6/5/09</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  X   **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

*Thomas H. Mahler*

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

*6/17/09*

\_\_\_\_\_  
Date



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>94 Pine St.</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot <u>3741 SF</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>56      A      2</u>	Applicant ' <u>must be owner, Lessee or Buyer</u> ' Name <u>94 Pine LLC - Tom Watson</u> Address <u>94 Pine St.</u> City, State & Zip <u>Portland, ME 04102</u>	Telephone: <u>252-0358</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>6,000</u> C of O Fee: \$ <u>4</u> Total Fee: \$ <u>80.00</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>- Repair existing Front porch - Lower section only</u> <u>- Rebuild stairs.</u>		
Contractor's name: <u>Joe Lucey Carpentry Inc.</u> Address: <u>482 Walnut Hill Rd.</u> City, State & Zip <u>No Yarmouth, ME 04097</u> Telephone: <u>671-4249</u> Who should we contact when the permit is ready: <u>Joe Lucey</u> Telephone: <u>671-4249</u> Mailing address: <u>SAME</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703. MAY 28 2009

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature], 94 Pine St. Date: 5/28/09

**This is not a permit; you may not commence ANY work until the permit is issued**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

## Current Owner Information

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	056 A002001
<b>Location</b>	94 PINE ST
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	SMITH LEONARD P & ELIZABETH E JTS 94 PINE ST PORTLAND ME 04102
<b>Book/Page</b>	10210/90
<b>Legal</b>	56-A-2 PINE ST 94 EMERY ST 139 3741 SF

## Current Assessed Valuation

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$145,100	\$222,200	\$367,300

## Property Information

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
1860	Old Style	2.5	3568	0.086	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>
6	4		11	None \	Full

## Outbuildings

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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## Sales Information

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
08/03/1992	LAND + BLDING	\$82,500	10210-090

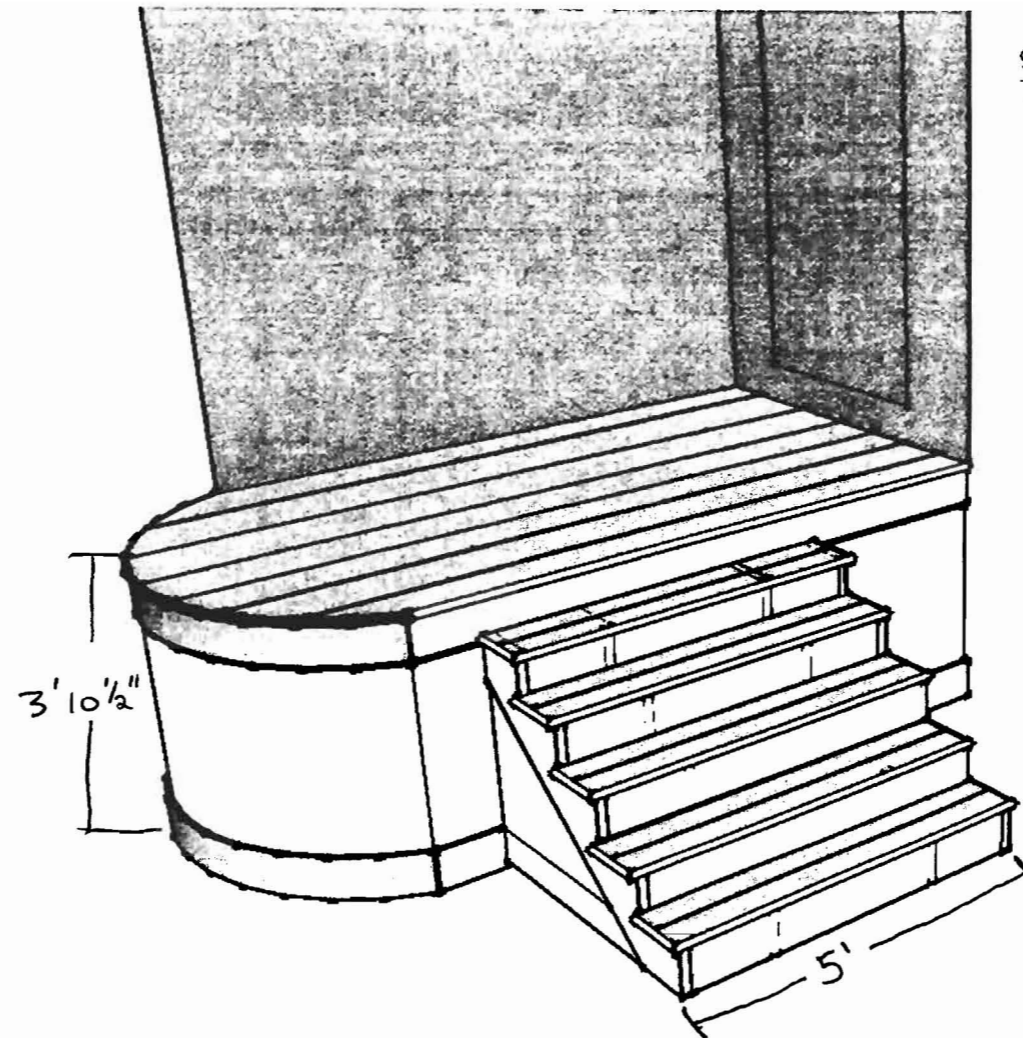
## Picture and Sketch

<b>Picture</b>	<b>Sketch</b>	<b>Tax Map</b>
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

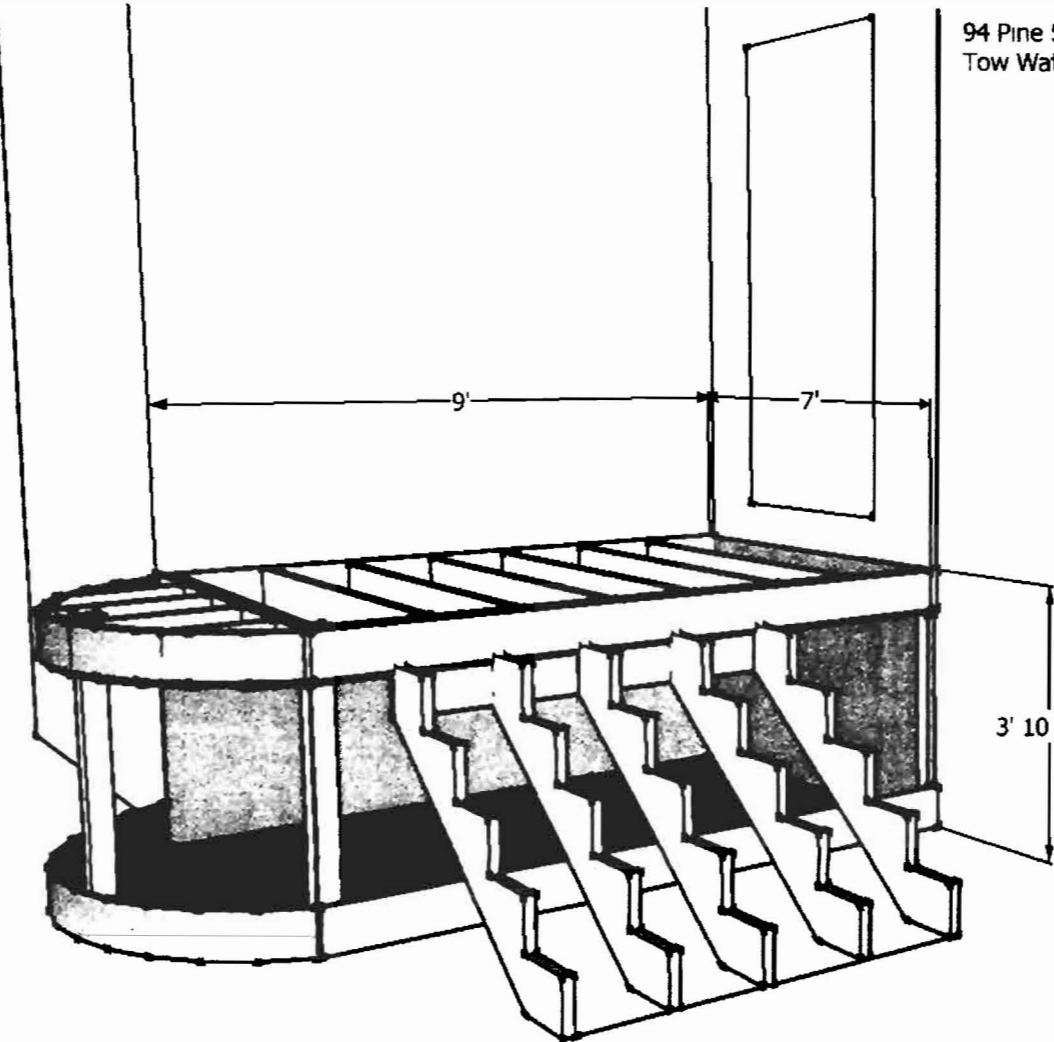
**New Search!**



94 Pine St.  
Tom Watson

Joe Lucey Carpentry  
482 Walnut Hill Rd.  
No. Yarmouth, ME 04097

- Front lower porch finishing:
- Decking to be 1 x 4 T & G Fir decking.
  - Decking to have 1" bullnose edging, with 3/4 scotia below.
  - Deck to have 1 x 8 perimeter board to match existing.
  - Treads to be 5/4 x 12 fir.
  - Treads to have bullnose front with mitered returns at ends.
  - Treads to have 3/4 scotia molding under leagin edge and under mitered returns.
  - Stair rise/run and overhangs will be consistent with guidelines published in Portland historic pamphlet. (see attachments)
  - Stair stringer boards and closed risers will be mitered at corners.
  - Lattice to match original. 1 x 1 pattern lattice to follow curve of porch.
  - Lattice material will be cellular PVC to allow for radius fabrication.
  - Lattice will be painted to match trim color.
  - Baseboard on lattice surround will be 1 x 6 flat stock to match existing.
  - Railing material and balusters will be salvaged and re-used.
  - Railing will be re-created at damaged spots and extended to reach lowest stair.
  - Missing balusters will be custom milled to match existng profile.
  - Newel posts will be 5 x 5 ball top to match existing.

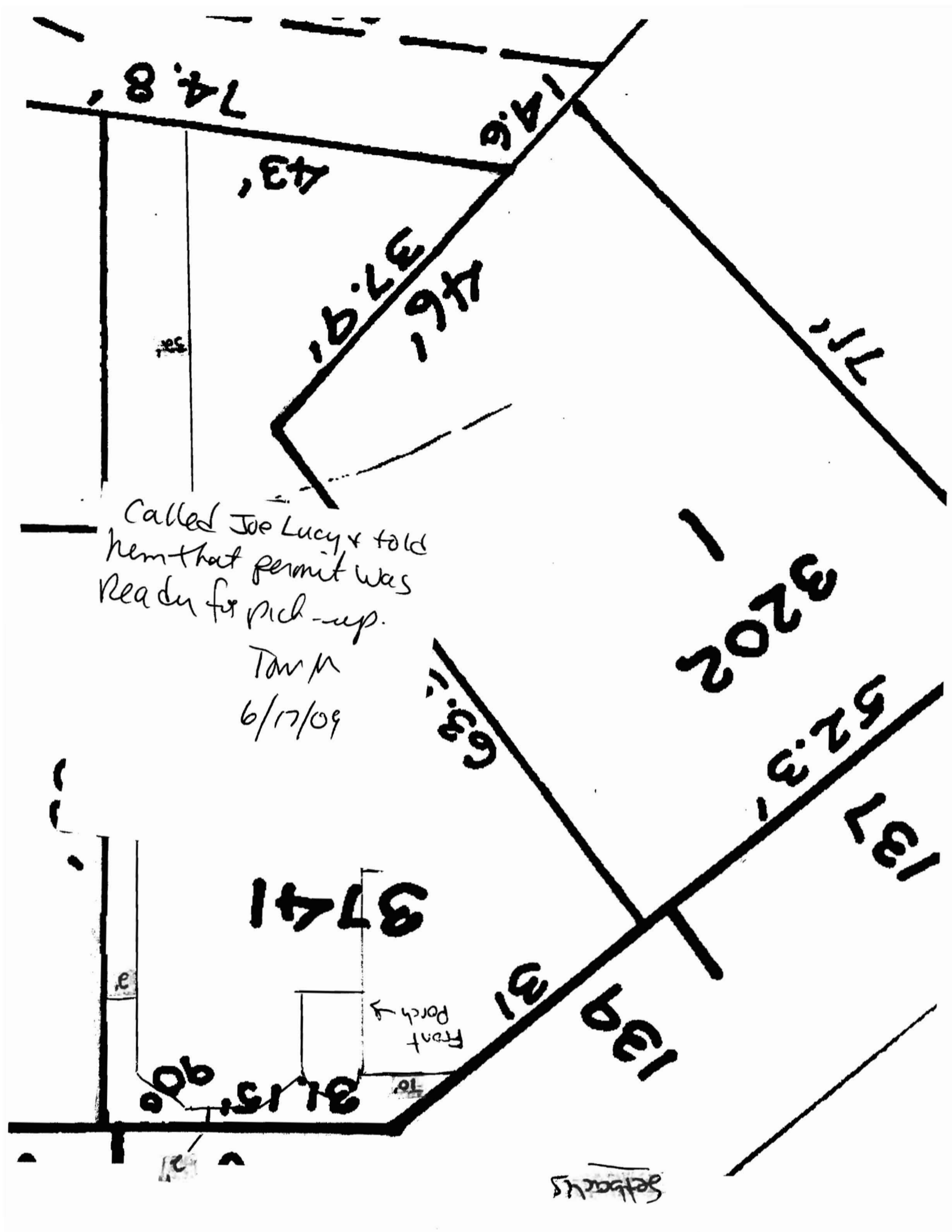


94 Pine St. Front Porch  
Tow Watson

Joe Lucey Carpentry  
482 Walnut Hill Rd  
No. Yarmouth, ME 04097

- Re-frame lower porch area:
- Roof system and roof supports to remain as is.
  - Deck framing members to be 2 x 8 PT
  - Stair framing members to be 2 x 12 PT
  - Stair rise to be 7 3/4" and run to be 10"
  - Deck support posts to be 4 x 4 PT
  - Framing to be spaced 16" O.C
  - Ledger to be lagged to house with 3 1/2 " x 1/2" lag bolts
  - Two lags spaced every 32". Lags to penetrate main house rim board.
  - Ledger to be flashed to existing house with copper flashing compatible with treated lumber.
  - Footings to be re-used.





Called Joe Lucy & told  
 him that permit was  
 ready for pick-up.

Town  
 6/17/09

3741

Front Porch

Setbacks

Your  
3.

Work:

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*4x4 solid wood post with a decorative finial*

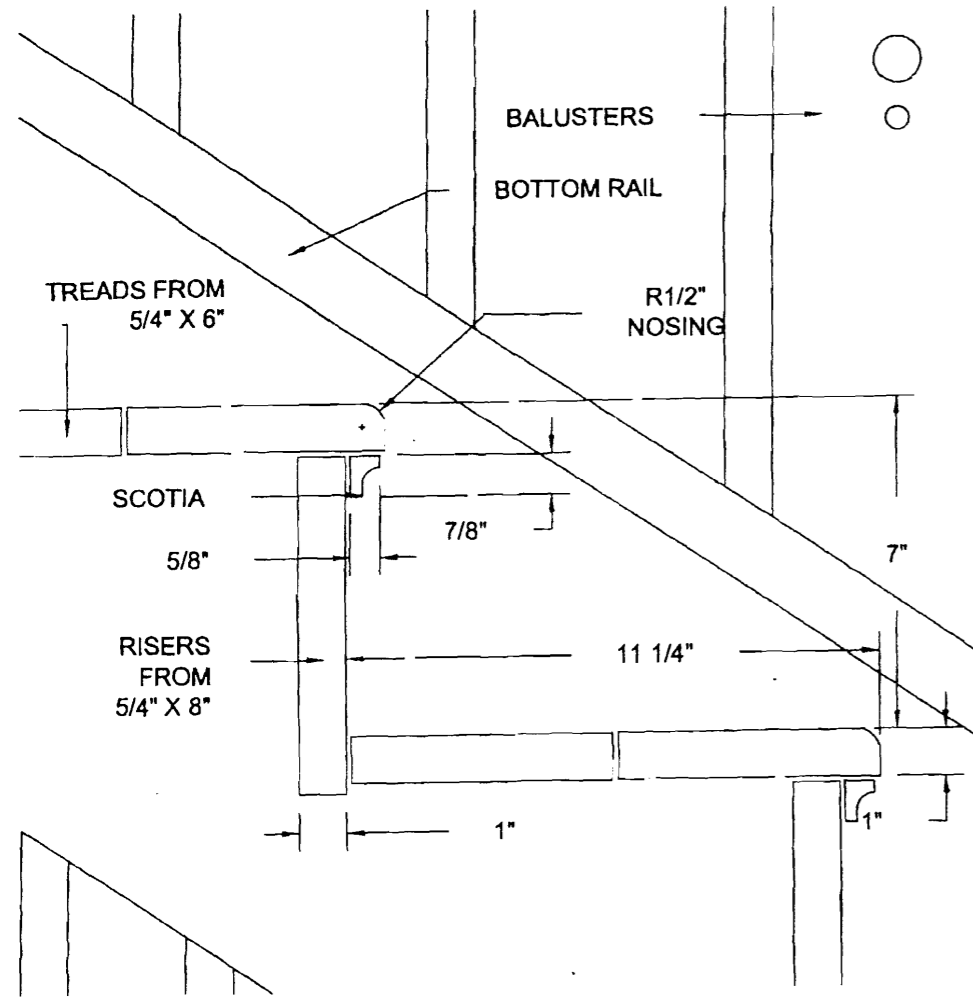
rior  
ice,

— We will use similar Newel  
Post with decorative ball cap

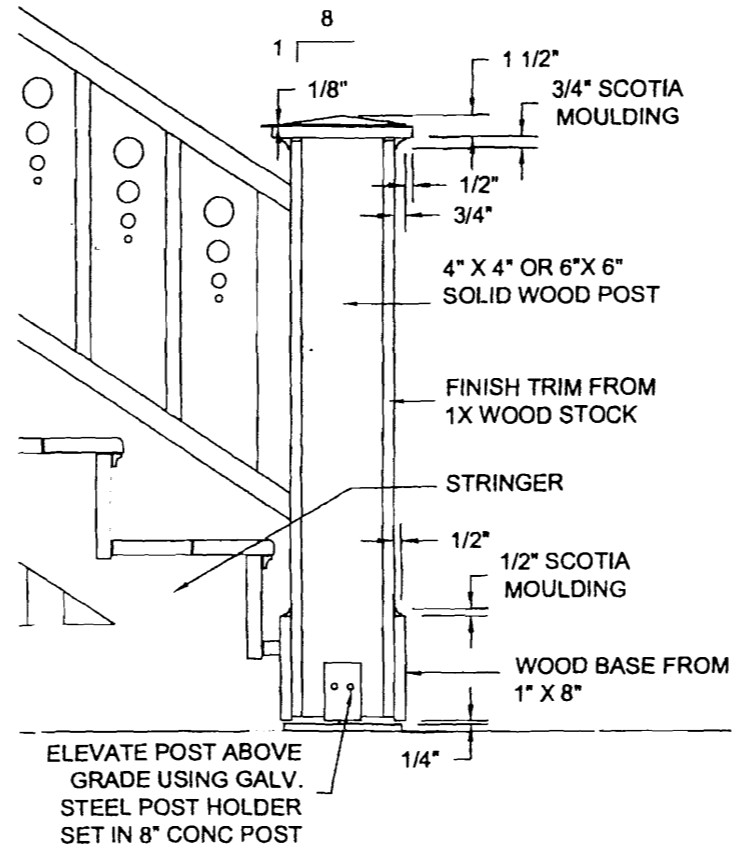
## EPLACEMENT

\* Balusters to have min. of 4" space between.

Typical residential risers and treads



Typical newel post construction



Alternate: Newel post may be bolted to a stringer.

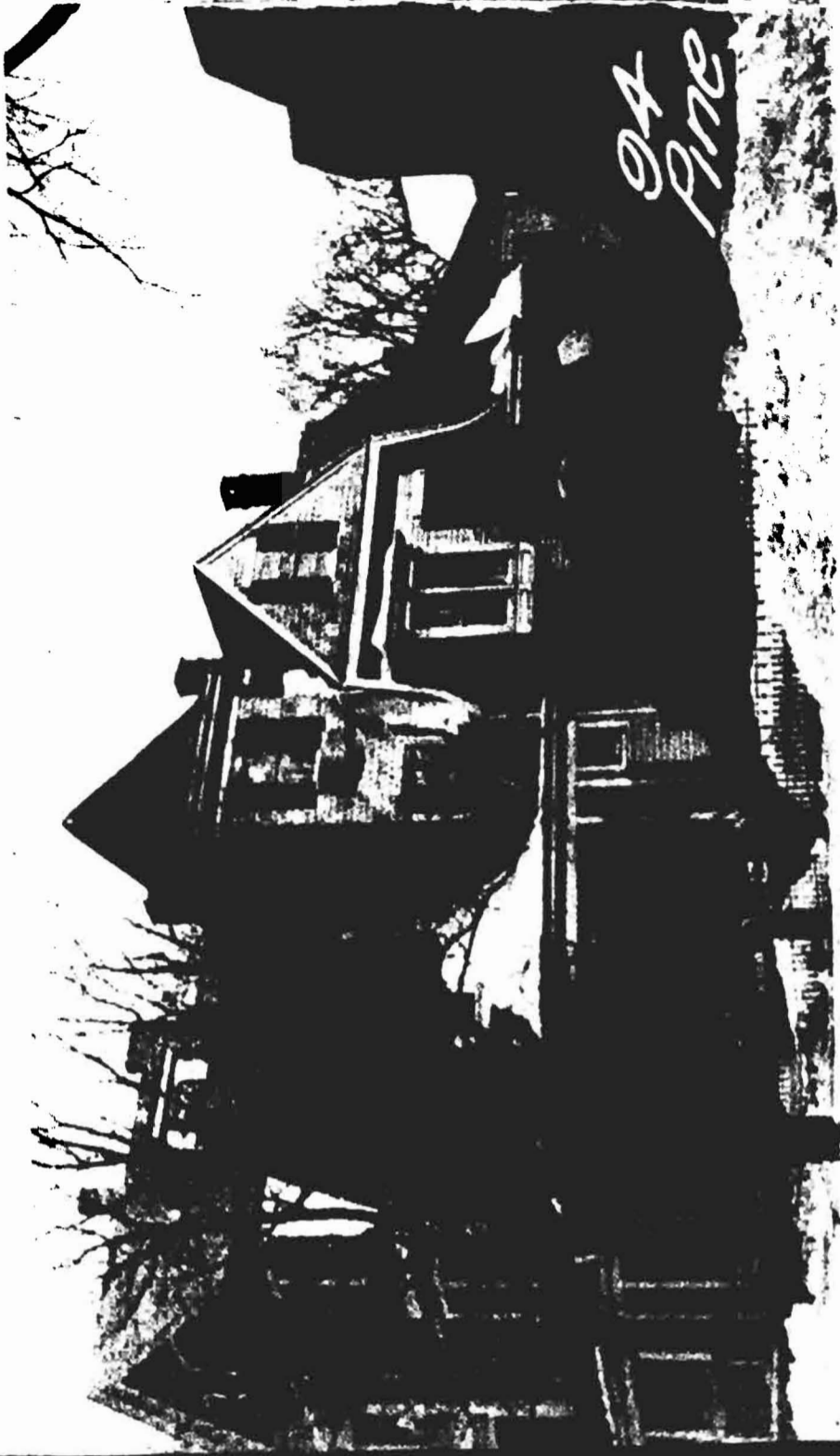




19

1900

45 years



Surveyed by A. V. WILCOX

(Remarks on other Side)