



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 3 IS
Portland, Maine 04101

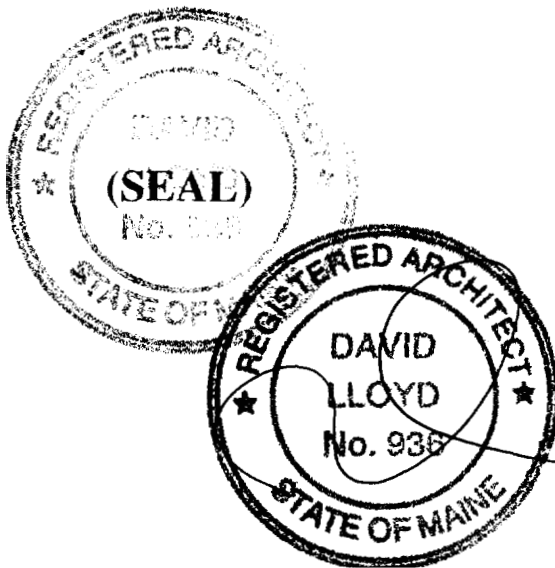
ACCESSIBILITY CERTIFICATE

Designer: Archetype, P.A.

Address of Project: One Walker Street

Nature of Project: 40 Unit Apartment Building

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: [Handwritten Signature]

Title: Architect

Firm: Archetype, P.A.

Address: 48 Union wharf

Portland, ME 04101

Phone: (207) 772-6022

Inspection

CITY OF PORTLAND, MAINE
PLANNING BOARD

Orlando E. Delogu, Chair
Lee Lowry III, Vice Chair
John Anton
Kevin Beal
Michael Patterson
David Silk
Janice E. Tevanian

December 13, 2004

Nathan Szanton
Maine Workforce Housing, LLC
One Longfellow Square, Ste 303
Portland, ME 04101

RE: 730 Congress Street – Walker Terrace Apartment Building
Application #2004-0213, CBL #055-C009-001
Site Plan and Subdivision Application

730 Congress

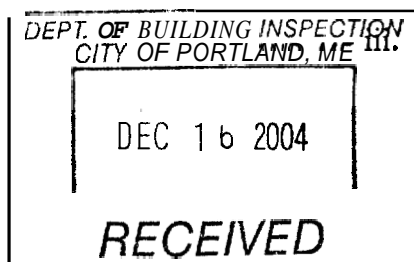
Dear Mr. Szanton:

On November 23, 2004, the Portland Planning Board voted 6-0 (Anton Abstaining) to approve the above referenced site plan and subdivision application. The approval was granted for the project based on the findings and subject to conditions as follows:

1. That the plan, as revised and submitted on November 23, 2004, is in conformance with the subdivision standards of the land use code.
2. That the plan, as revised and submitted on November 23, 2004, is in conformance with the site plan standards of the land use code.

Conditions of Approval:

- i. The approval is based on the revised site plan submitted November 23, 2004.
- ii. The project shall fully conform to the terms and standards set forth in the approved Contract Zone C33 subject to final review and approval by the Planning Authority and Corporation Counsel.



The developer shall revise plans so as to satisfy all engineering concerns expressed by the City's consulting civil engineer as presented in a memo from Jim Seymour, P.E. dated June 29, 2004 and revised November 17, 2004, subject to final review and approval by the Planning Authority.

- iv. The developer shall install / replace the existing fence on the abutting McDougal property nearest the Walker Street sidewalk.

The approval includes the redevelopment of an approximately 0.4 acre site in the vicinity of 730 Congress Street for the creation of a forty-unit apartment building in conformance with Contract Zone C33.

The approval is based on the site plan submitted November 23, 2004 and the findings related to subdivision and site plan review standards as contained in Planning Report #57-04, which is attached.

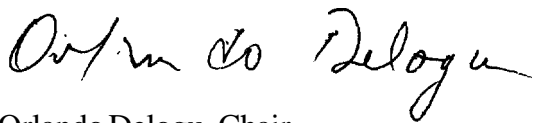
Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions or concerns, please contact Ethan Boxer-Macomber at 756-8083 or ebm@portlandmaine.gov.

Sincerely,

A handwritten signature in black ink that reads "Orlando Delogu". The signature is fluid and cursive, with the first name "Orlando" and last name "Delogu" clearly distinguishable.

Orlando Delogu, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
~~Sarah~~ Hopkins, Development Review Services Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Assessor's Office
Approval Letter File

May 4, 2004

Ethan Boxer-Macomber, Planner
Dept. of Planning and Development
City of Portland
389 Congress Street
Portland, ME. 04101

5/5/04

- Walker Terrace

RE: 730 Congress Street, Maine Workforce Housing Contract Zone Application

Dear Ethan,

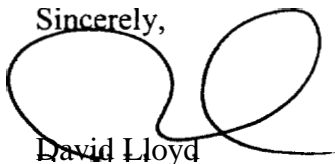
We respectfully submit to you drawings, which exceed the requirements of Item 9 "Sketch Plan", required in the application for Zoning Amendment. Subsequent to the submission application we have more fully developed the plans which have changed the unit and parking count to forty-one from the submitted forty. We have also established our building heights. The cornice height at Congress Street (top of steel) is 46-feet. The top of steel at the rear of the lot is 36-feet, 7-inches. By the city of Portland height definition the building is 53-feet, 8-inches. Please see our building section for a clear graphic depiction of these heights.

The following documents dated May 4th are enclosed:

- SD1 – Building Site Plan and First Floor Plan
- AutoCAD Rendered Elevation
- A6 – Building Elevations
- A7 – Building Elevations
- A8 – Building Section
- Survey

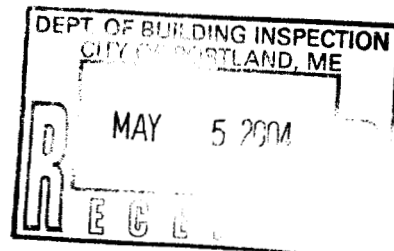
Thank you for your consideration of this project and please feel free to call with any questions or concerns.

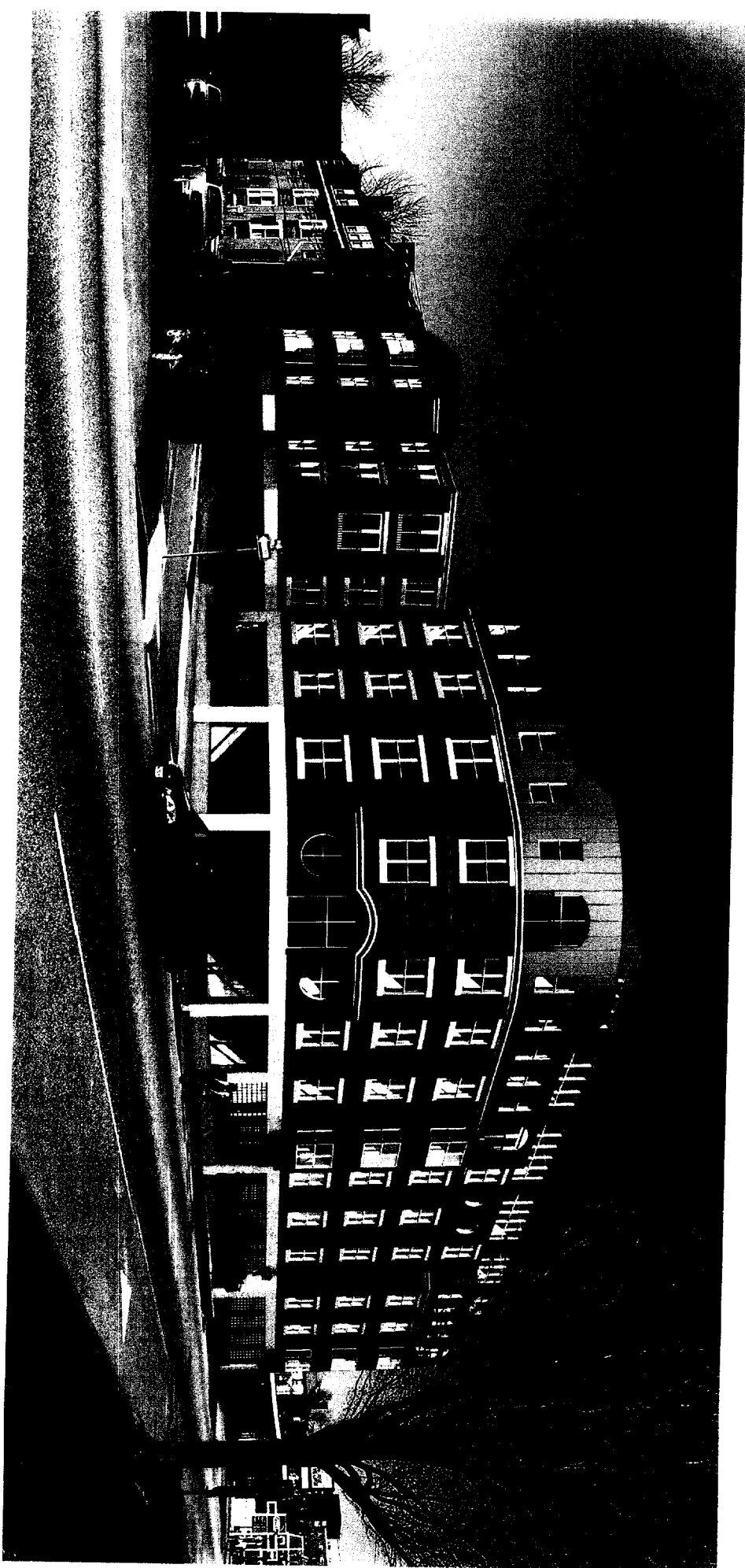
Sincerely,



David Lloyd
Architect

CC: Nathan Szanton





Walker Terrace

*Archetype, P.A.
48 Union Wharf
Portland, ME 04101
(207) 772-6022
(207) 772-4056 (Fax)*

TRANSMITTAL

DATE **September 20,2005**

FROM **Josef Chalat**

TO: **Mike Nugent**
 City of Portland
 389 Congress Street
 Portland, ME. **04101**

RE : **551 Congress Street – Permit Drawings**

SK1 9/16/05 Revision to Composite Deck Framing and Column Locations

Attached please find a copy of SK-1 dated 9/16, which modifies the floor framing detail shown on sheet a8.

*Archetype, P.A.
48 Union Wharf
Portland, ME 04101
(207) 772-6022
(207) 772-4056 (Fax)*

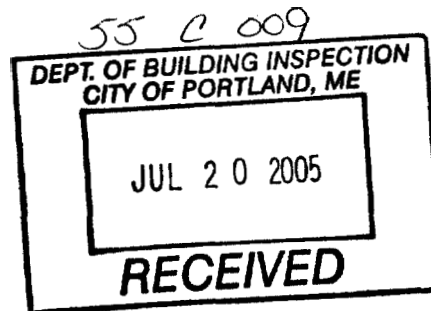
TRANSMITTAL

DATE: July 20, 2005
FROM: David Lloyd
T O Mike Nugent
City of Portland
389 Congress Street
Portland, ME. 04101
RE: Walker Terrace

Enclosed:

To be included with previously submitted Building Permit Application.

- CD of Plans and Specification in PDF format
- Page three of Design Professionals Certificate
- Signed Structural Drawings
- Program for Structural Tests and Inspections, for compliance with 2003 IBC.



NATHAN H. SMITH (MAYOR) (3)
WILLIAM R. GORHAM (1)
KAREN A. GERAGHTY (2)
CHERYL A. LEEMAN (4)
JAMES I. COHEN (5)

CITY OF PORTLAND
IN THE CITY COUNCIL

PETER E. O'DONNELL (A/L)
JAMES F. CLOUTIER (A/L)
JILL C. DUSON (A/L)
NICHOLAS M. MAVODONES (A/L)

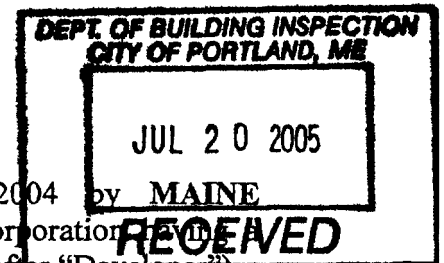
C-33

**ORDER AUTHORIZING AMENDMENT TO CITY CODE
SEC. 14-49 (ZONING MAP AMENDMENT)
RE: CONDITIONAL REZONING FOR 730 CONGRESS STREET**

ORDERED, that the Zoning Map of the City of Portland, dated December 2000 as amended and on file in the Department of Planning & Development, and incorporated by reference into the Zoning Ordinance by Sec. 14-49 of the Portland City Code, is hereby amended to reflect a conditional rezoning as detailed below;

BE IT FURTHER ORDERED, that the conditional rezoning amendment authorized herein shall become effective thirty (30) days following **this** rezoning.

Contract by Maine Workforce Housing LLC
730 Congress Street, Portland, Maine



This contract made this 28th day of September, 2004 by MAINE WORKFORCE HOUSING LLC, a Maine Limited Liability Corporation, with its place of business at One Longfellow Square, Portland, Maine (hereinafter "**Developer**").

WHEREAS, DEVELOPER has entered into a purchase and sale agreement for property at 730 Congress Street, Portland, Maine; and

WHEREAS, the 730 Congress Street property is more specifically described and shown on the Portland Assessors Map, Parcel **55-C-9** (the "**Property**"); and

WHEREAS, DEVELOPER filed a Zone Change Application with the City of Portland ("**City**") to modify an existing B2b and R-6 zones to permit the construction of apartments in a denser development pattern than that which would otherwise have been permitted under the **R-6** provisions (B2b zone defers to the R-6 standards for multi-family housing); and

WHEREAS, the development patterns of other significant apartment buildings in the vicinity of the Property are at substantially greater density than that permitted by the R-6 zone currently controlling the use of the Property as multi-family housing; and

WHEREAS, the Portland Planning Board determined **that** the proposed rezoning would provide needed rental housing, both income-restricted and market rate, in the City; and

WHEREAS, the Portland Planning Board determined that the proposed rezoning would effectuate a development **which** substantially improves the existing site; and

WHEREAS, the Portland Planning Board determined that the proposed rezoning would not produce undue negative impacts on the commercial and residential neighborhood surrounding it; and

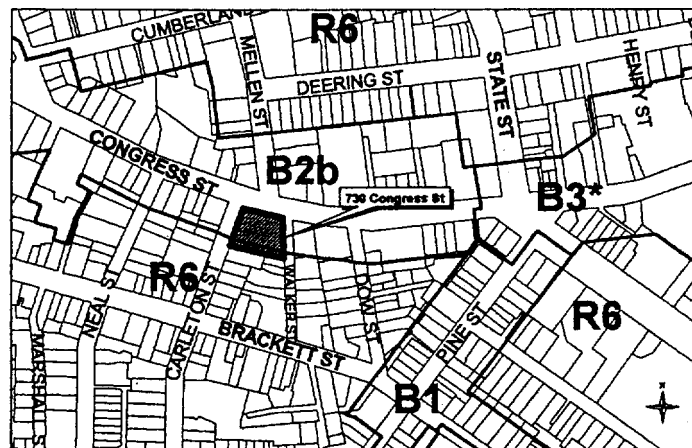
WHEREAS, the Portland Planning Board, pursuant to 30-A M.R.S.A. §4352(8), and after all notice and hearing and due deliberations required by law, recommended the rezoning of the Property, subject, however, to certain conditions; and

WHEREAS, the City, by and through its City Council, **has** determined that because of the unique circumstances of the site, being an infill site on Congress Street, it is necessary and appropriate to have imposed the following conditions and restrictions in order to ensure that the rezoning is consistent with the City's Comprehensive Plan and such rezoning would not unreasonably interfere with the existing and permitted uses within the underlying B2b and R-6 zones; and

WHEREAS, the **DEVELOPER** has agreed to enter into this contract, with its concomitant terms and conditions, which shall hereinafter bind **DEVELOPER** and

NOW, THEREFORE, in consideration of the rezoning of the Property, **DEVELOPER** contracts to be bound by the following terms and conditions:

1. The **CITY** shall amend the Zoning Map of the City of Portland, dated December 2000, as amended and on file in the Department of Planning and Development, and incorporated by reference into the Zoning Ordinance by §14-49 of the Portland City Code, by adopting the following map change.



Proposed Rezoning for 730 Congress St. from B2b and R6 to Contract

July 2004

Map prepared by the City of Portland's Department of Planning & Development and the GIS Workgroup

2. The use of the Property shall consist of a multi-family apartment building with no ~~more than~~ forty (40) units, and no more ~~than~~ six stories, ~~with the~~ sixth story being a mezzanine level, set back from the front edge of the building. ~~An~~ on-premises management office, serving this building only, may be included within the structure.

3. The property (hereinafter the "Development") shall provide a **mix** of one and two bedroom units, with the smallest unit no less than 550 square feet.

4. The Development shall provide and assign at least one on-site parking space per dwelling unit, the cost of which shall be included in each tenant's rent. One on-site parking space reserved for the exclusive use of building management staff and periodic maintenance service providers shall also be provided.

5. The Property will be developed with at least eighteen (18) of the units being designated for residents whose median income is at or below sixty percent (60%) of the area median income. This restriction shall remain in place for a period of time not to be less ~~than~~ 30 years.

6. The Property will be developed substantially in accordance with the Site Layout Plan (the "Site Plan"), Attachment 1, the elevations (the "Elevations"), Attachment 2, by Archetype, P.A. Architects (dated August 25, 2004 and April 6, 2004, respectively) and the architectural renderings, Attachment 3 (undated). The Planning Board shall review the Development according to the site plan and subdivision provisions of the Portland Land Use Code.

7. The underlying dimensional requirements of a residential structure in the R-6 zone are modified as follows:

a. Setbacks:

- Front Yard (Walker Street): none.
- Side Yard (Congress): none.
- Side Yard (southerly lot line parallel to Congress Street): ~~ten~~ (10) feet.
- Rear Yard (Carlton): none

b. **Minimum** land area per dwelling unit: four hundred and forty (440) square feet.

c. Height: **Maximum** height for the structure shall be fifty-five (55) feet.

d. Density: **Maximum** density shall be no more than forty (40) residential units as detailed in paragraph 2. above.

- e. Maximum Lot Coverage: Lot coverage may not exceed sixty-five percent (65%).
- f. Open Space required: none.
- g. Impervious Surface restrictions: none.
- h. Parking: As per section 4. above.

Otherwise, the provisions of §14-139 through 14-140 (the **R-6** Zone) of the Portland City Code shall apply to this development.

- 8. The landscaping plan, which includes planters to be installed as shown on Attachment 1, shall be required and shall be required to be maintained with live vegetation during the spring, summer and fall months.
- 9. In addition to installing new brick sidewalks on all the sidewalk space contiguous to the Development, the **DEVELOPER** shall install new brick sidewalk and new granite curbing, to City specifications, on the easterly side of Carleton Street, from Congress Street to Brackett Street. The **DEVELOPER** shall also, as part of the construction of the Development, relocate the fire hydrant now on the easterly side of Carleton St. (near the intersection with Congress Street) to the westerly side of Carlton Street as shown on Attachment 1 to facilitate more on-street parking on Carleton Street.
- 10. Snow removal shall consist of removal from the site any snowfall in excess of three inches and as otherwise needed, so as to maintain a clear sidewalk surrounding the property and the free access to all forty-one (41) parking spaces provided on the site and to avoid snow bank accumulation on site in excess of two feet (measured horizontally or vertically).
- 11. The **DEVELOPER** shall provide a total of twenty (20) street trees, ten (10) of which shall be planted in esplanade surrounding the property and the remaining trees to be planted in locations to be determined by the City arborist in his discretion. In addition, **DEVELOPER** shall install two (2) "Holophane Congress Street Lights" in the esplanade on Congress Street in the vicinity of the site, the location of which will be determined during site plan review.
- 12. In the event the development described herein is not commenced within two (2) years from the date this contract rezoning becomes effective and materially completed within four (4) years from said date, this contract shall become null and void and the Property shall revert back to the underlying B2b zone.

13. This Agreement shall be irrevocable by the **DEVELOPER** but may be modified upon ~~the DEVELOPER'S request to the City Council~~ or pursuant to the ~~terms~~ of paragraph 16.
14. ~~The~~ above stated restrictions, provisions, and conditions are ~~an~~ essential part of the rezoning, shall run with the Property, shall bind and benefit **DEVELOPER**, and any of its successors and assigns, and shall inure to the benefit of and be enforceable by the City, by and through its duly authorized representatives. **DEVELOPER** shall file a copy of this Agreement in the Cumberland County Registry of Deeds, along with a reference to the **Book** and Page locations of the deeds for the Property no later than ~~thirty~~ (30) days from the date of the City Council action on the rezoning, or from the **DEVELOPER's** purchase of the property, whichever is later, but in no event later than ninety (90) days following City Council adoption of the Conditional Rezoning. The **DEVELOPER** shall provide to the City the **Book** and Page number of said recording.
15. If **any** of the restrictions, provisions, conditions, or portions thereof set forth herein is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed ~~as~~ a separate, distinct, ~~and~~ independent provision and such determination shall not affect the validity of the remaining portions hereof.
16. Except ~~as~~ expressly modified herein, the development, use, and occupancy of the subject premises shall be governed by and comply with the provisions of the Land Use Code of the City of Portland and **any** applicable amendments thereto or replacement thereof.
17. In the event that **DEVELOPER** or any successor fails to continue to utilize the **PROPERTY** in accordance with this Agreement, or in the event of **DEVELOPER's** breach of any condition(s) set forth in this Agreement which differs from the provisions of Portland's Land Use Code that would otherwise be applicable to property in the R-6 Zone, which use or breach has not been cured after reasonable notice from the **CITY**, the **CITY** may prosecute such violations in accordance with **30-A M.R.S.A. § 4452** or in **any** other manner available by law. Should **DEVELOPER** be found to have breached this Agreement, the Planning Board, at the request of the Planning Authority, or the City Council, on its own initiative, may propose that the zoning of the **PROPERTY** be modified or that the **PROPERTY** be rezoned.
18. In the case of **any** issue related to the **PROPERTY** which is specifically addressed by this Agreement, neither **DEVELOPER** nor their successors may seek relief which **might** otherwise be available to them from Portland's Board of Appeals by means of a variance, practical difficulty variance, interpretation appeal, miscellaneous appeal or any other relief which the **Zoning Board** would have jurisdiction to grant, if the effect of such relief would be to alter

the terms of **this** Agreement. In cases that fall outside of the above parameters (i.e., alleged violations of **any** provisions of Portland's Land Use Code, including, but not limited to; the Site **Plan** Ordinance, which were **neither** modified nor superceded by **this** Agreement), the enforcement provisions of the Land Use Code, including, but not limited to, the right to appeal orders of the Planning Authority, Building Authority and Zoning Administrator shall apply. Nothing herein, however, shall **bar** the issuance of stop work orders.

WITNESS:

Nathan Szanton
Nathan Szanton

MAINE WORKFORCE HOUSING LLC

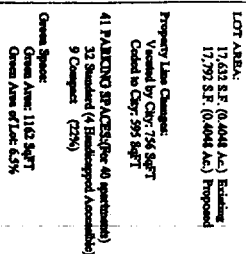
By *Nathan S. Szanton*, Managing Member
NATHAN S SZANTON

Cumberland, ss.

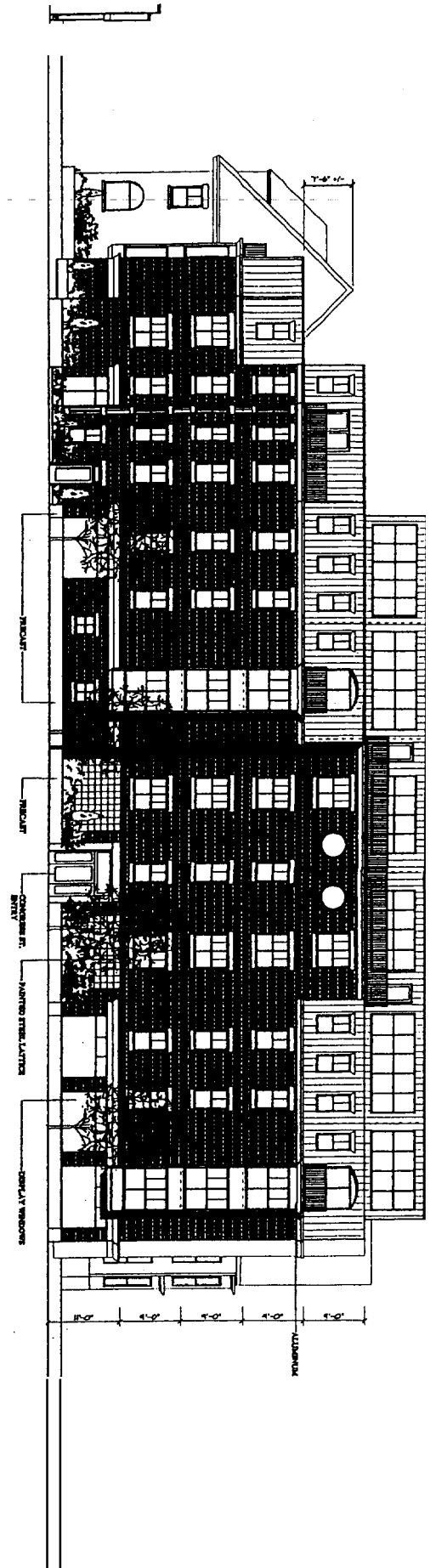
Personally appeared the above-named Nathan **Szanton**, Managing Member of Maine Workforce Housing LLC and acknowledged the foregoing Agreement to be his free act and deed in his said capacity and the free act and deed of Maine Workforce Housing LLC.

David Laxari
Notary Public

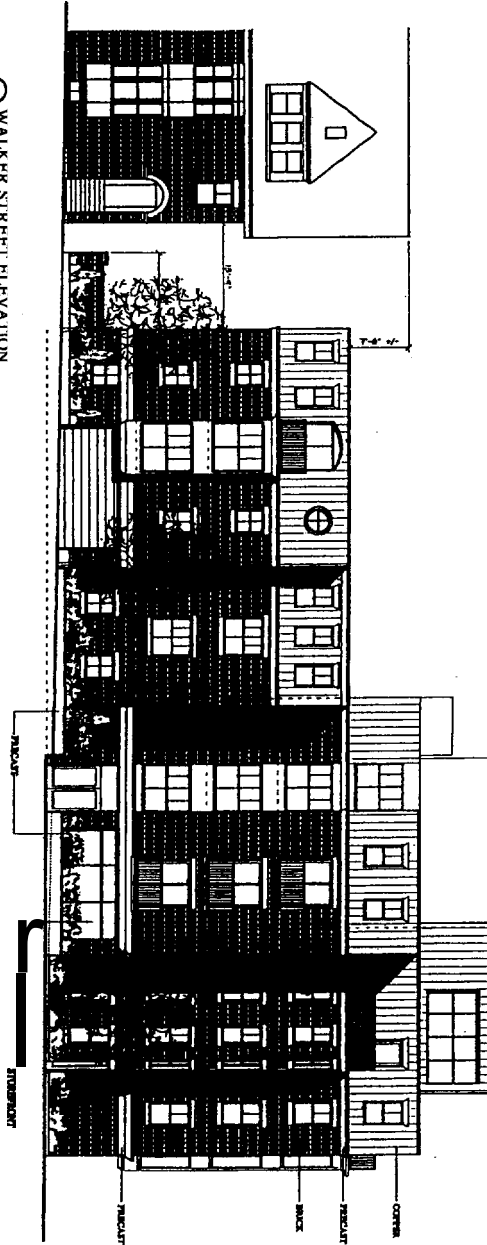
DAVID LAXARI
COMMISSION EXPIRES 10/27/2004



① CONGRESS STREET ELEVATION
1/8" = 1'-0"

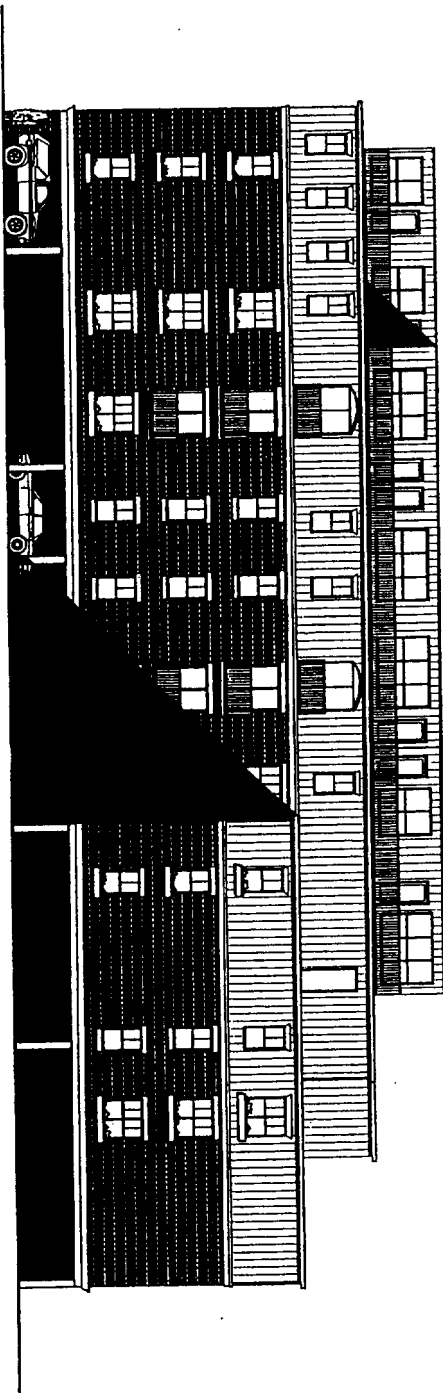


② WALKER STREET ELEVATION
1/8" = 1'-0"

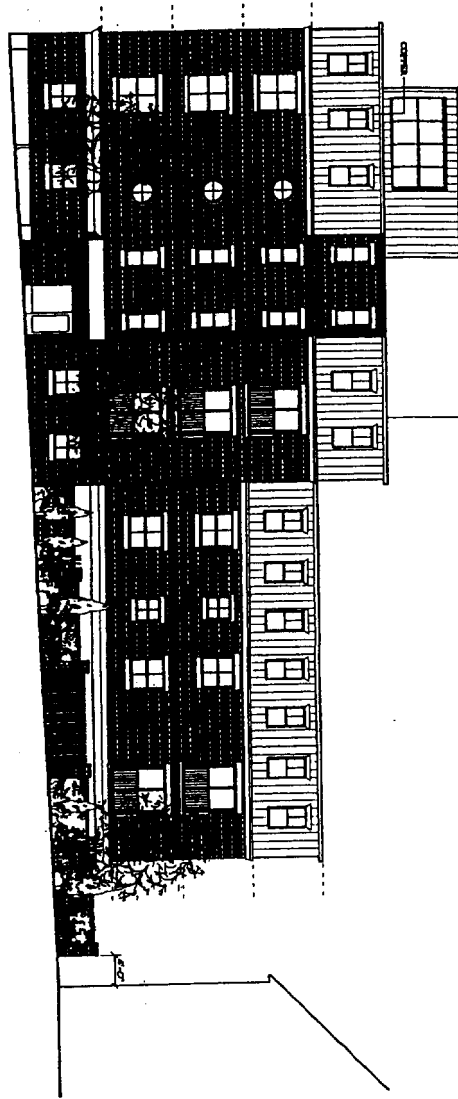


A6	ELEVATIONS	Date: APRIL 06, 2004	Scale: 1/8" = 1'-0"	Project: WALKER TERRACE	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-4022 Fax (207) 772-4056		
		Revisions:		WALKER STREET, PORTLAND, MAINE			

① CARLETON STREET ELEVATION
1/8" = 1'-0"

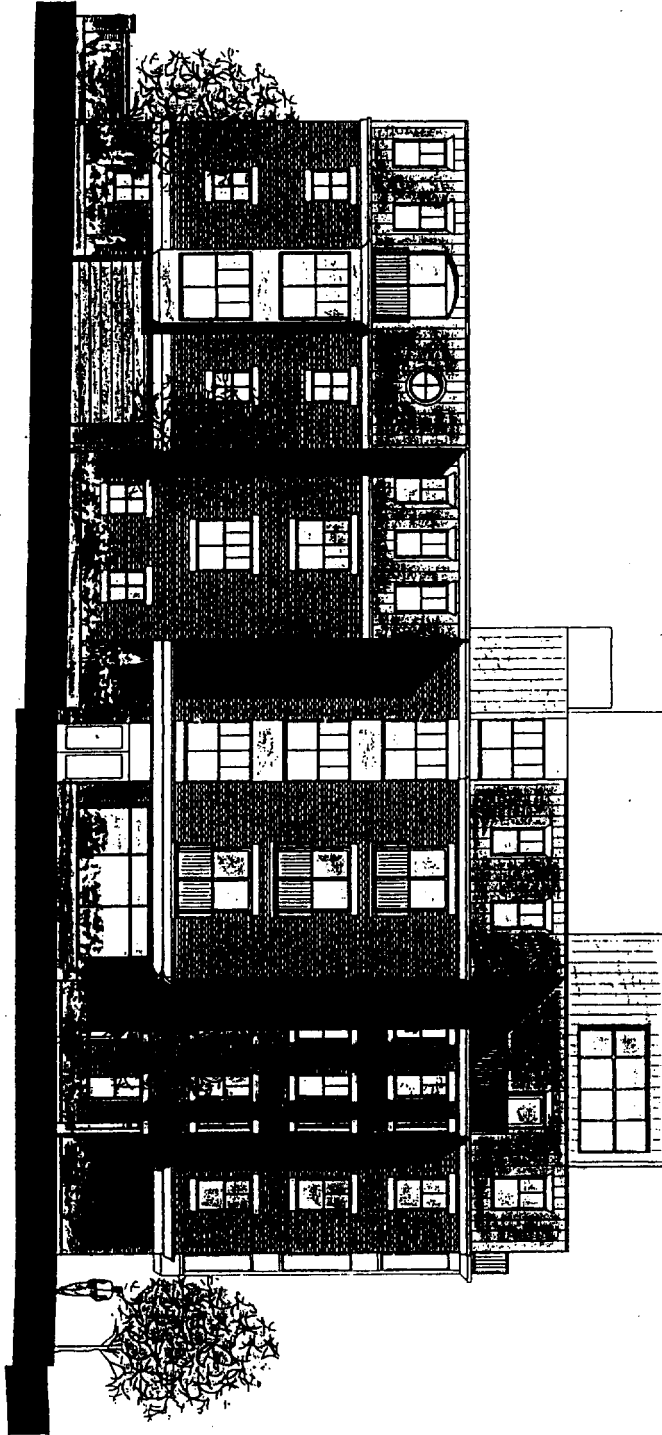


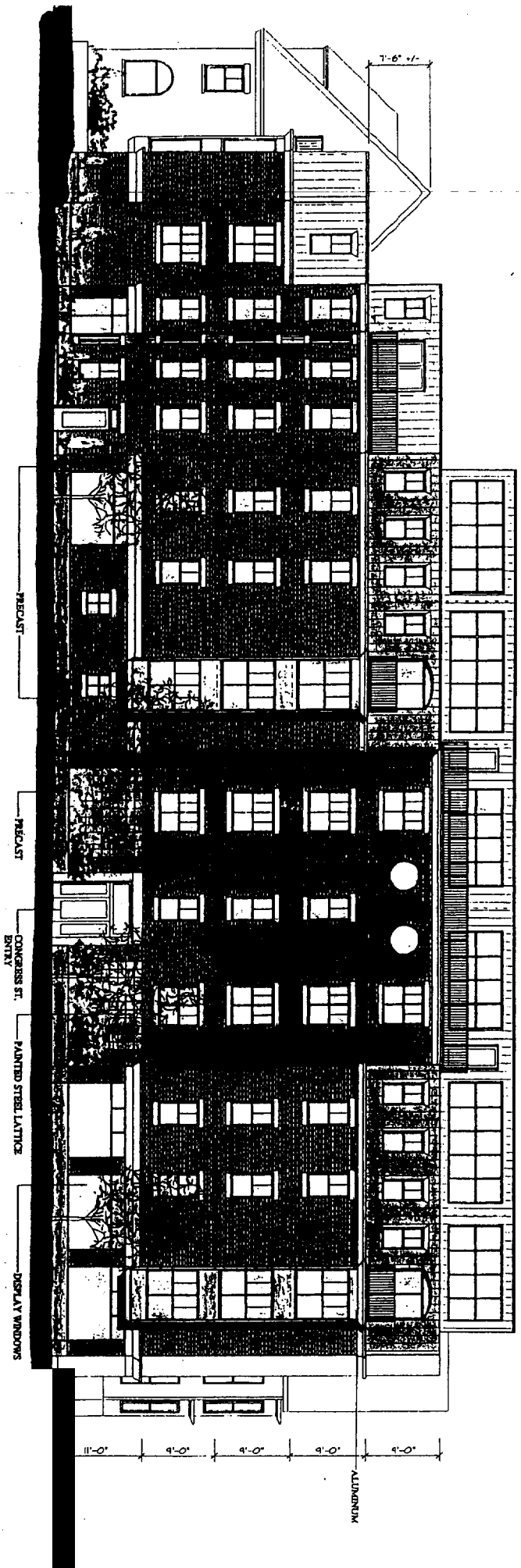
① CARLETON STREET ELEVATION
1/8" = 1'-0"



A7	ELEVATIONS	Date APRIL 06, 2004	Scale 1/8" = 1'-0"	Project WALKER TERRACE WALKER STREET, PORTLAND, MAINE	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6822 Fax (207) 772-4056
		Revisions:			

WALKER STREET ELEVATION





CONGRESS STREET ELEVATION



Received
Recorded Register of Deeds
Oct 06, 2004 02:42:56P
Cumberland County
John B OBrien

CARLETON STREET ELEVATION

September 21, 2005

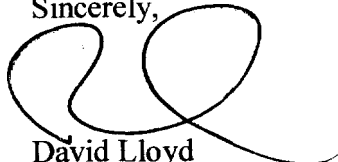
Mike Nugent
Dept. of Planning and Development
City of Portland
389 Congress Street
Portland, ME. 04101

Dear Mike,

In response to your comments:

1. We recalculated the mezzanine area and we were at **34.8%**. We have redesigned to **33.2 %**. See attached drawing.
2. We have attached details of the spiral stair.
3. The garage is mechanically ventilated and is not required to have any open area.
4. The wall separating the garage from the utility space is called out on A-21 as a W3. This wall is **2** hours.
5. The separation of the building to the property line is **10'-1"**. There is no requirement to protect the garage at that distance. **The** percentage of openings to wall on floors **2** thru **4** on the south elevation is **14.7%**.

Sincerely,



David Lloyd
Architect

From: Lee Urban
To: Ethan Boxer-Macomber; Marge Schmuckal; Mike Nuge...
Date: Tue, Jul 19, 2005 2:04 PM
Subject: Re: Walker Terrace

Thanks, folks.

>>> "Marge Schmuckal" <MES@portlandmaine.gov> 7/19/2005 1:09:40 PM >>>

This is also a contract zone - I need a copy of the contract to do my zoning review. Please remember that I am ~~on~~ vacation starting this Friday. I will be back in the office on August 2.
Marge

>>> Mike Nugent 07/19 12:53 PM >>>

Thanks

>>> Ethan Boxer-Macomber 7/19/2005 12:45:52 PM >>>

No, that is among the items I am waiting for from the applicant.
I will send Nathan an email this ~~afternoon~~ and summarize everything he needs to get to Planning.
Ethan

>>> Mike Nugent 7/19/05 12:41:09 PM >>>

Does MArge have the signed, stamped Site plan?

>>> Ethan Boxer-Macomber 7/19/2005 12:17:40 PM >>>

I have been in communication with Nathan regarding his conditions of approval. We are still waiting on a few items but he is aware of them and ~~knows~~ that issuance of his building permit is contingent on their completion.
Ethan

>>> Mike Nugent 7/19/05 10:45:40 AM >>>

I accepted their app. today, it will be going into the system and to Marge by tomorrow. Alex, ~~or~~ Sarah, how are the prepermitting conditions and is the Stamped approved site plan available??? I think if we pull together we can ~~do~~ it! August 17th is their target date.

>>> "Lee Urban" <LDU@portlandmaine.gov> 7/19/2005 10:04:44 AM >>>

~~Good~~ morning, Mike, . . .

Nathan Szanton and I just spent a pleasant half hour talking about a number of topics, including a the time frame for receiving a building permit for Walker Terrace. He is an ~~old~~ friend. I understand from Nathan that at this moment you are likely meeting with David Lloyd, his architect.

So, let's chat or ~~email~~ about whether getting a building permit within four weeks is doable.

Thanks.

Ethan Boxer-Macomber, AICP
Planner
City of Portland Planning Division
389 Congress Street
Portland, ME 04101

Tel: 207.756.8083
Fax: 207.756.8258

Program of Structural Tests and Inspections

For compliance with the 2003 International Building Code

Project: Walker TerraceLocation: One Walker Street, Portland MaineOwner: Maine Workforce Housing LLCOwner's Address: One Longfellow Square, Portland, ME 04101Architect of Record: Archetype, P.A. ArchitectsStructural Engineer of Record (SER): Veitas & Veitas Engineers, Inc.

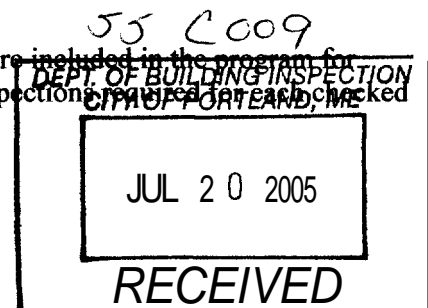
This program of structural tests and inspections is submitted as a condition for issuance of the building permit in accordance with Section **1704.1.1** of the 2003 International Building Code.

The following firms, agencies, or individuals (hereinafter referred to collectively as agents) will perform the tests and inspections under the direction of the SER

<i>Agents</i>	<i>Firm</i>	<i>Address/Phone #</i>
1. Structural Engineer of Record	Veitas & Veitas Engineers, Inc.	639 Granite Street Braintree, MA 02184 781-843-2863
2. Agent - Soils	Sebago Technics	One Chabot Street, P.O. Box 1339 Westbrook, ME 04098 207-856-0277
3. Agent - Concrete Cylinder Testing	TBD	
4. Agent - Weld Testing	TBD	
5. Agent - Masonry	TBD	
5. Architect	Archetype, P.A. Architects	48 Union Wharf Portland, ME 04101 207-772-6022

The numbers will be used on the attached pages to identify which agent is performing the particular tests or inspections.

The following categories of structural tests and inspections, if checked, are included in the program for structural tests and inspections for this project. The specific tests and inspections provided for each checked category are listed on the page noted opposite the category.



<u>Category</u>	<u>Page</u>	<u>Category</u>	<u>Page</u>
<input checked="" type="checkbox"/> Steel Construction	<u>3</u>	<input checked="" type="checkbox"/> Controlled structural fill (prepared fill)	<u>8</u>
<input checked="" type="checkbox"/> Cast-in-place concrete construction	<u>4</u>	<input type="checkbox"/> Pile foundations	_____
<input type="checkbox"/> Precast concrete construction	_____	<input type="checkbox"/> Pier foundations	_____
<input checked="" type="checkbox"/> Masonry construction	<u>5</u>	<input type="checkbox"/> Curtain Walls (wall panels and veneers)	_____
<input checked="" type="checkbox"/> Wood construction	<u>6</u>	<input type="checkbox"/> Light gage metal framing	_____
<input checked="" type="checkbox"/> In-situ bearing strata for footings	<u>7</u>	<input type="checkbox"/> Special cases	_____

The following items of construction, if checked, are specified in the structural plans or specifications on a performance basis. Their structural design will be reviewed by the SER and their construction is included in the program for tests and inspections on the attached sheets:

- | | |
|---|--|
| <input type="checkbox"/> Curtain Walls | <input type="checkbox"/> Metal Buildings |
| <input type="checkbox"/> Precast concrete components | <input type="checkbox"/> _____ |
| <input type="checkbox"/> Post-tensioning steel | <input type="checkbox"/> _____ |
| <input type="checkbox"/> Structural steel connections | |

The following items are excluded from this program of structural tests and inspections, since they are designed by other structural engineers not under the aegis of the SER and the SER was not retained to provide performance specifications for their design. These other structural engineers must be assigned by the owner, architect, or construction contractor, **as** applicable; to be special SER's for their respective designs and to provide a program of structural tests and inspections for their respective designs.

Prepared by the Structural Engineer of Record:

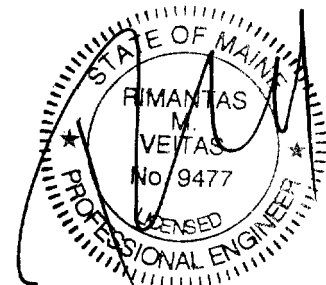
Name: Rimantas M. Veitas, P.E.

Please type or print

Signature: _____

Firm: Veitas & Veitas Engineers, Inc.

Date: July 19, 2005



Registration Seal

Schedule of Structural Tests and Inspections

Steel Construction

Item	Code Reference	Scope & Frequency (By SER)
1. Fabricator Certification/ Quality Control Procedures.	1,4	Review each Fabricator's quality control procedures.
2. Fabricator Inspection. (1705.4.2 and R1705.4.2)	1,4	Inspect in-plant fabrication, or review Fabricator's approved Independent Inspection Agency's reports.
3. Material Certification.	1,4	Review for conformance to the specifications.
4. Anchor Bolts	1	Review Contractor's as-built survey. Verify that all anchor bolts have been properly torqued and have adequate fit-up.
5. Bolting.	1	Test and inspect bolted connections in accordance with specifications. Verify bolt size and grade.
6. Welding.	1,4	Check welder qualifications. Visually inspect fillet welds and test full-penetration field welds in accordance with specifications.
7. Shear Connectors.	1	Inspect for size and placement. Test for proper weld attachment.
8. Structural framing, Details and Assemblies.	1	Inspect for size, grade of steel, camber, installation and connection details. Check against approved construction documents and shop drawings.
9. Open Web Steel Joists.	N/A	Inspect for size, placement, bridging, bearing and connection to structure. Visually inspect all welds of a minimum of 5% of the joists, randomly selected.
10. Metal Decking.	1	Verify gage, width, and type. Inspect placement, laps, welds, sidelap attachment and screws or other mechanical fasteners. Check welder qualifications.
11. Stairs and Railings	1,5	Verify that bolting, welding and special connections conform to shop drawings.
12. Expansion & Adhesive Anchors	1	Review installation procedures for both mechanical anchors and adhesive anchors. Verify that materials are suitable for job conditions.

Schedule of Structural Tests and Inspections

Cast-in-Place Concrete Construction

Item	Code Reference	Scope
1. Mix Design.	1,3	Review <i>mix</i> designs prior to placement and verify use of required mix design.
2. Materials Certification	1,3	Review for conformance to specifications.
3. Batching Plant	1,3	Review Plant quality control procedures and batching and mixing methods.
3. Batching Plant		
4. Reinforcement Installation	1	Inspect reinforcing for size, quantity, condition and placement.
5. Anchor Bolts	1	Inspect anchor bolts prior to and during placement of concrete.
6. Post-Tensioning Operations.	N/A	Inspect tensioning and anchorage of tendons. Inspect grouting of bonded tendons. Verify concrete strength prior to stressing of tendons and removal of shores and forms from beams and structural slabs.
7. Formwork Geometry	5	Inspect form sizes for proper sizes of concrete members.
8. Concrete Placement and Sampling Fresh Concrete.	1,3	Observe concrete placement operations. Verify conformance to specifications including cold-weather and hot-weather placement procedures. Perform slump, density and air content tests at point of discharge.
9. Evaluation of Concrete Strength	3	Test and evaluate in accordance with the specifications.
10. Curing and Protection	1	Observe procedures for conformance to the specifications.
11. Welding Reinforcing Steel	N/A	Verify weldability of reinforcing steel other than ASTM A706.
12. Mechanical Reinforcing Spikes	N/A	Verify proper embedment, joint fit-up and tightness of mechanical parts.

Schedule of Structural Tests and Inspections

Masonry Construction

Item	Agent	Scope
1. Material Certification	1	Review for conformance to specifications.
2. Evaluation of Masonry Strength	1,5	Verify strength in accordance with the specifications.
3. Proportioning, Mixing and Consistency of Mortar and Grout	1,5	Inspect field-mixing procedures for conformance to the specifications.
4. Installation of Masonry	1,5	Inspect placement for conformance to the specifications.
5. Reinforcement Installation	1,5	Inspect reinforcing steel for size, quantity, condition and placement for conformance to SER approved submittals and Contract Documents. Inspect welding of reinforcement and review welder's certifications.
6. Grouting Operations	1,5	Inspect grouting procedures for conformance with the specifications. Inspect cells prior to grouting.
7. Weather Protection	1	Inspect protection for cold and hot weather for conformance with the specifications.
8. Anchorage	1	Inspect anchorage of masonry to other construction for conformance to the Contract Documents.
9. Other		
10.		

Schedule of Structural Tests and Inspections

Wood Construction

Item	Code Reference	Scope
1. Fabricator Certification/ Quality Control Procedures for prefabricated wood components	1	Review Fabricator's quality control procedures.
2. Material Grading	1	Inspect Lumber for conformance to the Contract Documents. Check moisture content as applicable.
3. Framing, Details and Connections	1	Inspect members for size, placement and connection details. Inspect blocking between floors and at posts. Verify proper connection hardware and its installation. Inspect bearing, nailing and completed connections for conformance to the SER approved submittals and Contract Documents.
4. Shear Walls, Diaphragms and Hold-downs	1	Inspect thickness and grade of plywood, blocking, hold-down anchors and the edge and field nailing of the plywood to the framing for conformance to the SER approved submittals and Contract Documents. Review panelized construction for proper plywood overlaps.
5. Wood Trusses	1	Inspect size and location of nail plates, split rings, bolts, or other connection devices for conformance to SER approved submittals and the Contract Documents. Verify that nails, bolts, hold-down anchors or clips or other devices are tight and otherwise properly installed. Verify that permanent web bracing, including X-bracing has been installed.
6. Laminated Lumber	1	Inspect grade, nailing, end bearing and end attachment for conformance to SER approved submittals and the Contract Documents.
7. Anchor Bolts	N/A	Verify that anchor bolts have been placed as indicated on the plans.
8. Other (By SER)		

Schedule of Structural Tests and Inspections

In-Situ Bearing Strata for Footings

Item	Agent	Scope
1. Bearing strata for footings	2	Inspect strata for conformance to the structural drawings, specifications, and/or geotechnical report.
2. Bearing surfaces of footings	2	Inspect bearing surfaces for conformance to the requirements of the structural drawings, specifications, and/or geotechnical report.
3. Other		
4.		

Schedule of Structural Tests and Inspections

Controlled Structural Fill (Prepared Fill)

Item	Agent	Scope
1. Fill Material	2	Test material for conformance to specifications or geotechnical report. Perform laboratory compaction tests in accordance with the specifications to determine optimum water content and maximum dry density.
2. Installation of controlled structural fill (780 CMR 1705.9.1 and .2)	2	Provide full-time inspection of the installation, in accordance with the specifications.
3. Density of fill (780 CMR 1705.9.3)	2	Perform field density tests of the in-place fill in accordance with the specifications.
4. Other		
5.		

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FROM DESIGNER: Archetype, T A.

DATE: 7/19/05

Job Name: Walker Terrace

Address of Construction: One Walker Street

2003 International Building Code

Construction project was designed according to the building code criteria listed below

Building Code and Year IBC 2003 Use Group Classification(s) S2 & R2

Type of Construction I-B & 5A

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes

Is the Structure mixed use? Yes if yes, separated or non separated (see Section 302.3) Separated

Supervisory alarm system? Yes Geotechnical/Soils report required? (See Section 1802.2) Yes

STRUCTURAL DESIGN CALCULATIONS		<u>Yes</u>	Live load reduction (1603.1.1, 1W7.9, 1607.10)
<u>Submitted for all structural members</u> (106.1, 106.1.1)		<u>N/A</u>	Roof live loads (1603.1.2, 1607.11)
DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)			Roof snow loads (1603.1.3, 1606)
Uniformly distributed floor live loads (1603.1.1, 1607)		<u>50 psf</u>	Ground snow load, P_g (1608.2)
Floor Area Use Loads Shown			If $P_g > 10$ psf, flat-roof snow load, P_f (1608.3)
Dwelling Units	40 psf	<u>1.0</u>	If $P_g > 10$ psf, snow exposure factor, C_e (Table 1608.3.1)
Comdors	40 psf	<u>1.0</u>	If $P_g > 10$ psf, snow load importance factor, I_s (Table 1604.5)
Lobby	100 psf	<u>1.0</u>	Roof thermal factor, C_t (Table 1608.3.2)
Terrace	60 psf	<u>1.0</u>	Sloped roof snowload, P_s (1608.4)
		<u>34 psf</u>	
Wind loads (1603.1.4, 1609)		<u>B</u>	Seismic design category (1616.3)
ASCE 7-02	Design option utilized (1609.1.1, 1609.6)	<u>1k & 2d</u>	Basic seismic-force-resisting system (Table 1617.8.2)
100 MPH	Basic wind speed (1609.3)		Response modification coefficient, R , and deflection amplification factor, C_d (Table 1617.8.2)
Cat II $I_w=1.0$	Building category and wind importance factor, I_w (Table 1604.5, 1609.5)	<u>$v=CS(w)$</u>	An — procedure (1616.8, 1617.5)
<u>B</u>	Wind exposure category (1609.4)	<u>120k</u>	Design base shear (1617.4, 1617.5.1)
<u>+1-0.18</u>	Internal pressure coefficient (ASCE 7)		
Max 24.1 psf	Component and cladding pressures (1609.1.1, 1609.8.2.2)		Flood loads (1603.1.8, 1612)
Max 19.5 psf	Main force wind pressures (1609.1.1, 1609.8.2.1)	<u>N/A</u>	Flood hazard area (1612.3)
		<u>N/A</u>	Elevation of structure
		other loads	
Earthquake design data (1603.1.5, 1614 - 1623)		<u>N/A</u>	Concentrated loads (1607.4)
ICB 2003	Design option utilized (1614.1)	<u>20 psf</u>	Partition loads (1607.5)
<u>I</u>	Seismic use group ("Category") (Table 1604.5, 1616.2)	<u>N/A</u>	impact loads (1607.8)
<u>Sd1=0.113</u>	Spectral response coefficients, S_{ds} & S_{d1} (1615.1)	<u>N/A</u>	Misc. loads (Table 1607.8, 1607.8.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)
<u>Sds=0.296</u>			
<u>C</u>	Site class (1615.1.5)		

2/3 $S_{NS} = 0.444$
2/5 $u_1 = 0.17$